

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached

BUILDING INSPECTION
PERMIT

Permit Number: 061744

PERMIT ISSUED

DEC 20 2006

This is to certify that BOLES ELIAS J /Home Work Builders

has permission to New Roof, floor & wall construction

AT 265 DEERING AVE

L 117 A020001

provided that the person or persons who accept this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission is procured before this building or part thereof is occupied or services are used-in 4 HOUR NOTICE REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____

Health Dept. _____

Appeal Board _____

Other _____

Department Name

Jeanie Bonke 12/19/06
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

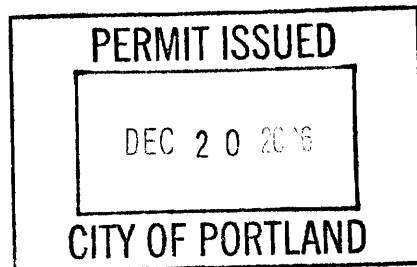
Permit No: 06-1744	Issue Date:	CBL: 117 A020001
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Location of Construction: 265 DEERING AVE	Owner Name: BOLES ELIAS J	Owner Address: 123 WOLFES NECK RD	Phone:
Business Name:	Contractor Name: Home Works Builders	Contractor Address: 1039 Riverside St Portland	Phone: 2076507435
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Multi Family	Zone: R5

Past Use: Multi- Family	Proposed Use: Multi- Family-New Roof, floor & wall construction after Fire	Permit Fee: \$320.00	Cost of Work: \$30,000.00	CEO District: 2
<p>legal use: 3 family dwelling units</p>		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R2 Type: SB	
		<p>APMA see conditions</p> <p>Signature: <i>Cereq Cass</i></p>		<p>FBC-2003</p> <p>Signature: <i>AMB 12/19/06</i></p>
Proposed Project Description: New Roof, floor & wall construction after Fire		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
<p>connected to demo permit 06-1619</p>		Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: _____ Date: _____		

Permit Taken By: ldobson	Date Applied For: 12/01/2006	Zoning Approval	
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- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..



Special Zone or Reviews	Zoning Appeal	Historic Preservation
<input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <i>within existing lotprint</i> <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>12/16/06</i> <i>AMB</i>	<input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	<input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>AMB</i>

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 06-1619	Date Applied For: 11/06/2006	CBL: 117 A020001
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Location of Construction: 265 DEERING AVE	Owner Name: BOLES ELIAS J	Owner Address: 123 WOLFES NECK RD	Phone:
Business Name:	Contractor Name: Home Works Builders	Contractor Address: 1039 Riverside St Portland	Phone (207) 650-7435
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Multi Family	

Proposed Use: Residential 3 unit - Demo of fire damaged roof, third floor joists and interior finishes	Proposed Project Description: Demo of fire damaged roof, third floor joists and interior finishes.
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Ann Machado **Approval Date:** 11/13/2006

Note: **Ok to Issue:**

- 1) This property shall remain a three family dwelling. Any change of use shall require a separate permit application for review and approval.
- 2) This permit is being issued for demolition purposes only. Any interior alterations that are not part of the demolition process will need a separate application for review and approval.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Jeanine Bourke **Approval Date:** 11/14/2006

Note: **Ok to Issue:**

- 1) This permit approves interior demolition only and removal of fire damaged roof. A separate permit is required for the rebuild of the roof and interior renovations.
- 2) Separate permits are required for any electrical, plumbing, or HVAC systems. Separate plans may need to be submitted for approval as a part of this process.

Comments:

11/14/2006-jmb: Contacted Ron Milley, they have had ProTech Environmental do an assessment for hazardous materials, no abatement was required. Ok to issue

11/6/2006-amachado: Jeanie is calling the architect. This was just supposed to be a demo permit. The plans show the addition of a two car attached garage with a new unit on the second floor of the garage. There is no site plan. It is unclear how many units are in the building now. We have a C of O. for three in 1952 but the plans seem to show just two existing and the carpenter told Gayle there were just two units.

