

# DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read  
Application And  
Notes, If Any,  
Attached

BUILDING DEPARTMENT  
**PERMIT**

Permit Number: 070179

PERMIT ISSUED

MAR 7 2007

CITY OF PORTLAND

This is to certify that CHASE ELIZABETH O & ANTON R CHASE JR JTS/Ste Bau

has permission to Rebuild attatched garage and deck and a new room to dormer

AT 25 DEBLOIS ST

119 C016001

provided that the person or persons who obtain or accept this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission is procured before this building or part thereof is started or closed-in. 4 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

### OTHER REQUIRED APPROVALS

Fire Dept. \_\_\_\_\_

Health Dept. \_\_\_\_\_

Appeal Board \_\_\_\_\_

Other \_\_\_\_\_

Department Name

*Thomas M. Mankley* 3/7/07  
Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**

# City of Portland, Maine - Building or Use Permit Application

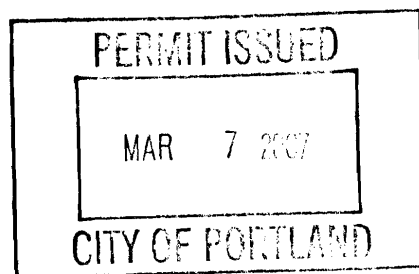
389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 07-0179	Issue Date:	CBL: 119 C016001
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Location of Construction: 25 DEBLOIS ST	Owner Name: CHASE ELIZABETH O & CLINT	Owner Address: 25 DEBLOIS ST	Phone:
Business Name:	Contractor Name: Steve Bauer	Contractor Address: 22 Fleetwood Dr Portland	Phone: 2077610266
Lessee/Buyer's Name	Phone:	Permit Type: Garages - Attached	Zone: R3

Past Use: Residential Single Family <i>connected to permit 07-0039 (demo)</i>	Proposed Use: Residential Single Family Rebuild attached garage and deck and add new roof to dormers	Permit Fee: \$920.00	Cost of Work: \$90,000.00	CEO District: 3
Proposed Project Description: Rebuild attached garage and deck and add new roof to dormers <i>- garage is being added on b - shape of new deck is different - relocate shed</i>		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied		INSPECTION: Use Group: <i>R3</i> Type: <i>SB</i> <i>IRC 2003</i>
		Signature:		Signature: <i>Jm 3/7/07</i>
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)				
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied				
Signature: _____ Date: _____				

Permit Taken By: dmartin	Date Applied For: 02/14/2007	<b>Zoning Approval</b>		
<ol style="list-style-type: none"> <li>This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</li> <li>Building permits do not include plumbing, septic or electrical work.</li> <li>Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</li> </ol>		Special Zone or Reviews	Zoning Appeal	Historic Preservation
		<input type="checkbox"/> Shoreland  <input type="checkbox"/> Wetland  <input type="checkbox"/> Flood Zone  <input type="checkbox"/> Subdivision  <input type="checkbox"/> Site Plan  Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> <i>OK w/ conditions</i> Date: <i>2/20/07</i> <i>APM</i>	<input type="checkbox"/> Variance  <input type="checkbox"/> Miscellaneous  <input type="checkbox"/> Conditional Use  <input type="checkbox"/> Interpretation  <input type="checkbox"/> Approved  <input type="checkbox"/> Denied  Date: _____	<input checked="" type="checkbox"/> Not in District or Landmark  <input type="checkbox"/> Does Not Require Review  <input type="checkbox"/> Requires Review  <input type="checkbox"/> Approved  <input type="checkbox"/> Approved w/Conditions  <input type="checkbox"/> Denied <i>ABU</i> Date: _____



## CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE



# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>25 DEBLOIS ST PORTLAND</u>		
Total Square Footage of Proposed Structure <u>1,925 SF</u>		Square Footage of Lot <u>5,751 SF</u>
Tax Assessor's Chart, Block & Lot Chart#      Block#      Lot# <u>119</u> <u>C</u> <u>16</u>	Owner: <u>CLINT CHASE</u>	Telephone: <u>879-7782</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>25 DEBLOIS ST</u> <u>PORTLAND 04103</u>	Cost Of Work: \$ <u>90,000<sup>00</sup></u> Fee: \$ <u>920<sup>00</sup></u> C of O Fee: \$ _____
Current Specific use: <u>Garage + DECK of single family home</u> If vacant, what was the previous use? _____ Proposed Specific use: <u>Garage, deck, single family</u> <u>*and remodel</u> Project description: <u>1) rebuild garage on proper foundation,</u> <u>2) rebuild deck to code, 3) rebuild roof over dormers</u> <u>to give flats a pitch and improve look of house.</u>		
Contractor's name, address & telephone: <u>STEVEN BAUER-22 Fleetwood Rd. Portland</u>		
Who should we contact when the permit is ready: <u>Clint Chase</u> <u>04103</u>		
Mailing address: <u>see above</u> Phone: <u>879-7782</u>		

Please submit all of the information outlined in the Commercial Application Checklist.  
Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>Clint Chase</u>	Date: <u>2/7/07</u>
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This is not a permit; you may not commence ANY work until the permit is issued.

