ad And Y,	PERMIT	ON Permit Number: 101083
	ons, fi or co the fille	Contract Con
truction, maintenance a artment.	nd using f buildings and str	ures, and of the application on file
Public Works for street line a if nature of work requires	Not ation o ispectic mus give nd writte permissi prod	A certificate of occupancy must be procured by owner before this build- ing or part thereof is occupied.
	Not ation o ispectic mus give nd writt permissi prod befo this but i <u>g or or inere</u> lath or oth sed-in	A certificate of occupancy must be procured by owner before this build ing or part thereof is occupied.

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فالتعمد لقرر

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	PORTLAND, MAINE
	nt of Building Inspections
Ung	nal Receipt
	LUCIUDAS (21 2010)
Received from V unit	Lign
The second second	Partie
Location of Work	Tavoo
Cost of Construction \$	Building Fee:
Permit Fee S	Site Fee:
Certi	ficate of Occupancy Fee:
	Total:
Building (IL) Plumbing (15)	_ Electrical (I2) Site Plan (17)
Other Color	
CBL116 (003	
1 -	
Check #: 270.94	Total Collected \$ 450.00
	A second constitution of the second
E-	started until permit issued.
Please keep origin	al receipt for your records.
Taken by:	
- / / /	
WHITE - Applicant's Copy	
YELLOW - Office Copy	

City of Portland	d, Maine - Bui	lding or Use	Permit	Application	n Pe	rmit No:	Issue Date:		CBL:	
389 Congress Stre	et, 04101 Tel: ((207) 874-8703	8, Fax: ()	207) 874-871	6	10-1083			116 C0	03001
Location of Constructi	on:	Owner Name:		_	Owne	r Address:			Phone:	
426 Forest Ave		Taylor Emily	М		25 F	essenden St #	Α		ļ	
Business Name:		Contractor Name			Contr	actor Address:			Phone	
Town & Country F	ederal Credit Uni	Bailey Sign Co	ompany i	Inc.	9 Th	iomas Drive V	Vestbrook		20777428	343
Lessee/Buyer's Name		Phone:			Permi	it Type:				Zone:
		1	ļ		Sig	ns - Permanen	t			B-26 1
Past Use:		Proposed Use:			Perm	iit Fee:	Cost of Worl	c:	CEO District:	
Commercial / Mulk	erin Real Estate	Commercial /	Town &	Country		\$450.00	5	0.00	2	
(chnage of use #10-	-0691)	Federal Credit			FIRE	DEPT:	Approved	INSPEC	CTION:	
		freestanding si			{			Use Gri	oup:	Type:
		electronic mes			!		Denied		591	
		3 building sign		' x 47"; 15'3"					IOC, 200	~ /
Proposed Project Desci	ription:				1				LOY NO	11)
Town & Country F	ederal Credit Unio	on; Erect 60 sf fr	install 3 building signs - 13'3" x 47";		Signature:		Signature:		1	
							-			
15'3" x 47" & 9'9"	x 47".								Daniad	
					Action: Approved Approved w/Ce				nditions Denied	
					Signa	iture:			Date:	
Permit Taken By:	Date A	pplied For:			4	Zoning	Approva	1		
gg	08/3	1/2010	1			0		-		
1. This permit ap	plication does not	preclude the	Spec	ial Zone or Revie	ws	Zonin	g Appeal		Historic Pres	ervation
	om meeting applie	-	🗋 Sho	oreland		Variance	;		🖌 Not in Distri	ct or Landma
2. Building permisseptic or electr	its do not include j ical work.	plumbing,	We	tland		Miscella	neous		Does Not Re	quire Review
	its are void if worl nonths of the date		🗋 Flo	od Zone		Conditio	nal Use		🗌 Requires Rev	view
False information may invalidate a building permit and stop all work			Subdivision			Interpretation			Approved	
			🗋 Site	: Plan			đ		Approved w/	Conditions
PFF	RMIT ISS	船				Denied			Denied	
•				1 condition					ter	,
-	• • • • • •		Date: 7	No MR	<u>N</u>	Date:		Di	ate:	
1 2	SEP 2 4 2010) :_		,						
·										
	City of Portlan	0								

