

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

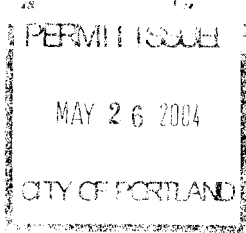
Permit No: 04-0674	Issue Date: MAY 26 2004	CBL: 119 E001001
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Location of Construction: 25 Orland St	Owner Name: Peterson Thomas Arthur &	Owner Address: 25 Orland St CITY OF PORTLAND	Phone:
Business Name:	Contractor Name: Scott Lowell	Contractor Address: 80 Elder Road Gray	Phone:
Lessee/Buyer's Name:	Phone:	Permit Type: Additions - Dwellings	Zone: R-3

Existing Use: single family	Proposed Use: single family - build 13' x 16' deck	Permit Fee: \$93.00	Cost of Work: \$8,000.00	CEO District: 3
Proposed Project Description: build 13' x 16' deck		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied <i>N/A</i>		INSPECTION: Use Group <i>R-3</i> Type <i>SB</i> <i>BOCA 1999</i>
		Signature:		Signature:

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)			
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied			
Signature:		Date:	

Permit Taken By: [Signature]	Date Applied For: 05/26/2004	<b>Zoning Approval</b>	
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<p>This permit application does not preclude the applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p>	<p><b>Special Zone or Reviews</b></p> <p><input type="checkbox"/> Shoreland</p> <p><input type="checkbox"/> Wetland</p> <p><input type="checkbox"/> Flood Zone</p> <p><input type="checkbox"/> Subdivision</p> <p><input type="checkbox"/> Site Plan</p> <p>Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/></p> <p>Date: <i>5/26/04</i></p>	<p><b>Zoning Appeal</b></p> <p><input type="checkbox"/> Variance</p> <p><input type="checkbox"/> Miscellaneous</p> <p><input type="checkbox"/> Conditional Use</p> <p><input type="checkbox"/> Interpretation</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Denied</p> <p>Date:</p>	<p><b>Historic Preservation</b></p> <p><input checked="" type="checkbox"/> Not in District or Landmark</p> <p><input type="checkbox"/> Does Not Require Review</p> <p><input type="checkbox"/> Requires Review</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Approved w/Conditions</p> <p><input type="checkbox"/> Denied</p> <p>Date: <i>5/26/04</i></p>
			

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

# DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

## BUILDING INSPECTION

### PERMIT

Permit Number: 040674

Please Read Application And Notes, If Any, Attached

This is to certify that Peterson Thomas Arthur & / Son Ltd Lowell  
has permission to build 13' x 16' deck  
AT 25 Orland St CALL 119 E001001

PERMIT ISSUED  
MAY 26 2004

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is laid or closed-in. HEAVY NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS  
Fire Dept. \_\_\_\_\_  
Health Dept. \_\_\_\_\_  
Appeal Board \_\_\_\_\_  
Other \_\_\_\_\_  
CITY OF PORTLAND