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No:	Date Applied For:	CBL:
07-0179	02/14/2007	119 C016001

Location of Construction: 25 DEBLOIS ST	Owner Name: CHASE ELIZABETH O & CLINT	Owner Address: 25 DEBLOIS ST	Phone:
Business Name:	Contractor Name: Steve Bauer	Contractor Address: 22 Fleetwood Dr Portland	Phone (207) 761-0266
Lessee/Buyer's Name	Phone:	Permit Type: Garages - Attached	

Proposed Use: Residential Single Family - Rebuild attached garage & add on to back, rebuild deck (changing shape), add new roof to dormers, and relocate shed.	Proposed Project Description: Rebuild attached garage & add on to back, rebuild deck (changing shape), add new roof to dormers and relocate shed.
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**Dept:** Zoning      **Status:** Approved with Conditions      **Reviewer:** Ann Machado      **Approval Date:** 02/20/2007**Note:** The main part of the garage is being rebuilt in the existing footprint. The new garage is a little higher than the old one, but this has been approved by zoning. **Ok to Issue:** ☒

- 1) As discussed during the review process, the property must be clearly identified prior to pouring concrete and compliance with the required setbacks must be established. Due to the proximity of the setbacks of the proposed addition, it may be required to be located by a surveyor.
- 2) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
- 3) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.

**Dept:** Building      **Status:** Approved with Conditions      **Reviewer:** Tom Markley      **Approval Date:** 03/07/2007**Note:** **Ok to Issue:** ☒

- 1) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.
- 2) Separate permits are required for any electrical, plumbing, or HVAC systems. Separate plans may need to be submitted for approval as a part of this process.

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<b>Permit No:</b> 07-0179		<b>Date Applied For:</b> 02/14/2007	<b>CBL:</b> 119 C016001
<b>Location of Construction:</b> 25 DEBLOIS ST	<b>Owner Name:</b> CHASE ELIZABETH O & CLINT	<b>Owner Address:</b> 25 DEBLOIS ST	<b>Phone:</b>
<b>Business Name:</b>	<b>Contractor Name:</b> Steve Bauer	<b>Contractor Address:</b> 22 Fleetwood Dr Portland	<b>Phone:</b> (207) 761-0266
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Garages - Attached	
<b>Proposed Use:</b> Residential Single Family - Rebuild attached garage & add on to back, rebuild deck (changing shape), add new roof to dormers, and relocate shed.		<b>Proposed Project Description:</b> Rebuild attached garage & add on to back, rebuild deck (changing shape), add new roof to dormers and relocate shed.	
<b>Dept:</b> Zoning <b>Status:</b> Approved with Conditions <b>Reviewer:</b> Ann Machado <b>Approval Date:</b> 02/20/2007 <b>Note:</b> The main part of the garage is being rebuilt in the existing footprint. The new garage is a little higher than the old one, but this has been approved by zoning. <b>Ok to Issue:</b> <input checked="" type="checkbox"/> 1) As discussed during the review process, the property must be clearly identified prior to pouring concrete and compliance with the required setbacks must be established. Due to the proximity of the setbacks of the proposed addition, it may be required to be located by a surveyor. 2) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work. 3) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.			
<b>Dept:</b> Building <b>Status:</b> Approved with Conditions <b>Reviewer:</b> Tom Markley <b>Approval Date:</b> 03/07/2007 <b>Note:</b> <b>Ok to Issue:</b> <input checked="" type="checkbox"/> 1) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work. 2) Separate permits are required for any electrical, plumbing, or HVAC systems. Separate plans may need to be submitted for approval as a part of this process.			



## Residential Additions/Alterations Permit Application Checklist

All of the following information is required and must be submitted. Checking off each item as you prepare your application package will ensure your package is complete and will help to expedite the permitting process.

The Maine Home Construction Contracts Act requires that any home construction or repair work for more than \$3000 in materials or labor must be based on a written contract unless the parties agree to exempt themselves. A sample contract is available on the City's website at [www.portlandmaine.gov](http://www.portlandmaine.gov), in the Inspection Office, Room 315 of Portland City Hall or call (207)874-8703 to have one mailed to you.

**One (1) complete set of construction drawings must include:**

- ☒ Cross sections w/framing details
- ☒ Floor plans and elevations existing & proposed
- ☐ Detail removal of all partitions & any new structural beams
- ☐ Detail any new walls or permanent partitions
- ☐ Stair details including dimensions of: rise/run, head room, guards/handrails, baluster spacing
- ☐ Window and door schedules
- ☐ Foundation plans w/required drainage and damp proofing (if applicable)
- ☐ Detail egress requirements and fire separation/sound transmission ratings (if applicable)
- ☐ Insulation R-factors of walls, ceilings & floors & U-factors of windows per the IECC 2003
- ☐ Deck construction including: pier layout, framing, fastenings, guards, stair dimensions
- ☐ Reduced plans or electronic files in pdf format are required if originals are larger than 11" x 17"
- ☐ Proof of ownership is required if it is inconsistent with the assessors records

**Separate permits are required for internal & external plumbing, HVAC, and electrical installations.**

**If there are any additions to the footprint or volume of the structure, any new or rebuilt structures or, accessory detached structures a plot plan is required. A plot must include:**

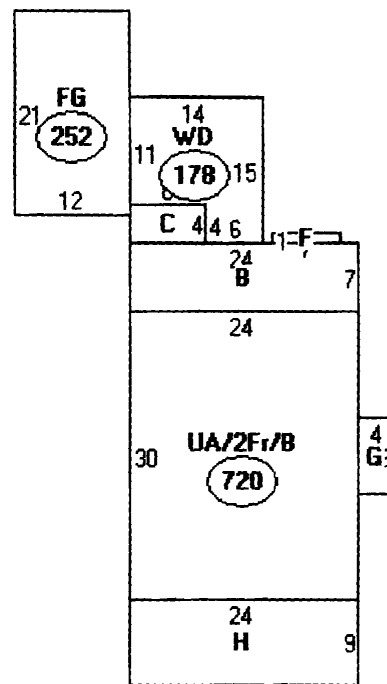
- ☒ The shape and dimension of the lot, footprint of the proposed structure and the distance from the actual property lines. Structures include decks, porches; bow windows, cantilever sections and roof overhangs, sheds, pools, garages and any other accessory structures must be shown with dimensions if not to scale.
- ☒ Location and dimensions of parking areas and driveways
- ☐ A change of use may require a site plan exemption application to be filed.