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT

ADDRESS

DATE

City of Portland, Main 389 Congress Street, 0410		0		4-8 716	Permit No: 10-1083	Date Applied For: 08/31/2010	CBL:	6 C003001
Location of Construction:		Owner Name:			Jwner Address:		 Phone	:
426 Forest Ave		Taylor Emily M			25 Fessenden St #	A		-
Business Name:		Contractor Name:			Contractor Address:		Phone	
Town & Country Federal C	redit Uni	Bailey Sign Company	Inc.		9 Thomas Drive V	Vestbrook	(207) 774-2843
Lessee/Buyer's Name		Phone:		F	ermit Type:		<u>`</u>	
					Signs - Permanen	t		
Proposed Use:			[I	Ргорозес	Project Description			
Commercial / Town & Cou freestanding sign that include	des electro	nic message center & i	nstall 3	sign th	at includes electro	l Credit Union; Erec nic message center d	& install	
freestanding sign that includ building signs - 13'3" x 47" Dept: Zoning	des electro ; 15'3" x 4	nic message center & i	nstall 3	sign tha signs -	at includes electro		& install	3 building 09/08/2010
freestanding sign that includ building signs - 13'3" x 47"	des electro ; 15'3" x 4 Status: A LL NOT c	nic message center & in 7" & 9'9" x 47". pproved with Conditio	nstall 3 ns Revi contiuously	sign the signs - 'iewer: / blink,	at includes electro 13'3" x 47"; 15'3" Ann Machado and SHALL NOT	nic message center a ' x 47" & 9'9" x 47" Approval I ' scroll. Electronic r	& install Date: Ok to nessage	3 building 09/08/2010 Issue: 🗹 board
freestanding sign that include building signs - 13'3" x 47" Dept: Zoning Note: 1) Any LED display SHAI signs SHALL NOT cha enforced.	des electro ; 15'3" x 4 Status: A LL NOT c nge messa	nic message center & in 7" & 9'9" x 47". pproved with Conditio	nstall 3 ns Revi contiuously cry twenty (sign tha signs - ' iewer: / blink, (20) mi	at includes electro 13'3" x 47"; 15'3" Ann Machado and SHALL NOT	nic message center a ' x 47" & 9'9" x 47" Approval I ' scroll. Electronic r	& install Date: Ok to nessage SHALL	3 building 09/08/2010 Issue: Doard BE strictly
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freestanding sign that include building signs - 13'3" x 47" Dept: Zoning Note: 1) Any LED display SHAI signs SHALL NOT chatenforced. Dept: Building	des electro ; 15'3" x 4 Status: A LL NOT c nge messa Status: A	nic message center & in 7" & 9'9" x 47". pproved with Conditio ontinuously flash, nor o ges more than once eve pproved with Conditio	nstall 3 ns Revi contiuously cry twenty (ns Revi	sign th signs - 'iewer: / blink, (20) mi 'iewer:	at includes electro 13'3" x 47"; 15'3" Ann Machado and SHALL NOT nutes. This City a Jonathan Rioux	nic message center of x 47" & 9'9" x 47" Approval I Scroll. Electronic r and State regulation	& install Date: Ok to nessage SHALL Date:	3 building 09/08/2010 Issue: ☑ board BE strictly 09/24/2010

PERMIT ISSUED

SEP 3 4 2010

City of Portland

BUILDING PERMIT INSPECTION PROCEDURES Please call 874-8703 or 874-8693 (ONLY) or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the City of Portland Inspection Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.
- Permits expire in 6 months, if the project is not started or ceases for 6 months.
- If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue with construction.
- X Footing/Building Location Inspection: Prior to pouring concrete or setting precast piers
- X Final Inspection (Note: Electrical Permit & Inspection Required).

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.

PERMIT ISSUED

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SEP 3 4 2010

City of Portland



Signage/Awning Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment artangements must be made before permits of any kind are accepted.