PERMIT ISSUED  
MAY 26 2004

*[Signature]*  
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

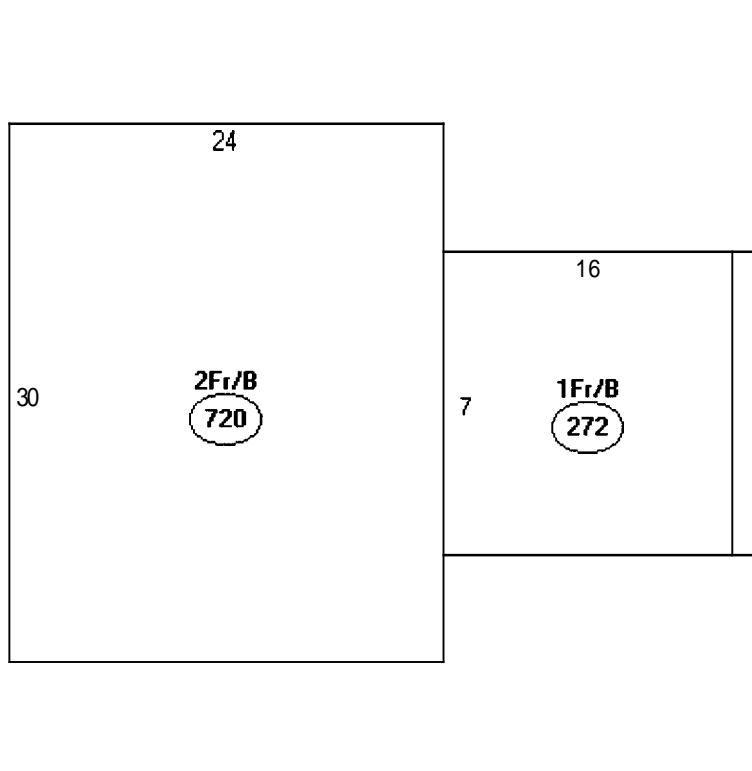
Total Square Footage of Proposed Structure		Square Footage of Lot	
Tax Assessor's Chart, Block & Lot Chart#                  Block#                  Lot#		Owner: <i>George Sanders</i> <i>Tom Peterson</i>	Telephone: <i>807-3516</i>
Lessee/Buyer's Name (If Applicable)		Applicant name, address & telephone: <i>6534378</i> <i>Scott Lowell</i> <i>260 Ransdell Blvd</i> <i>Evon Me</i>	cost Of Work: \$ <i>≈ 8000</i>  Fee: \$ <i>93</i>
Current use: <u><i>Residential</i></u>			
If the location is currently vacant, what was prior use: _____			
Approximately how long has it been vacant: _____			
Proposed use: <u><i>Residential Deck</i></u>			
Project description: <u><i>Construction of free standing 13x16 Deck + Sl glass door.</i></u>			
Contractor's name, address & telephone: <u><i>See Above</i></u>			
Who should we contact when the permit is ready: <u><i>Scott Lowell or George Sanders</i></u>			
Mailing address: <u><i>25 Oakland St</i></u> <u><i>Portland, Me</i></u>			
We will contact you by phone when the permit is ready, You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up.      PHONE: <i>Scott 6534378</i> <i>Sanders 807-3516</i>			

**IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.**

*I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.*

Signature of applicant: <i>Scott A Lowell</i>	Date: <i>May 26 2004</i>
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**This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4<sup>th</sup> floor of City Hall**



Descriptor/Area

A: 2Fr/B  
720 sqft

E: 1Fr/B  
272 sqft

R-3  
1077.5  
- 720  
272  
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357.5  
192 Proposed  
-----  
693 OK  
left

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

### Current Owner Information

Card Number 1 of 1  
 Parcel ID 119 E001001  
 Location 25 ORLAND ST  
 Land Use SINGLE FAMILY

Owner Address PETERSON THOMAS ARTHUR & GEORGE HENRY SANDERS III JTS  
 25 ORLAND ST  
 PORTLAND ME 04103

Book/Page 17588/080  
 Legal 119-E-1  
 ORLAND ST 25  
 7510 SF

### Valuation Information

Land	Building	Total
\$31,400	\$115,180	\$146,580

### Property Information

Year Built 1930	Style Old Style	Story Height 2	Sq. Ft. 1712	Total Acres 0.172	
Bedrooms 3	Full Baths 1	Half Baths 1	Total Rooms 9	Attic None	Basement Full

### Outbuildings

Type SHED-FRAME	Quantity 1	Year Built 2003	Size 12X16	Grade C	Condition A
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### Sales Information

Date 06/01/2002 06/18/1998	Type LAND + BLDING LAND + BLDING	Price \$265,000	Book/Page 17588-080 13911-290
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### Picture and Sketch

[Picture](#)                      [Sketch](#)

[Click-here to view Tax Roll Information.](#)

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or [e-mailed](#).