**Please submit all of the information outlined in this application checklist. If the application is incomplete, the application may be refused.**

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), stop by the Building Inspections office, room 315 City Hall or call 874-8703.

**Permit Fee: \$30.00 for the first \$1000.00 construction cost, \$10.00 per additional \$1000.00 cost**  
**This is not a Permit; you may not commence any work until the Permit is issued.**





# Descriptor/Area

A: UA/2Fr/B  
720 sqft  
B: 1Fr/B  
168 sqft  
C: OFF  
32 sqft  
D: FG  
252 sqft  
E: WD  
178 sqft  
F: FBAY  
7 sqft  
G: OFF  
32 sqft  
H: 1Fr  
216 sqft



This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

### Current Owner Information

<b>Card Number</b>	1 of 1
<b>Parcel ID</b>	119 C016001
<b>Location</b>	25 DEBLOIS ST
<b>Land Use</b>	SINGLE FAMILY

R3

<b>Owner Address</b>	CHASE ELIZABETH O & CLINTON B CHASE JR JTS 25 DEBLOIS ST PORTLAND ME 04103
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<b>Book/Page</b>	16459/150
<b>Legal</b>	119-C-16 DEBLOIS ST 23-27  5751 SF

### Current Assessed Valuation

<b>Land</b>	<b>Building</b>	<b>Total</b>
\$133,800	\$141,800	\$275,600

### Property Information

<b>Year Built</b>	<b>Style</b>	<b>Story Height</b>	<b>Sq. Ft.</b>	<b>Total Acres</b>	
1930	Old Style	2	1831	0.132	
<b>Bedrooms</b>	<b>Full Baths</b>	<b>Half Baths</b>	<b>Total Rooms</b>	<b>Attic</b>	<b>Basement</b>
3	1	1	7	Unfin	Full

### Outbuildings

<b>Type</b>	<b>Quantity</b>	<b>Year Built</b>	<b>Size</b>	<b>Grade</b>	<b>Condition</b>
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### Sales Information

<b>Date</b>	<b>Type</b>	<b>Price</b>	<b>Book/Page</b>
06/26/2001	LAND + BLDING	\$285,000	16459-150

### Picture and Sketch

<u><a href="#">Picture</a></u>	<u><a href="#">Sketch</a></u>	<u><a href="#">Tax Map</a></u>
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[Click here to view Tax Roll Information.](#)

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or e-mailed.

**New Search!**

# BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

<u>✓</u> Footing/Building Location Inspection:	Prior to pouring concrete
<u>✓</u> Re-Bar Schedule Inspection:	Prior to pouring concrete
<u>✓</u> Foundation Inspection:	Prior to placing ANY backfill
<u>✓</u> Framing/Rough Plumbing/Electrical:	Prior to any insulating or drywalling
<u>✓</u> Final/Certificate of Occupancy:	Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects **DO** require a final inspection

