



Administrative Authorization Application

Portland, Maine

Planning and Urban Development Department, Planning Division

*Spoke w/ Mark Lee 5/29/12
- sending revised drawings
- keeping with dept of ROW*

PROJECT NAME: UNIVERSITY OF SOUTHERN MAINE 25 BEDFORD ST. RENOVATION

PROJECT ADDRESS: 25 BEDFORD ST CHART/BLOCK/LOT: 114A/G/9

APPLICATION FEE: (\$50.00)

PROJECT DESCRIPTION: (Please Attach Sketch/Plan of the Proposal/Development)

INTERIOR OFFICE RENOVATIONS, INSTALLATION OF SPRINKLER SYSTEM AND FIRE ALARM.

CONTACT INFORMATION:

OWNER/APPLICANT

Name: DANA GRAY, UNIVERSITY OF SOUTHERN MAINE
Address: 96 FALMOUTH ST, PORTLAND, ME 04104
Work #: 207-780-4742
Cell #: _____
Fax #: 207-780-4538
Home #: _____
E-mail: dgray@usm.maine.edu

CONSULTANT/AGENT

Name: MARK LEE, HARRIMAN, ARCHITECTS, ENGINEERS
Address: 46 HARRIMAN DRIVE, AUBURN, ME 04210
Work #: 207-784-5100
Cell #: _____
Fax #: 207-782-3017
Home #: _____
E-mail: mlee@harriman.com

Criteria for an Administrative Authorization:
(see section 14-523(4) on pg .2 of this appl.)

Applicant's Assessment Planning Division
Y(yes), N(no), N/A Y(yes), N(no), N/A

- a) Is the proposal within existing structures?
- b) Are there any new buildings, additions, or demolitions?
- c) Is the footprint increase less than 500 sq. ft.?
- d) Are there any new curb cuts, driveways or parking areas?
- e) Are the curbs and sidewalks in sound condition?
- f) Do the curbs and sidewalks comply with ADA?
- g) Is there any additional parking?
- h) Is there an increase in traffic?
- i) Are there any known stormwater problems?
- j) Does sufficient property screening exist?
- k) Are there adequate utilities?
- l) Are there any zoning violations?
- m) Is an emergency generator located to minimize noise?
- n) Are there any noise, vibration, glare, fumes or other impacts?

YES
NO
YES
NO
YES
YES
NO
NO
NO
N/A
YES
NO
N/A
NO

see attached

Signature of Applicant:

Date:

5.3.2012

Planning Division Use Only

Authorization Granted X Partial Exemption Exemption Denied

w/ conditions - see attached

Standard Condition of Approval: The applicant shall obtain all required City Permits, including building permits from the Inspection Division (Room 315, City Hall (874-8703)) prior to the start of any construction.

Planner Signature Barbara Bernydt

Date May 24

IMPORTANT NOTICE TO APPLICANT: The granting of an Administrative Authorization to exempt a development from site plan review does not exempt this proposal from other required approvals or permits, nor is it an authorization for construction. You should first check with the Building Inspections Office, Room 315, City Hall (207)874-8703, to determine what other City permits, such as a building permit, will be required.

**PROVISION OF PORTLAND CITY CODE
14-523 (SITE PLAN ORDINANCE)
RE: Administrative Authorization**

Sec. 14-523 (b). Applicability

No person shall undertake any development identified in Section 14-523 without obtaining a site plan improvement permit under this article. (c) Administrative Authorization. Administrative Authorization means the Planning Authority may grant administrative authorization to exempt a development proposal from complete or partial site plan review that meets the standards below, as demonstrated by the applicant.

1. The proposed development will be located within existing structures, and there will be no new buildings, demolitions, or building additions other than those permitted by subsection b of this section;
2. Any building addition shall have a new building footprint expansion of less than five hundred (500) square feet;
3. The proposed site plan does not add any new curb cuts, driveways, or parking areas; the existing site has no more than one (1) curb cut and will not disrupt the circulation flows and parking on-site; and there will be no drive-through services provided;
4. The curbs and sidewalks adjacent to the lot are complete and in sound condition, as determined by the public works authority, with granite curb with at least four (4) inch reveal, and sidewalks are in good repair with uniform material and level surface and meet accessibility requirements of the Americans with Disabilities Act;
5. The use does not require additional or reduce existing parking, either on or off the site, and the project does not significantly increase traffic generation;
6. There are no known stormwater impacts from the proposed use or any existing deficient conditions of stormwater management on the site;
7. There are no evident deficiencies in existing screening from adjoining properties; and
8. Existing utility connections are adequate to serve the proposed development and there will be no disturbance to or improvements within the public right-of-way.
9. There are no current zoning violations;
10. Any emergency generators are to be located to minimize noise impacts to adjoining properties and documentation that routine testing of the generators occur on weekdays between the hours of 9 a.m. to 5 p.m. Documentation pertaining to the noise impacts of the emergency generator shall be submitted; and
11. There is no anticipated noise, vibration, glare, fumes or other foreseeable impacts associated with the project.

