

City of Portland, Maine – Building or Use Permit Application 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

960518

Location of Construction: 58-66 Orland St		Owner: Adams, Greg		Phone: 773-5291	
Owner Address: 58 Orland St Portland, ME 04103		Leasee/Buyer's Name:		Phone:	
Contractor Name:		Address:		Phone:	
Past Use: 2-fam		Proposed Use: Same		COST OF WORK: \$ 4,000.00 PERMIT FEE: \$ 40.00	
Proposed Project Description: Make Interior Renovations (2nd fl)		FIRE DEPT. <input type="checkbox"/> Approved <input type="checkbox"/> Denied Signature:		INSPECTION: Use Group 93 Type 5/13 Signature: [Signature]	
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Conditions <input type="checkbox"/> Denied Signature:		Date:	
Permit Taken By: Mary Gresik		Date Applied For: 07 June 1996			

PERMIT ISSUED
 Permit Issued:
 JUN 11 1996
CITY OF PORTLAND

Zone: CBL: 119-2-007
 Zoning Approval: [Signature]
Special Zone or Reviews:
 Shoreland
 Wetland
 Flood Zone
 Subdivision
 Site Plan maj minor mm

Zoning Appeal
 Variance
 Miscellaneous
 Conditional Use
 Interpretation
 Approved
 Denied

Historic Preservation
 Not in District or Landmark
 Does Not Require Review
 Requires Review

Action:
 Approved
 Approved with Conditions
 Denied

Date: 6/11/96

PERMIT ISSUED WITH REQUIREMENTS

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

SIGNATURE OF APPLICANT: [Signature] Greg Adams ADDRESS: DATE: 07 June 1996 PHONE:

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE PHONE:

CEO DISTRICT 6

COMMENTS

11-5-96 Work is all completed

Inspection Record

Type	Date
Foundation: _____	_____
Framing: _____	_____
Plumbing: _____	_____
Final: _____	_____
Other: _____	_____

LAND USE - ZONING REPORT

ADDRESS: 58-60 Orland St DATE: 6/10/96

REASON FOR PERMIT: interior renovations to 2nd floor

BUILDING OWNER: Greg Adams C-B-L: 119-D-007

PERMIT APPLICANT: owner

APPROVED: with conditions DENIED: _____

#6

CONDITION(S) OF APPROVAL

1. During its existence, all aspects of the Home Occupation criteria, Section 14-410, shall be maintained.
2. The footprint of the existing _____ shall not be increased during maintenance reconstruction.
3. All the conditions placed on the original, previously approved, permit issued on _____ are still in effect for this amendment.
4. Your present structure is legally nonconforming as to rear and side setbacks. If you were to demolish the building on your own volition, you will not be able to maintain these same setbacks. Instead you would need to meet the zoning setbacks set forth in today's ordinances. In order to preserve these legally non-conforming setbacks, you may only rebuild the garage in place and in phases.
5. This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
6. Our records indicate that this property has a legal use of two units. Any change in this approved use shall require a separate permit application for review and approval.
7. Separate permits shall be required for any signage.
8. Separate permits shall be required for future decks and/or garage.
9. Other requirements of condition _____