x EOR If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

NA CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED

x [Signature]  
Signature of Applicant/Designee

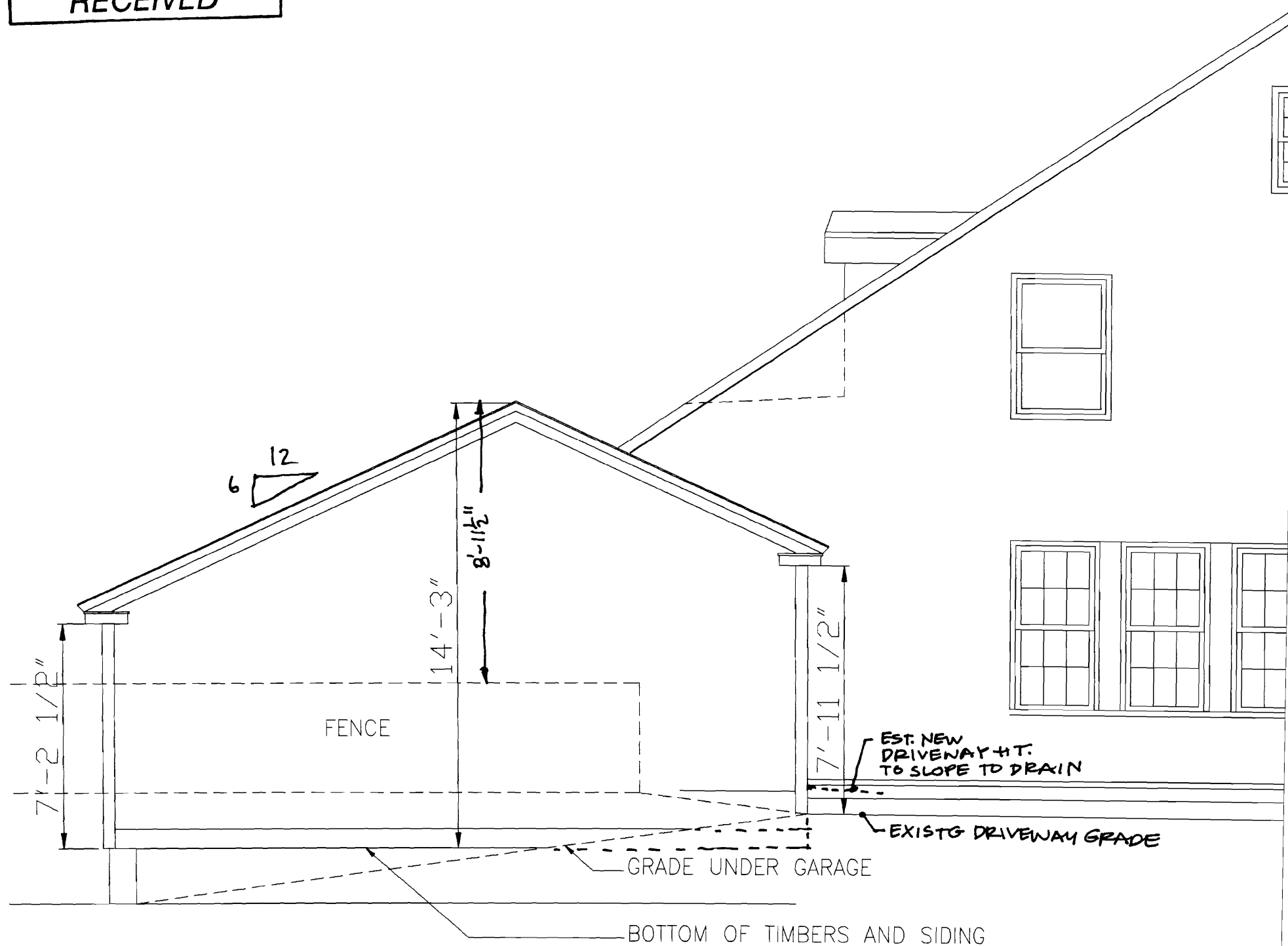
3/7/07  
Date

\_\_\_\_\_  
Signature of Inspections Official

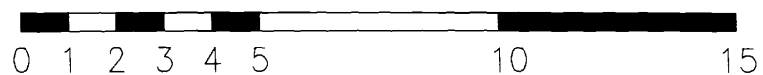
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Date

