

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

BUILDING DEPARTMENT

PERMIT

Permit Number: 030983

Please Read Application And Notes, If Any, Attached

This is to certify that Ly Tim Q /n/a
has permission to Change of Use from Light Industrial to Restaurant Lounge.
AT 468 Forest Ave Portland, OR 97202 116 A003001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission procured before this building or part thereof is laid or closed-in.
HEAR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____
Department Name

Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 03-0983	Issue Date:	CBL: 116 A003001
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Location of Construction: 468 Forest Ave	Owner Name: Ly Tim Q	Owner Address: 468 Forest Ave	Phone: 207-650-6937
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Business Name: n/a	Contractor Name: n/a	Contractor Address: n/a Portland	Phone: 2074151789
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Lessee/Buyer's Name n/a Stephen Fernald / OLD DOG LLC	Phone: n/a	Permit Type: Change of Use - Commercial	Zone: B2b
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Past Use: Commercial / Light Industrial	Proposed Use: Commercial ; Change of Use from Light Industrial to Restaurant / Lounge.	Permit Fee: \$366.00	Cost of Work: \$30,000.00	CEO District: 2
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FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied INSPECTION: Use Group: Type:	
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Proposed Project Description: Change of Use from Light Industrial to Restaurant / Lounge.	Signature:	Signature:
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
Signature:	Date:	

Permit Taken By: gg	Date Applied For: 08/12/2003	Zoning Approval
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/>	Zoning Appeal <input type="checkbox"/> Variance <input checked="" type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input checked="" type="checkbox"/> withrew appeal <input type="checkbox"/> Denied 10/2/03	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied
	Date: <i>[Signature]</i>	Date: <i>[Signature]</i>	Date: <i>[Signature]</i>

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

All Purpose Building Permit Application

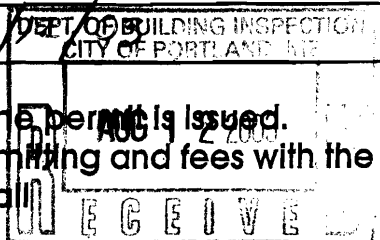
If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>468 Forest Ave</u>		
Total Square Footage of Proposed Structure <u>5680 SF</u>	Square Footage of Lot <u>6524.21 SF</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>116</u> Block# <u>A</u> Lot# <u>008</u>	Owner: <u>TIM LY</u>	Telephone: <u>207 650 6937</u>
Lessee/Buyer's Name (If Applicable) <u>Old Day LLC / Stephen Fernald</u>	Applicant name, address & telephone: <u>Stephen Fernald 761-9250</u> <u>27 O'Brien St Portland</u>	Cost Of Work: \$ <u>30,000</u> Fee: \$ <u>291.00</u>
Current use: <u>LIGHT INDUSTRIAL</u>		<u>Copy \$75.00</u> <u>\$366.00</u>
If the location is currently vacant, what was prior use: _____		
Approximately how long has it been vacant: _____		
Proposed use: <u>RESTAURANT / LOUNGE</u>		<u>Change of use</u>
Project description: _____		
Contractor's name, address & telephone: <u>STEPHEN FERNALD 838-0552</u>		
Who should we contact when the permit is ready: <u>STEPHEN FERNALD 838-0552</u>		
Mailing address: <u>CONSTANTINO LALLO III 831-4975</u>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE:		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>Stephen M Fernald</u>	Date: <u>8/17/05</u>
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This is NOT a permit, you may not commence ANY work until the permit is issued.
If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall

Parking Space Lease Agreement

Parties -

Awards & Recognition Inc.(Landlord) Located at 494 Forest Avenue. Portland, Maine. hereby leases to Old Dog L.L.C./Blue Mango (Tenant) located at 468 Forest Avenue. Portland, Maine. the following described premises.

Premises -

5 parking spaces. Each of which measure 9 feet by 19 feet in size. A total of 855 square feet. The premises are located at 494 Forest Avenue. Portland, Maine.

Term -

The term of this lease shall run month to month commencing on October 15th, 2003 for an indefinite period of time.

Rent -

Old Dog L.L.C./ Blue Mango will pay to Awards & Recognition Inc. the sum of \$500.00 per month. To be paid by the 15th of each month. The following considerations will also be made by the tenant. \$200.00 per month in food trade and snow removal from entire parking area. Fix hole in corner of lot.

Insurance -

Tenant will agree to list the Landlord as an Additional Insured on tenants General Liability Insurance policy as respects the parking spaces listed herein.

Termination of Agreement -

Landlord & Tenant may terminate this agreement at any time with just cause. If either party chooses to terminate this agreement, 30 days written notice must be given to the other party.

Tenant

Old Dog L.L.C.
legal name of tenant

Stephen M Dornald
signature

Member
name/title

8/28/03
date

Landlord

Awards & Recognition, Inc.
legal name of landlord

Paul Walton
signature

President
name/title

8/28/03
date

RECEIVED

Blue Mango
468 Forest Avenue
Portland, ME 04101
207-761-9250

City of Portland
Inspection Services

This letter is to notify you that Old Dog L.L.C. d.b.a Blue Mango intends to open a restaurant/lounge at 468 Forest Avenue. The interior space to be occupied is approximately 3600 sq ft of the ground floor only. Currently the space use is light industrial. Quinn Enterprises assembles upscale shoes and handbags as well as other fashion accessories. The building was at one time used as medical space.

To accomplish our goals we will need to remove some of the interior partitions (none are load bearing) to open the space up. Some of the improvements we intend to make include building banquette seating, a 24ft bar and installing all necessary kitchen equipment. Contractors to be used will include Plumbing, Electrical and HVAC. Minor cosmetic work to be done by owners of Blue Mango.

Sincerely,

Stephen M Fernald
Constantino Lallo

Zoning Division
Marge Schmuckal
Zoning Administrator

Department of Planning & Development
Lee Urban, Director



CITY OF PORTLAND

October 9, 2003

Stephen Fernald / Old Dog LLC
27 O'Brion St.
Portland, ME 04101

RE: 468 Forest Avenue – 116-A-003 – B2b Zone – permit application #03-0983

Dear Stephen,

This office is in receipt of your withdrawal of your miscellaneous parking appeal for your change of use from an office use to a restaurant use. Because you have not shown this office the required number of off-street parking spaces for your proposed use, your permit has been denied.

If you have any questions regarding this matter, please do not hesitate to contact this office.

Very truly yours,

A handwritten signature in black ink that reads "Marge Schmuckal".

