

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK  
**CITY OF PORTLAND**

Please Read  
 Application And  
 Notes, If Any,  
 Attached

BU **PERMIT** ICTION

Permit Number: 090215

This is to certify that FORESTATE ASSOCIATES INC  
 has permission to Apartment (430) Forest Ave - adding 2 closets and new kitchen cabinets  
 AT 428 FOREST AVE (430) CF 116 C001001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lathed or otherwise finished-in. 24 HOURS NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. AKPT. R. Loutsean

Health Dept. \_\_\_\_\_

Appeal Board \_\_\_\_\_

Other \_\_\_\_\_

Department Name

*Deanne Bank* 4/1/09  
 Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-0215	Issue Date:	CBL: 116 C001001
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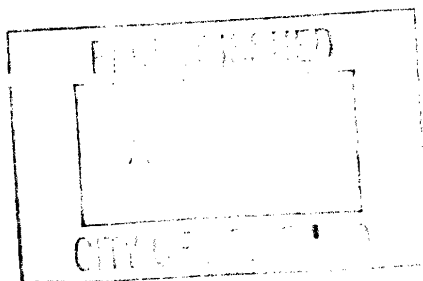
Location of Construction: 428 FOREST AVE (430)	Owner Name: FORESTATE ASSOCIATES LLC	Owner Address: ONE CITY CENTER	Phone:
Business Name:	Contractor Name:	Contractor Address:	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: <i>Alterations - Multi Family / commercial</i>	Zone: B-2b

Past Use: Multi-use building	Proposed Use: Multi-use building - Apartment (430) Forest Ave - adding 2 closets and new kitchen cabinets  <i>legal use - restaurant &amp; 4 d.u.</i>	Permit Fee: \$50.00	Cost of Work: \$2,500.00	CEO District: 2
Proposed Project Description: Apartment (430) Forest Ave - adding 2 closets and new kitchen cabinets <i>2nd floor left side</i> <i>new front bathroom</i>		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied  <i>* See Conditions</i> <i>Comments</i> Signature: <i>(KG)</i>	INSPECTION: Use Group: <i>A2/R</i> Type: <i>5B</i>  <i>IBC-2003</i> Signature: <i>AMB 4/1/09</i>	
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: _____ Date: _____				

Permit Taken By: Ldobson	Date Applied For: 03/20/2009 <i>19</i>
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**Zoning Approval**

<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p>	<p><b>Special Zone or Reviews</b></p> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan <p>Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/></p> <p><i>OK w/condition</i> Date: <i>3/20/09</i> <i>ABM</i></p>	<p><b>Zoning Appeal</b></p> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied <p>Date: _____</p>	<p><b>Historic Preservation</b></p> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied <p><i>ABM</i> Date: _____</p>
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**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE



# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>430 Forest Ave</u>		
Total Square Footage of Proposed Structure/Area	Square Footage of Lot	Number of Stories <u>3</u>
Tax Assessor's Chart, Block & Lot Chart#      Block#      Lot# <u>116</u> <u>C</u> <u>1</u>	Applicant * <b>must be owner, Lessee or Buyer</b> * Name <u>Brian Astor</u> Address <u>430 Forest Ave</u> City, State & Zip <u>Portland 04103</u>	Telephone: <u>207 749 9489</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name <u>(same)</u> Address City, State & Zip	Cost Of Work: \$ <u>2500-</u> C of O Fee: \$ _____ Total Fee: \$ _____
Current legal use (i.e. single family) <u>multiuse</u> Number of Residential Units <u>5</u> <sup>4 legal dw</sup> If vacant, what was the previous use? _____ Proposed Specific use: <u>same</u> <sup>5</sup> <u>spoke to Kevin Flaherty 3/20/09. He said this was right.</u> Is property part of a subdivision? <u>no</u> If yes, please name _____ Project description: <u>adding 2 closets and new kitchen cabinets</u>		
Contractor's name: <u>Kevin Flaherty</u>		
Address: <u>1 Twilight Ter</u>		
City, State & Zip: <u>Gray ME 04039</u>		Telephone: <u>2576027</u>
Who should we contact when the permit is ready: <u>Kevin Flaherty</u>		Telephone: <u>617 7945309</u>
Mailing address: <u>(same)</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Signature] Date: 3/19/09 MAR 20 2009

