

Outline Specification for :

Renovations to 51 Beacon Street
Portland, Me.

Section 01010 Summary of Work

1.01 Work required to complete the work at 51 Beacon Street includes the following tasks. Limited demolition of existing built up roofing at existing front porch and mudroom, ceiling finish at porch, framing as required, porch deck, eave trim as required, existing siding and deficient columns. New work includes; new EPDM membrane at new flat roof and new substrate. New columns and features as noted in the drawings, new windows, exterior stair, siding, porch deck, trim, shingles, framing, concrete footings and interior finish at sunroom.

Section 02070 Selective Demolition

1.01 Protect existing adjacent features such as windows, trim and other fixtures prior to demolition. Replace at no cost to owner any existing features to remain damaged during construction.

1.02 Remove from site and dispose of all rotted and deficient materials prior to installation of new materials. Save pieces of trim that would be useful to match new fabricated pieces.

Section 03000 Concrete

1.01 All new construction to bear on sonotube piers pinned to footing 4' min. below grade. Tapered piers may be used. All concrete to be 5,000 lb. min. Provide with Simpson post base anchors for use with 6 x 6 posts at each footing typ.

Section 06100 Wood and Plastics

1.01 Rough Blocking- Provide and install stable dimensional solid wood blocking where indicated and necessary for a complete job. Install blocking at walls to receive exterior trim

1.02 Framing- Provide structural grade dimensional lumber as called for in the plans. All posts exposed to weather shall be pressure treated. All attachment of structural lumber shall be according to the best practices of the trade.

1.03 Trim- All trim shall be as called out for in the plans. Material shall be clear pine backprimed and sealed. Match existing adjacent trim profiles to remain. Interior trim shall be flat stock painted.

1.04 Floor- Floor shall be strip oak with 3 coat transparent finish.

1.05 Gutters- Provide one piece cedar gutters at perimeter of front porch.

1.06 Porch Deck- Provide and install fir decking at porch deck and stair treads.

1.07 Wood Shingle Siding- Provide and install clear cedar shingles to match existing in coursing. Investigate existing exterior finish to verify it is in fact shingles and whether it is white or red cedar.

Section 0700 Thermal and Moisture Protection

1.01 Roof- Direct adhered EPDM membrane on smooth 3/4" exterior grade plywood substrate. Lap seal all edges to metal drip edge. Pitch all flat roofs to drain. Provide round copper downspouts as required.

1.02 Insulate all floors and walls of sunroom with fiberglass batt insulation as shown in the drawings. Provide vapor barrier at walls, ceilings and Tyvek under floor.

Section 08000 - Doors and Windows

1.01 All doors to be Andersen as shown in the plans. Windows shall be priced as Andersen or fixed custom plate glass windows in wood frames.

Section 09000 - Finishes

1.01 New porch deck shall be cleaned and receive 2 coats of clear penetrating preservative.
1.02 All interior sheetrock shall be primed and painted 2 coats.

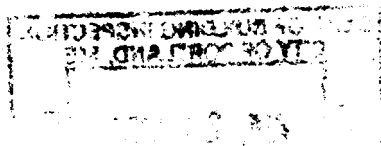
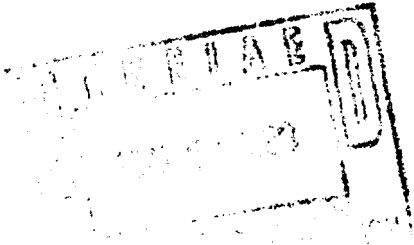
1.03 Items to be painted shall be:
Interior trim-Color as chosen by owner, doors to be painted color chosen by owner.
Wall paint- Color by owner

1.04 All exterior woodwork including rails, trim, columns, and ceilings to receive 1 prime coat and 2 finish coats of Alkyd paint. Exterior shingles to be dipped in clear penetrating preservative prior to installation. Final shingle color to be determined at a later date.

1.05 Paint all rough framing visible behind lattice black.

Section 16000-Electrical

1.01 The Electrical Contractor shall provide outlets and switches as directed by the owner at the sunroom. Wire ceiling fixture to be provided by owner.