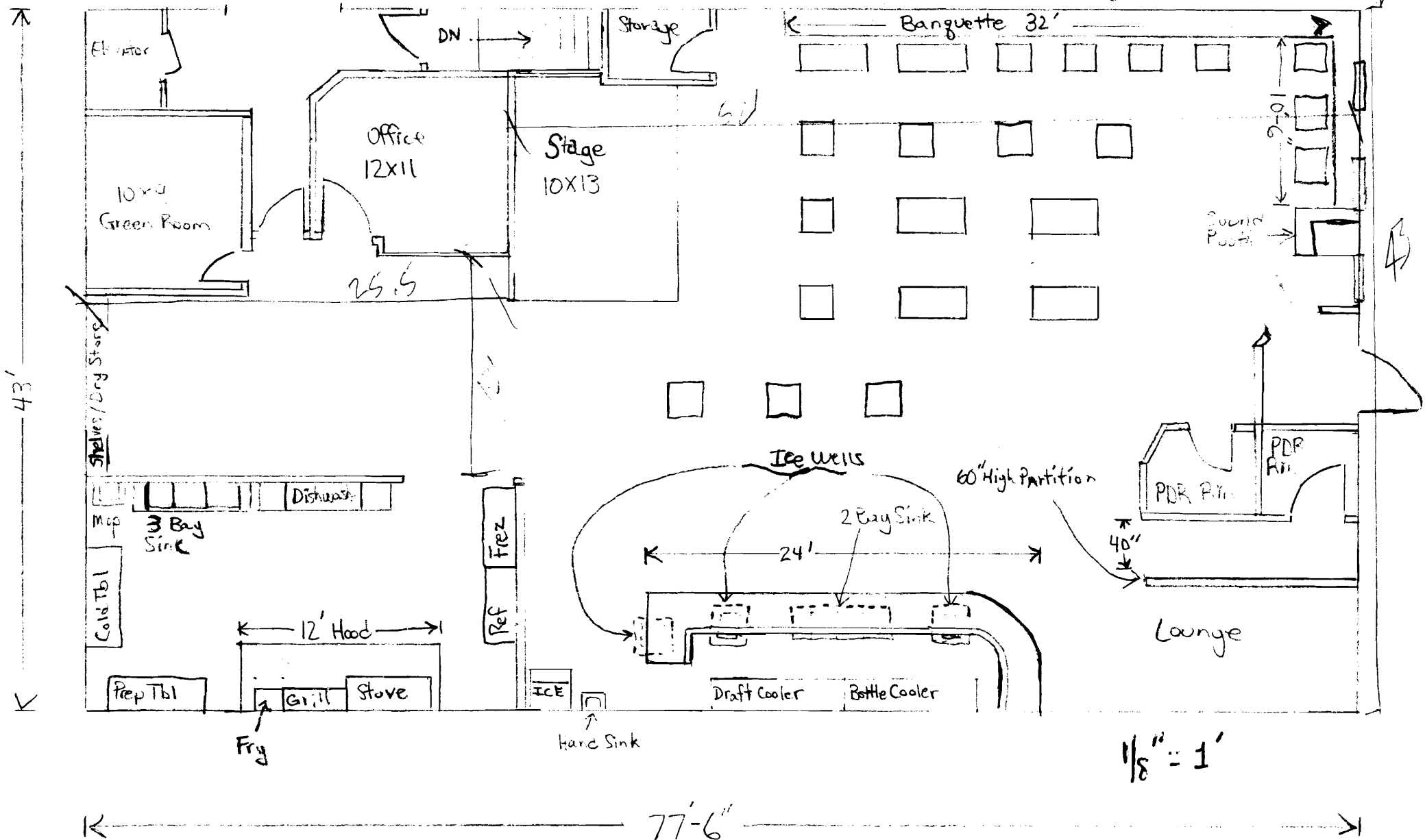
Marge Schmuckal
Zoning Administrator

File

Cc: Tim Q. Ly
468 Forest Avenue
Portland, ME 04101

Blue Mango 468 Forest Ave

$$\begin{array}{r}
 43.5 \times 2 = 236 \\
 13 \times 25.5 = 331.5 \\
 \hline
 2367.5 \div 17 = 139.26 \text{ SF}
 \end{array}$$



§ 2, 2-22-82; Ord. No. 575-86, §§ 1, 2, 5-19-86; Ord. No. 65-87, 11-2-87; Ord. No. 230-90, § 2, 3-5-90; Ord. No. 33-91, § 14, 1-23-91; Ord. No. 243-91, § 1, 3-11-91; Ord. No. 33A-91, § 8, 4-17-91; Ord. No. 125-97, § 10, 3-3-97; Ord. No. 232, §4, 3-15-99; Ord. No. 94-99, 11-15-99))

Sec. 14-333. To be located on lot with principal use in residential zones; exceptions.

Required off-street parking in all residential zones and accessory off-street parking in R-1 through R-5 zones shall be located on the same lot with the principal building or use, except that the Board of Appeals may permit such off-street parking to be located at a distance of not more than three hundred (300) feet from the principal building or use, measured along lines of public access where it cannot reasonably be provided on the same lot if the premises to be used for parking are held under the same ownership or lease as the building or use served and if said premises are located in the same or a less restricted zone as the building or use served. Evidence of such control, either deed or lease, shall be required. The Planning Board may be substituted for the Board of Appeals only where an applicant is otherwise before the Planning Board for site plan approval.

Whenever any exception to the parking requirements under this section has been finally denied on its merits by either the Zoning Board of Appeals or the Planning Board, a second request for an exception seeking essentially the same relief, whether or not in the same form or on the same theory, shall not be brought before either body within one (1) year of such denial unless, in the opinion of the board before which it was initially brought, substantial new evidence is available or a mistake of law or fact significantly affected the prior denial.

(Code 1968, § 602.14.C; Ord. No. 94-99, 11-15-99)

Sec. 14-334. To be located on lot with principal use in nonresidential zones; exceptions.

Required off-street parking in all nonresidential zones shall be located on the same lot with the principal building or use, or within one hundred (100) feet measured along lines of public access, except that where off-street parking cannot be provided within these limits, the Board of Appeals may permit such

off-street parking to be located a reasonable distance from the principal building or use measured along lines of public access if the premises to be used for parking are held under the same ownership or lease. Evidence of such control, either deed or lease, shall be required. The Planning Board may be substituted for the Board of Appeals only where an applicant is otherwise before the Planning Board for site plan approval.

Whenever any exception to the parking requirements under this section has been finally denied on its merits by either the Zoning Board of Appeals or the Planning Board, a second request for an exception seeking essentially the same relief, whether or not in the same form or on the same theory, shall not be brought before either body within one (1) year of such denial unless, in the opinion of the board before which it was initially brought, substantial new evidence is available or a mistake of law or fact significantly affected the prior denial.

