

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



CITY OF PORTLAND

BUILDING PERMIT

This is to certify that NOLAN, CHRISTOPHER S

Located At 30 FESSENDEN ST.

Job ID: 2011-06-1304-SF

CBL: 116 - - D - 009 - 001 - - - - -

has permission to Finish 3rd Floor Renovations, Two Family Dwelling Unit.

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statues of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

07/01/2011

Fire Prevention Officer

Code Enforcement Officer / Plan Reviewer

**THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY
PENALTY FOR REMOVING THIS CARD**

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: 2011-06-1304-SF	Date Applied: 6/7/2011	CBL: 116 - - D - 009 - 001 - - - - -	
Location of Construction: 30 FESSENDEN ST	Owner Name: CHRISTOPHER S & ERIN NOLAN	Owner Address: 30 FESSENSEN ST PORTLAND, ME 04103	Phone: 207-899-4056
Business Name:	Contractor Name: Luke Cellier- Creative Carpentry	Contractor Address: 78 Washington St., Bath ME 04530	Phone: 207-319-5850
Lessee/Buyer's Name:	Phone:	Permit Type: BUILDING	Zone: R-5
Past Use: Two family	Proposed Use: Two family – finish 3 rd floor to be part of 2 nd floor unit – add 9' x 8' dormer on rear	Cost of Work: 37000.000000	CEO District:
		Fire Dept: <input type="checkbox"/> Approved <input type="checkbox"/> Denied <input type="checkbox"/> N/A Signature: CAPT. <i>R. Gauthier</i> 6/15	Inspection: Use Group: R3 Type: SB JRG 2009 Signature: <i>JRG</i>
Proposed Project Description: Finish 3rd floor - build 8' x 9' dormer		Pedestrian Activities District (P.A.D.)	
Permit Taken By:		Zoning Approval	

<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building Permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False informatin may invalidate a building permit and stop all work.</p>	<p>Special Zone or Reviews</p> <p><input type="checkbox"/> Shoreland</p> <p><input type="checkbox"/> Wetlands <i>-vs. N/Schan</i></p> <p><input type="checkbox"/> Flood Zone <i>14-434B</i></p> <p><input type="checkbox"/> Subdivision <i>3% of 102</i></p> <p><input type="checkbox"/> Site Plan <i>increase</i></p> <p><input type="checkbox"/> Maj <input type="checkbox"/> Min <input type="checkbox"/> MM</p> <p>Date: <i>OK w/ condition</i> <i>6/10/11 ABM</i></p>	<p>Zoning Appeal</p> <p><input type="checkbox"/> Variance</p> <p><input type="checkbox"/> Miscellaneous</p> <p><input type="checkbox"/> Conditional Use</p> <p><input type="checkbox"/> Interpretation</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Denied</p> <p>Date:</p>	<p>Historic Preservation</p> <p><input checked="" type="checkbox"/> Not in Dist or Landmark</p> <p><input type="checkbox"/> Does not Require Review</p> <p><input type="checkbox"/> Requires Review</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Approved w/Conditions</p> <p><input type="checkbox"/> Denied</p> <p>Date: <i>ABM</i></p>
	CERTIFICATION		

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the appication is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHON

Estimate 6/1/11 Provided for:

Erin & Chris Nolan
32 Fessenden St.
Portland, ME
450-6291

Submitted by:

Luke Cellier
Creative Carpentry
78 Washington St.
Bath, ME. 04530
(207) 319-5850

Phase 1 Estimate: Nolan residence

1. 2 Egress replacement windows
2. 4 Skylights
3. 1 8'-6" Hipped Roof Dormer, finished exterior, rough framing interior.
4. 1 Egress skylight
5. Framing

<u>Labor estimate: \$600/day(2carpenters)</u>		
1. Egress windows	\$150/per	\$300.
2. Skylights	\$500/per	\$2,000.
3. Dormer= 2 week		\$6,000.
4. Egress skylight		\$500.
5. Framing		\$1,200.
Labor total=		\$10,000.00

<u>Material/Subcontractors estimate:</u>		
1. 2 Egress windows	450/per	900.
2. 4 Skylights Velux 38"	\$489/per	1,956
3. Dormer		4,000.
4. Egress skylight		900.
5. Framing		300.
Materials total=		\$8,056.00
5% Overhead on Materials and Subcontractors=		\$150

TOTAL PROJECT ESTIMATE: \$18,206.00

(For a fixed bid add 15%=\$20,936.90)

*Note: this estimate does not include dumpster costs

In an effort to protect the environment and conserve our resources, I always separate and recycle all demolition and trash. I can also supplement the project with "Green" materials upon request (i.e. sustainable grown lumber, low VOC paints etc.).

Down Payment Received 6/2 - \$3,000.00
Luke Cellier

Job ID: 2011-06-1304-SF

Located At: 30 FESSENDEN

CBL: 116 - - D - 009 - 001 - - - -

7. Penetrations of wall or floor/ceiling assemblies required to be fire-resistance rated in accordance with Section R302.2 or R302.3 shall be protected in accordance with this section.
8. Fireblocking is required to provide a cut off of all concealed draft openings (both vertical and horizontal) in combustible construction, see Sec. R302.11.
9. Submit Engineered specifications for beams to this office.

Permit Fee Schedule

Building Permits			
Single family		\$ 20/square foot / \$40 minimum	
Other		\$.40/square foot / \$50 minimum	
Parking lots		\$ 10/square foot	
Demolition		\$ 50	
Plumbing Permits		\$12/fixture / \$50 minimum	
Electrical Permits			
New construction			
Single family		\$.06/square foot / \$50 minimum	
Other		\$ 10/square foot / \$50 minimum	
Service Upgrade			
		\$50 up to 5 meters	
		\$100 for over 5 meters or multiphase	
Renovation/alteration			
		up to 20 fixtures - \$50	
		over 20, use square footage	
General rewiring			
Residential		\$50/dwelling unit	
Other		\$.03/square foot	
Heating Permits	\$50	Sign Permits	\$50
Driveway permit	\$50	Blasting Permits	\$50
Fill Permits	\$100	Flood Area Development Permit	\$150
Certificate of Occupancy	\$50	Home Occupation	\$50

Inspection Deposit

With the exception of blasting permits, an inspection deposit of \$100 or 50% of the permit fee, whichever is greater, but not to exceed \$5000, shall be paid at the time of the permit application. The inspection deposit will be returned to the applicant when the project has been inspected and approved by the codes officer. In the case of occupancy or use of partially completed projects (such as occupancy of a house before it's totally completed), the inspection deposit will be returned on a prorated basis, based on what the permit fee and inspection deposit would be for the uncompleted work if a new permit were being secured for that work at that time. If a permitted project or piece of equipment is placed into service and use by the property owner or occupant more than ten days prior to it being inspected, the inspection fee is forfeited to the City.

