

# DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read  
Application And  
Notes, If Any,  
Attached

BUILDING INSPECTION

PERMIT

Permit Number: 061480

PERMIT ISSUED

NOV - 1 2006

This is to certify that CHASE ELIZABETH O &amp; ANTON B CHASE JR JTS/Con

has permission to Basement renovations for Bedroom, laundry room, Playroom

AT 25 DEBLOIS ST

119 C016001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission procured before this building or part thereof is altered or closed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

## OTHER REQUIRED APPROVALS

Fire Dept. \_\_\_\_\_

Health Dept. \_\_\_\_\_

Appeal Board \_\_\_\_\_

Other \_\_\_\_\_

Department Name

*Thomas M. Mankay* 10/18/06  
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

# City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<b>Location of Construction:</b> 25 DEBLOIS ST		<b>Owner Name:</b> CHASE ELIZABETH O & CLINT		<b>Owner Address:</b> 25 DEBLOIS ST		<b>Phone:</b> 207-1-2006	
<b>Business Name:</b>		<b>Contractor Name:</b> Cram Construction		<b>Contractor Address:</b> 26 Dell Lane, Portland		<b>Phone:</b> 207-229-2103	
<b>Lessee/Buyer's Name</b>		<b>Phone:</b>		<b>Permit Type:</b> Alterations - Dwellings			<b>Zone:</b> R3
<b>Past Use:</b> Single Family Home		<b>Proposed Use:</b> Single Family Home- Basement renovations for Bathroom, laundry room & Playroom		<b>Permit Fee:</b> \$220.00		<b>Cost of Work:</b> \$20,000.00	
				<b>CEC District:</b> 3			
<b>Proposed Project Description:</b> Basement renovations for Bathroom, laundry room & Playroom				<b>FIRE DEPT:</b> <input type="checkbox"/> Approved <input type="checkbox"/> Denied		<b>INSPECTION:</b> Use Group: R3 Type: SB	
				Signature:		Signature: <i>Jim</i> 10/18/06	
				<b>PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)</b>			
				Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: _____ Date: _____			
<b>Permit Taken By:</b> Idobson		<b>Date Applied For:</b> 10/06/2006		<b>Zoning Approval</b>			
1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.  2. Building permits do not include plumbing, septic or electrical work.  3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..				<b>Special Zone or Reviews</b> <input type="checkbox"/> Shoreland  <input type="checkbox"/> Wetland  <input type="checkbox"/> Flood Zone  <input type="checkbox"/> Subdivision  <input type="checkbox"/> Site Plan  Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/>  Date: 10/13/06 <i>Jim</i>		<b>Zoning Appeal</b> <input type="checkbox"/> Variance  <input type="checkbox"/> Miscellaneous  <input type="checkbox"/> Conditional Use  <input type="checkbox"/> Interpretation  <input type="checkbox"/> Approved  <input type="checkbox"/> Denied  Date:	
				<b>Historic Preservation</b> <input checked="" type="checkbox"/> Not in District or Landmark  <input type="checkbox"/> Does Not Require Review  <input type="checkbox"/> Requires Review  <input type="checkbox"/> Approved  <input type="checkbox"/> Approved w/Conditions  <input type="checkbox"/> Denied  Date: 10/18/06 <i>Jim</i>			

## CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE



# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>25 Deblois Street Portland ME 04103</u>		
Total Square Footage of Proposed Structure <u>no change - 1831 SF</u>		Square Footage of Lot <u>both numbers:</u> <u>5751 (per assessor's database)</u>
Tax Assessor's Chart, Block & Lot Chart#      Block#      Lot# <u>119      C      16</u>	Owner: <u>Elisabeth O. Chase</u>	Telephone: <u>879.7782</u>
Lessee/Buyer's Name (If Applicable) <u>N/A</u>	Applicant name, address & telephone: <u>Elisabeth O. Chase</u> <u>25 Deblois St.</u> <u>Portland ME 04103</u>	Cost Of Work: <u>\$ 20,000.00</u> Fee: <u>\$ 220.00</u> C of O Fee: \$
Current Specific use: <u>Single family home</u> If vacant, what was the previous use? Proposed Specific use: <u>Single Family home</u>		
Project description: <u>Basement renovation - convert laundry to bathroom/laundry, convert main space from workshop to playroom/den.</u>		
Contractor's name, address & telephone: <u>Chad Gram Construction, 26 Dell Lane, Buxton ME 04093 tel. 229.2103. Chad Gram</u> Who should we contact when the permit is ready: <u>Elizabeth Newman Architect</u> Mailing address: <u>32 Sawyer St. Portland ME 04103</u> Phone: <u>899.1845</u>		

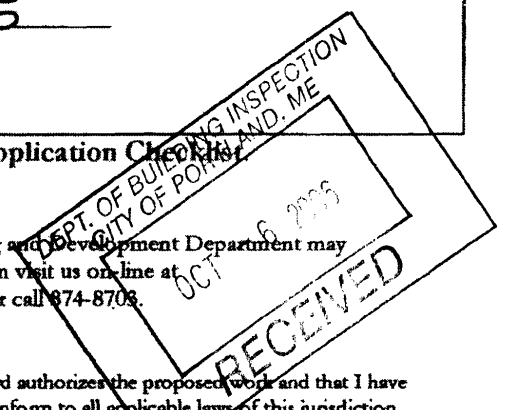
Please submit all of the information outlined in the Commercial Application Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>Elisabeth O. Chase</u>	Date: <u>10/6/06</u>
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This is not a permit; you may not commence ANY work until the permit is issued.



**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<b>Permit No:</b> 06-1480	<b>Date Applied For:</b> 10/06/2006	<b>CBL:</b> 119 C016001
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<b>Location of Construction:</b> 25 DEBLOIS ST	<b>Owner Name:</b> CHASE ELIZABETH O & CLINT	<b>Owner Address:</b> 25 DEBLOIS ST	<b>Phone:</b>
<b>Business Name:</b>	<b>Contractor Name:</b> Cram Construction	<b>Contractor Address:</b> 26 Dell Lane Buxton	<b>Phone</b> (207) 229-2103
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Alterations - Dwellings	