This is not a permit; you may not commence ANY work until the permit is issue

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<b>Permit No:</b> 09-0215	<b>Date Applied For:</b> 03/19/2009	<b>CBL:</b> 116 C001001
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<b>Location of Construction:</b> 428 FOREST AVE (430)	<b>Owner Name:</b> FORESTATE ASSOCIATES LLC	<b>Owner Address:</b> ONE CITY CENTER	<b>Phone:</b>
<b>Business Name:</b>	<b>Contractor Name:</b>	<b>Contractor Address:</b>	<b>Phone:</b>
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Alterations - Multi Family	

<b>Proposed Use:</b> Multi-use building - restaurant & four dwelling units- Apartment (430) Forest Ave , 2nd floor left- adding 2 closets and new kitchen cabinets	<b>Proposed Project Description:</b> Apartment (430) Forest Ave, 2nd floor left - adding 2 closets and new kitchen cabinets
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**Dept:** Zoning      **Status:** Approved with Conditions      **Reviewer:** Ann Machado      **Approval Date:** 03/20/2009

**Note:** **Ok to Issue:**

- 1) The use of the property shall remain as a restaurant and four residential dwelling units. Any change of use shall require a separate permit application for review and approval.
- 2) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

**Dept:** Building      **Status:** Approved with Conditions      **Reviewer:** Jeanine Bourke      **Approval Date:** 04/01/2009

**Note:** **Ok to Issue:**

- 1) All penetrations through rated assemblies must be protected by an approved firestop system installed in accordance with ASTM 814 or UL 1479, per IBC 2003 Section 712.
- 2) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm or HVAC or exhaust systems. Separate plans may need to be submitted for approval as a part of this process.

**Dept:** Fire      **Status:** Approved with Conditions      **Reviewer:** Capt Keith Gautreau      **Approval Date:** 03/26/2009

**Note:** I am concerned about the apartments not having two means of egress. Keith **Ok to Issue:**

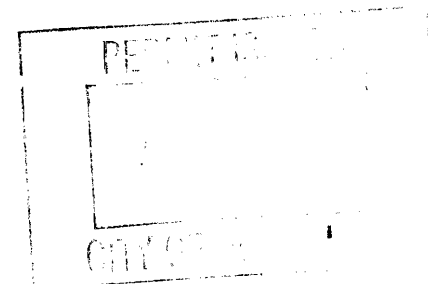
- 1) Two means of egress are required from every story. "State Law Title 25 ~ 2453"
- 2) All construction shall comply with NFPA 101

**Comments:**

3/26/2009-gautreau: According to the plans it does not look like there are two means of egress from the second floor apartment.

3/31/2009-jmb: Contractor submitted the rest of the floor plan showing the rear egress stairs

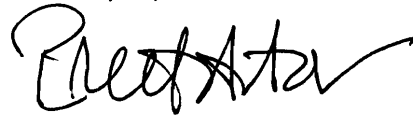
4/1/2009-jmb: Spoke to Kevin F. About what appears to be a new bathroom off the front bedroom, he confirmed, but no breach of the walls, ok to issue.



To Whom It May Concern:

I have requested Kevin Flaherty of Kevco Construction, Inc. to pull the permit or work at 430 Forest Avenue in Portland and he has my permission to do so. If you have any questions, you may contact me at 207 749 9489.

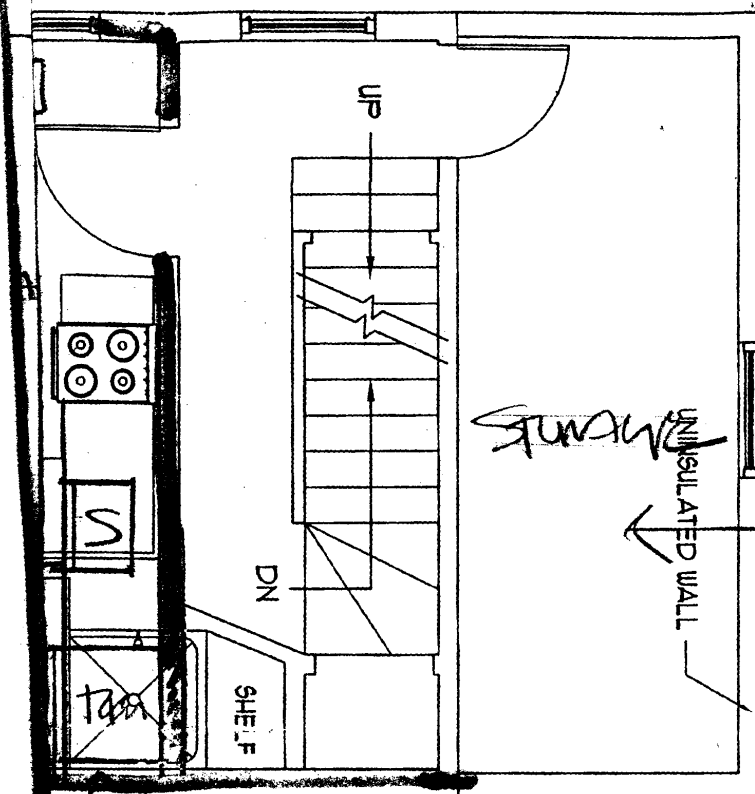
Thank you,

A handwritten signature in black ink, appearing to read "Brett Astor". The signature is fluid and cursive, with a prominent initial "B" and a long, sweeping tail.