Location/Address of Construction: <	126 Forest Ave.		
Tax Assessor's Chart, Block & Lot	Owner:	Telephone:	
Chart# Block# Lot#	Town & Country F.C. U		
Lessee/Buyer's Name (If Applicable)	Contractor name, address & telephone:	Total s.f. of signage x \$2.00 Per s.f. plus \$30.00/\$65.00 210 55-	7 total
574 AF	Bailey Sign, Inc.	For H.D. signage = Total	
SAME	9 Thomas Dr	Fee: \$Avning Fee= cost of work	,
	Westbrock, ME 04092 774-2843	Total Fee: \$	
Who should we contact when the permit is read		174 <u>2843 ×</u> 115	
Tenant/allocated building space frontage (for Lot Frontage (feet)	eet): Length: Height Single Tenant or Multi Tenant Lot	Single	
Current Specific use: VaCant	Se allier Mulke	Tin Reat Estate	
If vacant, what was prior use: <u>Real</u> ESta Proposed Use: <u>Financia</u> InStitute	- chine about 10-min.		
		seff.)	
Bidg. wall sign? (attached to bidg) Yes	No Dimensions proposed:	1077 Height from grade: 168	ŝ
l ,	No Dimensions proposed: (3) f	21ag. Sgns	imensions.
Proposed awning? Yes No V Is aw Height of awning: Length of	ning backlit? Yes No	a theched drawing for d 150 seft total	
Is there any communication, message, tradem	ark or symbol on it? Yes No	0	
If yes, total s.f. of panels w/communications,			420.co
Information on existing and previously perm	hitted sign(s):	Iday rim -	20
Freestanding (e.g., pole) sign? Yes Bldg. wall sign? (attached to bldg) Yes	No Dimensions:		المستحدين المستحدين المستحد الم
Awning? Yes No Sq. ft. are		71	450.00
A site sketch and building sketch showing ex		ocated must be provided.	
Sketches and/or pictures of proposed signa	ge and existing building are also required.	RECEN	
Please submit all of the information of		cation Checklist.	
Failure to do so may result in the auto	• •	AUC 2 4 000	、 、
In order to be sure the City fully understands the	e full scope of the project, the Planning and D	evelopment Department may request 2010)
additional information prior to the issuance of a Building Inspections office, room 315 City Hall		Dept. of Building Insp	ections
I hereby certify that I am the Owner of record of the	named property, or that the owner of record autho	City of Portland M	aine
authorized by the owner to make this application as h a permit for work described in this application is issue	is/her authorized agent. I agree to conform to all a	applicable laws of this junsdiction. In addition,	if
areas covered by this permit ar any reasonable hour to			
Signature of applicant:	May Bailey Sign/hr Date	* 8-3-10	:
Sing & treate - freeshady for street hearts it'mak -16'8" 51	-		
freestanding there street hours		- لا ۲۰۱۰ ۲۵۱ ۲۹ ۲۹ ۲۹ ۲۹ ۲۹ ۲۹ ۲۹ ۲۹ ۲۹ ۲۹ ۲۹ ۲۹ ۲۹	J&& .
61	20 OL	3'24 x9'10' =	31.10
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Signage/Awning Permit Application Checklist

All of the following information is required and must be submitted. Checking off each item as you prepare your application package will ensure your package is complete and will help to expedite the permitting process.

- Certificate of Liability listing the City as additional insured if any portion of the sign abuts or encroaches on any public right of way, or can fall into any public right of way.
 - Letter of permission from the owner indicating the permissions granted and the tenant/space building frontage.
 - A sketch plan of lot indicating location of buildings, driveways and any abutting streets or rights of way, lengths of building frontages, street frontages and all existing setbacks. Please indicate on the plan all existing and proposed signs with their dimensions and specific locations. Be sure to include distance from the ground and building façade dimensions for any signage attached to the building.
 - A sketch or photo of any proposed sign(s) indicating content, dimensions, materials, source of illumination, construction method as well as specifics of installation/attachment.
- NE Certificate of flammability required for awning or canopy.
 - \blacksquare A UL# is required for lighted signs at the time of final inspection.
 - Pre-application questionnaire completed and attached.
 - D Photos of existing signage Valan bldg.
 - \checkmark Details for sign fastening, attachment or mounting in the ground.