(Code 1968, § 602.14.D; Ord. No. 430-83, § 1, 4-25-83; Ord. No. 94-99, 11-15-99)

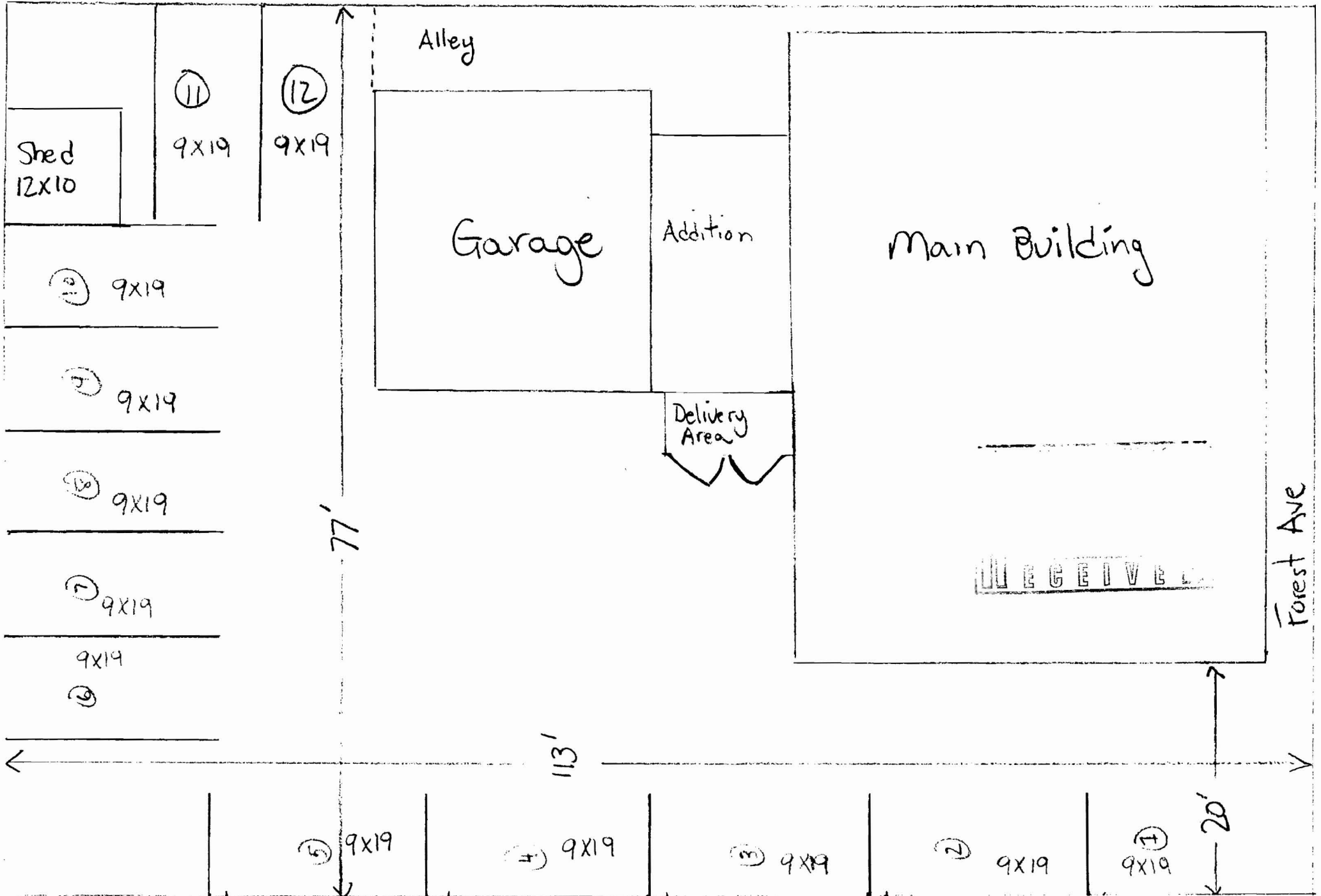
Sec. 14-335. Off-street parking restricted.

Off-street parking shall not include:

- (1) More than one (1) commercial motor vehicle in any residence zone, the R-P zone or any B-1 zone;
- (2) More than six (6) commercial motor vehicles in any B-2 zone;
- (3) Loading, sales, dead storage, repair, or servicing of any kind, except when customarily incidental or accessory to a conforming principal building or use when located in an I-2, I-2b, I-3 zone and I-3b zone;
- (4) Except in the case of a car dealer, more than one (1) unregistered motor vehicle stored outside for a period in excess of thirty (30) days in any residence zone, the R-P zone or any business zone;
- (5) Notwithstanding (1) above, any truck body, commercial trailer or similar commercial vehicles in any residence zone or the R-P zone.

Blue Mango Parking
(468 Forest)