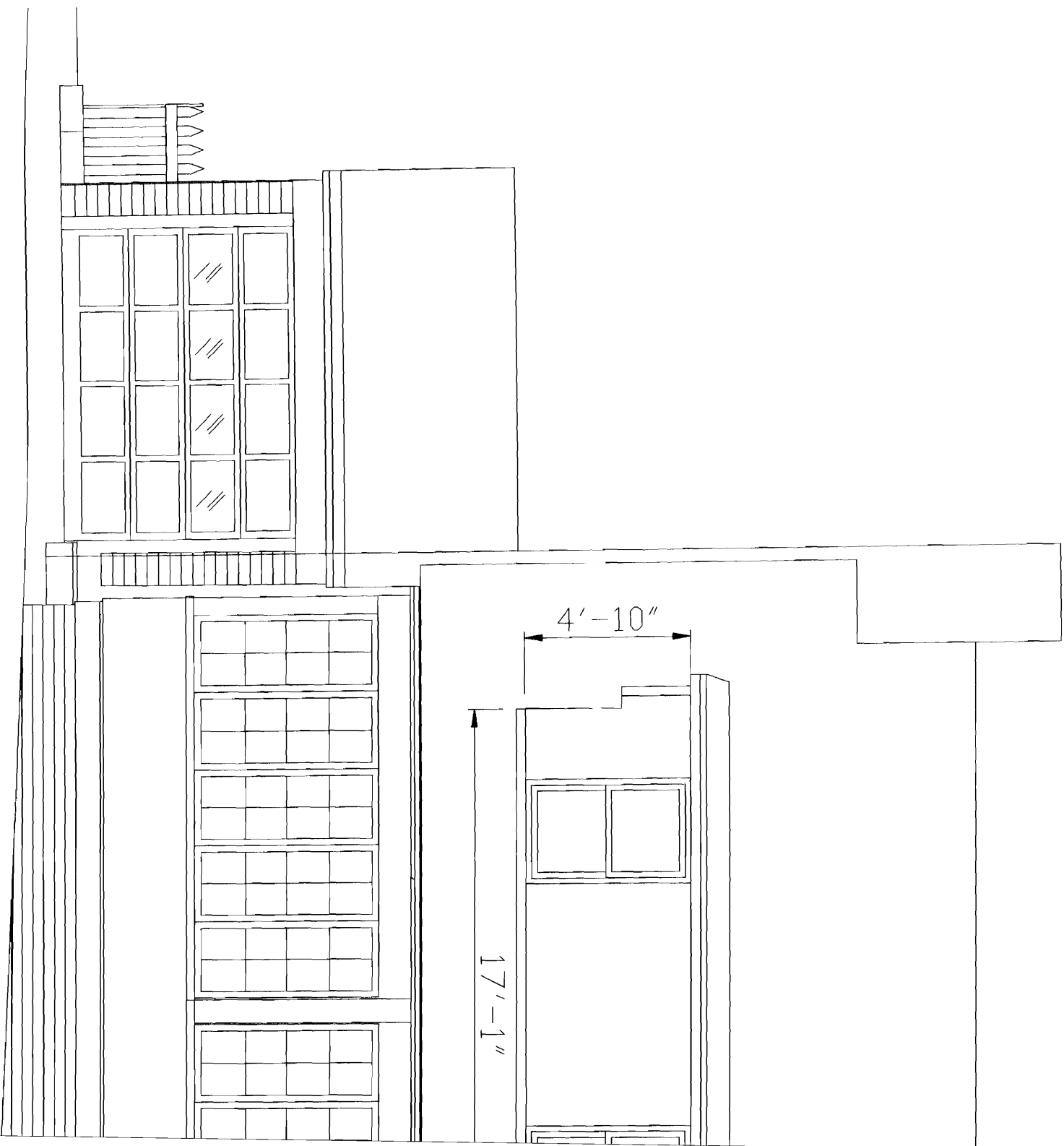
CBL: 119 C 016

Building Permit #: 07-0179

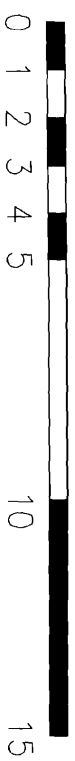


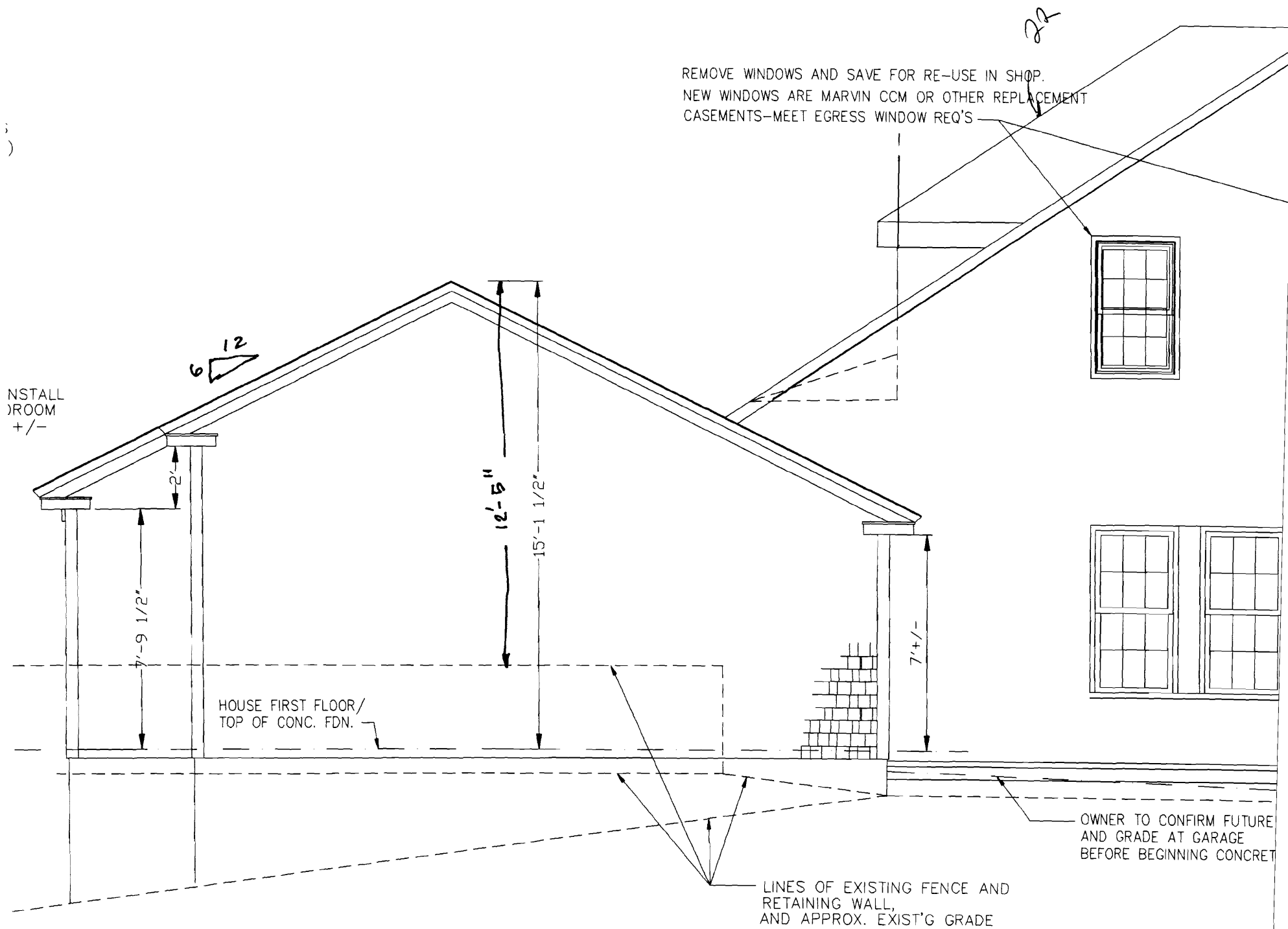
④ EXISTING NORTH ELEVATION (left side)  
SCALE: 1/4" = 1'-0"