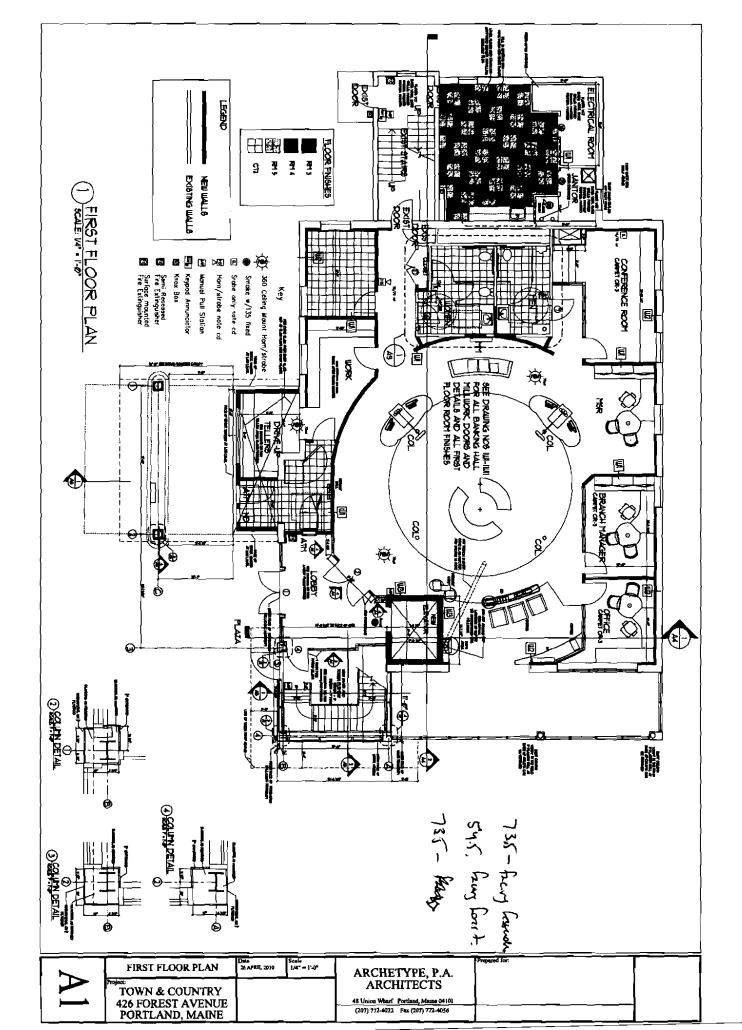
(on drawing)

Permit fee for signage or awning-with-signage: \$30.00 plus \$2.00 per square foot of sign.

Permit fee for awning-without-signage is based on cost of work: \$30.00 for the first \$1,000.00, \$10.00 per additional \$1,000.00 of cost.

Base application fee for any Historic District signage is \$65.00.

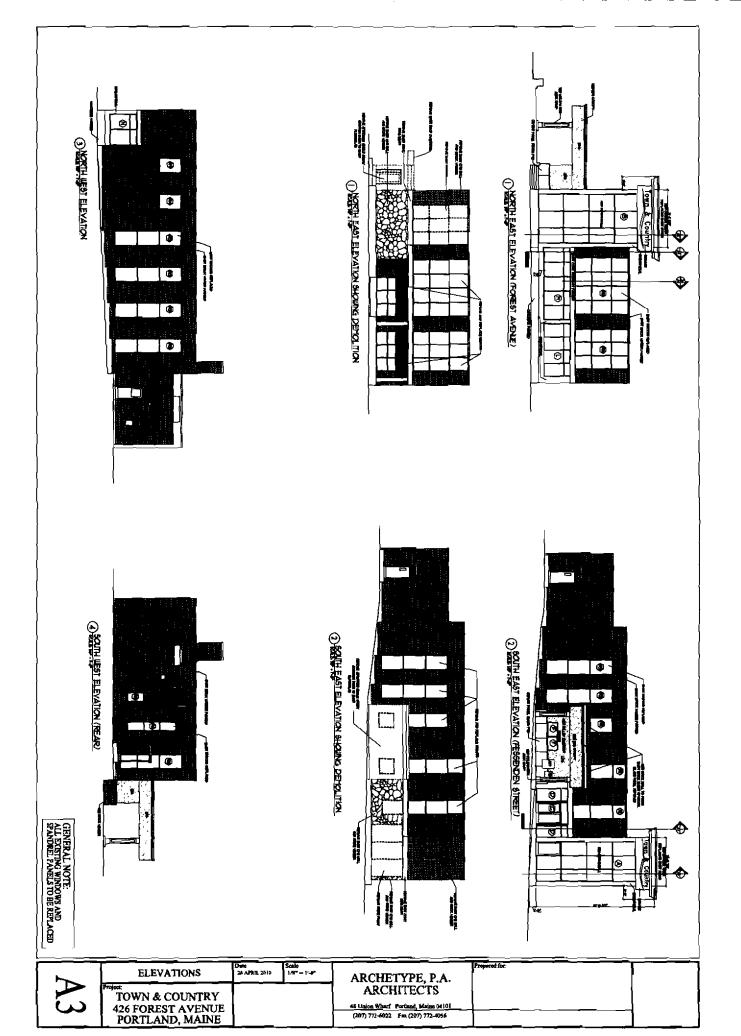
building signs - 13-26 1 per donthyst plus m - hohl of 3 xllowed fessenduside 2x73.5= 147 proposed 51.94 00 forestanside 2x54.5= 109 proposed 59.78 00 Opposile fessende 2x73.5-1447 proposed 38.2200