<b>Proposed Use:</b> Single Family Home- Basement renovations for Bathroom, laundry room & Playroom	<b>Proposed Project Description:</b> Basement renovations for Bathroom, laundry room & Playroom
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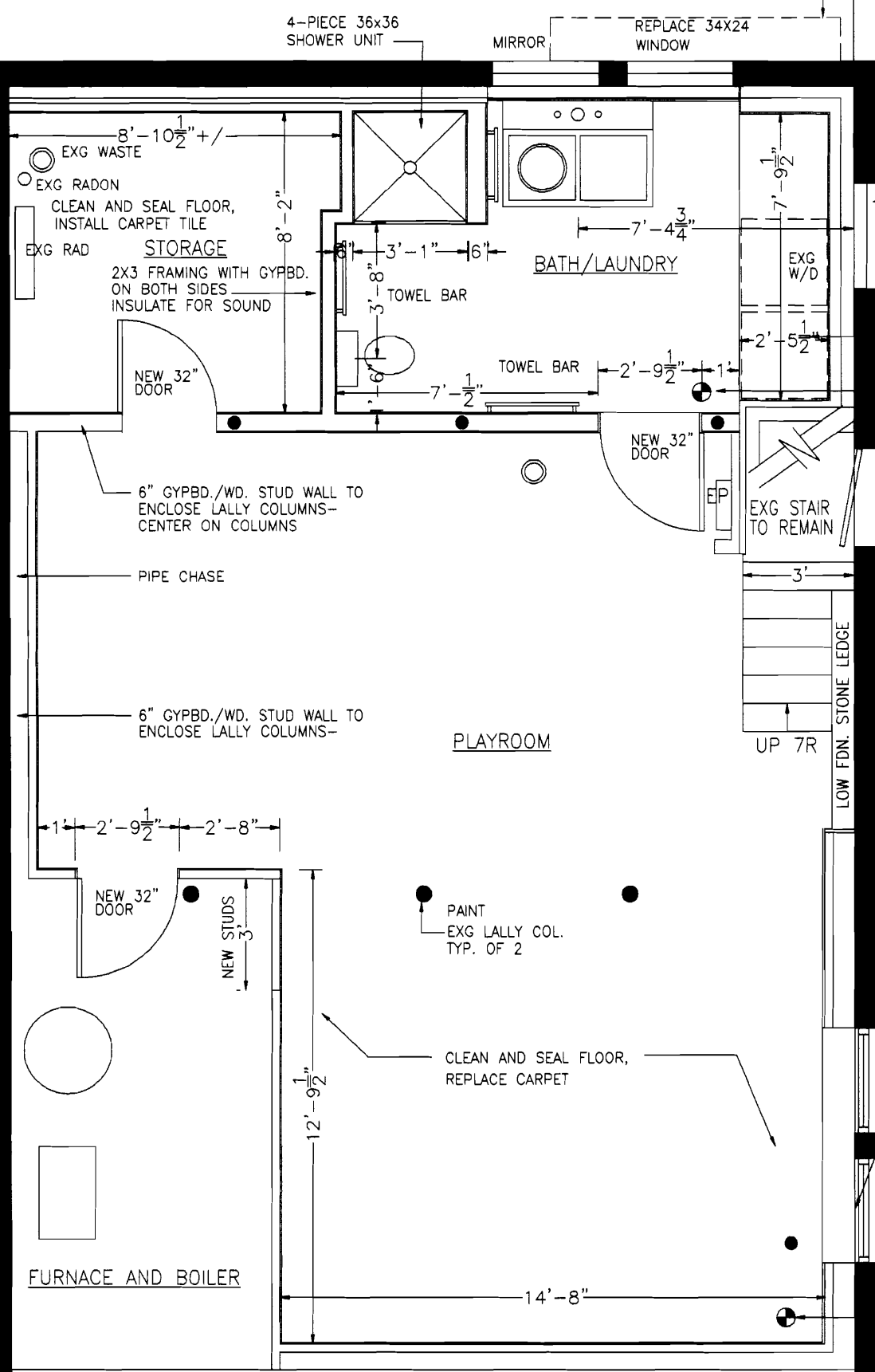
**Dept:** Zoning      **Status:** Approved      **Reviewer:** Tom Markley      **Approval Date:** 10/18/2006**Note:**      **Ok to Issue:** ☒

- 1) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
- 2) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
- 3) This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals.

**Dept:** Building      **Status:** Approved      **Reviewer:** Tom Markley      **Approval Date:** 10/18/2006**Note:**      **Ok to Issue:** ☒

- 1) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.
- 2) Separate permits are required for any electrical, plumbing, or HVAC systems. Separate plans may need to be submitted for approval as a part of this process.

11'-10" +/-



REPLACE 34X24 WINDOW WITH MARVIN CCM 3224 WITH LOW-E II, SDL U-VALUE IS .33

2X3 FRAMING WITH GYPBD. ON BOTH SIDES

COUNTER OVER W/D 8'+/- X 2'-9"

BATHROOM CEILING HT. 6'-7" CONC. TO JOISTS

### FINISHES

GEOSTONE ECOCYCLE 12X12X5/16" TILE OVER 1/8" MAT  
BATHROOM WALLS: GYPSUM BOARD AND GREEN BOARD, PAINTED  
PROVIDE BLOCKING FOR TOWEL BARS AND LIGHT FIXTURES  
BATHROOM CEILING: 1/2" GYPSUM BD., PAINTED, OVER 1/2" STRAPPING OVER 3/16" SOUNDPROOFING (ECONO-E FOAM/FOIL)