**New Search!**

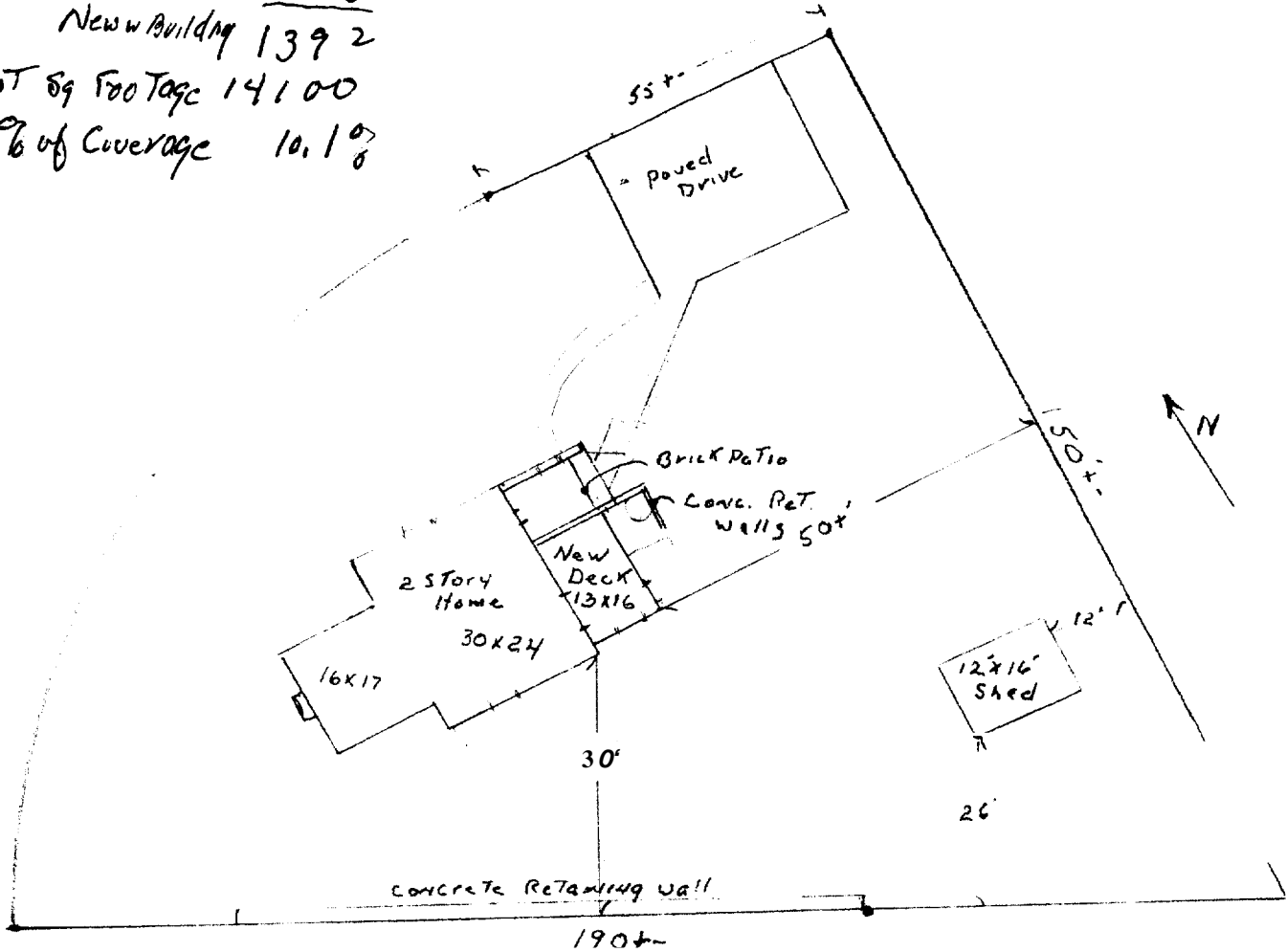
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Buildings Sq Footage  
Main Hs

16x17	272
30x24	720
Shed 12x16	<u>192</u>
Present Build	1184
Deck 13x16	<u>208</u>
New w/ Building	1392

Lot Sq Footage 14100  
% of Coverage 10.1%

for 25 Orland St. Portland Maine  
Chart 119 Block E Lot 1  
Owners; George Sanders  
Tom Peterson



3 Sides @ 12'  
rear - 25'  
lot cov. OK

Scale; 3/8" = 10'

Submitted by; Scott Lowell  
East Shore Builders  
Gray Maine  
653-4378

2x4 Wall Typ  
 Balloon Frame  
 2x10 and Floor

Strapping  
 Plaster

Existing 2x4 Window  
 Header  
 To be replaced w/ Sidel  
 11 3/8 Parolan beam UP  
 Under Floor Joists

Scale 1" = 1'  
 Wall Section  
 Door Install

Well Structure

EXT STACKS

Rain Screen Air Space

Strapping

Ext wall Guarding

2x4 Framing INSULATED  
 Plaster board + Plaster

4x12 Sill

Brick ext  
 Curie wall

2x10 Joists

Floor Guarding

Sanders / Peterson Deck

Scale 1/2" = 1'