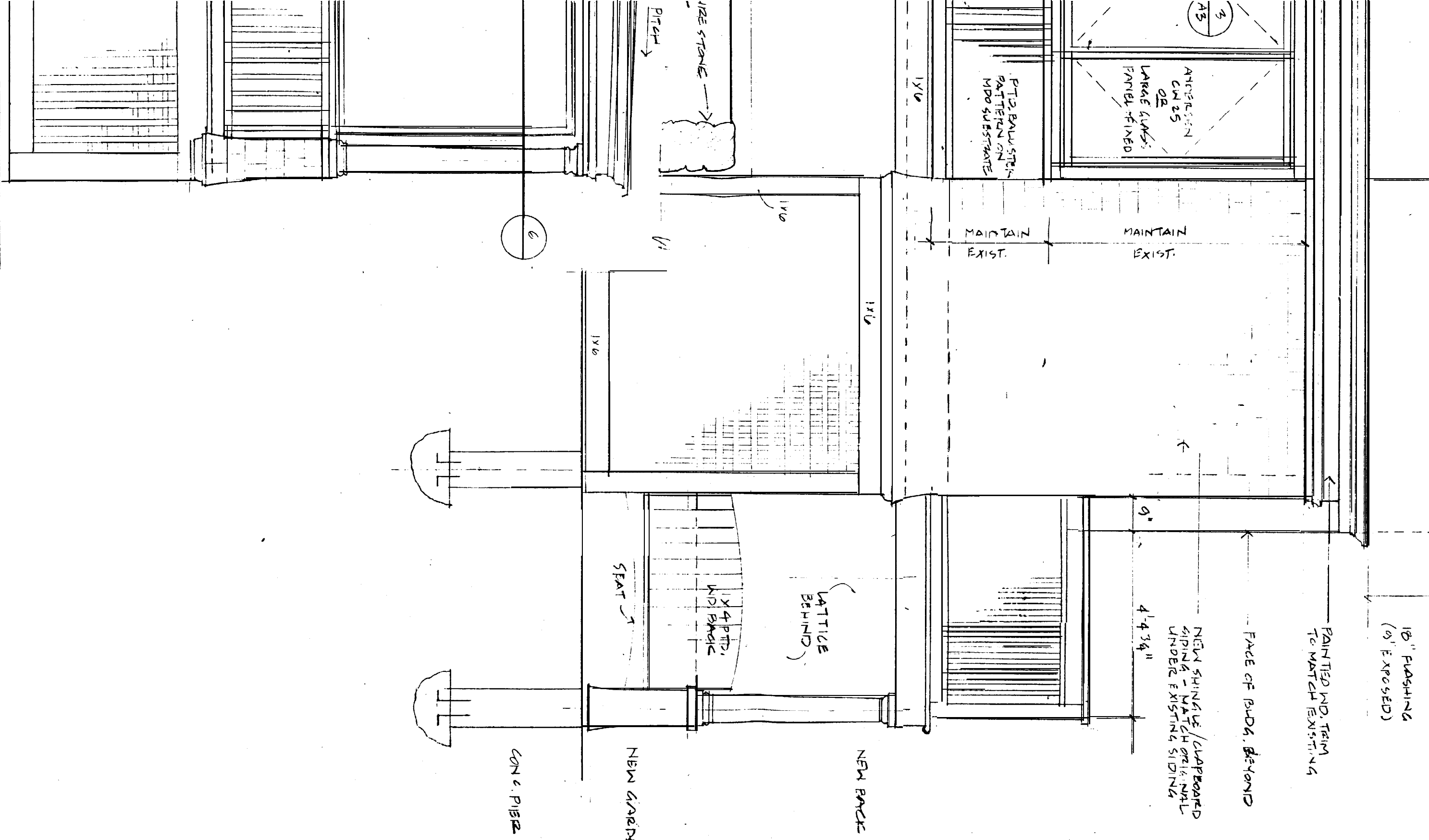


RENOVATIONS TO 51 BEACON STREET
THE FREUND RESIDENCE
PORTLAND, ME, 04103

ARCHITECT:
J. DELANEY
PORTLAND, ME

A5

1/2" = 1'-0"
SUNROOM ELEV.



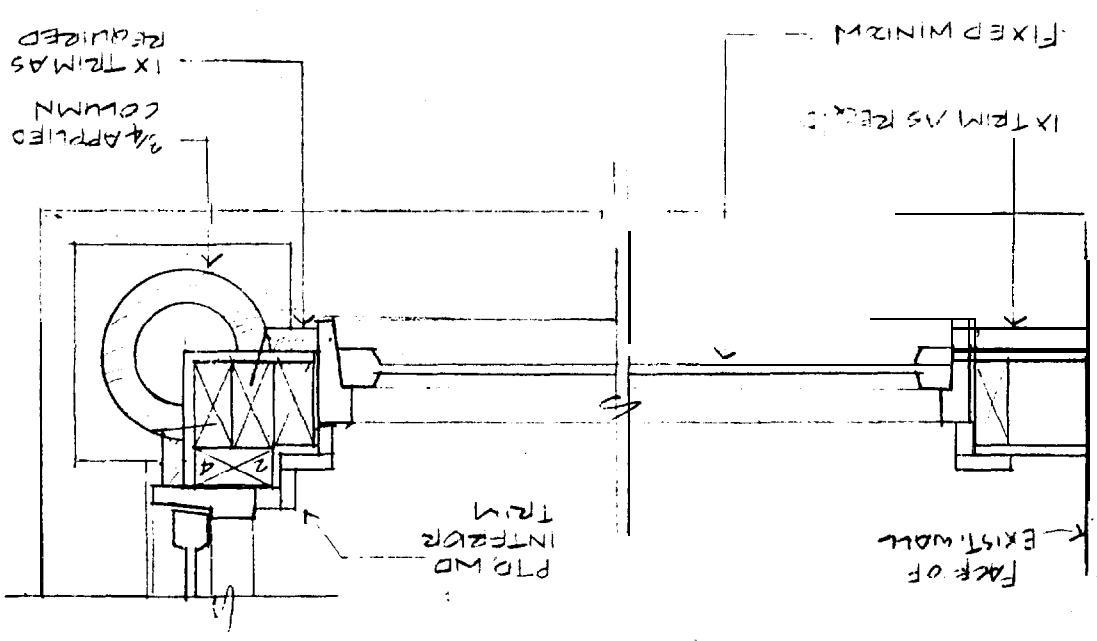
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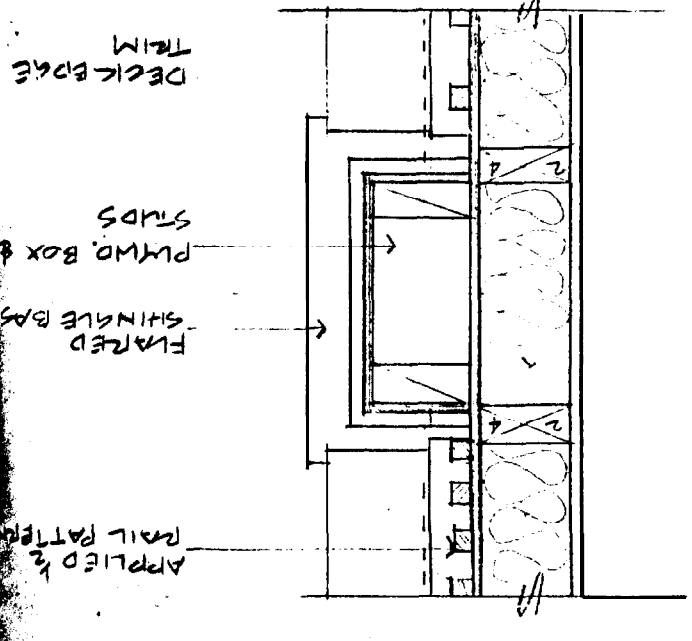
SUNROOM