494 Forest Ave

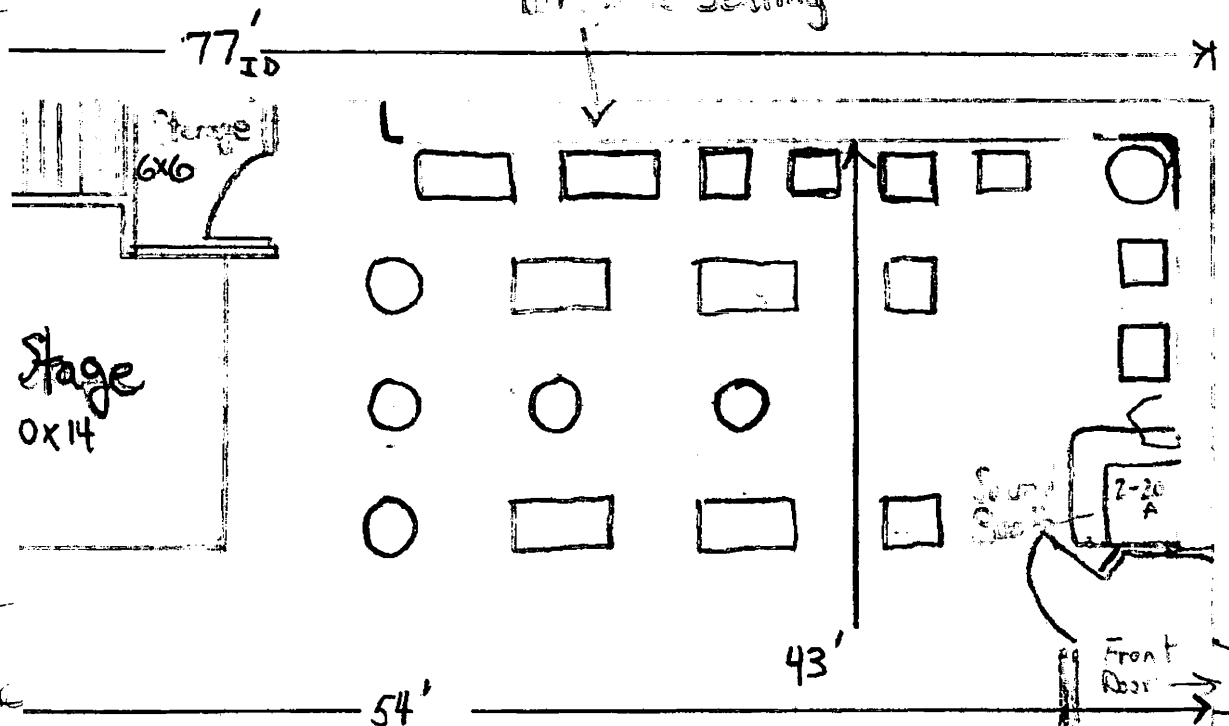


$37 \times 54 = 2022$
 $7.5 \times 25 = 187.5$

 $234.5 + 150 =$
 Restaurant Area 14.23

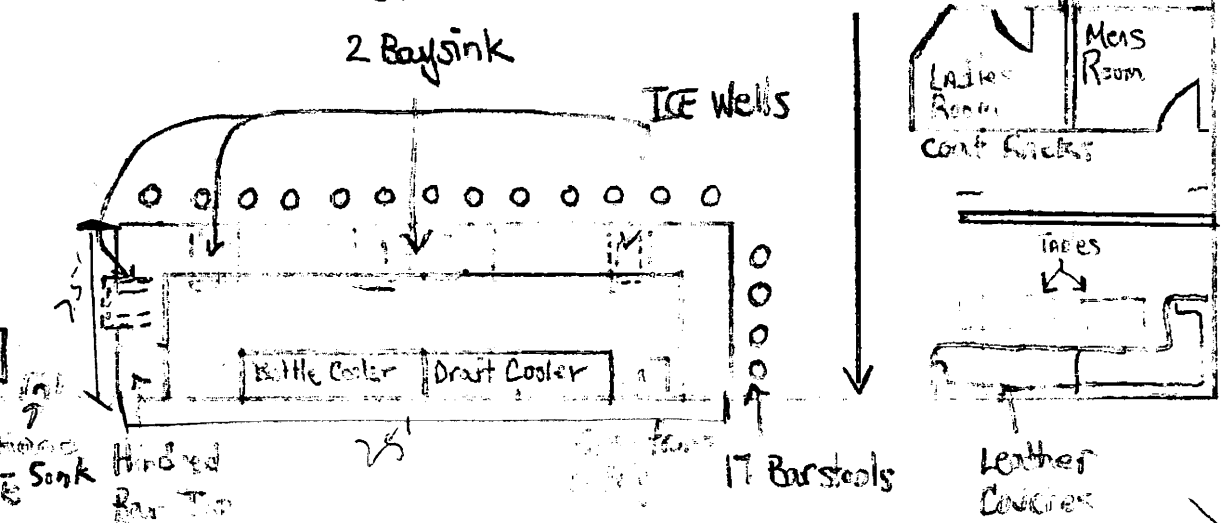
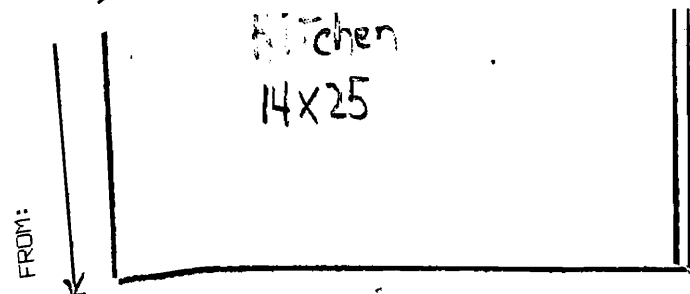
Blue Mango
 168 Forest

Area Area
 $12 \times 12 = 144$
 $10'2" \times 10.5' =$
 $10.17 \times 10.5' = 106.79$