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CUMIS Insurance Society, Inc.

Home Office: 2000 Honitage Way Waverly, IA 50677

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Administrative Office: 5910 Mineral Point Rd Madison, WI 63705 1

Effective Date: 03/16/2010

PART I PROPERTY/EXPENSE/INCOME COVERAGES DECLARATIONS

Policy Number: Re 003386 P

Representative: Pierce,Jeffrey J

DESCRIPTION OF PREMISES:

Prems. <u>No.</u>	Bidg. <u>No.</u>	<u>Location</u>
9	1	426 Forest Ave
		Portland ME 04101 2014

COVERAGES PROVIDED: Insurance at the described premises applies only for coverages for which a limit of insurance is shown or for which an entry is made.

	Limit of		Causes of	Inflation	
Coverage	Insurance	<u>Deductible</u>	Loss Form	<u>Guard (1)</u>	<u>Coinsurance</u>
Builder's Risk - Completed Value Theft Deductible	\$2,000,000	\$2,500 \$10,000	Special		100%
Builders Risk - Windstorm or Hail Deductible		5%			

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MORTGAGE HOLDERS:

Refer To Mortgagee/Loss Payee Schedule.

FORM(S) AND ENDORSEMENT(S) APPLICABLE TO THIS COVERAGE PART:

Refer To Forms Schedule

(1) Automatic Increase In Limit of Insurance



Administrative Office: 591D Mineral Point Rd Medison, Wi 53705

CUMIS Insurance Society, Inc.

Home Office: 2000 Heritage Way Waverly, IA 50577 018-0042-9 003386

Effective Date:		
	03/16/2010	

LOCATIONS SCHEDULE

Policy Number: 003386

.

Representative: Pierce Jeffrey J

Town & Country Federal Credit Union PO Box 9420 South Portland ME 04116 9420

PREMS <u>NO.</u>	BLDG <u>NO.</u>	STREET <u>CITY_ST_ZIP</u>
1	1	557 Main St South Portland ME 04106 5408
2	1	257 US Route 1 Scarborough ME 04074 9525
3	1	170 Ocean St South Portland ME 04106 3624
5	1	3 Auburn St Portland ME 04103 2101
7	1	52 Elm St Saco ME 04072 2735
8	1	US ROUTE 1 & CASCADE RD Saco ME 04072
9	1	426 Forest Ave Portland ME 04101 2014

This document contains confidential information that belongs to CUNA Mutual Group. No part of this document may be transmitted, reproduced, used, or disclosed outside of the receiving credit union/organization without the express written consent of CUNA Mutual Group.