A3

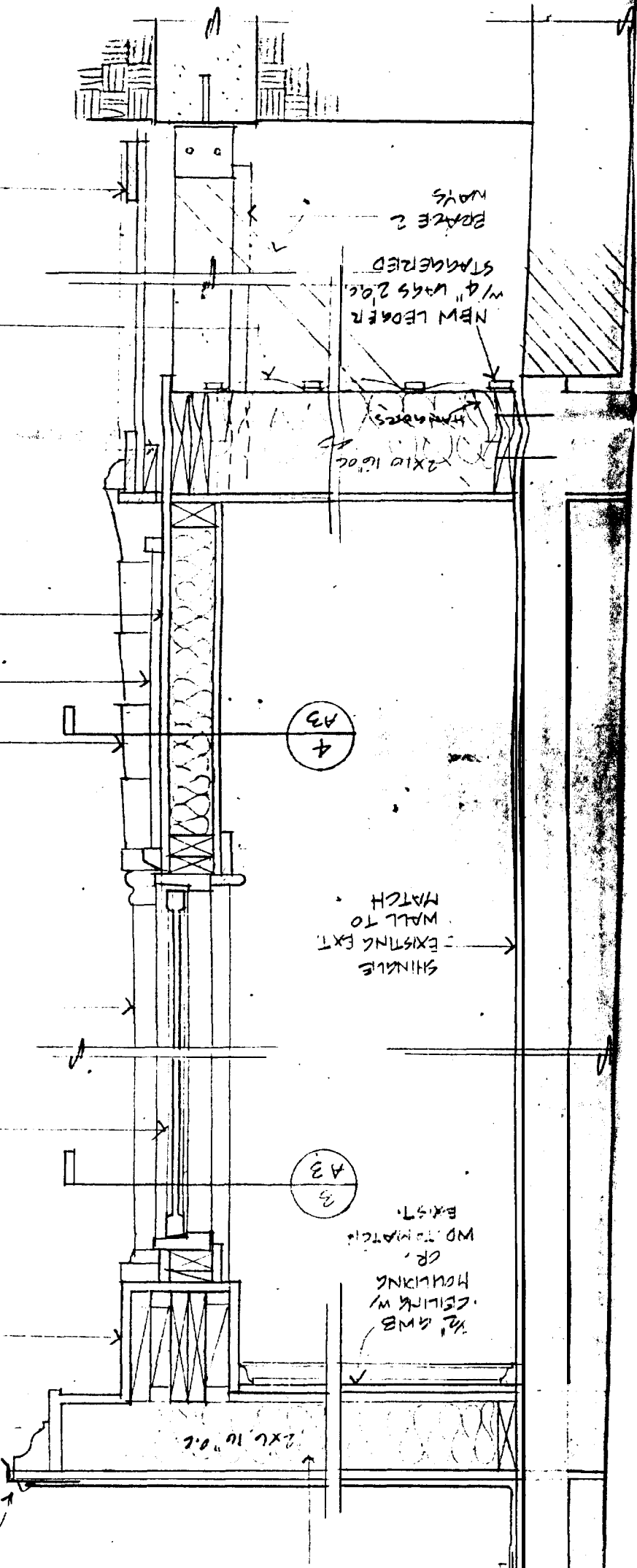
6 CORNER & WALL DETAIL