$14.23 + 1.00 =$
 15 pkgs SPACAS req
 1 pkgs SPAC req

$250.79 = 312$
 ↓
 1 pkgs SPAC req

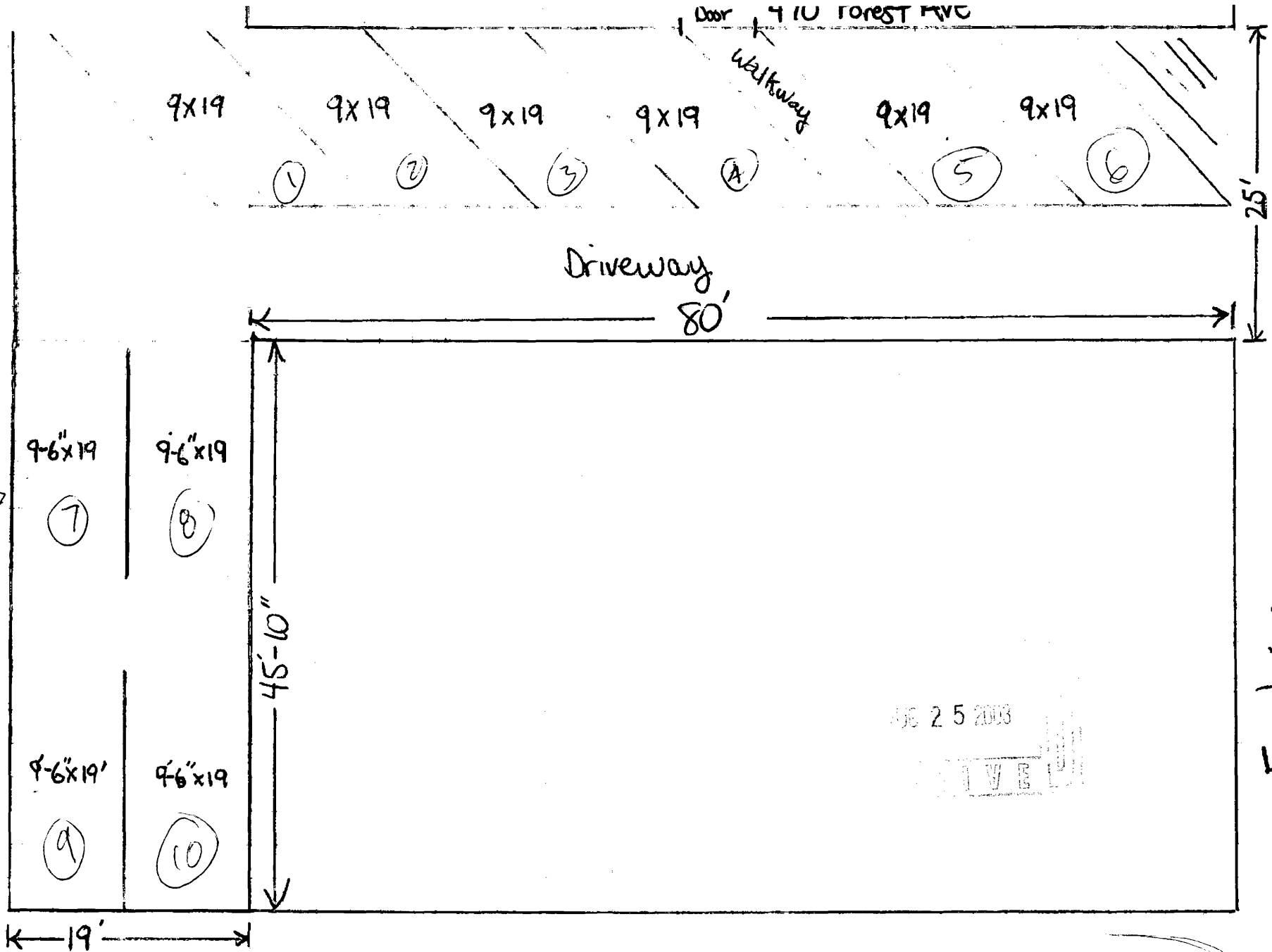


FROM: AUG-22-2003 03:43

AUG 25 2003

1/8" = 1'

where is
Access to
these? →



468 Forest Ave
Blue Mango

10 Existing Parking Spaces

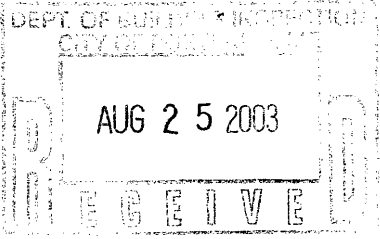
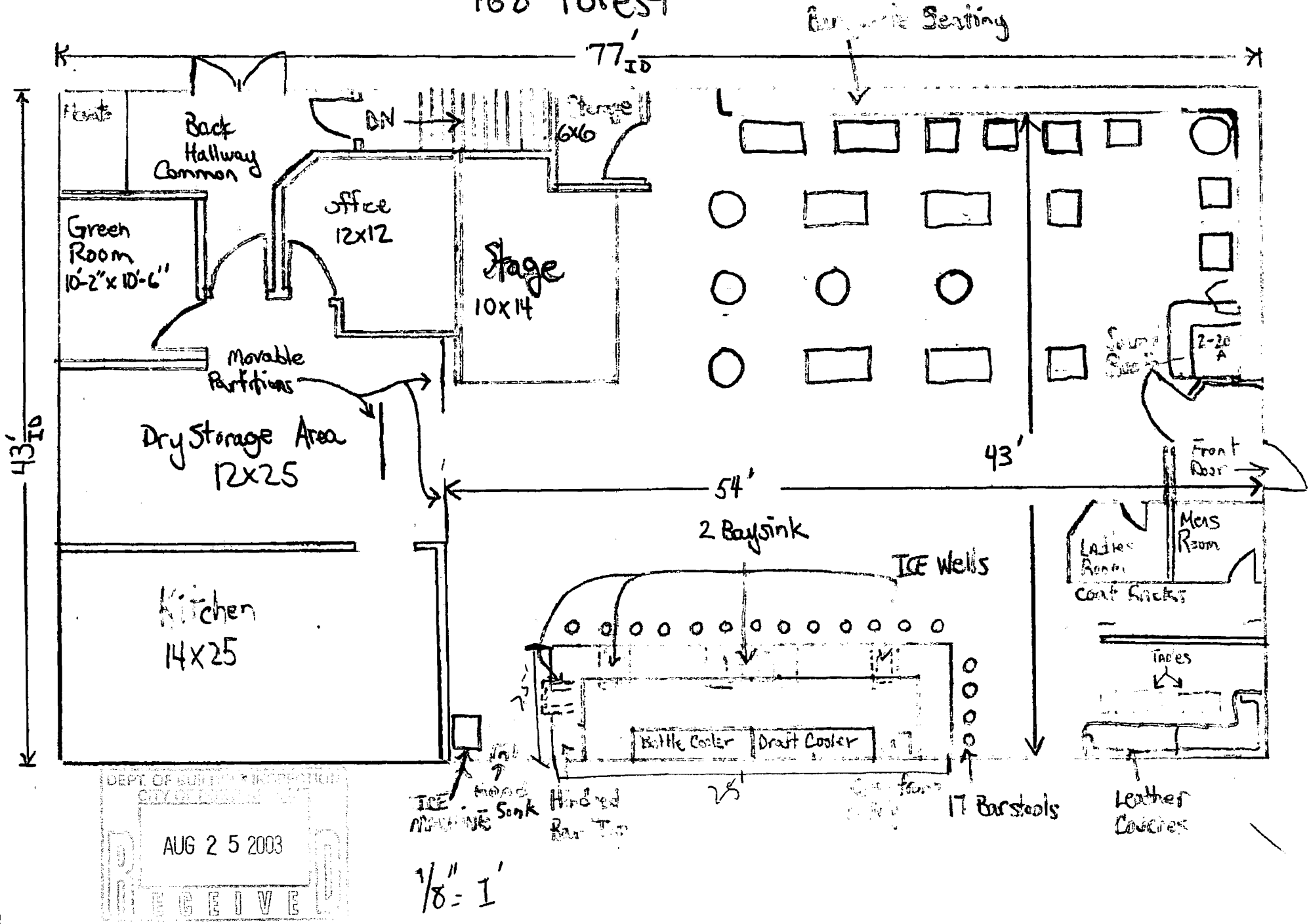
AUG 25 2003