STORAGE FLOOR: CARPET  
STORAGE WALLS: 1/2" GYPSUM BOARD OVER 2X3 STUDS  
STORAGE CEILING: 1/2" GYPSUM BD. OVER 1/2" STRAPPING

PLAYROOM FLOOR: CARPET  
PLAYROOM WALLS: 1/2" GYPSUM BOARD OVER EXISTING & NEW 2X3 & 2X6 STUDS  
PLAYROOM CEILING: 1/2" GYPSUM BD. OVER 1/2" STRAPPING OVER 3/16" SOUNDPROOFING (ECONO-E FOAM/FOIL)

FURNACE AND BOILER ROOM: SOUND INSULATION ON PARTITIONS

GENERAL NOTE FOR EXTERIOR WALLS:  
INSULATION AND VAPOR BARRIER: 3/16" ECONO-E BEHIND GYPSUM BOARD (ECONO-E IS 3/16" ALUM FOIL/FOAM. R-VALUE ON WALLS IS 7.3)

NOTE: WATERPROOFING BY OTHERS TO BE COMPLETED BEFORE WORK BEGINS ALONG DRIVEWAY-SIDE FOUNDATION WALL. COORDINATE WITH ARCHITECT

8" BRICK WALL ON STONE FOUNDATION

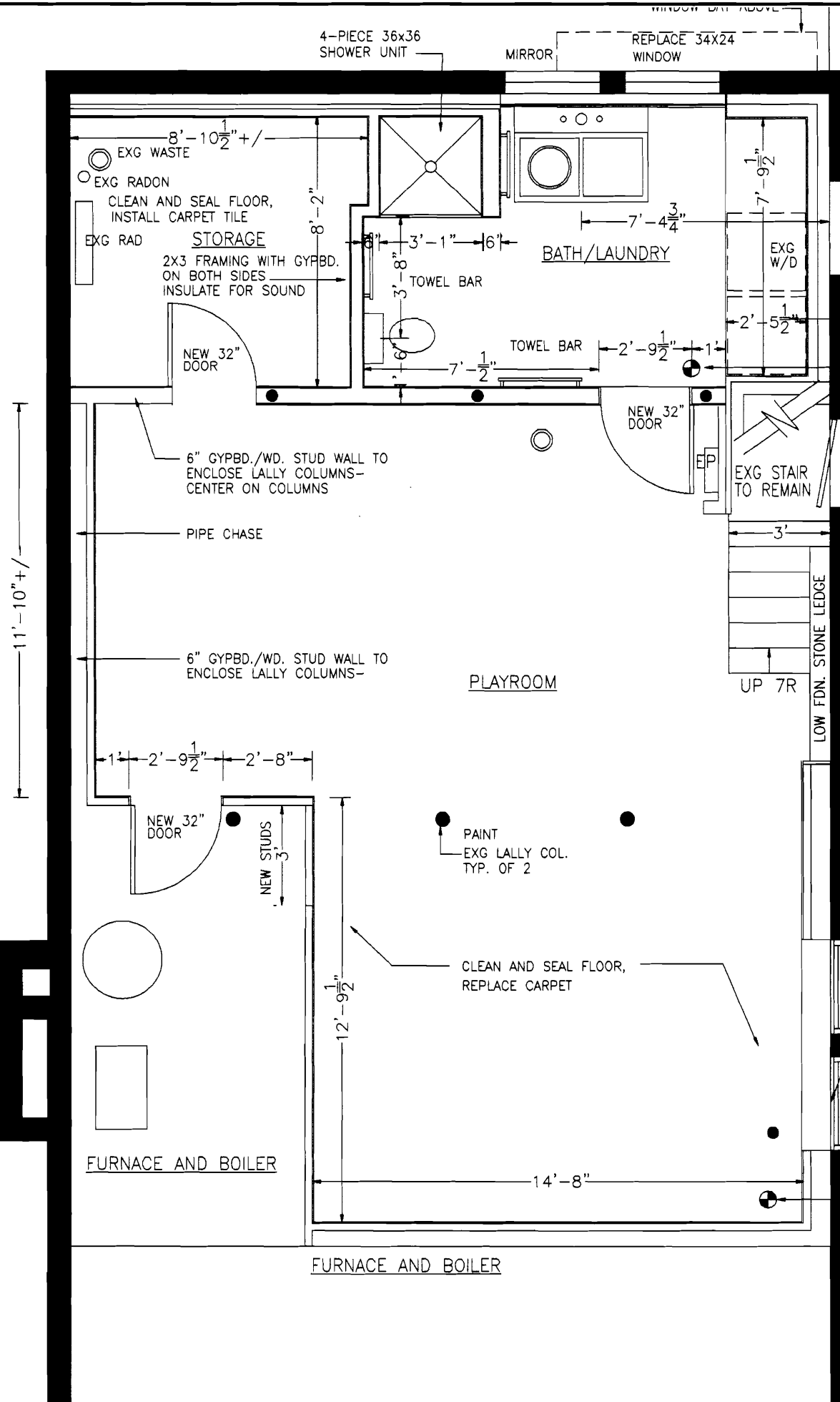
REMOVE EXG. 34" W. X 24" H WINDOWS  
CUT STONE SILLS FOR 2 NEW 32" W X 40" H EGRESS WINDOWS (MARVIN CCM3240 WITH LOW-E 22, SDL) 5.0 SF EGRESS OPENING ALLOWED WITHIN 44" OF GRADE U-VALUE IS .35