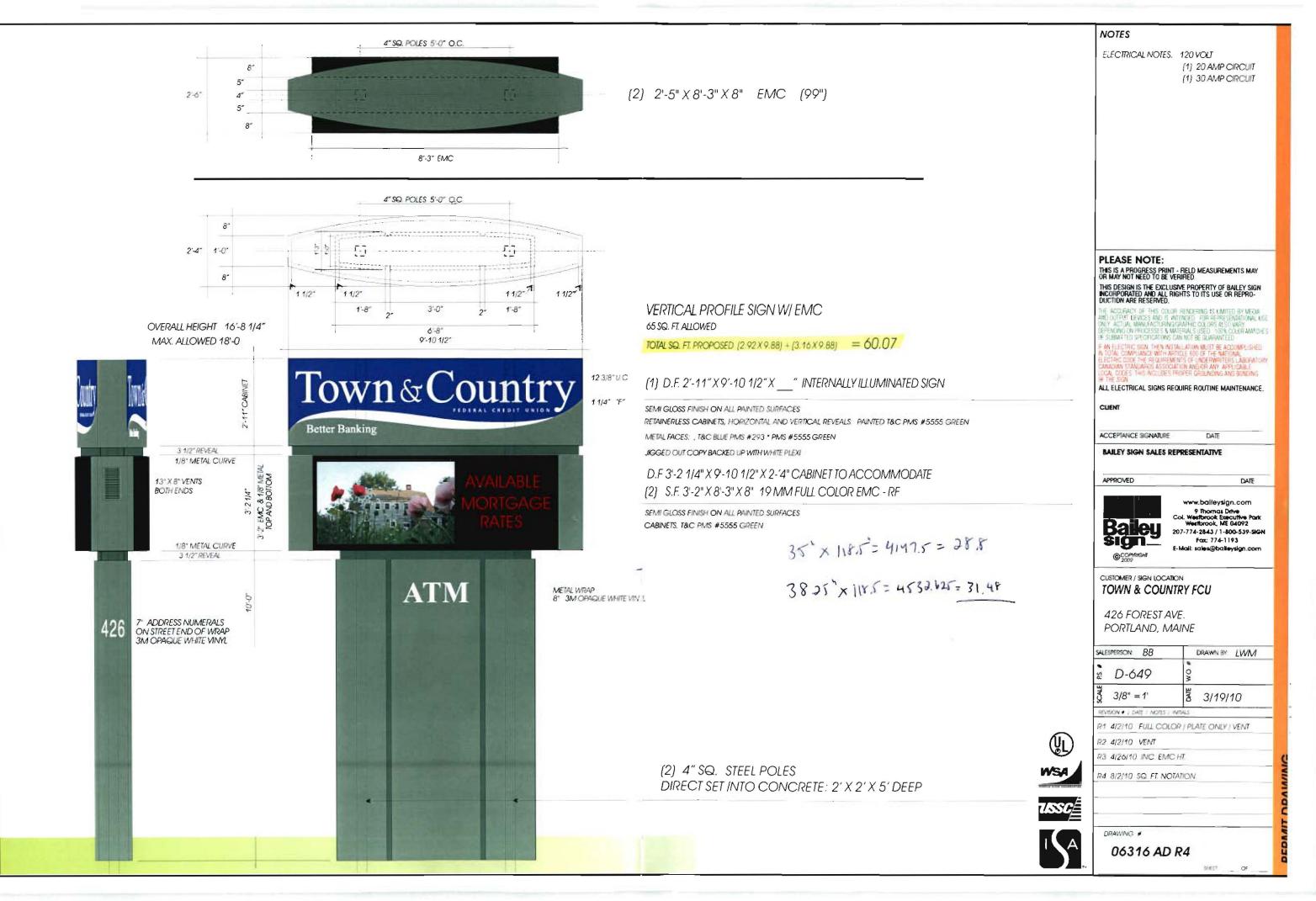
WRITTEN CONSENT AND AGREEMENT relating to a certain sign(s) proposed to be erected at/on
building located at <u>A24 Forest Ave</u> in <u>Portland ME</u> . (Street Address) (City & Sate)
$= \underbrace{\text{DWn} \notin (\text{Droperty Owner})}_{(\text{Property Owner})} \underbrace{\text{F.C.U.}}_{\text{being the owner of the premises hereby}}$
gives consent to the erection of a certain sign(s) by Bailey Sign, Inc. of Westbrook, ME.