11/7/2006-jmb: Left a message with staff at Assoc. Design for Rich Cochran to call

11/8/2006-jmb: Rick C. Called, he apologized for the old plans and will bring in a set of DEMO only plans. Returned file to Ann M.

11/9/2006-amachado: Left message with owner to confirm how many units there are in the building.



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>265 DEERING AVE</u>		
Total Square Footage of Proposed Structure <u>EXISTING</u> <u>3490 SF</u>	Square Footage of Lot <u>6470 SF</u>	
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>117 A 20, 23</u>	Owner: <u>ELIAS BOLES, 123 WOLFS NECK RD, FREEPORT ME 04032</u>	Telephone: <u>865-3350</u>
Lessee/Buyer's Name (If Applicable) <u>N.A.</u>	Applicant name, address & telephone: <u>SAME AS OWNER</u>	Cost Of Work: \$ <u>30,000</u> Fee: \$ _____ C of O Fee: \$ _____
Current Specific use: <u>VACANT</u> If vacant, what was the previous use? <u>RESIDENTIAL APT.</u> Proposed Specific use: <u>SAME</u>		
Project description: <u>SHELL PERMIT APPLICATION FOR NEW ROOF, FLOOR, AND WALL CONSTRUCTION TO CLOSE IN EXG. FIRE DAMAGED BUILDING.</u>		
Contractor's name, address & telephone: <u>RON MILLEY, HOMEWORKS BUILDERS, 1039 RIVERSIDE ST. PORTLAND ME 04103</u> Who should we contact when the permit is ready: <u>RON MILLEY</u> Mailing address: <u>SEE ABOVE</u> Phone: <u>650-7435</u>		

Please submit all of the information outlined in the Commercial Building Inspection Checklist. Failure to do so will result in the automatic denial of your permit.

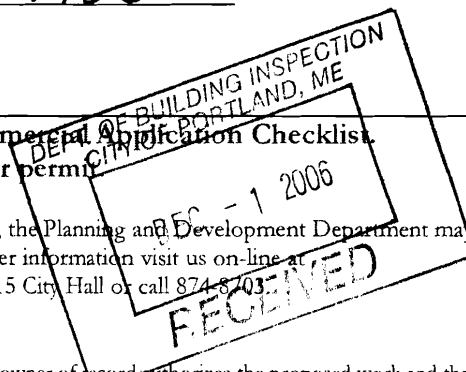
In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at www.portlandmaine.gov, stop by the Building Inspections office, room 315 City Hall or call 874-8703.