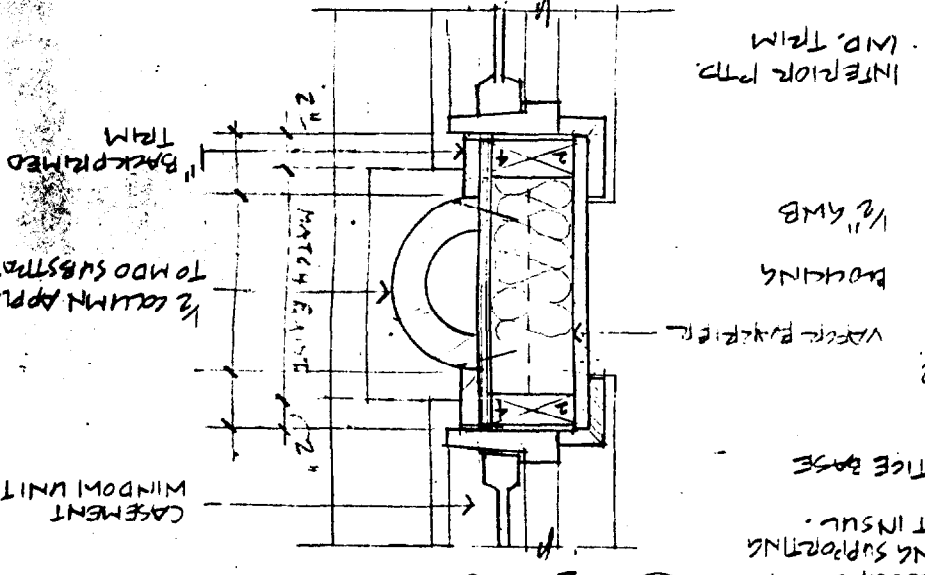
4 DTL. C. PIER



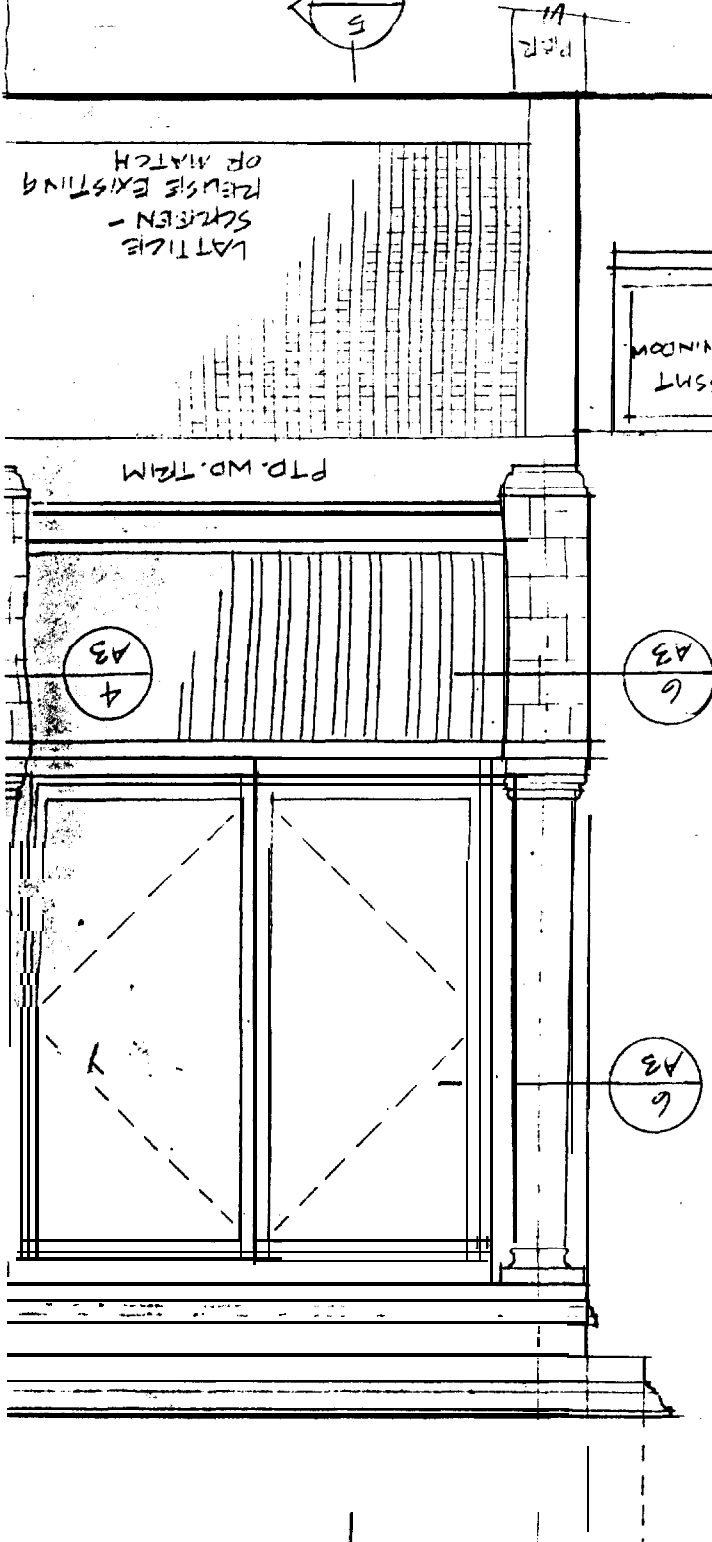