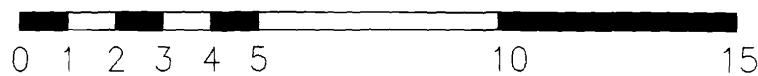


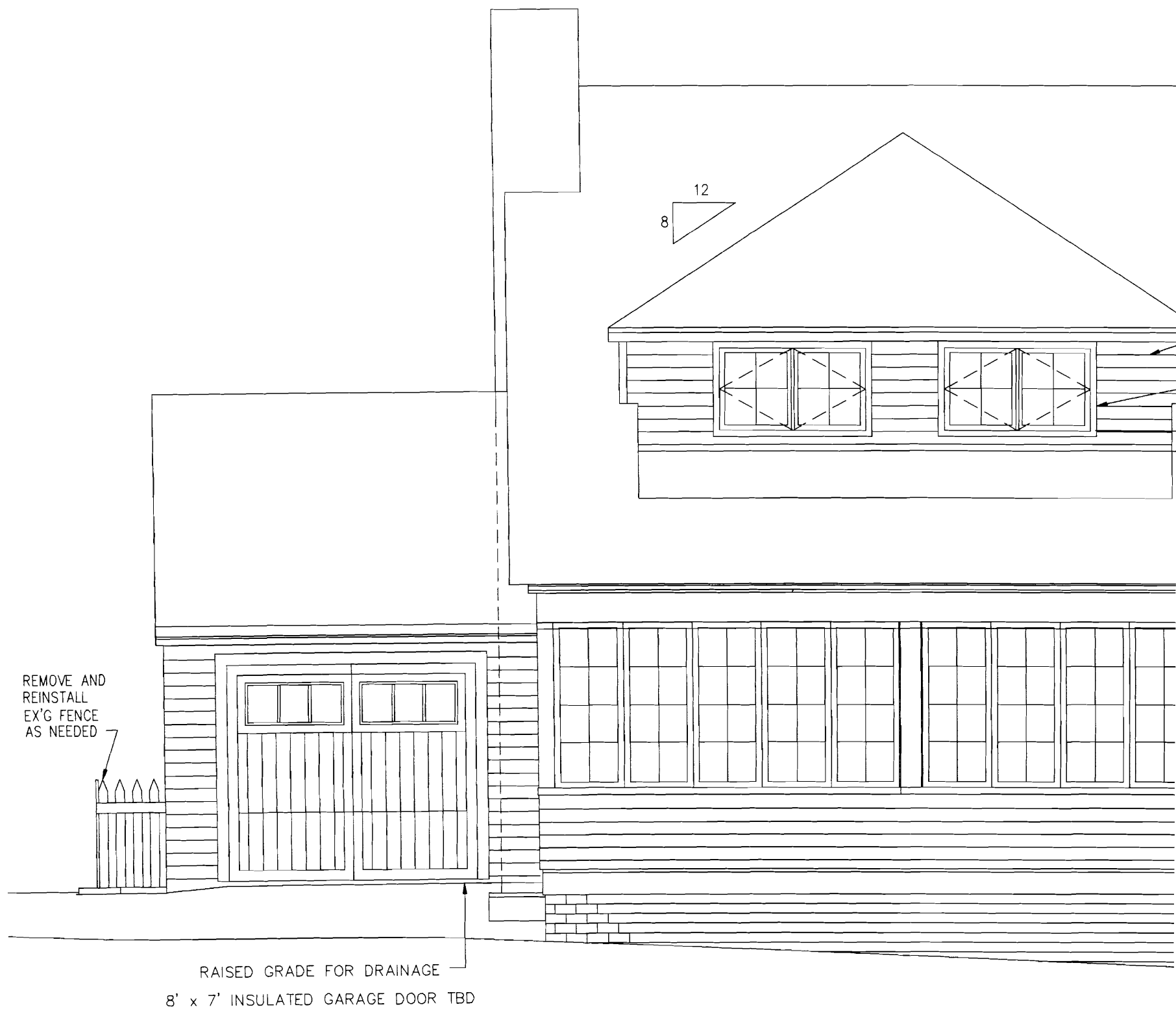
1 EXISTING WEST (STREET) ELEVATION  
SCALE: 1/4"=1'-0"