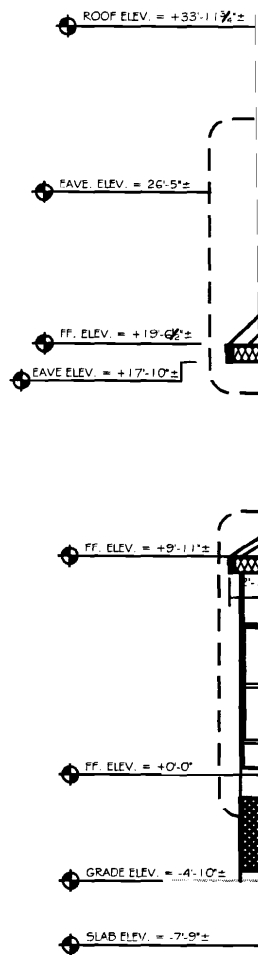
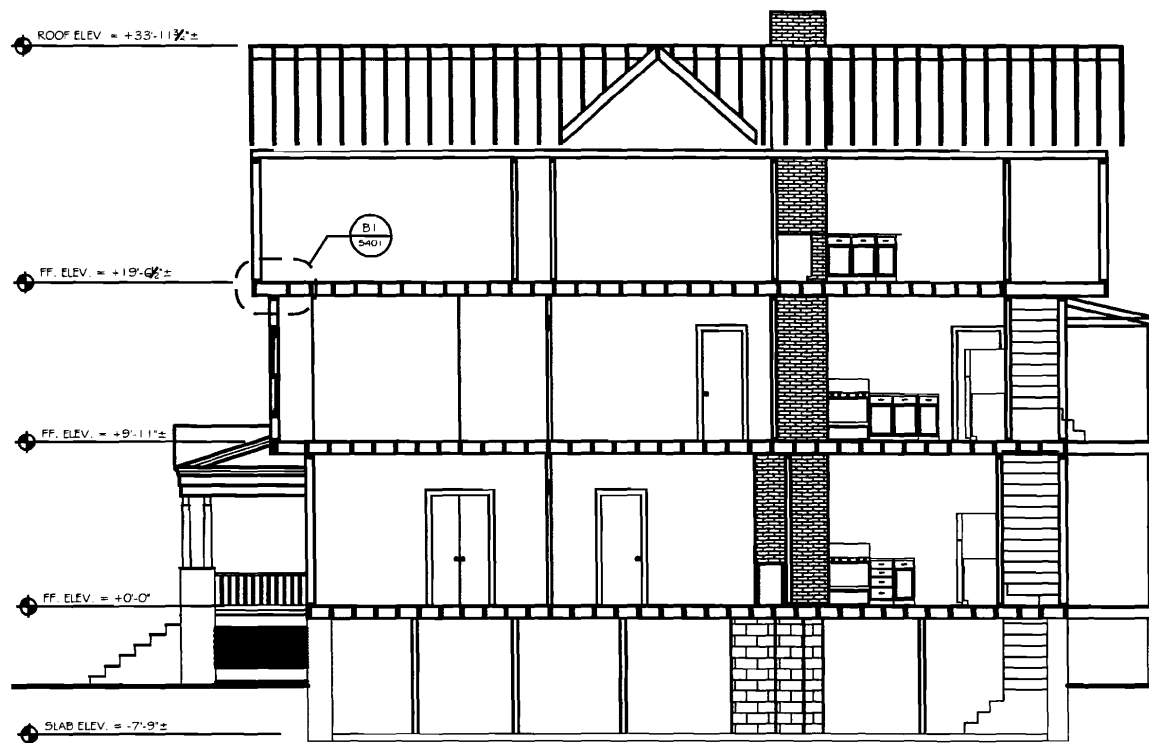
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Signature of applicant; [Signature]

Date: 12/1/06

This is not a permit; you may not commence ANY work until the permit is issued.





DEPT. OF
CITY

R

A2

BUILDING SECTION

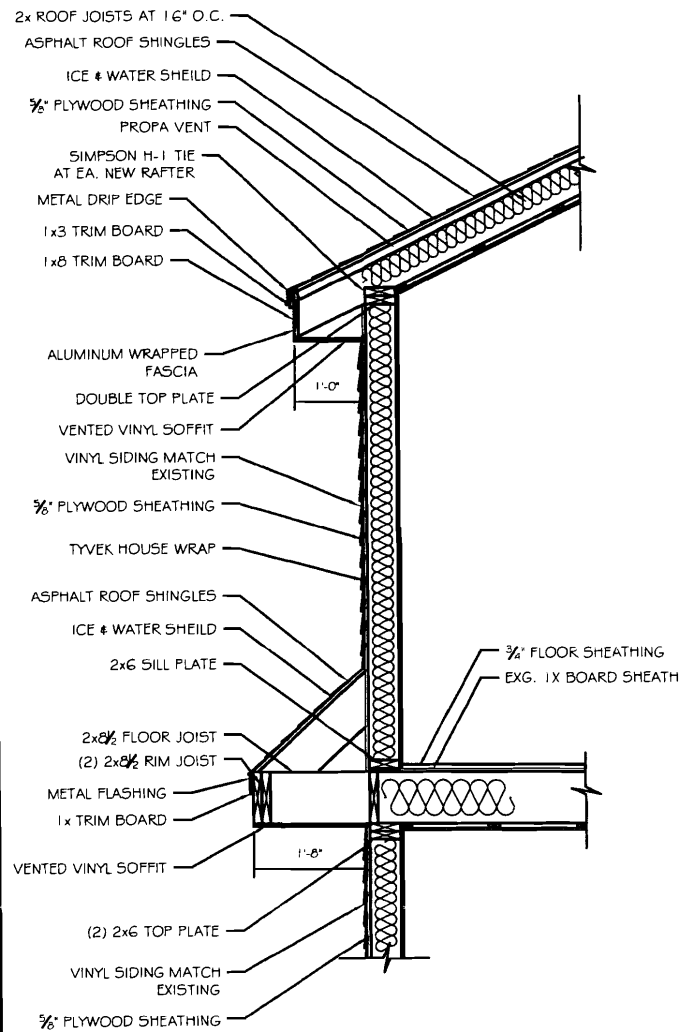
SCALE: $\frac{3}{8}$ " = 1'-0"