Administrative Notes:

- 1 Fees are rounded down to whole dollars.
- 2 Permits will not be issued until the fee has been paid.
- 3 Building areas include all habitable space, including garages and decks, basements with ceiling heights of 6' or more, and attic/loft/storage areas with a ceiling height of 6' or more.
- 4 Permit fees are refundable in instances such as if a project is abandoned after the permit is secured. The amount eligible for refunding is the permit fee minus the minimum permit fee for that category of permit, or the costs incurred administering the permit to the point of abandonment, whichever is greater.
- 5 The application fee for an administrative appeal will be refunded to the applicant if the Appeals Board rules in favor of the applicant. In the instance of a multi part appeal, the fee will be refunded on a pro rated basis based on portions of the appeal found in the applicant's favor.
- 6 Permit fees for permits secured after the project is begun are calculated at five times the normal rate.

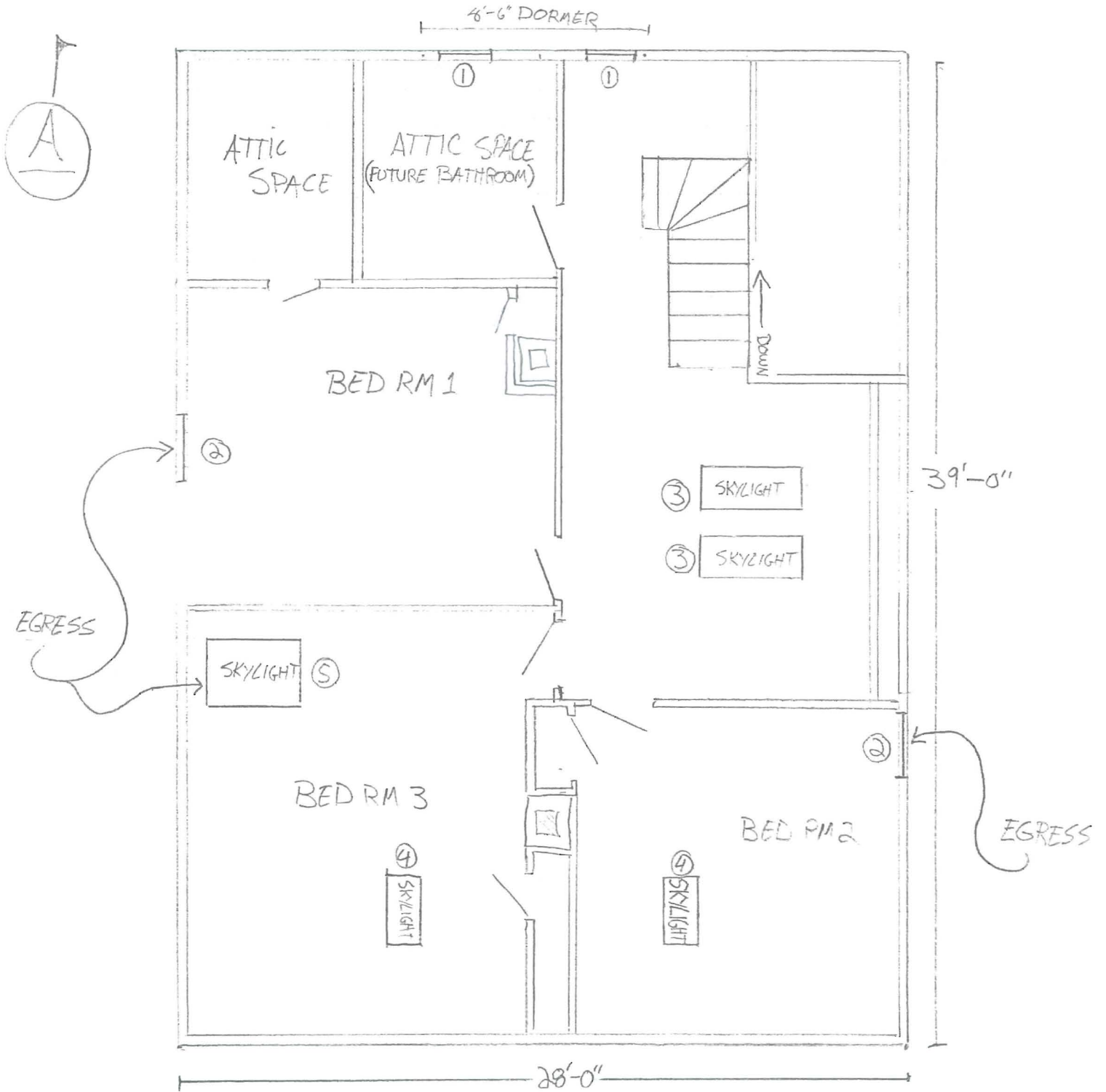
Total Project Cost Estimate:

The following is an estimate of total costs, in order to get your certificate of occupancy:

Framing, windows, skylights, dormer	18,206.00
Insulation	2,000.00
Electric	3,900.00
Trim, doors, flooring	6,000.00
Heat	2,000.00
Miscellaneous	2,000.00
Paint	2,000.00

Total Project estimate:	\$36,106.00
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32 FESSENDEN ST



THIRD FLR PLAN
SCALE 3/16" = 1'-0"

WINDOW SCHEDULE

- ① - 2'-0" x 3'-0" Double Hung - Therma star - U Factor = .30 SHGC = .28
- ② - 2'-9" x 4'-4" Egress Casement - Therma star U Factor = .26 SHGC = .23
- ③ 1'-9" x 3'-9" Skylight - Velux, vented LoE 3 Tempered
- ④ 1'-9" x 3'-1 1/2" Skylight - Velux, vented "
- ⑤ 5'-7 1/2" x 4'-7" Egress Skylight - Velux "

DOOR SCHEDULE

- Ⓐ 2'-8" x 6'-8" Six Panel Masonite
- Ⓑ 2'-4" x 6'-8" Six Panel Masonite
- Ⓒ 2'-0" x 6'-6" Six Panel Masonite

INSULATION VALUES

Walls = R19 - Fiberglass
Cathedral Ceiling = R29.5
Attic = R40



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Director of Planning and Urban Development
Penny St. Louis

Job ID: 2011-06-1304-SF

Located At: 30 FESSENDEN

CBL: 116 - - D - 009 - 001 - - - -

Conditions of Approval:

Zoning

1. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
2. This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. without special approvals.
3. This property shall remain a two family dwelling. Any change of use shall require a separate permit application for review and approval.
4. This structure is legally nonconforming as to set backs and land area per dwelling unit. Using section 14-436(b) the floor area of the addition can be up to 50% of 1st floor footprint. The dormer is adding 21.25 square feet of floor area which is using 3% of the allowable 50% increase.