GRADE OUTSIDE WINDOWS TO BE GRAVEL AT 6" MIN. BELOW OPENINGS IN AN AREA WIDER THAN WINDOWS AND 3'-0" MINIMUM-- MEETS GRADE 3' AWAY FROM HOUSE (FINISHED GRADE SLOPES GENTLY DOWN AWAY FROM THIS LEVEL)

EGRESS OPENING TO BE NO MORE THAN 44" ABOVE THE FLOOR FINISH  
PLAY ROOM CEILING HT. 6'-10" CONC. TO JOISTS

## 1 BASEMENT RENOVATION PLAN

SCALE: 1/4"=1'-0"



### FINISHES

GEOSTONE ECOCYCLE 12X12X5/16" TILE OVER 1/8" MAT  
 BATHROOM WALLS: GYPSUM BOARD AND GREEN BOARD, PAINTED  
 PROVIDE BLOCKING FOR TOWEL BARS AND LIGHT FIXTURES  
 BATHROOM CEILING: 1/2" GYPSUM BD., PAINTED, OVER 1/2" STRAPPING  
 OVER 3/16" SOUNDPROOFING (ECONO-E FOAM/FOIL)

STORAGE FLOOR: CARPET  
 STORAGE WALLS: 1/2" GYPSUM BOARD OVER 2X3 STUDS  