A1

BUILDING SECTION

SCALE: $\frac{1}{4}$ " = 1'-0"

C4

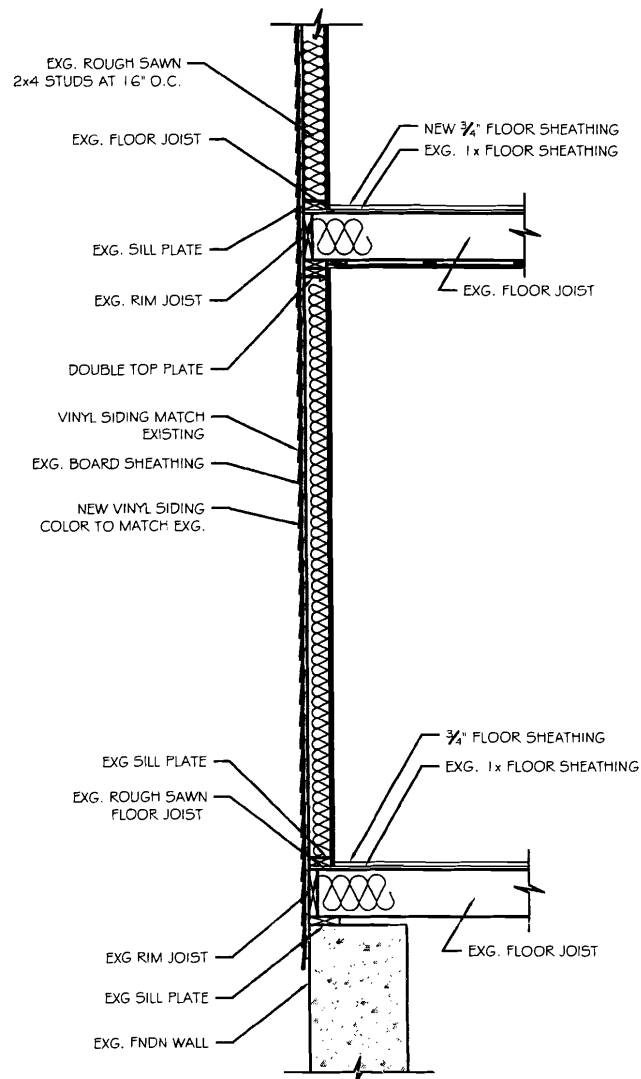


A3

WALL & ROOF DETAIL

SCALE: 3/4" = 1'-0"

C3



A2

WALL DETAIL

SCALE: 3/4" = 1'-0"

C2

NEW 2x6 STUDS AT 16" O.C.
 AT NON-LOAD BEARING GABLE
 END WALL
 VINYL SIDING MATCH
 EXISTING
 3/8" PLYWOOD SHEATHING
 TYVEK HOUSE WRAP
 2x6 SILL PLATE
 2x10 RIM JOIST
 1x TRIM BOARD
 EXG ROUGH SAWN 2x4 STUDS AT 1
 R 13 INSULATION, NEW VINYL