Building

1. Skylights and sloped glazing shall comply with the following sections, see attached documentation.
2. *Habitable space*, hallways, bathrooms, toilet rooms, laundry rooms and portions of *basements* containing these spaces shall have a ceiling height of not less than 7 feet. For rooms with sloped ceilings, at least 50 percent of the required floor area of the room must have a ceiling height of at least 7 feet and no portion of the required floor area may have a ceiling height of less than 5 feet.
1. Window sills in locations more than 72 inches from finished grade shall be a minimum of 24 inches above the finished floor of the room, unless a window fall prevention devices is installed in accordance with section R612.3.
2. A code compliant emergency escape shall be provided in the bedroom. Window sills in locations more than 72 inches from finished grade shall be a minimum of 24 inches (no higher than 44 inches) above the finished floor of the room.
3. A graspable handrail (34-38 inches in height) shall be provided on at least one side of each continuous run of treads or flight with four or more risers. Fall protection (36 inches) from exterior decks may be required if floor joist are at or above thirty (30) inches from grade.
4. Energy Efficiency (NI 101.2.1) "R-Factors of Walls, Floors, Ceilings, Building Envelope must be submitted to this Office prior to close-in or backfill.
5. A photoelectric Carbon Monoxide (CO) detector shall be installed in each area within or giving access to bedrooms. That detection must be powered by the electrical service (plug-in or hardwired) in the building and battery.
6. Hardwired photoelectric interconnected battery backup smoke detectors shall be installed in all bedrooms, protecting the bedrooms, and on every level.

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**

1. Close-In: (Electrical, Plumbing, Framing)
2. Final Inspection

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.

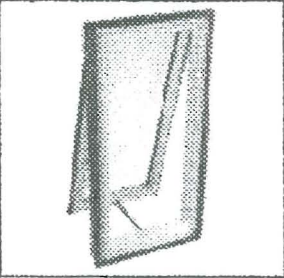
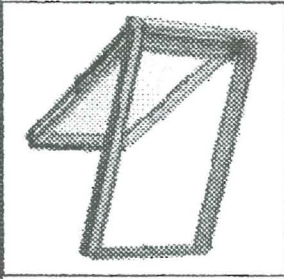
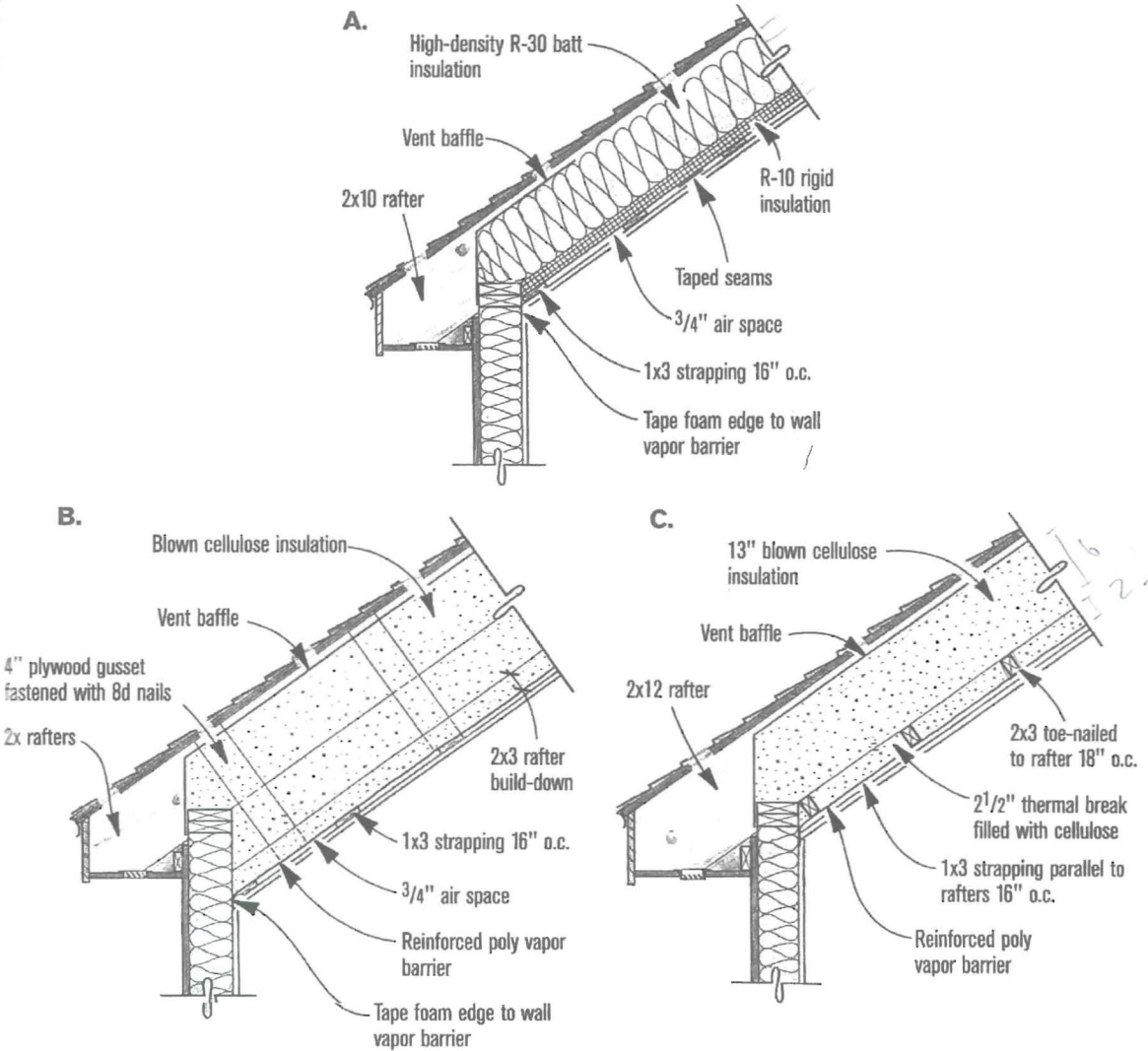
<p>0009 RO Size = 21" W x 45 3/4" H</p> 	<p>Manufacturer: VELUX Division : Millwork Product : Skylight / Roof Type : Skylight Egress : No Style : Flat - Glass Installation Method : Deck Mount Sub Style : Venting Roof Type : Asphalt Shingle Pitch : Greater than or equal to 3/12 pitch (14°) Frame Spacing : 24" On Center Operation : Manual Dimension Type : Rough Opening Rough Opening Width : 21" Rough Opening Length : 45 3/4" Glass Type - Outside Pane : LoE3 Tempered Glass Type - Inside Pane : Laminated Series : VS - Venting Manual Skylight Exterior Color - Cladding : Umber Grey Interior Color - Trim : Pre Painted White Lead Time : 7 Days ***Product Code is: VS C06 2004</p>	<p>\$480.00 1 \$480.00</p>
<p>0011 RO Size = 31 1/4" W x 55 1/2" H</p> 	<p>Manufacturer: VELUX Division : Millwork Product : Skylight / Roof Type : Skylight Egress : Yes Style : Flat - Glass Installation Method : Deck Mount Sub Style : Venting Roof Type : Asphalt Shingle Pitch : Greater than or equal to 3/12 pitch (14°) Frame Spacing : 24" On Center Dimension Type : Rough Opening Rough Opening Width : 31 1/4" Rough Opening Length : 55 1/2" Glass Type - Outside Pane : LoE3 Tempered Glass Type - Inside Pane : Laminated Series : GPL - Roof Window Exterior Color - Cladding : Umber Grey Interior Color - Trim : Top Finish Lead Time : 21 Days ***Product Code is: GPL M08 3073G</p>	<p><i>Egress skylight</i></p> <p>RECEIVED</p> <p>JUN 30 2011</p> <p>Dept. of Building Inspections City of Portland Maine</p> <p>\$782.00 1 \$782.00</p>
<p>0012</p>	<p>Manufacturer: VELUX Division : Millwork Product : Skylight / Roof Type : Accessories/Parts/Other Model Type : Venting Skylight Original Model Number : GPL - Roof Window</p>	<p>\$102.00 1 \$102.00</p>