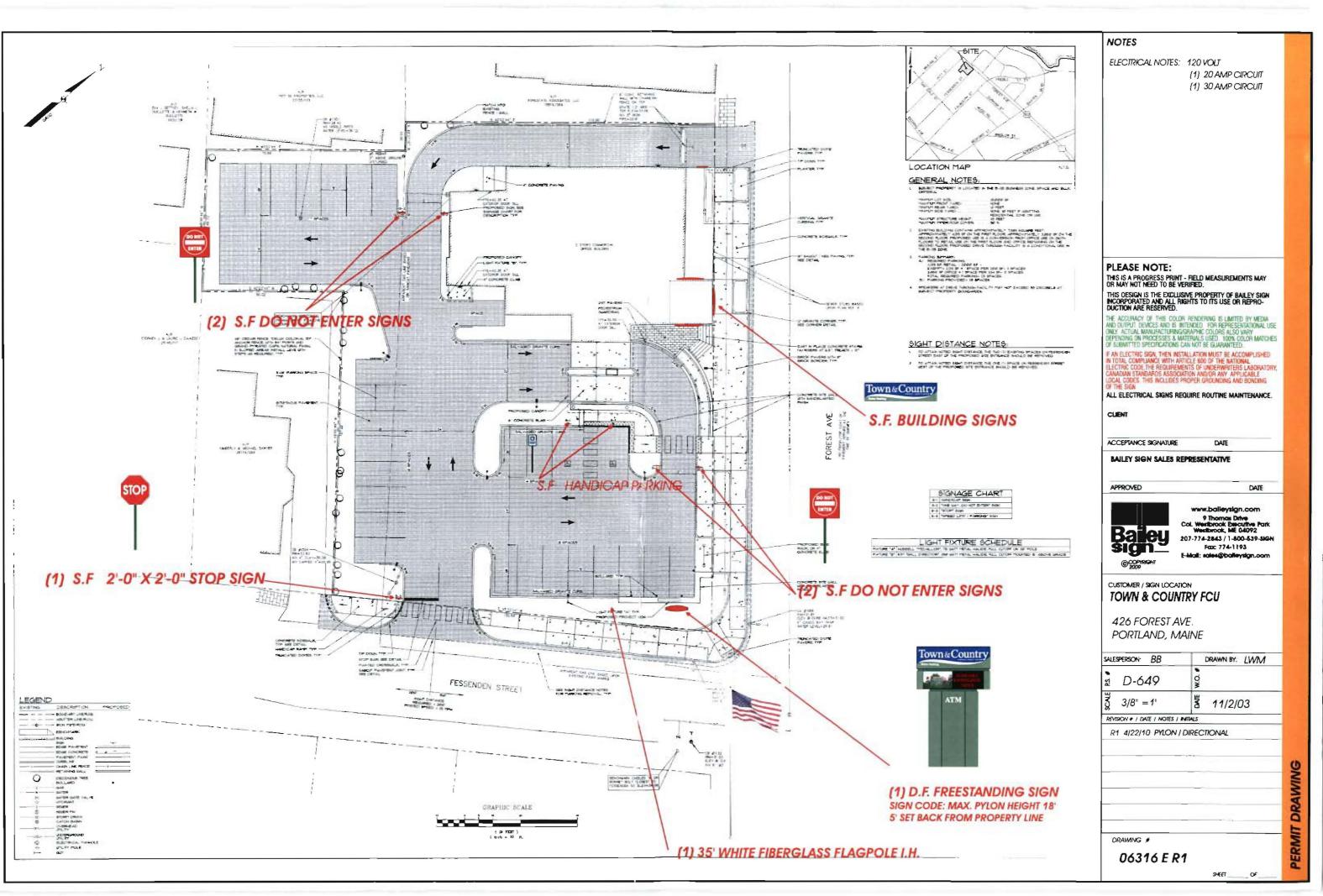
а

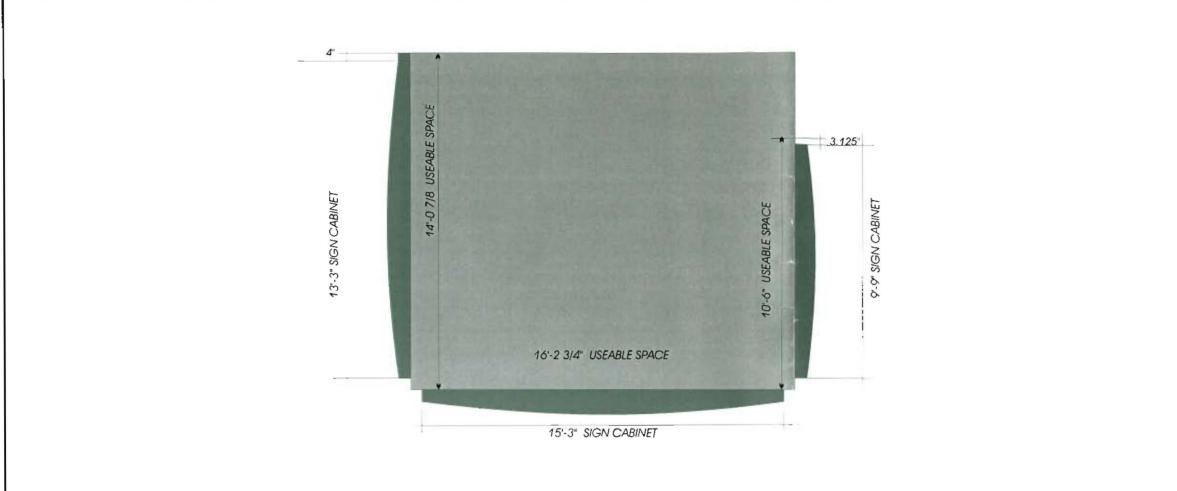
In witness whereof, the owner of said premises has signed this consent and agreement this

<u>3</u> day of <u>AUA</u>., <u>2010</u> (Vest)

Proce Stating (Property Owner)









SOUTH EAST ELEVATION 47" X 159" / 1'-11" X 13-3" 3.92 X 13.25 = 51.94 SQ.FT NORTH EAST ELEVATION 47" X 183" / 1-11" X 15-3" 3.92 X 15.25 = 59.78 SQ.FT. NORTH WEST ELEVATION 47" X 117" / 1'-11" X 9-9" / 3 92 X 9 75 = 38 22 SQ FT

FLUSH WALL MOUNTING TO BLDG. FASCIA W/ S.S. MOLLY EXPANSION BOLTS

		<u></u>	
	NOTES		
	ELECTRICAL NOTE	S: 120 VOLT (1) 20 AMP CIRCUIT	
	THIS DESIGN IS THE EXC INCORPORATED AND ALL OUCTION ARE RESERVED THE ACCOUNT OF THE ACCOUNT OF THE INCOMPANY OF THE ACCOUNT OF THE INCOMPANY OF THE ACCOUNT OF THE AN ELECTRIC SCIENT OF THE ACCOUNT OF THE ELECTRIC SCIENT OF THE ACCOUNT