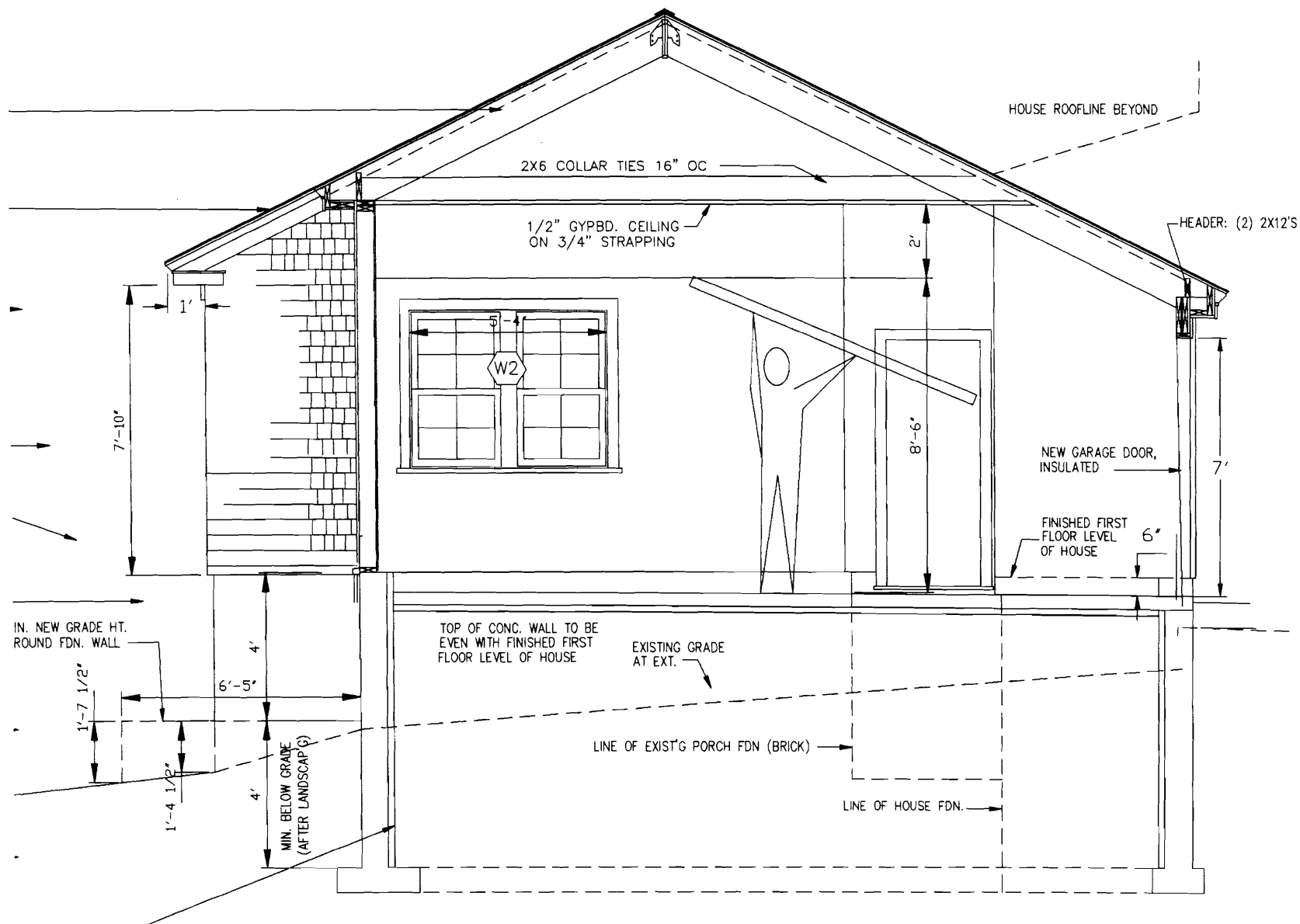




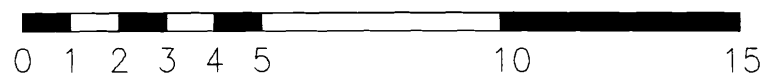
4 NORTH ELEVATION  
SCALE: 1/4"=1'-0"