Figure 133. Cathedral Ceiling Options



- A.** Foil-faced foam sheets applied to the bottom of 2x rafters boost the ceiling's R-value and provide a thermal break. Tape the seams between the foam sheets to reduce air and vapor movement into the ceiling cavity.
- B.** Hang 2x3s below rafters using plywood gussets to create as wide a space as needed for blown cellulose insulation.
- C.** Insulation space can be added by installing 2x3s toenailed across the bottom edge of the rafters, which also provides a thermal break.

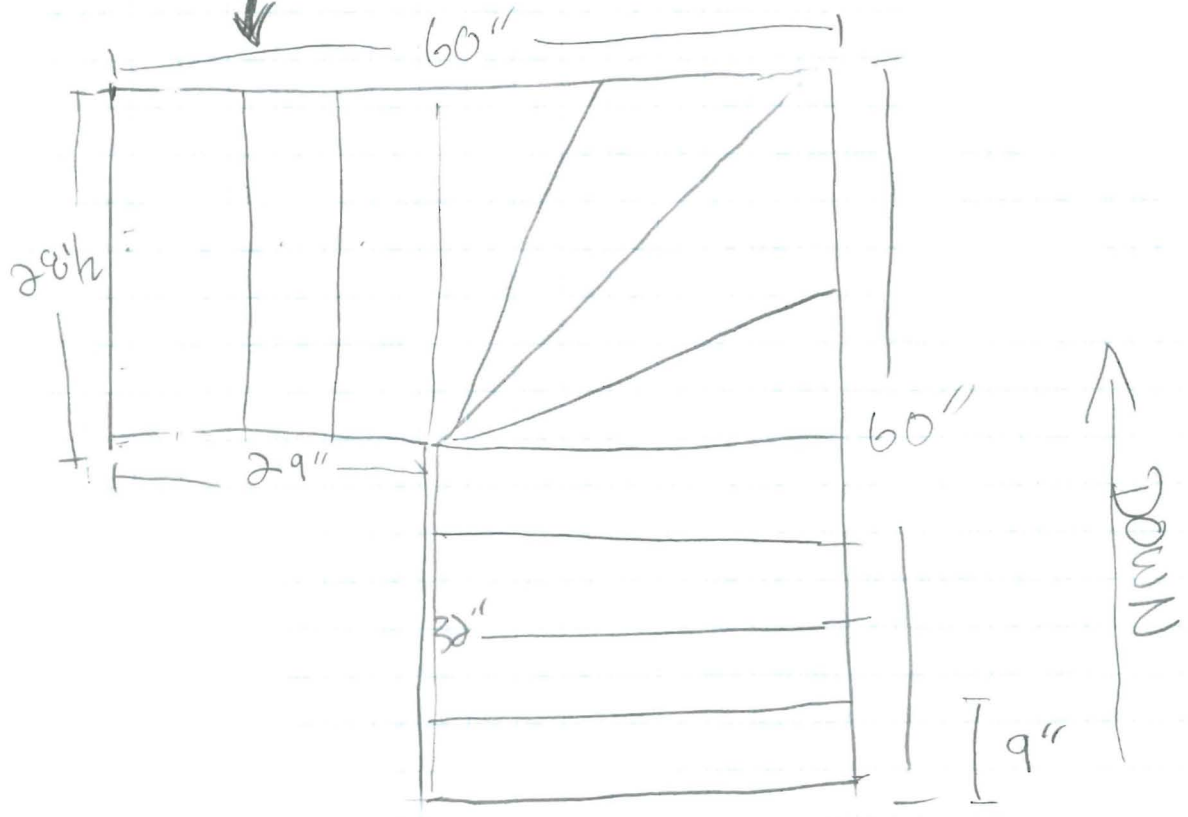
32 Lessenden St.

Scope of Work; Renovate existing 3rd Floor bedroom,
Add egress windows/skylight where needed,
Add Dormer (For future bathroom), Non structural
Interior Framing

- Floor Joists = 2x8 @ 2'0.C.

- Existing Stairs

Headroom = 83" @ 2nd tread nosing



Run (Tread) 9"
Rise = 8 1/2"
Railings = 2x4 - no balusters.

