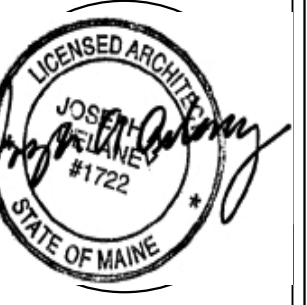


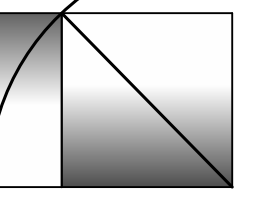
# 428 FOREST AVENUE

## RENOVATION OF EXISTING BUILDING

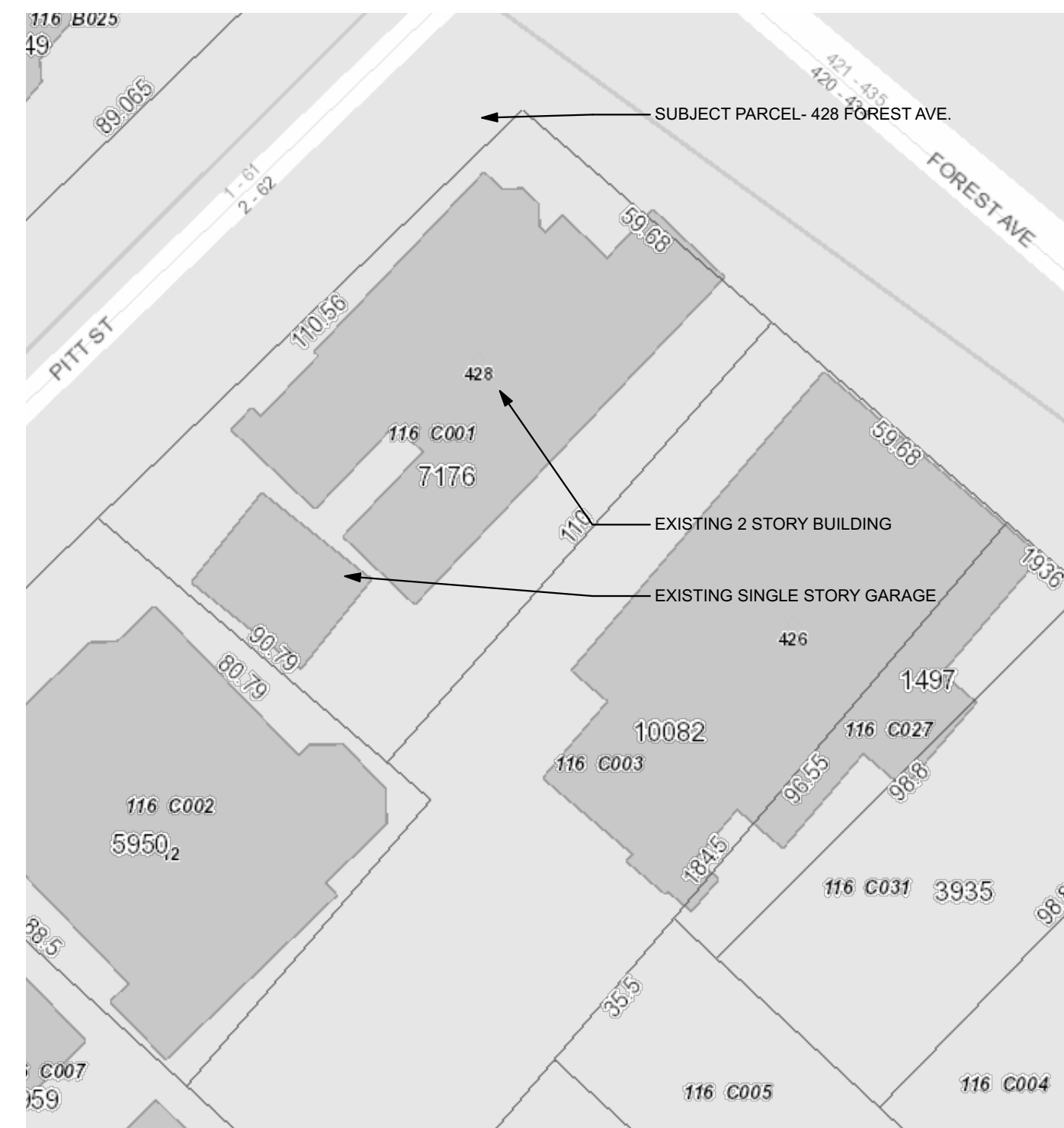
RENOVATION OF 428 FOREST AVENUE  
428-432 FOREST AVENUE  
PORTLAND, MAINE



WHIPPLE  
CALLENDER  
ARCHITECTS



136 PLEASANT AVE.  
PORTLAND, ME 04103  
P 207.775.2696  
F 207.775.3631  
www.whipplecallender.com



### GENERAL NOTES

- EXISTING FRAMING HAS NOT BEEN DOCUMENTED AND WILL REQUIRE INVESTIGATION PRIOR TO START OF CONSTRUCTION. ASSUMPTIONS FOR NEW FRAMING MAY NEED TO BE REVISITED ONCE EXISTING CONDITIONS HAVE BEEN ESTABLISHED.
- NOT ALL EXISTING CONDITIONS MAY HAVE BEEN PICKED UP DURING FORMATION OF AS-BUILT DRAWINGS. PLEASE BRING ANY UNDOCUMENTED CONDITION TO ARCHITECT'S ATTENTION BEFORE COMMENCING OR PROCEEDING WITH WORK WHERE A CONFLICT MAY OCCUR.
- NO SMOKING WILL BE ALLOWED ON SITE.
- ACCESS TO THE REAR OF THE SITE IS LIMITED DUE TO THE GARAGE AND PROXIMITY OF SOUTH LOT LINE.