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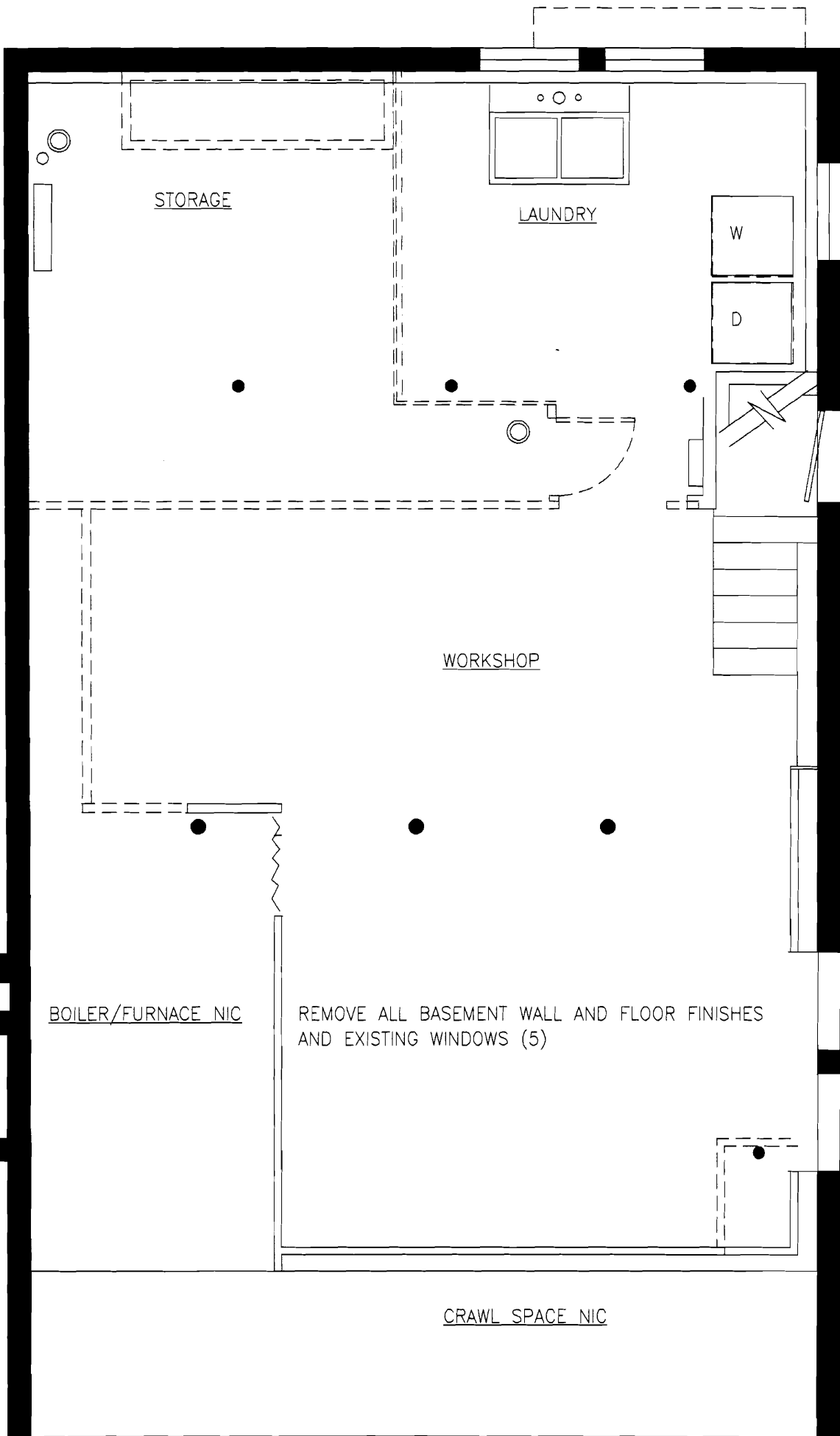
PLAYROOM FLOOR: CARPET  
 PLAYROOM WALLS: 1/2" GYPSUM BOARD OVER EXISTING  
 & NEW 2X3 & 2X6 STUDS  
 PLAYROOM CEILING: 1/2" GYPSUM BD. OVER 1/2" STRAPPING  
 OVER 3/16" SOUNDPROOFING (ECONO-E FOAM/FOIL)

FURNACE AND BOILER ROOM: SOUND INSULATION ON PARTITIONS

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 (ECONO-E IS 3/16" ALUM FOIL/FOAM. R-VALUE ON WALLS IS 7.3)

NOTE: WATERPROOFING BY OTHERS TO BE COMPLETED BEFORE WORK BEGINS  
 ALONG DRIVEWAY-SIDE FOUNDATION WALL. COORDINATE WITH ARCHITECT

1 BASEMENT RENOVATION PLAN  
 SCALE: 1/4"=1'-0"



1 BASEMENT DEMOLITION PLAN  
SCALE: 1/4"=1'-0"