B1

FLOOR OVERHANG @ THIRD FLOOR DETAIL

SCALE: 3/4" = 1'-0"

EXG. CHIMNEY
 CONTINUOUS RIDGE VENT
 2x12 RIDGE TIE
 ASPHALT ROOF SHINGLES
 ICE & WATER SHEILD
 3/8" PLYWOOD SHEATHING
 2x12 ROOF JOIST

A1

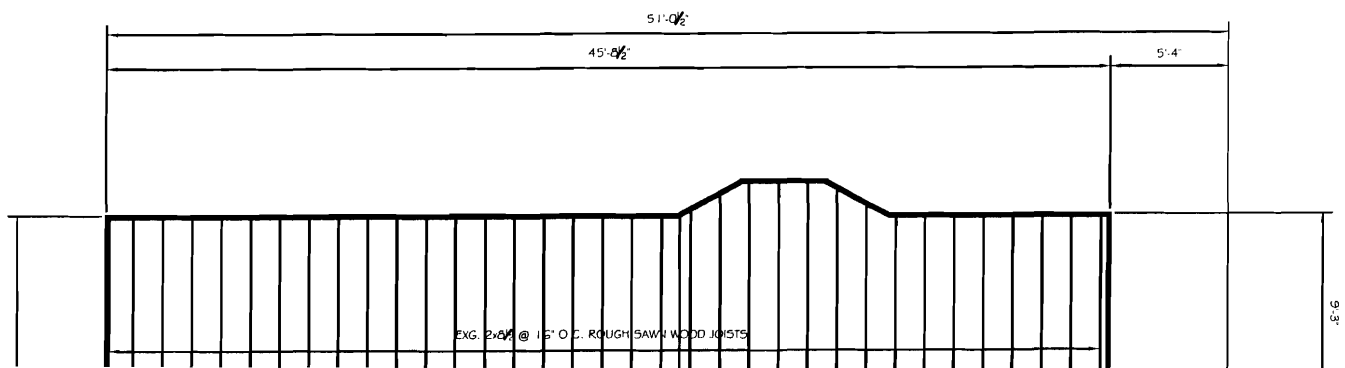
RIDGE DET.

SCALE: 3/4" = 1'-0"

A2

A1

EXISTING FIRST FLOOR FRAMING
SCALE: 1/4" = 1'-0"