- CONTRACTOR TO OBTAIN, AND PAY FOR BUILDING PERMITS, AND OTHER PERMITS REQUIRED TO PERFORM THE WORK.
- REMOVE ABANDONED UTILITIES AND WIRING SYSTEMS.
- SURVEY EXISTING CONDITIONS AND CORRELATE WITH DRAWINGS AND SPECIFICATIONS TO VERIFY EXTENT OF DEMOLITION REQUIRED.
- VERIFY CONDITIONS AT SITE TO DETERMINE WHETHER DEMOLITION METHODS PROPOSED FOR USE WILL NOT ENDANGER EXISTING STRUCTURES BY OVERLOADING, FAILURE, OR UNPLANNED COLLAPSE.
- PERFORM DEMOLITION OPERATIONS BY METHODS WHICH DO NOT ENDANGER ADJACENT SPACES, STRUCTURES, OR THE PUBLIC.
- PERFORM DEMOLITION OPERATIONS TO PREVENT DUST AND POLLUTANT HAZARDS. PROVIDE CHUTES AS REQUIRED TO CONTROL DUST AND DEBRIS
- NEW GUTTERS & DOWNSPOUTS TO BE INSTALLED AND TIED INTO EXISTING UNGROUND DRAINAGE SYSTEM.

### PROJECT DATA

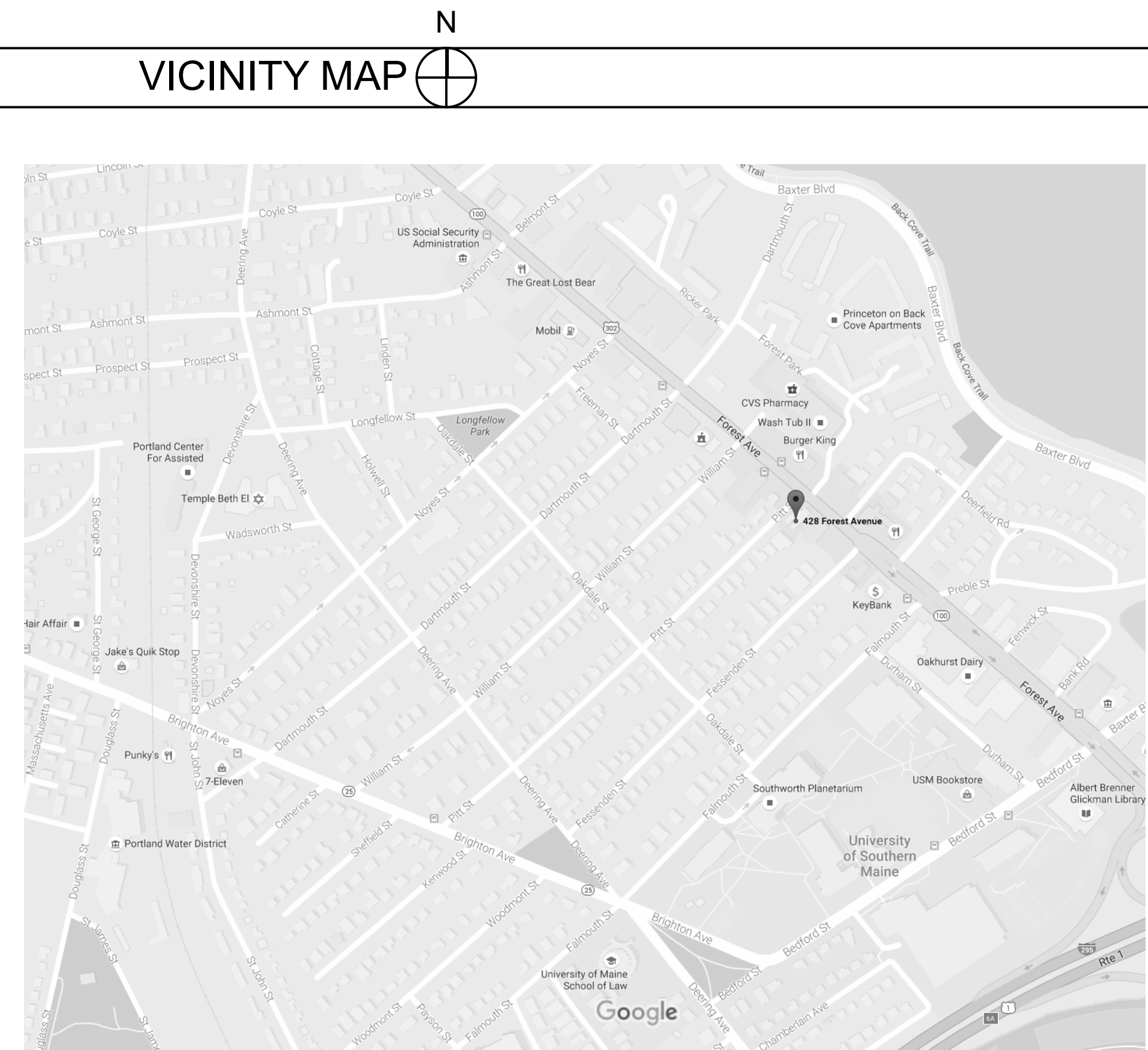
ZONING: B2b  
FRONT YARD SET BACK -none  
SIDE YARD SET BACK -none  
REAR YARD SET BACK 10'  
MAX. BLDG. HT. 45'