5 WALL SECTION



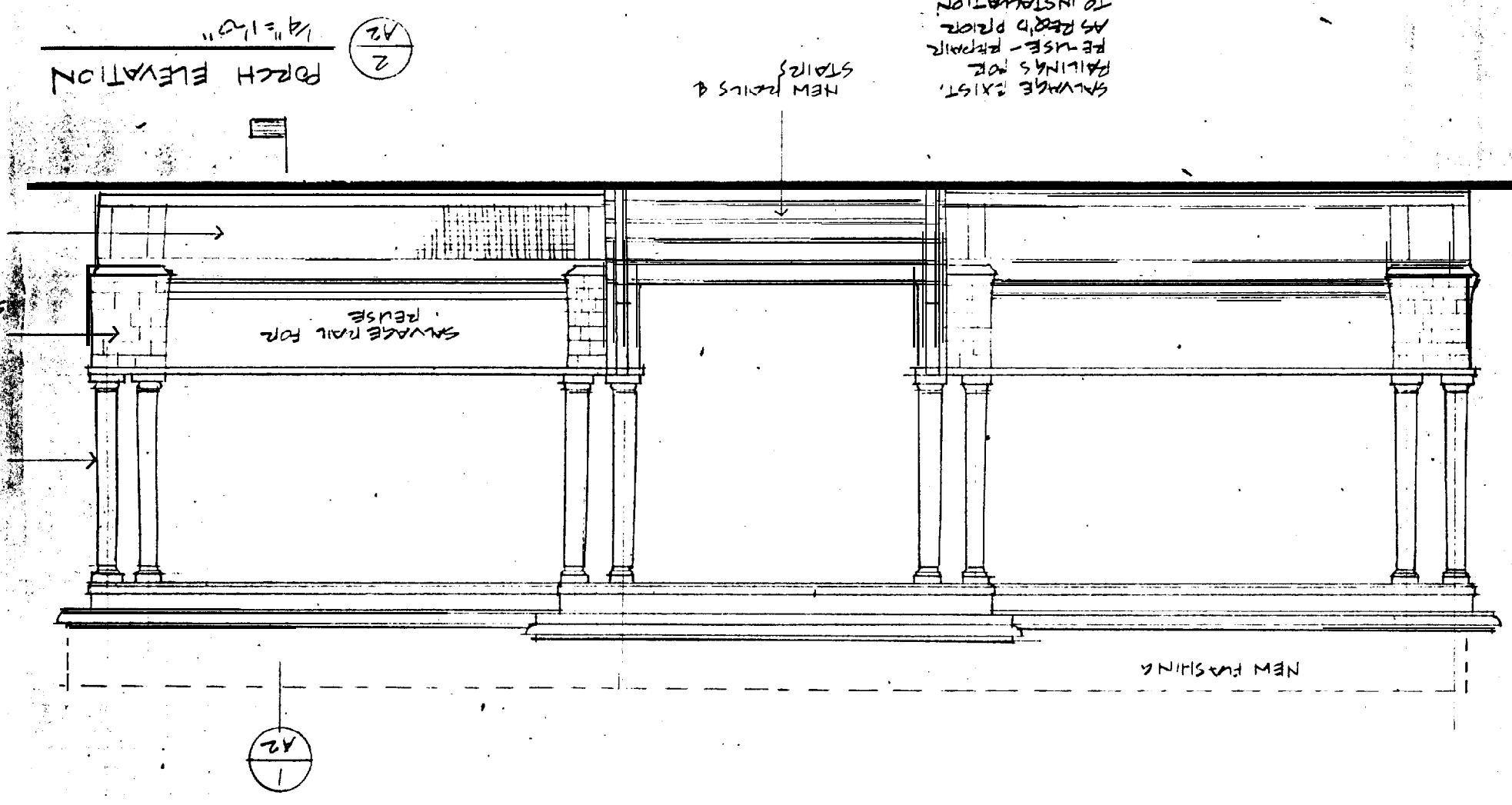