Marge Schmuckal

Marge Schmuckal, Zoning Administrator,
Asst. Chief of Code Enforcement

Applicant: Greg Adams
Address: 58-60 Orland St
Assessors No.: 119-D-007

Date: 6/10/96

CHECK-LIST AGAINST ZONING ORDINANCE

Date - Existing
Zone Location - R-5

2 units since prior to 1951

Interior or corner lot -

Use - interior renovating to 2nd floor

Sewage Disposal -

Rear Yards -

to remain 2 units

Side Yards -

Front Yards -

Projections -

Height -

Lot Area - 6,691

Building Area -

Area per Family -

Width of Lot -

Lot Frontage -

Off-street Parking -

Loading Bays -

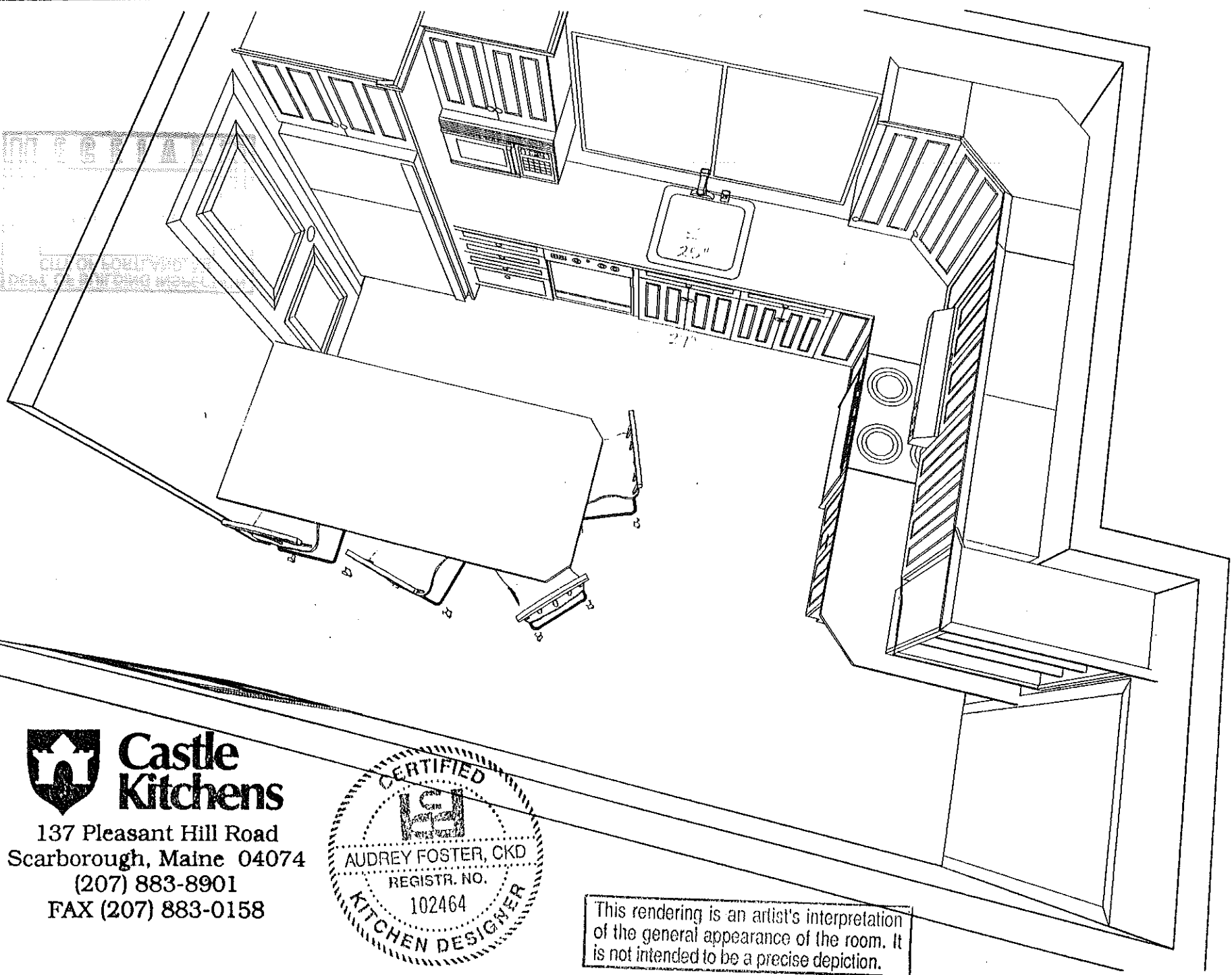
Site Plan -

~~46 x 24~~

Shoreland Zoning -

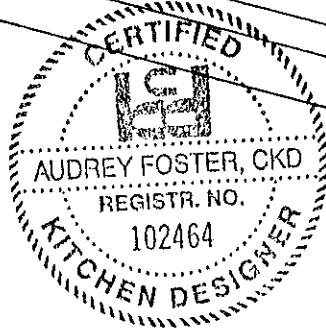
Flood Plains -

1974 Shows 2 fam
1951 Shows 2 fam



Castle Kitchens

137 Pleasant Hill Road
 Scarborough, Maine 04074
 (207) 883-8901
 FAX (207) 883-0158



This rendering is an artist's interpretation of the general appearance of the room. It is not intended to be a precise depiction.

Castle Kitchens	Client: Steven & Debra Latta	Range Graphics	View Perspective
137 Pleasant Hill Rd.	Phone: 772-55291	Double A Right Door	Scale: 1/2" = 1'-0"
Scarborough Me.	Design: LARIBELL ROOM	Handle: A Right Handle	Date: 6/6/96
1-800-439-4030			Page: 2

58 Orland St.