SITE AREA: 8,250  
BLDG USE: RESIDENTIAL, ASSEMBLY  
OCC. GROUP: R-2, A-2  
CONST. TYPE: VB  
CLIMATE ZONE: 6  
BLDG. CODE: IBC, NFPA  
FIRE SPRINKLERS: FULLY SPRINKLERED W/ ALARM

LIVE LOAD:  
LIVING AREAS = 40 PSF  
SLEEPING AREAS = 30 PSF  
UNINHABITABLE ATTICS = 20 PSF

SNOW LOADS:  
GROUND SNOW LOAD, Pg = 60 PSF  
SNOW EXPOSURE FACTOR, Ce = 1.0  
SNOW LOAD IMPORTANCE FACTOR, Ct = 1.1  
FLAT ROOF SNOW LOAD, Pf = 46.2psf + DRIFT

### VICINITY MAP



### APPLICABLE CODES

ALL CODES REFERENCED ARE TO BE USED AS AMENDED BY THE STATE OF MAINE AND LOCAL JURISDICTION.

IRC 2009  
MAINE STATE PLUMBING CODE  
PORTLAND ZONING ORDINANCE

THERMAL ENVELOPE REQUIREMENTS PER IECC COMMERCIAL 2009

- FENESTRATION U-FACTOR 0.35
- SKYLIGHT U-FACTOR 0.60
- CEILING R-VALUE 20
- WOOD FRAME WALL R-VALUE 20 OR 13+5
- FLOOR R-VALUE 30 or insulation to fill cavity min R-19
- BASEMENT WALL R-VALUE 10 continuous or 13 framing cavity
- SLAB R-VALUE R-10 to 4 feet
- CRAWL SPACE WALL R-VALUE 10 continuous or 13 framing cavity

### SCOPE OF WORK

EXISTING APARTMENT SPACES COMPLETELY RENOVATED

NEW BATHROOMS

NEW KITCHENS

REHAB OF RESTAURANT SPACE

NEW STRUCTURAL ROOF FRAMING

DESIGN BUILD ELECTRICAL AND MECHANICAL

### SHEET INDEX

ID	Name
A01	TITLE SHEET
A-1	NOTES
D1.1	BASEMENT AND FIRST FLOOR
D1.2	SECOND FLOOR AND ATTIC
A1.1	BASEMENT & FIRST FLOOR PL...
A1.2	SECOND AND ATTIC PLANS
A1.3.1	BASEMENT & FIRST FLOOR LS ...
A1.3.2	SECOND FLOOR LIFE SAFETY ...
A2.1	FRONT ELEVATION
A2.2	SIDE ELEVATION
A2.3	SIDE ELEVATION
A3.1	SECTIONS
A3.2	SECTIONS
A5.1	WALL DETAILS
A6.1	SCHEDULES

THIS DRAWING IS AN INSTRUMENT OF SERVICE AND SHALL REMAIN THE PROPERTY OF WHIPPLE CALLENDER ARCHITECTS. IT SHALL NOT BE USED FOR ANY OTHER PURPOSE THAN THAT FOR WHICH IT IS SPECIFICALLY FURNISHED.

DESCRIPTION  
DATE  
MARK

DATE: PERMIT APP. 9.20.16  
CHECKED BY: JAD  
DRAWN BY: CLBC  
JOB: 432-2016  
SHEET TITLE: TITLE SHEET

A01