LEVEL

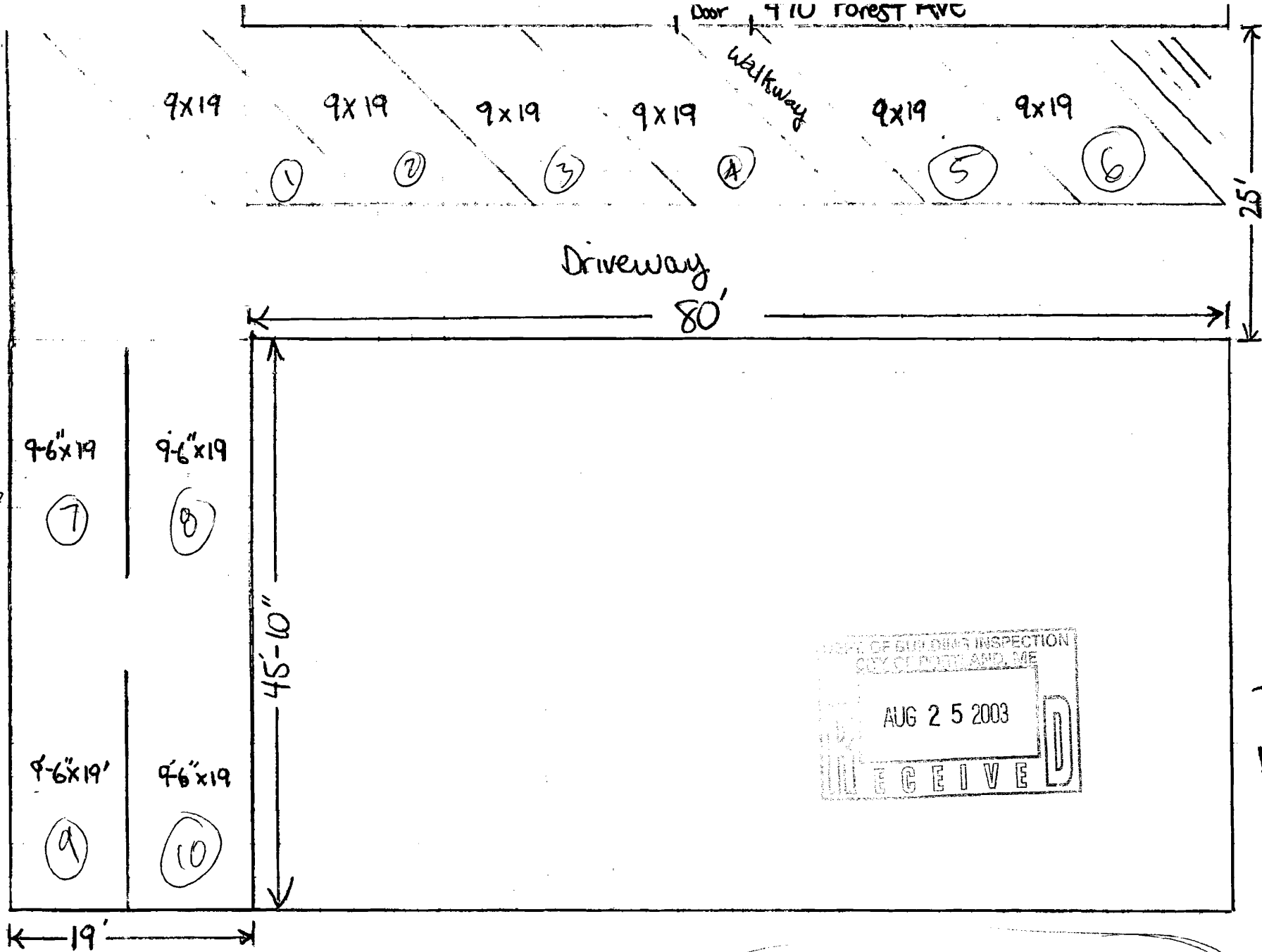
Forest Ave

Blue Mango 468 Forest

P.1
TO: 8748716
FROM: AUG-22-2003 03:43



F.P.E
10:0148110
AUG-22-2003 10:43 FNUM:



Here is access to road

Forest Ave

468 Forest Ave
Blue Mango

10 Existing Parking Spaces

Rest.