Brett Astor, Manager  
Forestate Associates, LLC



Rear Egress detail  
430 Forest Ave.



STUNNING

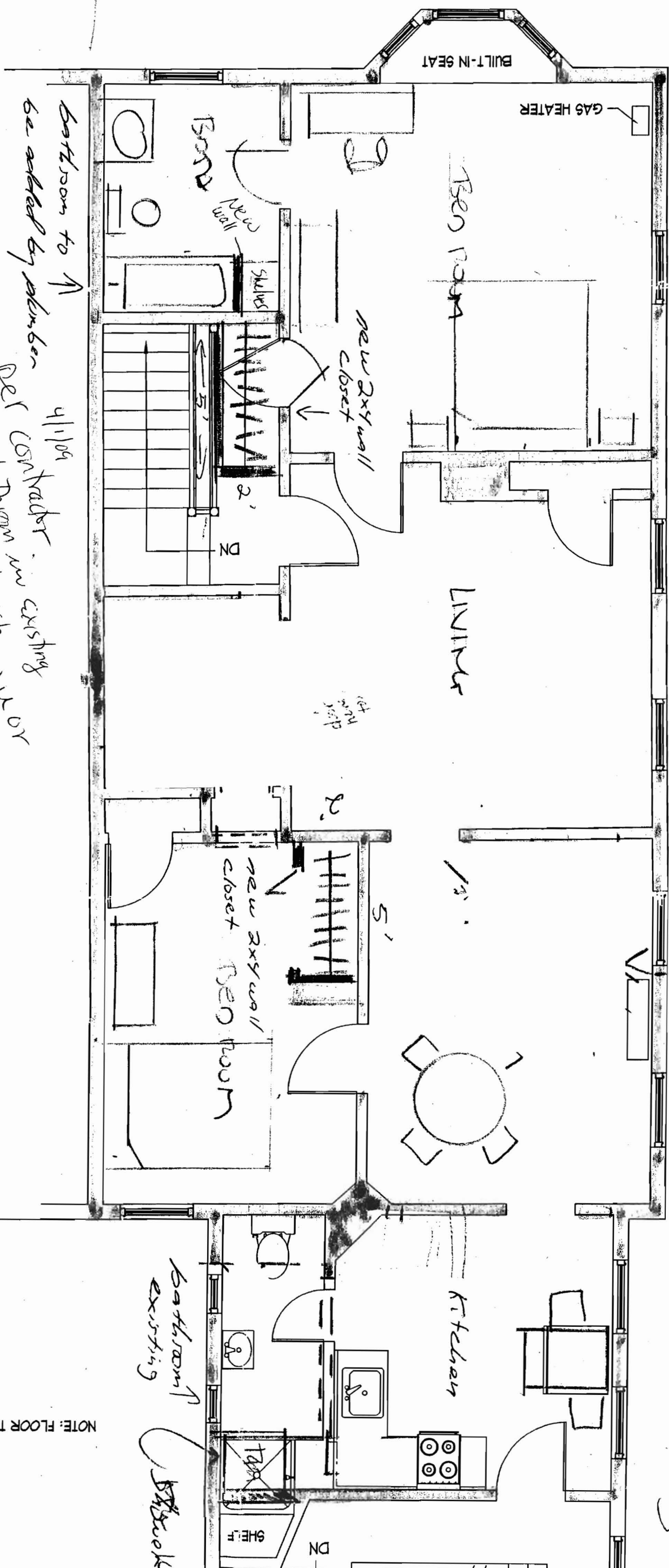
POZZA  
option

MRU KIT

MAR 31 2009

430 Forest Ave

- A/C above unit
- 2x4 headers
- 1/2" dry wall



Bathroom to ↑  
be added by plumber  
4/1/09  
Pet Counter  
New bathroom in existing  
space - No breach  
of walls  
Common Areas  
for  
DN  
UP

Remodel

NOTE: FLOOR TO CEILING 9'-0"