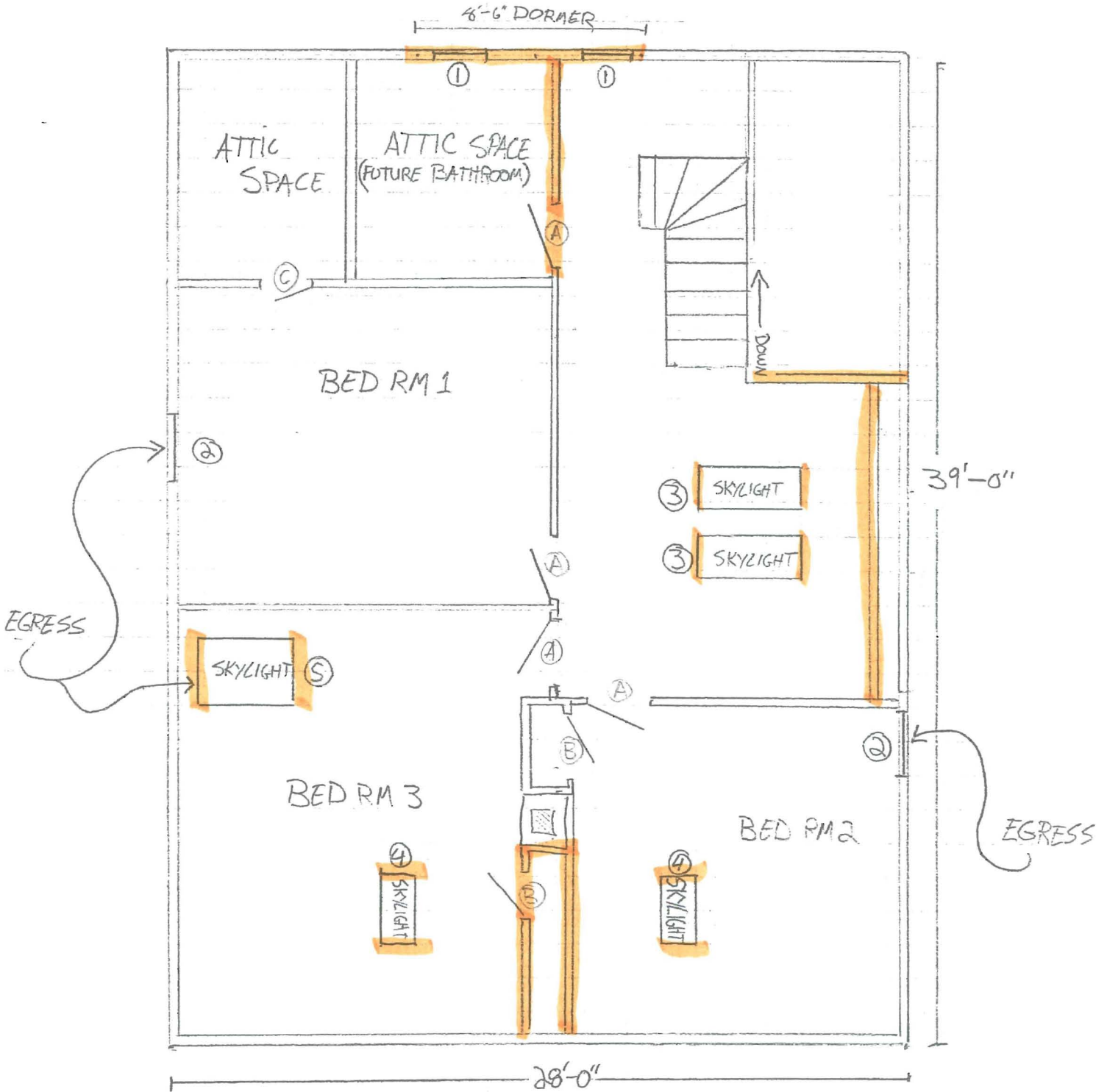
* Headroom = 80" @ Top of stairs

RECEIVED

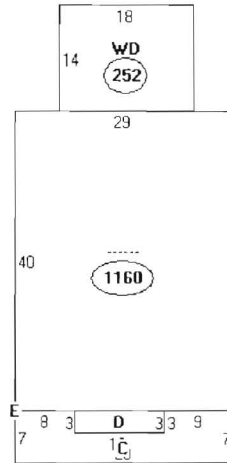
JUN 30 2011

Dept. of Building Inspections
City of Portland Maine

32 FESSENDEN ST.



THIRD FLR PLAN - NEW FRAMING = HIGHLIGHTED
SCALE 3/16" = 1'-0"



Descriptor/Area

- A -----
1160 sqft
- B. WD
252 sqft
- C OFP
167 sqft
- D 2FBAY/B
36 sqft
- E RS1
120 sqft

Plot Plan: 32 Fessenden St.