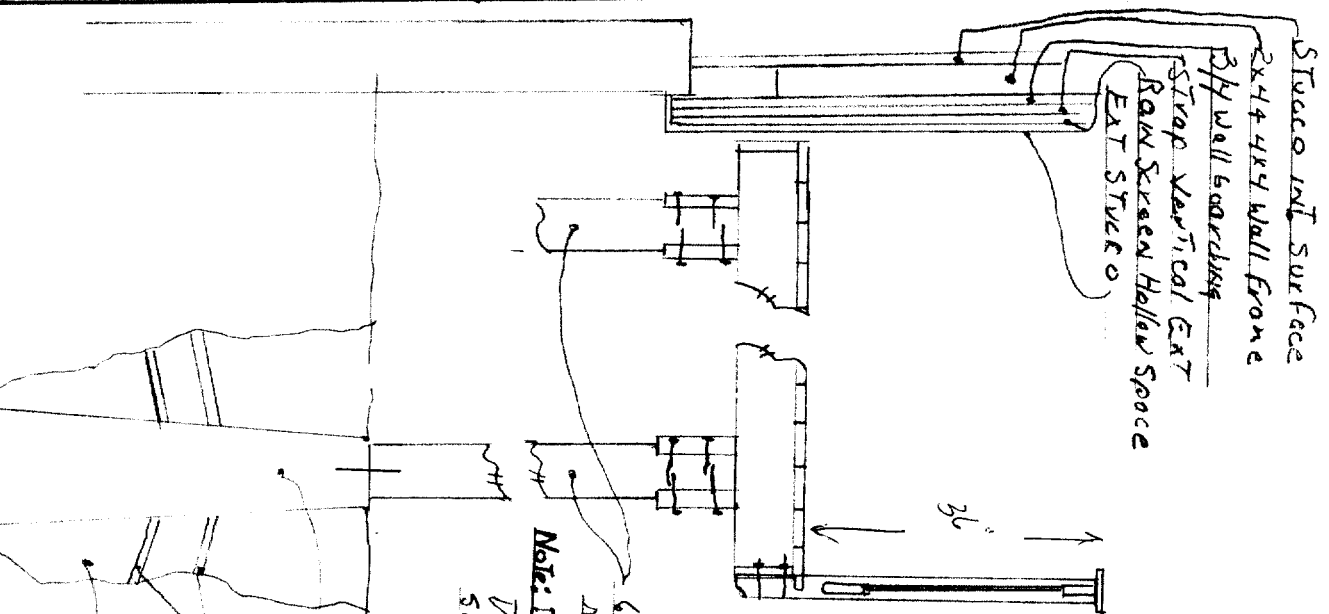
Stucco int surface  
 2x4 + 4x4 Wall Frame  
 3x4 Wall Guarding  
 Strap Vertical EXT  
 Rain Screen Hollow Space  
 EXT STACKS

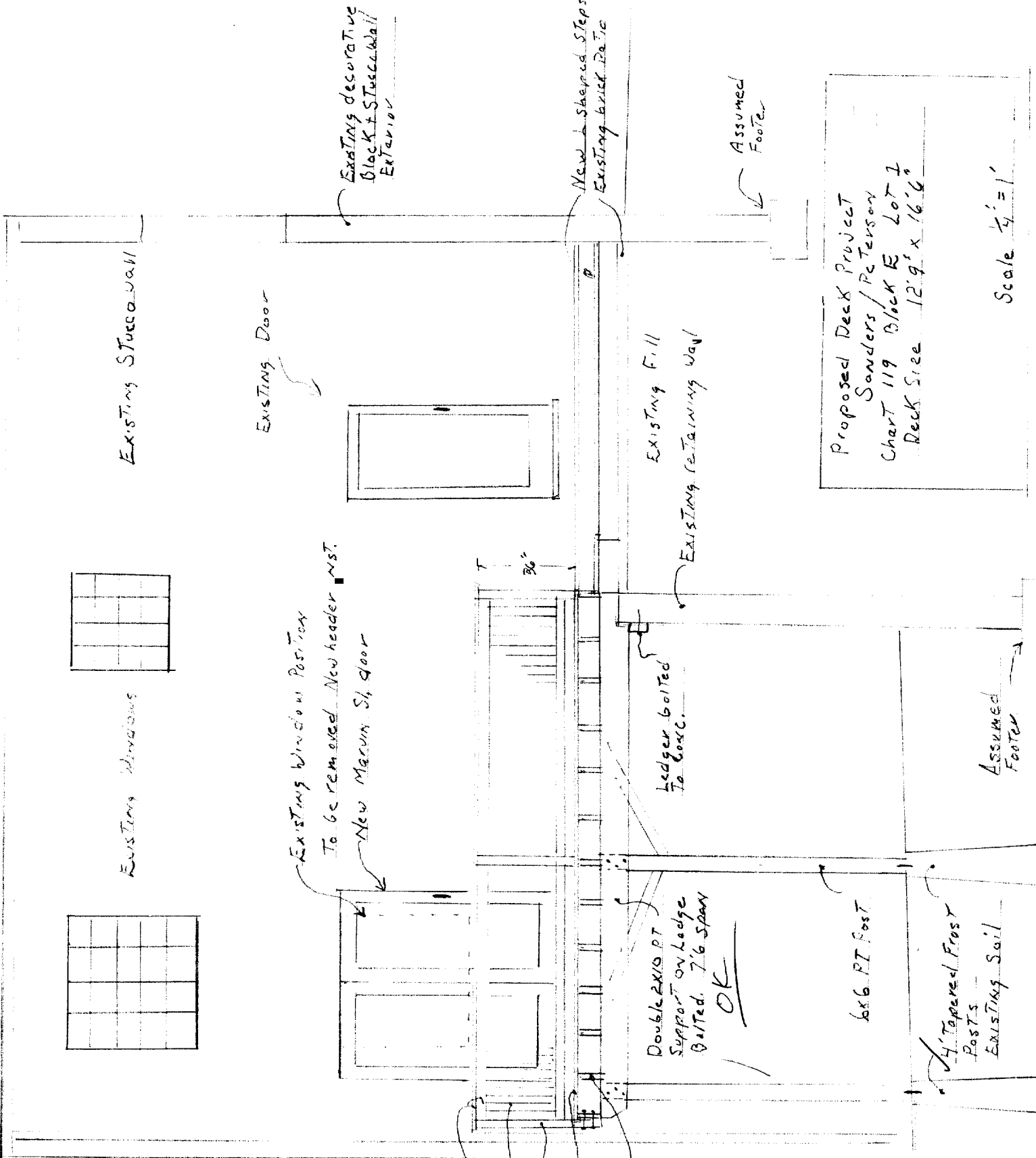
Composite Top Rail  
 Composite Rail Support  
 Painted Metal Bolster  
 4x4 Rail Posts 3' Tall