OF THE ELECTRIC SCIENT OF THE ACCOUNT OF THE ELECTRIC SCIENT OF THE ACCOUNT OF THE	COF RENDERING IS LIMITED BY MEDIA I NIENDED FOR REPRESENTATIONAL USE NUMERAPHIC COLORIS AL SO WARY NATERIAL LIMITE TRUNK COLOR MATCHES IS DAN NOT BE GUARANTEED NETALEATION MISST RE ACCOMPLISHED ARTICLE BOD THE NATERINAL CAREND S OF UNDERWEITERS LARCHARCHY	
	LOCAL CODES THIS INCLUDE OF THE SIGN	SPRIFER GROUTINE MAINTENANCE.	
	BAILEY SIGN SALES		
	APPROVED	DATE	
		www.balleysign.com 9 Thomas Drive Cot Westbrook Executive Park Westbrook, ME 04092 207-774-2843 / 1-800-539-SiGN Fas: 774-1193 E-Mail: sales@balleysign.com	
	CUSTOMER / SIGN LOC TOWN & COU 426 FOREST / PORTLAND, N	NTRY FCU Ave	
	SALESPERSON	DRAWN BY: LWM	
	Sa 1/4"=1"	°≩ ≝a 4/23/10	
USSA VISSO	REVENON + 1 DATE ACUTES R1 7/27/10 ADD END	E INTALS DETAIL AND PICTORIAL SKETCH	MIT DRAWING
	DRAWING * 06316 BB	seet or	PERMIT