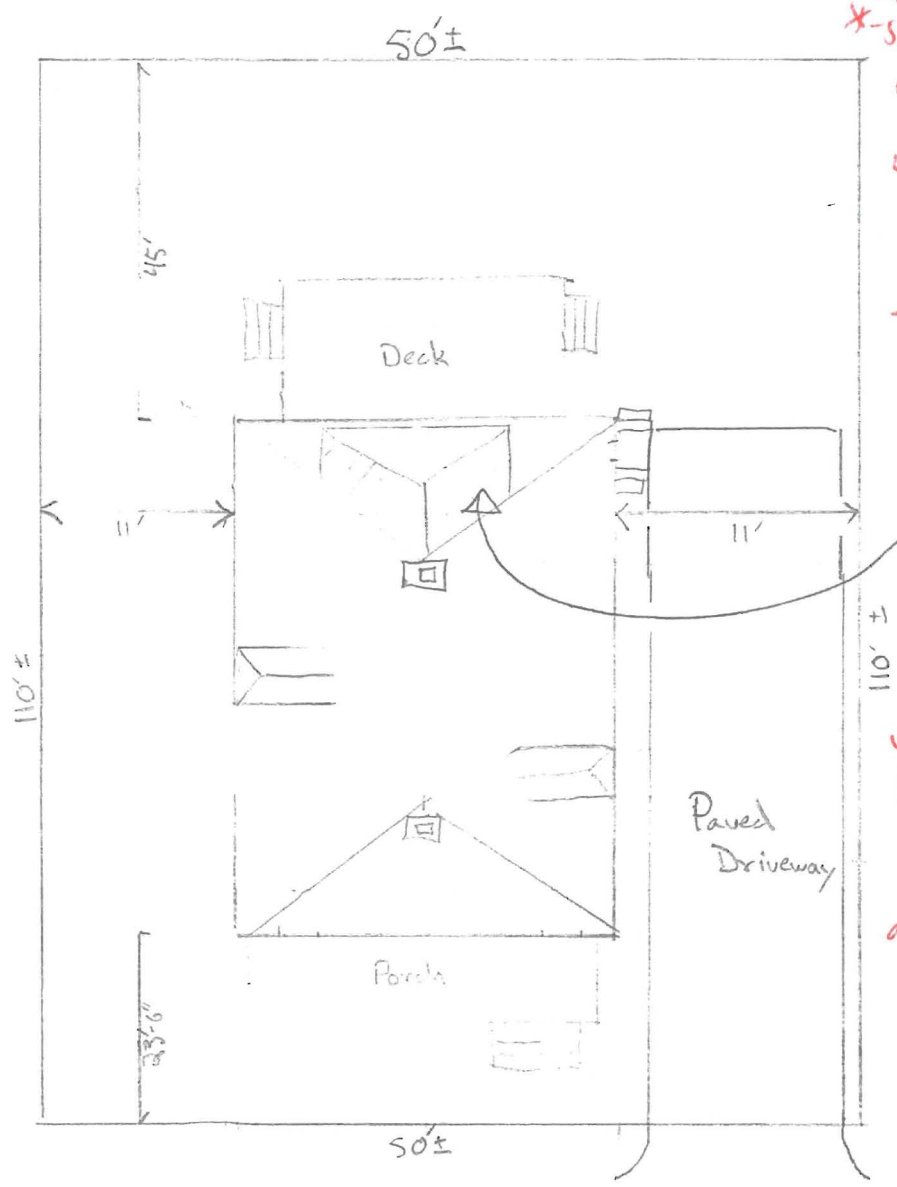
Nolan Residence

R-5
 lot size 5,000 ±
 land area per du 3,000 ±
 2 family 1950. non conforming

- front 20 - or average - 16.5
- rear 20 - 31' front deck.
- *- side - 2 sides - 12' - 11.5' in non conforming.

40% = 2,000 ±
 1735 wished (OK)

- 10' x 12 shed permitted 1983

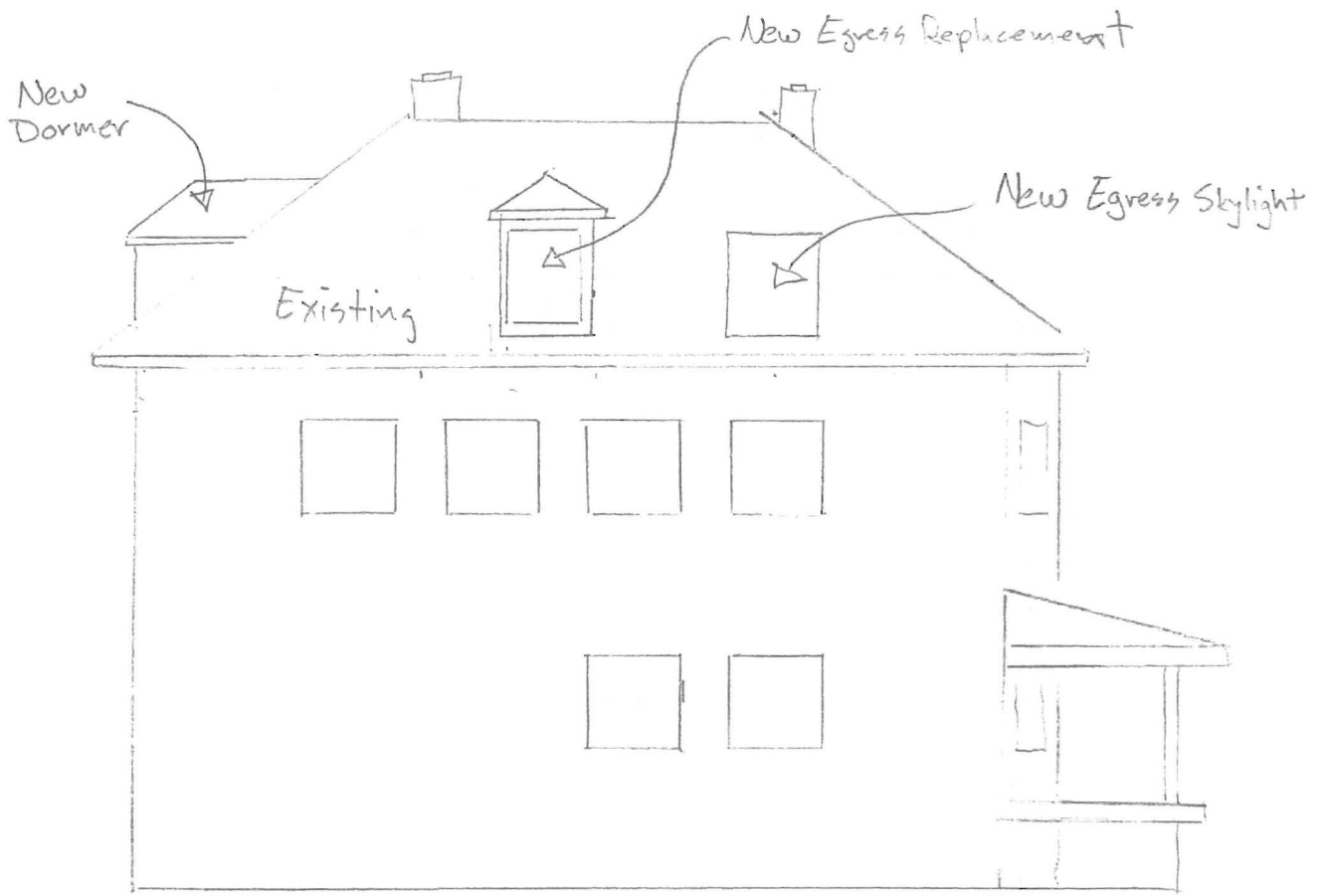


Proposed Dormer 9' x 8'