$$43 \times 54 = 2322$$

$$- (7.5 \times 25) \quad - 187.5$$

$$2134.5 + 150 =$$

Restaurant
Area 14.23

Office Area

$$12 \times 12 = 144$$

$$10'2" \times 10.5'$$

$$10.17 \times 10.5' = 106.79$$

$$14.23$$

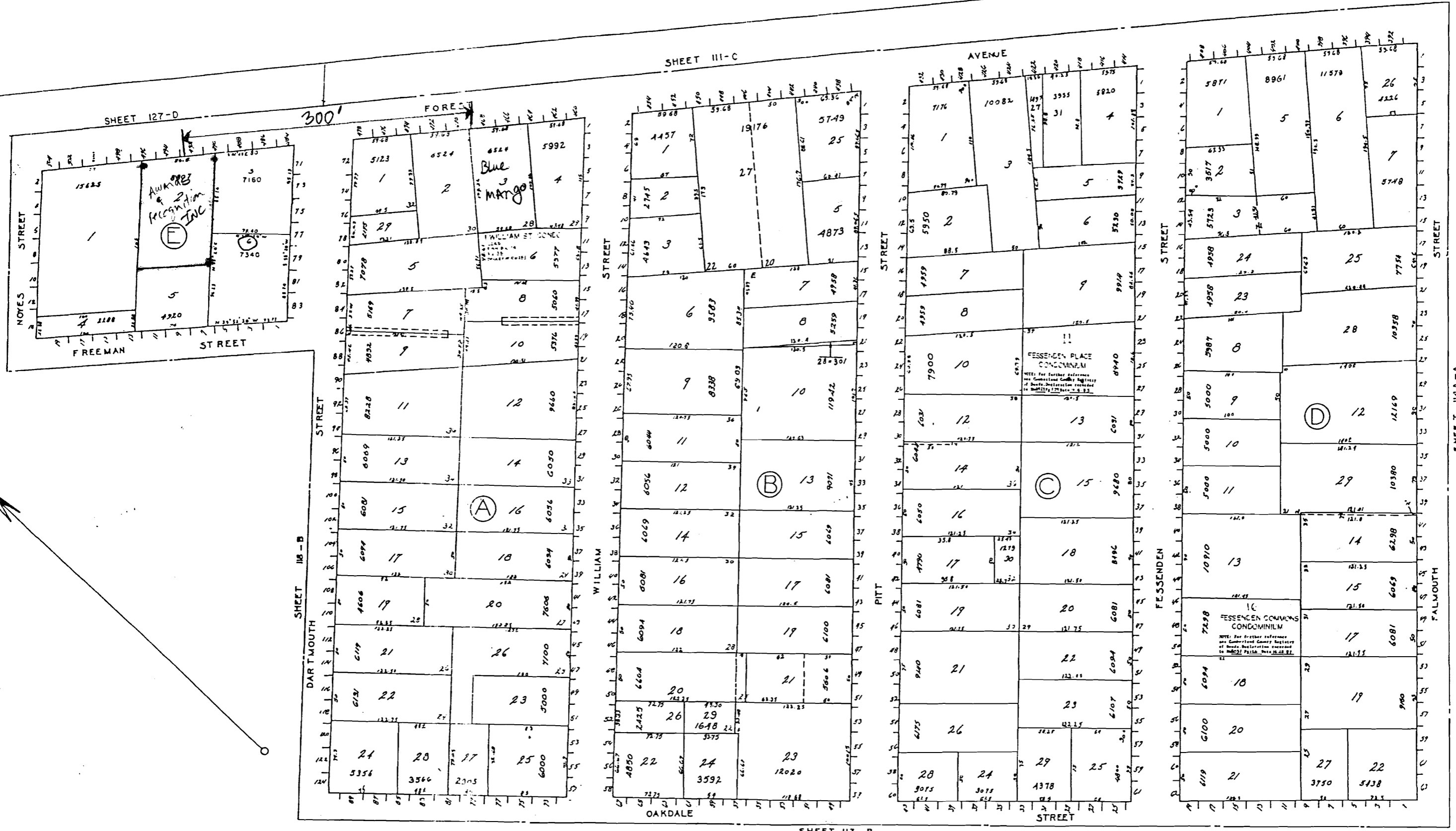
$$+ 1.00$$

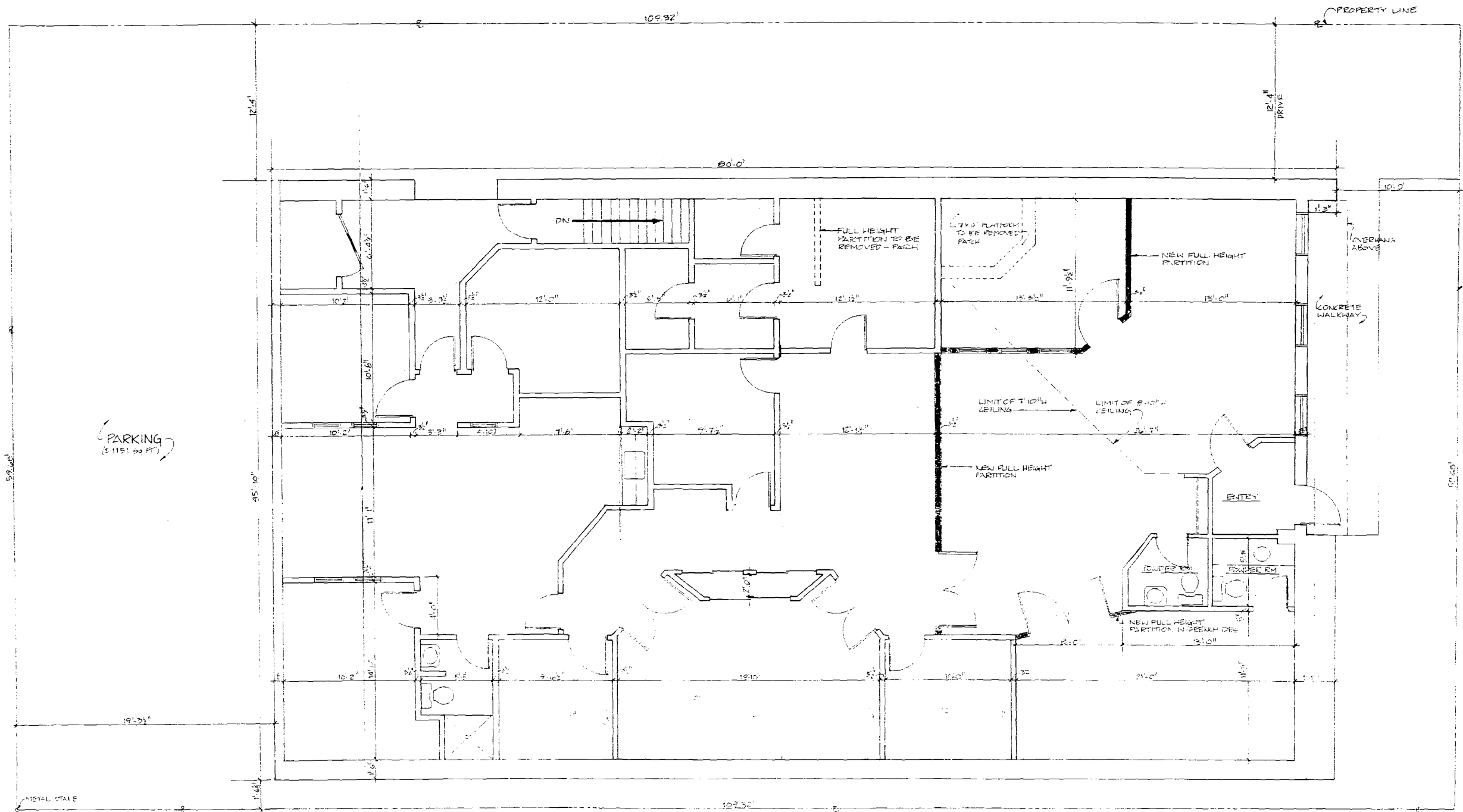
15.23 PKG SPACES
req

$$250.79 \div 332$$

↓

1 PKG SPACE
req



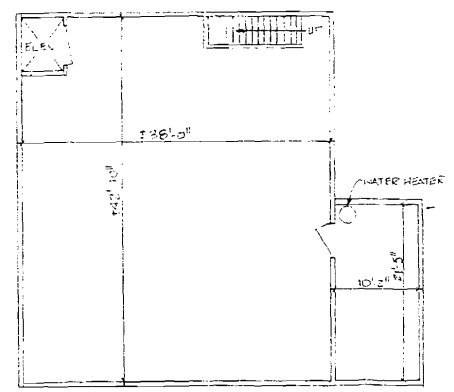


PARTITIONS LEGEND

	EXISTING PARTITIONS
	PROPOSED NEW PARTITIONS
	PARTITIONS TO BE REMOVED

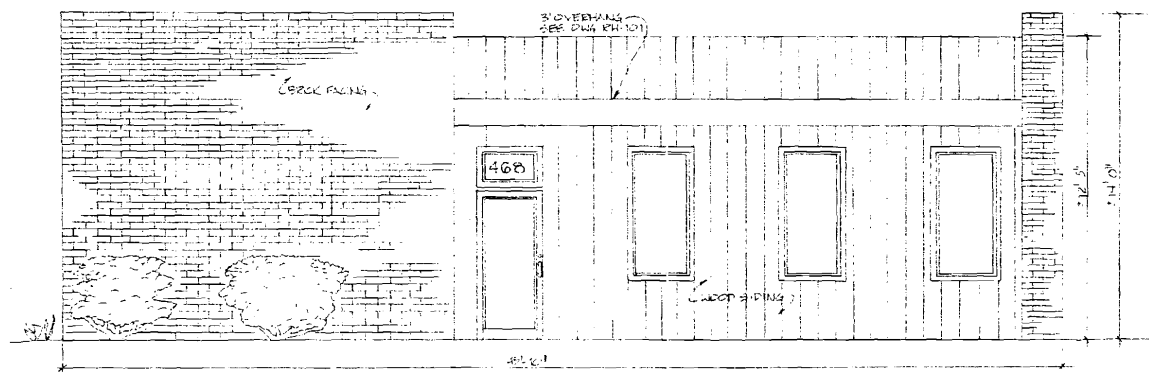
NOTE
 THIS DRAWING IS ISSUED FOR THE PURPOSE OF REVIEW ONLY. THIS IS NOT TO BE USED FOR CONSTRUCTION UNLESS CONTRACTORS VERIFY ALL DIMENSIONS, TYPES, SIZES & LOCATION OF MATERIALS SHOWN FOR ACCURACY, INTENT & COMPLIANCE WITH APPLICABLE CODE.