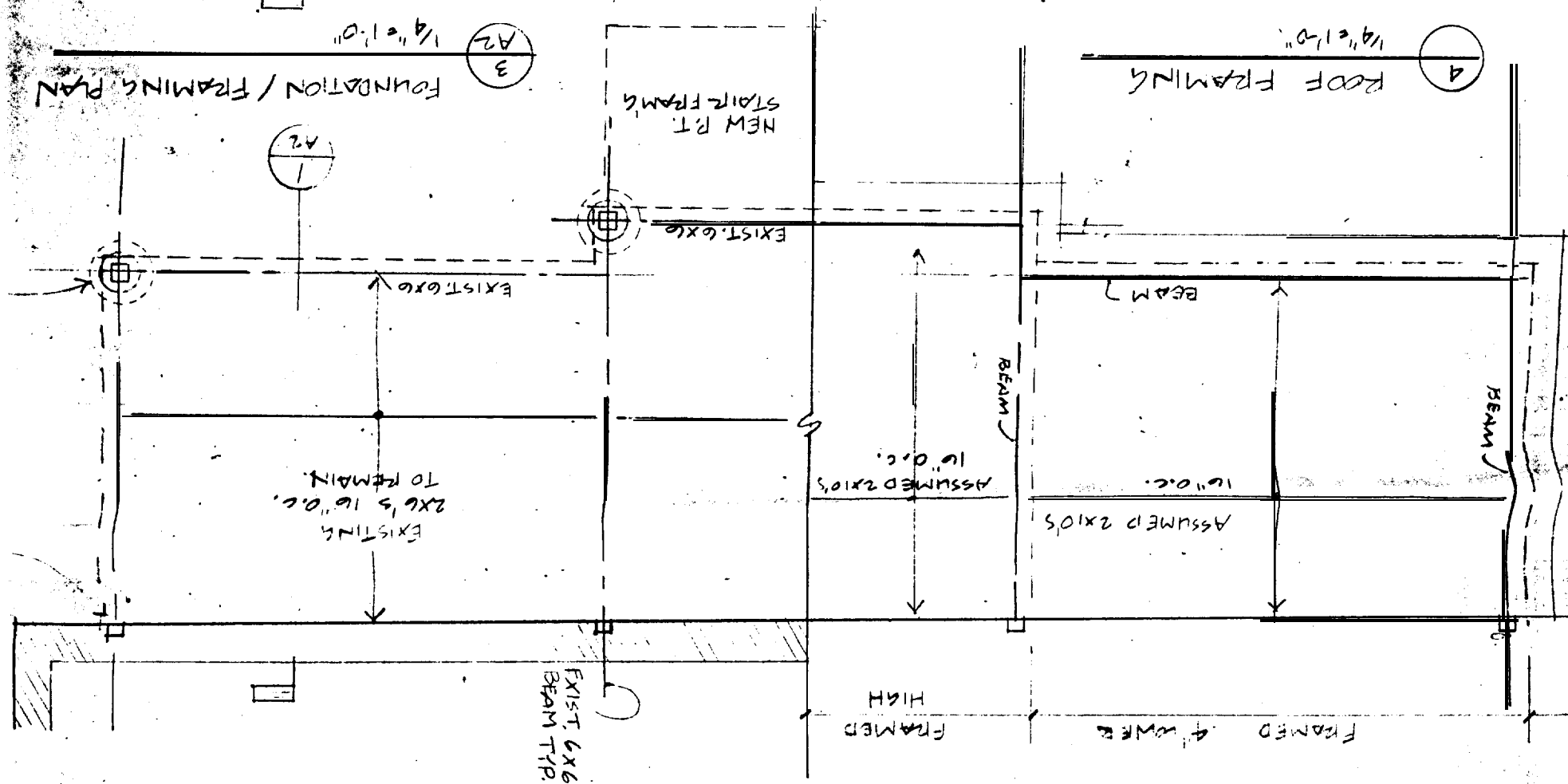
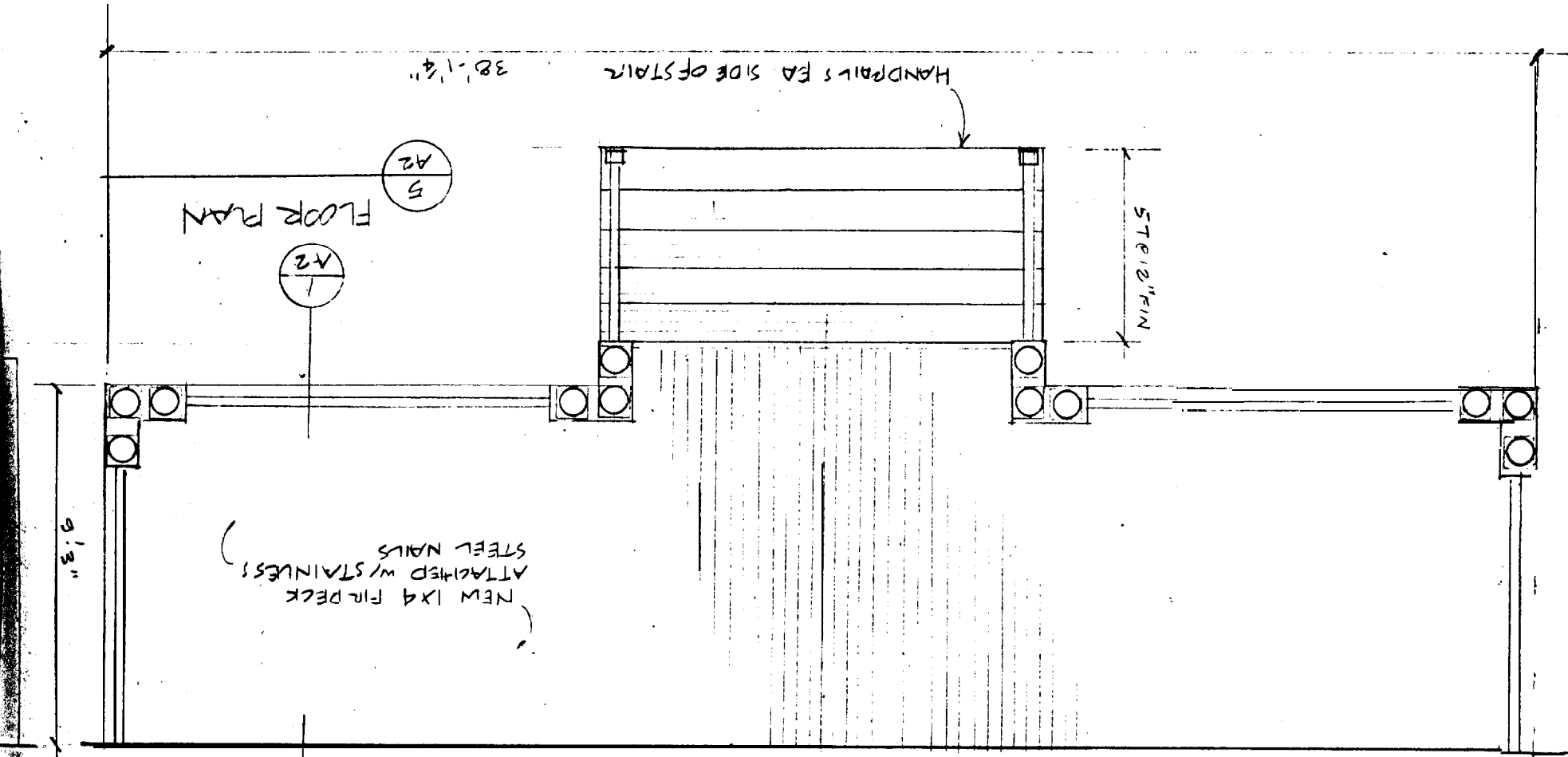
3 DTL. C. COLUMN