Utility section 14-436(b)
 53% = (not including deck).
 1323 = 681.5

dormer adding
 2.5 x 8.5 = 21.25 ±

Using 3% of allowable
 53% increase

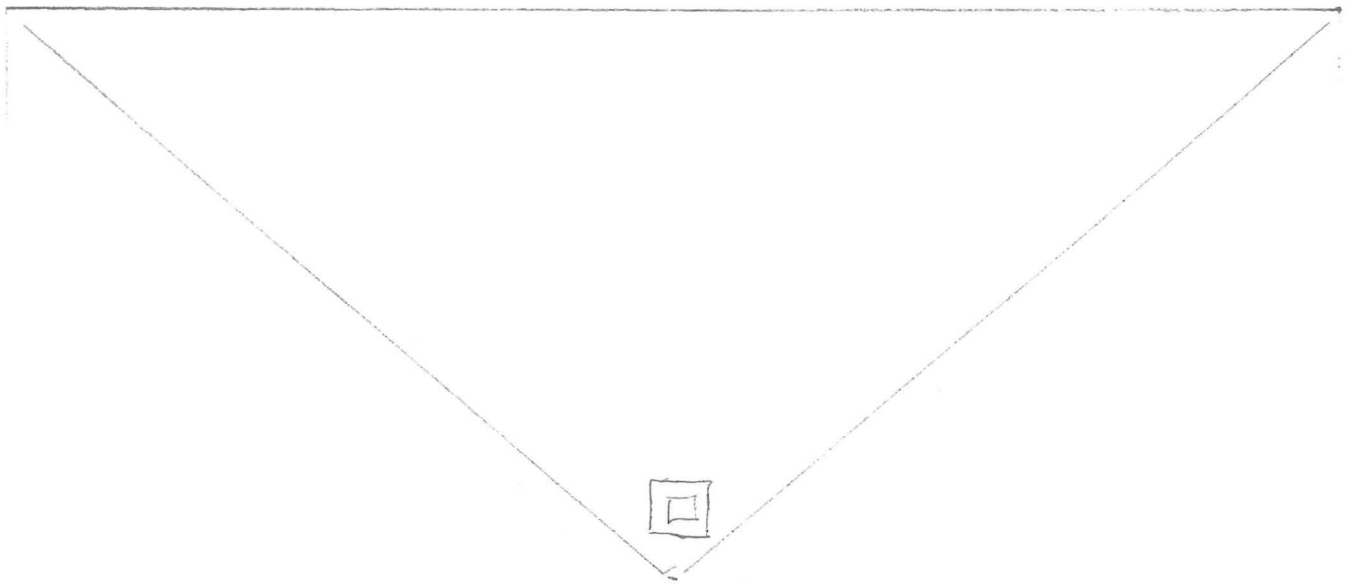


EAST ELEV.
SCALE = $\frac{1}{8}'' = 1'-0''$

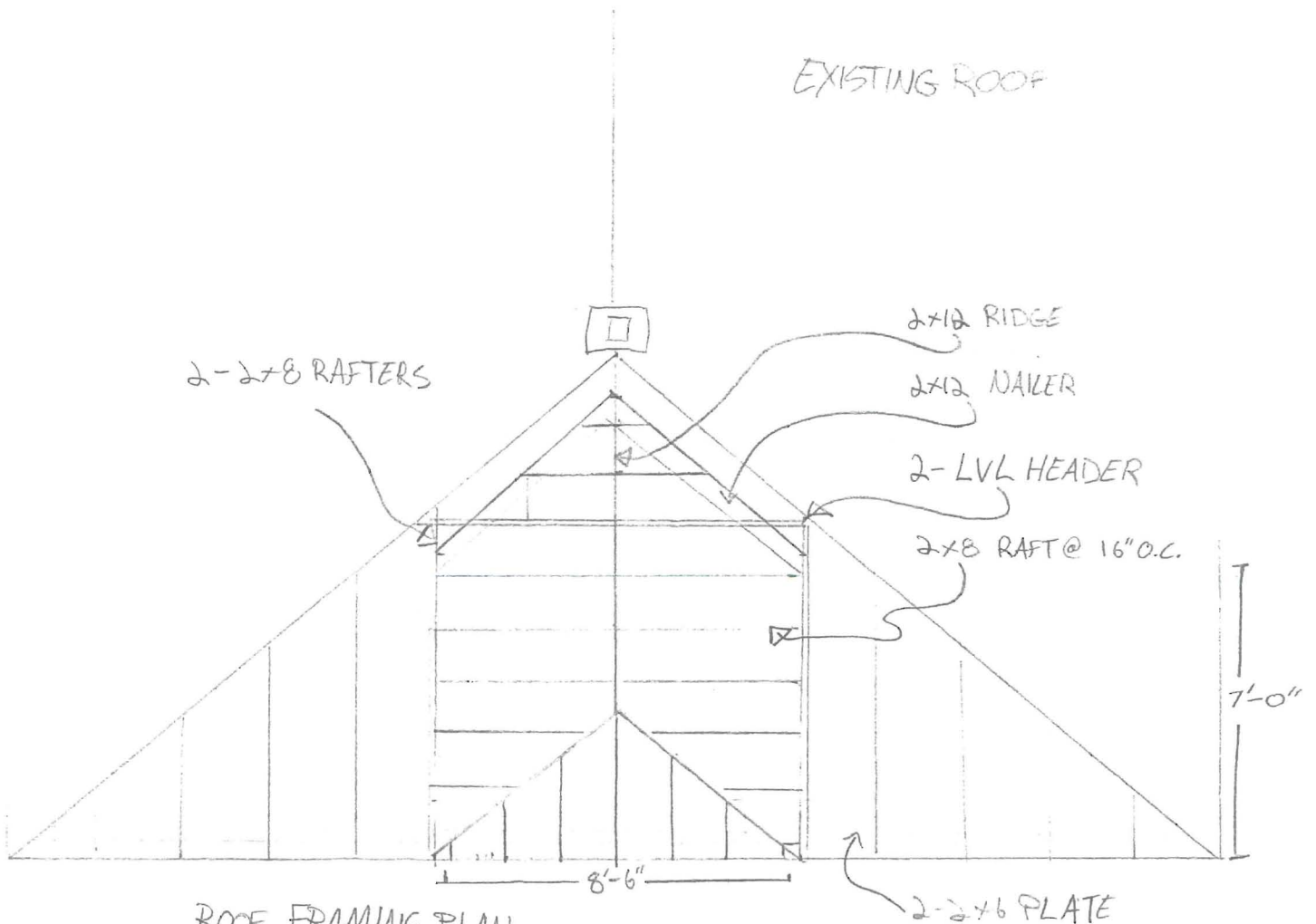


SOUTH ELEV.
SCALE = $\frac{1}{8}'' = 1'-0''$

32 FESSENDEN ST.



EXISTING ROOF



ROOF FRAMING PLAN

SCALE $\frac{1}{4}'' = 1'-0''$

32 FESSENDEN ST.



6/7/11 66

2011 06 1304

General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>32 Fessenden St. Portland, ME 04103</u>		
Total Square Footage of Proposed Structure/Area <u>750</u>	Square Footage of Lot <u>5500</u>	Number of Stories <u>3</u>
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>116 D009001</u>	Applicant * must be owner, Lessee or Buyer * Name <u>Christopher + Erin Nolan</u> Address <u>32 Fessenden St.</u> City, State & Zip <u>Portland, ME 04103</u>	Telephone: <u>207 899 4056</u>
Lessee/DBA (If Applicable) RECEIVED JUN - 7 2011	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>36,106.00</u> C of O Fee: \$ _____ Total Fee: \$ <u>390.00</u>
Current legal use (i.e. single family) <u>2 units</u> Number of Residential Units _____ If vacant, what was the previous use? _____ Proposed Specific use: <u>Same</u> Is property part of a subdivision? _____ If yes, please name _____ Project description: <u>Finishing uninhabited 3rd floor space to combine with 2nd floor unit. Framing, windows, skylights will be added. 8'x9' dormer.</u>		