PARKING
 (5 1151 SQ FT)

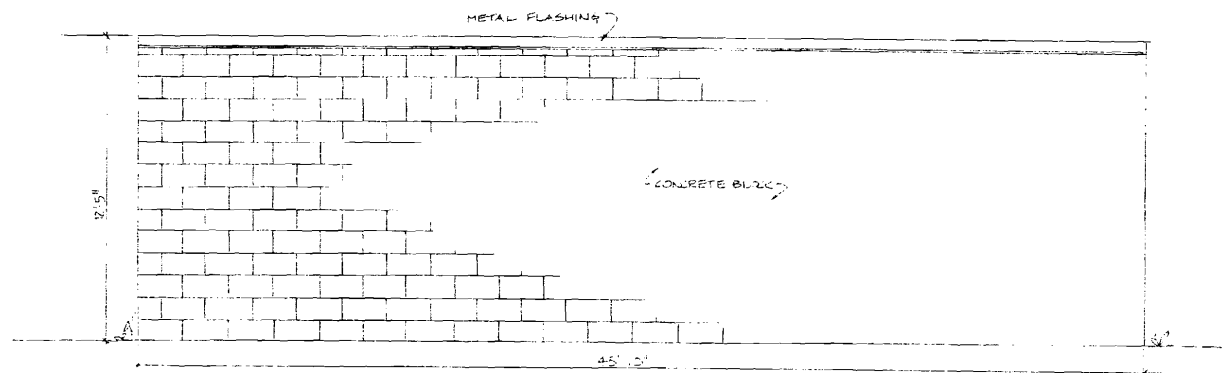


BASEMENT FLOOR PLAN
 SCALE 1/8" = 1'-0"

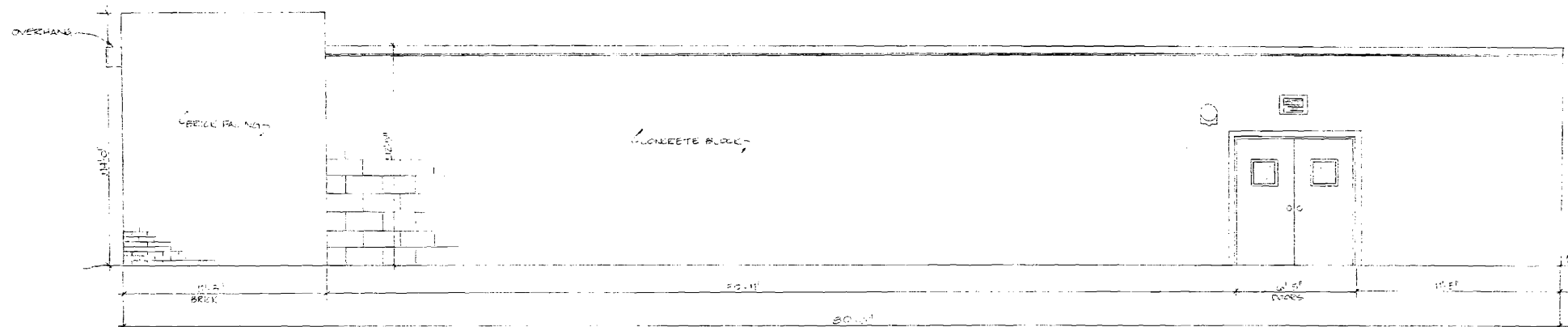
FLOOR PLAN
 468 FOREST AVENUE
 DATE MARCH 6, 1969 DRAWN BY R.H.101



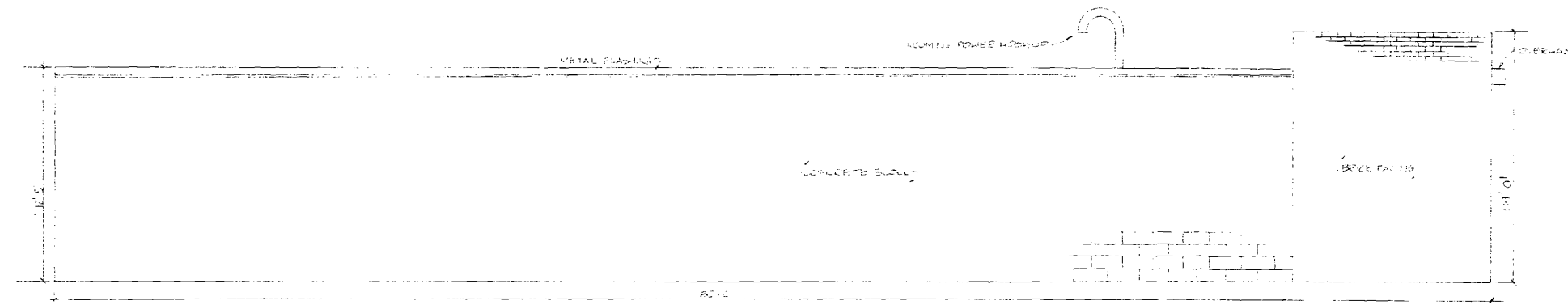
FRONT ELEVATION
SCALE 1/8" = 1'-0"



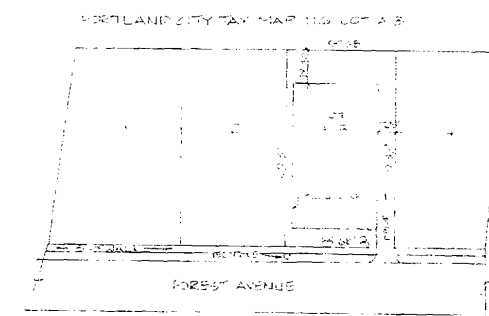
BACK ELEVATION
SCALE 1/8" = 1'-0"



WEST SIDE ELEVATION
SCALE 1/8" = 1'-0"



EAST SIDE ELEVATION
SCALE 1/8" = 1'-0"



SITE LOCATION
SCALE 1/8" = 1'-0"

ELEVATIONS & SITE PLAN
408 FOREST AVENUE
DATE: MARCH 7, 1994 DRAWN BY: JTC



CITY OF PORTLAND, MAINE
Department of Building Inspections

_____ 20 12

Received from _____

Location of Work _____

Cost of Construction \$ _____ 111,720

Permit Fee \$ _____ 150
\$300.00

Building (IL) Plumbing (I5) _____ Electrical (I2) _____ Site Plan (U2) _____

Other _____

CBL: 110A 008

Check #: 101

Total Collected \$ 450

THIS IS NOT A PERMIT

No work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be granted. PRESERVE THIS RECEIPT. In case permit cannot be granted the amount of the fee will be refunded upon return of the receipt less \$10.00 or 10% whichever is greater.

WHITE - Applicant's Copy
YELLOW - Office Copy
PINK - Permit Copy

[Handwritten signature]