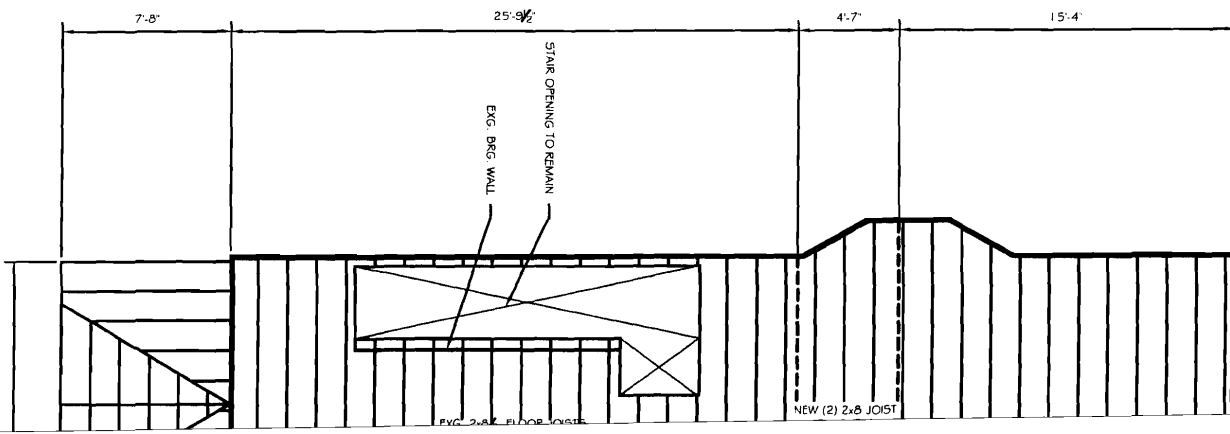


A2

A1

SECOND FLOOR FRAMING PLAN

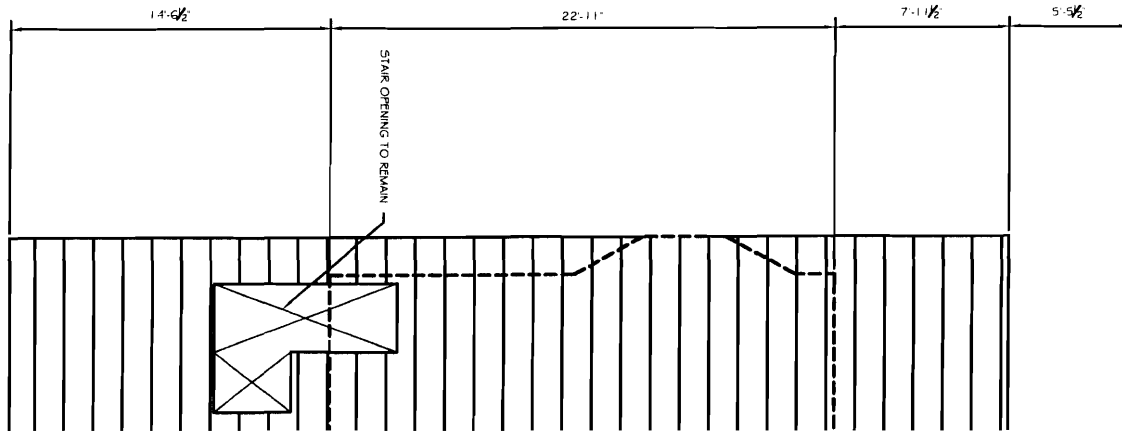
SCALE: 1/2" = 1'-0"

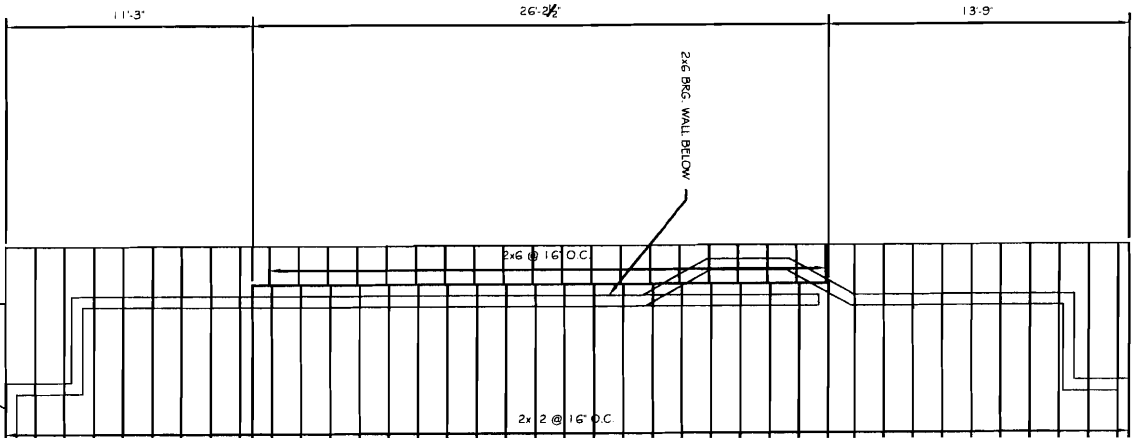


A2

A1

THIRD FLOOR
SCALE: 1/4" = 1'-0"





A1

PROPOSED ROOF FRAMING PLAN

SCALE: 1/2" = 1'-0"