Contractor's name: <u>Luke Cellier - Creative Carpentry</u>		
Address: <u>78 Washington St.</u>		
City, State & Zip <u>Bath, ME 04530</u>		Telephone: <u>319-5850</u>
Who should we contact when the permit is ready: <u>Luke Cellier</u>		Telephone: <u>319-5850</u>
Mailing address: <u>u</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Signature] Date: 6/5/2011

This is not a permit; you may not commence ANY work until the permit is issued

BUILDING PERMIT INSPECTION PROCEDURES

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or email: buildinginspections@portlandmaine.gov

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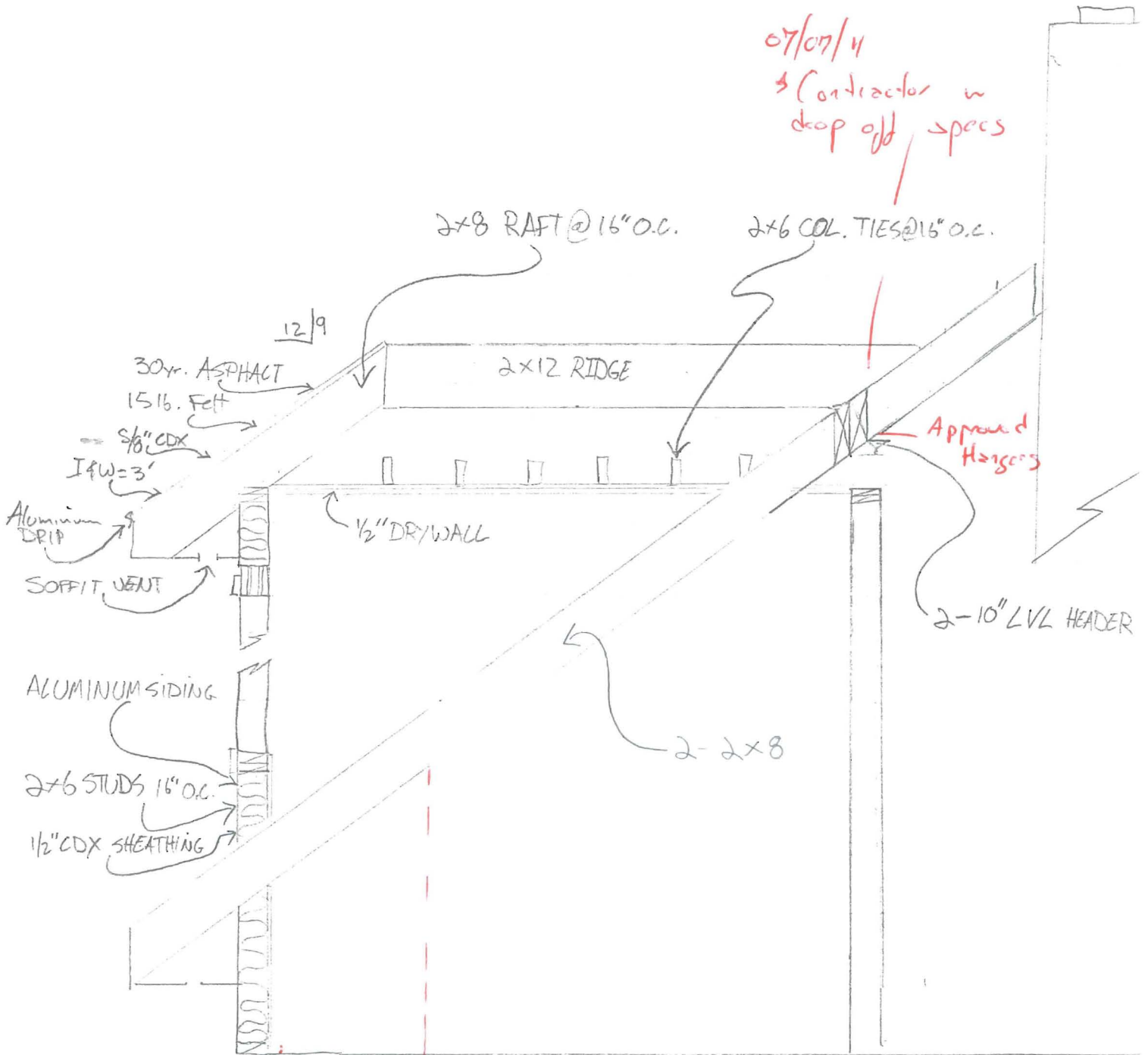
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32 FESSENDEN ST.

SECTION:

(A)

07/07/11
Contractor w
drop off specs



DORMER WALL SECTION

SCALE 1/2" = 1'-0"



CITY OF PORTLAND, MAINE

Department of Building Inspections

Original Receipt

June 7 2011

Received from Christopher Nolan

Location of Work 32 Forester St

Cost of Construction \$ _____ Building Fee: _____

Permit Fee \$ _____ Site Fee: _____

Certificate of Occupancy Fee: _____

Total: 390.00

Building (IL) Plumbing (I5) _____ Electrical (I2) _____ Site Plan (U2) _____

Other _____

CBL: 116 12005

Check #: 361

Total Collected \$ 390.00

**No work is to be started until permit issued.
Please keep original receipt for your records.**

Taken by: Angie

WHITE - Applicant's Copy
YELLOW - Office Copy
PINK - Permit Copy