Composite 5/4 Surface  
 T-clip installed -  
 2x10 PT Frame 16 oc  
 about 11' span  
 2x10 Double Support  
 on Shoulder 7 1/2' span  
 lag Bolted to Post

6x6 PT Support Posts  
 Near House wall and 11' out  
 Note: Deck Eave straddling  
 Due To Stucco + Rain  
 Screen Void

4' Tall Tapered Frost  
 Part  
 Rigid Foam Insulation  
 Tied w/ Frost  
 Compact Fill  
 Undisturbed Soil





Existing decorative Block & Stucco Wall Exterior

New & Sheared Steps Existing brick Pat.

Assumed Footer

Existing Stucco Wall

Existing Door

Existing Fill  
Existing Retaining Wall

Proposed Deck Project  
Sanders / Peterson  
Chart 119 Block R Lot 1  
Deck Size 12'9" x 16'6"

Scale 1/4" = 1'



Existing Windows

Existing Window Position  
To be removed New header N.S.T.  
New Marvin Sl. door

Composite rail  
Painted Metal  
Balusters 4" x 4 Posts

Composite Deck  
Surface  
2x10 PT. FRAMS  
16 O/C SPAC  
10'6"

Note:  
Deck will NOT  
be attached to  
house by ledger  
because of stucco.  
Will stand on  
4x4 posts  
and existing  
retaining wall

Double 2x10 PT  
SUPPORT ON Ledger  
Bolted 7'6 SPAN  
OK

Ledge bolted  
to CONC.

6x6 PT Post

4" Tapered Frost  
Posts  
EXISTING Soil

Assumed  
Footer



# BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

\_\_\_\_\_ Pre-construction Meeting: Must be scheduled with your inspection team upon receipt of this permit. Jay Reynolds, Development Review Coordinator at 874-8632 must also be contacted at this time, before any site work begins on any project other than single family additions or alterations.

- Footing/Building Location Inspection: Prior to pouring concrete *depth*
- \_\_\_\_\_ Re-Bar Schedule Inspection: Prior to pouring concrete
- \_\_\_\_\_ Foundation Inspection: Prior to placing ANY backfill
- Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling *opening for slider*
- Final Certificate of Occupancy: Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. *Your* inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

\_\_\_\_\_ If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

\_\_\_\_\_ CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED

\_\_\_\_\_  
Signature of Applicant/Designee

\_\_\_\_\_  
Date

\_\_\_\_\_  
Signature of Inspections Official

\_\_\_\_\_  
Date

CBL: 119-E-1

Building Permit #: 04-0674