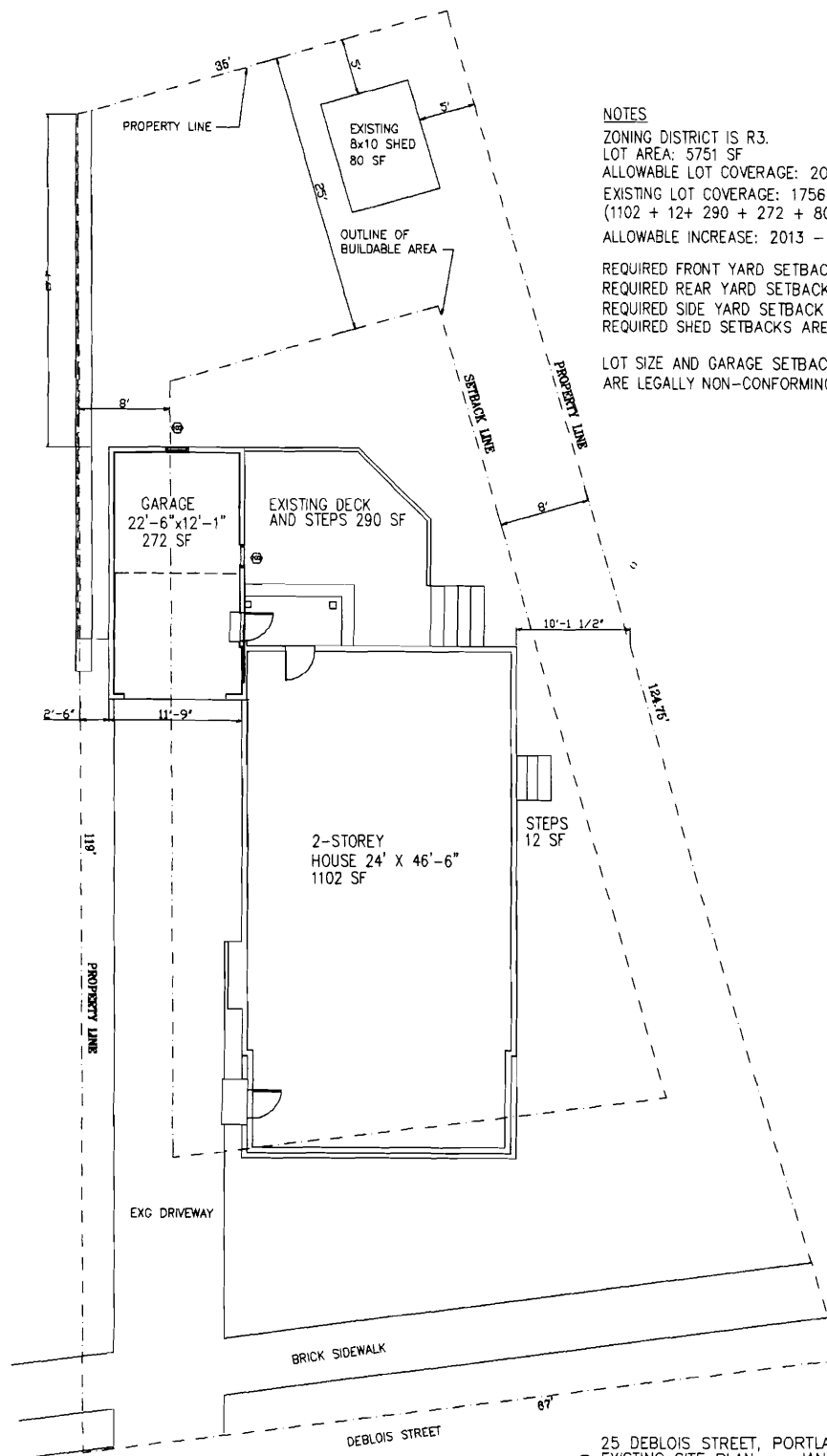




① SECTION AT GARAGE WORKSHOP  
SCALE: 1/4"=1'-0"



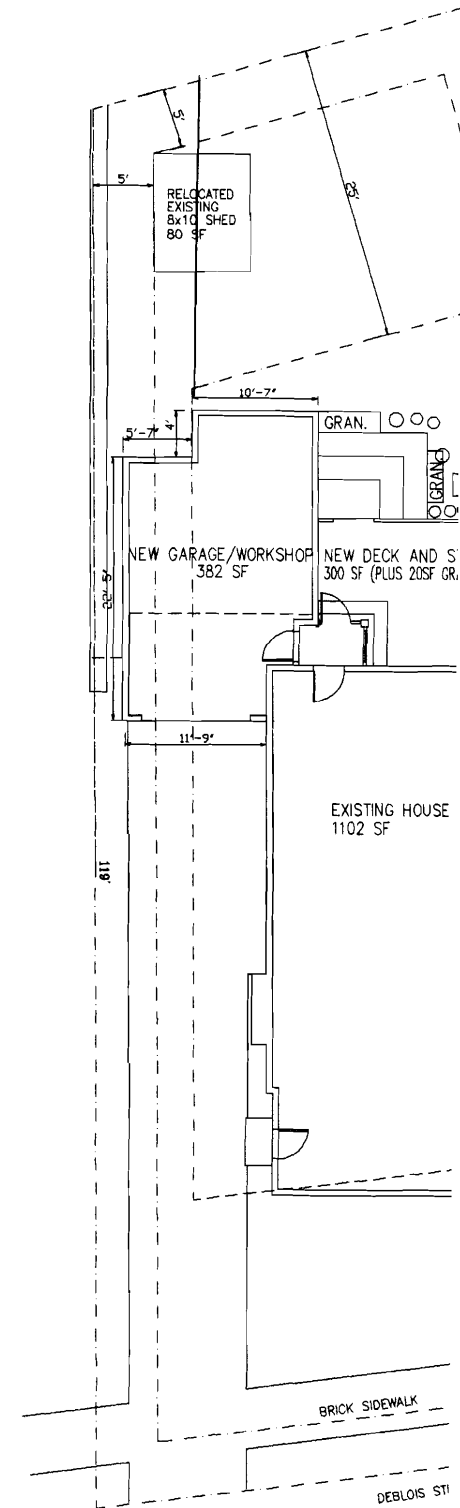
② SE  
SCALE  
0



#### NOTES

ZONING DISTRICT IS R3.  
 LOT AREA: 5751 SF  
 ALLOWABLE LOT COVERAGE: 2013 SF (35% OF 5751)  
 EXISTING LOT COVERAGE: 1756 SF  
 (1102 + 12+ 290 + 272 + 80 = 1756)  
 ALLOWABLE INCREASE: 2013 - 1756 = 257 SF  
 REQUIRED FRONT YARD SETBACK IS 25'.  
 REQUIRED REAR YARD SETBACK IS 25'.  
 REQUIRED SIDE YARD SETBACK IS 8' FOR 1 OR 1-1/2 STORIES.  
 REQUIRED SHED SETBACKS ARE 5'

LOT SIZE AND GARAGE SETBACK IN SIDE YARD  
 ARE LEGALLY NON-CONFORMING.



25 DEBLOIS STREET, PORTLAND ME  
 EXISTING SITE PLAN JAN. 2007  
 SCALE: 1/16" = 1'-0"  
 0 1 2 3 4 5 10 20

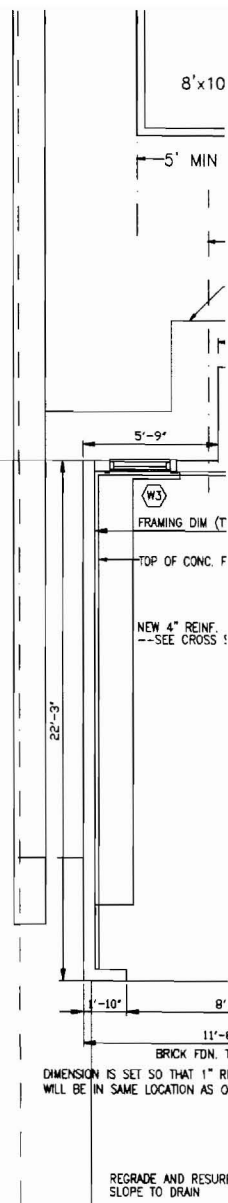
25 DEBLOIS STREET, PORTLAND ME NEW GARAGE/WORKSHOP, DECK, AND ROOF IMP

existing garage

16 76  
 8

1756 existing





① FIRST FLOOR FOUNDATION AND FRAMING PLAN  
SCALE: 1/4"=1'-0"