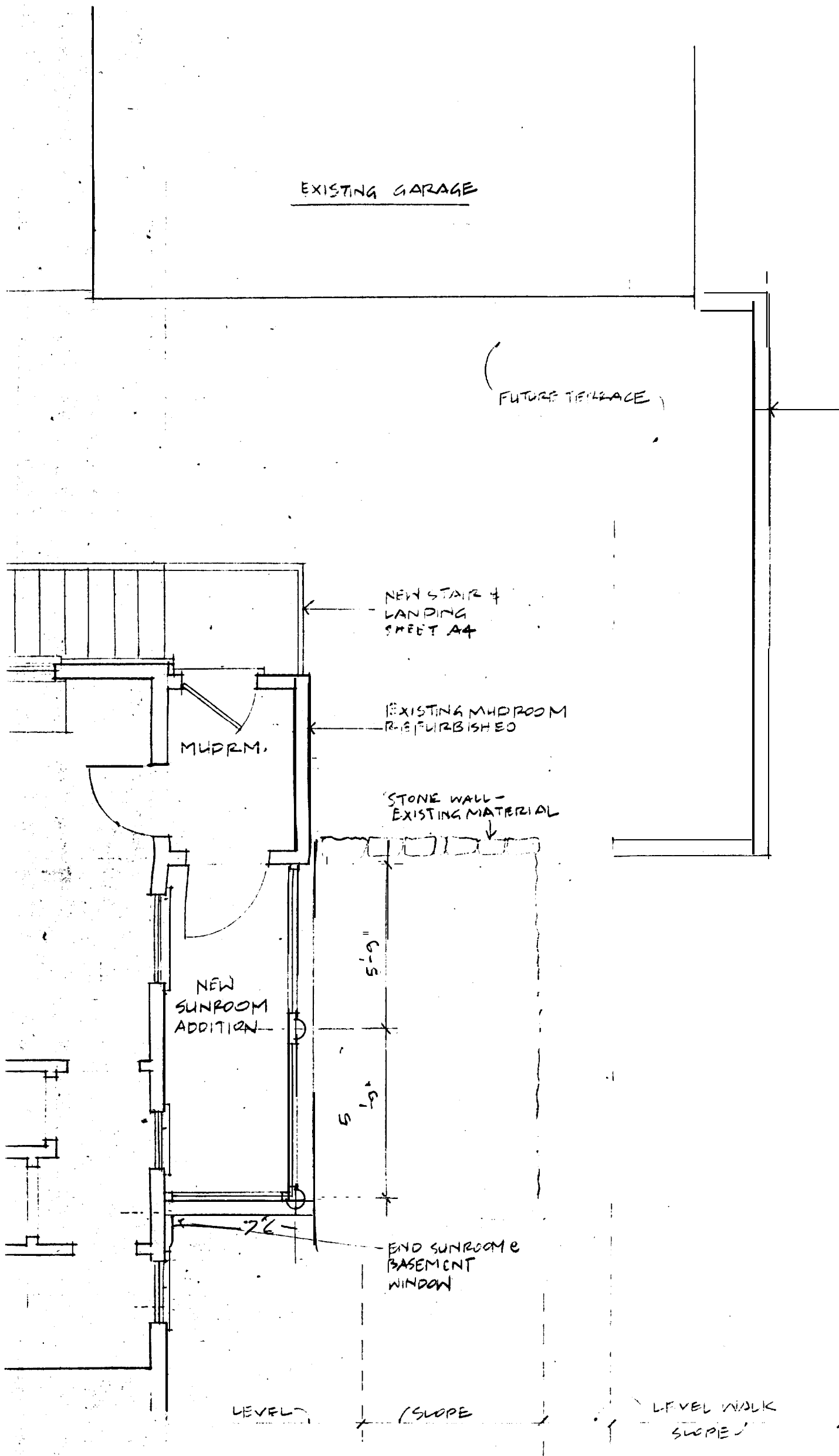


1 SUNROOM ELEVATION



INTERIOR PTD. W.D. TRIM
 1/2" G.W.B.
 BRACKING
 VAPOR BARRIER
 PTD. W.D. TRIM
 W.D. LATTICE BASE
 TYP. SECURED W/ STRAPPING SUPPORTING 10' BATT INSUL.
 P.T. BRACKING SPACED OFF PTD. W.D. BEHIND
 DECK-EDGE TRIM
 PTD. W.D. PLYWD. BEHIND
 APPLIED RAIL PATTERN
 SHINGLE CLAD COLUMN BASE
 APPLIED 3/4" COLUMN
 NEW ANDERSEN CASSEMENT
 EXISTING CASSED HEADER TO REMAIN - MATCH NEW CONST.
 MUDROOM - MATCH NEW CONST.
 NEW LEADER W/ 4" WAGS 2' O.C. STAGGERED
 NEW LEADER W/ 4" WAGS 2' O.C.
 2x10 16' O.C.
 SHINGLE EXIST. WALL TO MATCH
 1/2" G.W.B. CEILING W/ HOULING CR. W.D. TO MATCH EXIST.
 2x10 16' O.C.
 REPAIRS TO NEW DRAINAGE ROOF LAPPED



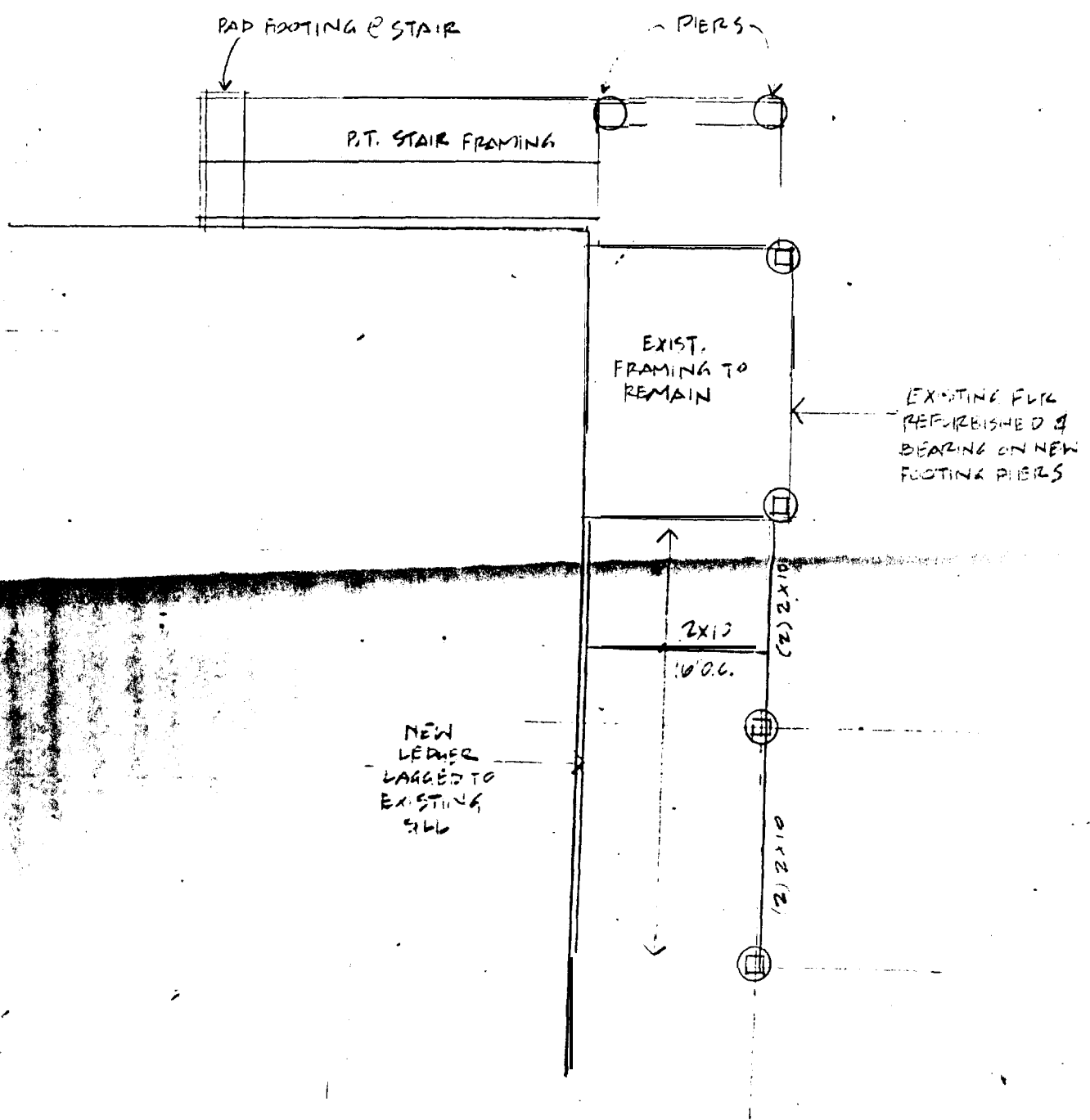


POSSIBLE
RETAINING
WALL

APPROX.
POSITION OF
PROPERTY LINE
(FIELD MEASURED)
TO PIN

*over 8' to
side set back*

EDGE OF DRIVE



2 SUNROOM FOUNDATION PLAN
A1