- a. **Filing the Application.** An applicant seeking an administrative authorization under this subsection shall submit an administrative authorization application for review, detailing the site plan with dimensions of proposed improvements and distances from all property lines, and stating that the proposal meets all of the provisions in standards 1-11 of Section 14-423 (b)1. **The application must be accompanied by an application fee of \$50.**
- b. **Review.** Upon receipt of such a complete application, the Planning Authority will process it and render a written decision of approval, approval with conditions or denial, with all associated findings.
- c. **Decision.** If a full administrative authorization is granted, the application shall be approved without further review under this article, and no performance guarantee shall be required. In the event that the Planning Authority determines that standards a and b of Section 14-523 (b) (1) and at least four (4) of the remaining standards have been met, the Planning Authority shall review the site plan according to all applicable review standards of Section 14-526 that are affected by the standards in this subsection that have not been met. If an exemption or partial exemption from site plan review is not granted, the applicant must submit a site plan application that will undergo a full review by the Planning Board or Planning Authority according to the standards of Section 14-526.

University of Southern Maine
 25 Bedford Street Renovation 114A/G/9
 Egress and walkway to Bedford Street

Criteria for an Administrative Authorizations:
 (See Section 14-523 (4) on page 2 of this application)

Applicant's Assessment
 Y(yes), N(no), N/A

Planning Division
 Use Only

a) Is the proposal within existing structures?	Yes	yes
b) Are there any new buildings, additions, or demolitions?	No	no
c) Is the footprint increase less than 500 sq. ft.?	Yes	yes
d) Are there any new curb cuts, driveways or parking areas?	No	no
e) Are the curbs and sidewalks in sound condition?	Yes	Yes – sidewalk connecting to public sidewalk
f) Do the curbs and sidewalks comply with ADA?	Yes	yes
g) Is there any additional parking?	No	no
h) Is there an increase in traffic?	No	no
i) Are there any known stormwater problems?	No	no
j) Does sufficient property screening exist?	N/A	n/a
k) Are there adequate utilities?	Yes	yes
l) Are there any zoning violations?	No	no
m) Is an emergency generator located to minimize noise?	N/A	n/a
n) Are there any noise, vibration, glare, fumes or other impacts?	No	no

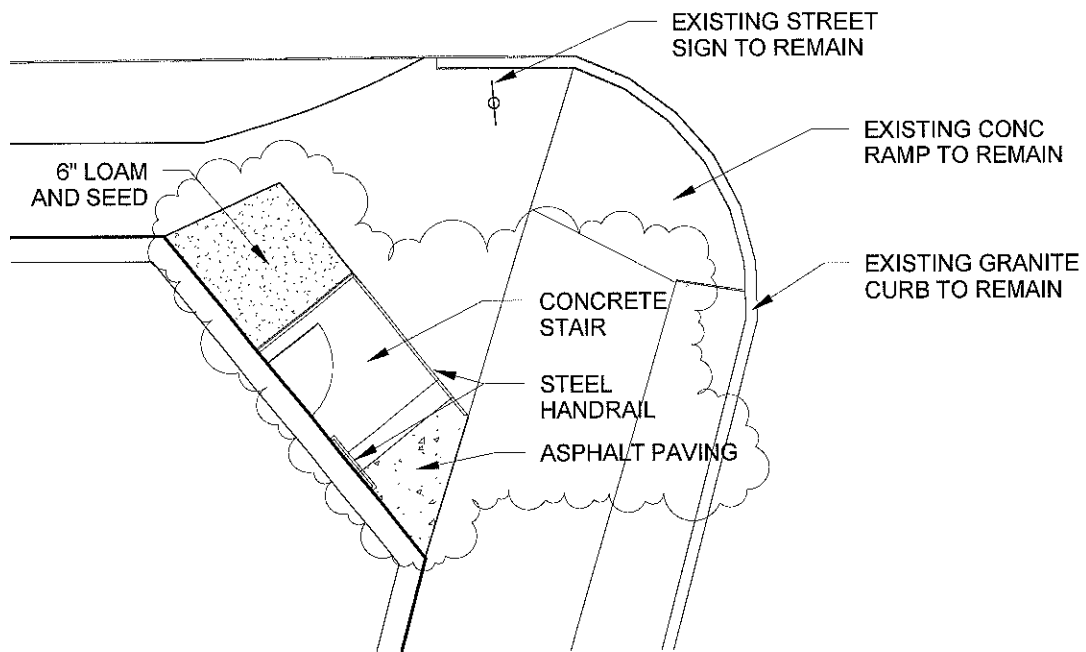
I visited the site on Thursday, May 17th. The plan shows the path going directly to the corner. It appears the sidewalk will cross into the right-of-way. I called Mark Lee on Friday, May 18th to tell him that a license would be required for the walkway to cross the ROW. Mark Lee redesigned the walk and submitted the plans on May 23rd. The revised walk does not encroach on city property. The revised plans, transmittal and e-mail are attached.

The Administrative Authorization for 25 Bedford Street was approved by Barbara Barhydt, Development Review Services Manager on May 24, 2012 with the following condition(s) of approval listed below:

1. Standard Condition of Approval: The applicant shall obtain all required City Permits, including building permits from the Inspection Division (874-8703) and any other permits required from the Department of Public Services (874-8801) prior to the start of any construction.
2. The walkway leading from the new egress shall be installed per the plan submitted on May 23, 2012 and it is attached.



Barbara Barhydt
 Development Review Services Manager
 May 24, 2012



Approved
5/24/12

SITE IMPROVEMENT REVISION

Scale

1/8" = 1'-0"

HARRIMAN

Architects + Engineers

Auburn, ME 207.784.5100 tel
 Portland, ME 207.775.0053 tel
 Manchester, NH 603.626.1242 tel
 www.harriman.com © 2011

Project Title

USM
 25 BEDFORD STREET
 RENOVATION
 PORTLAND, ME

HA Project No.

11711

Drawing Number

SKC01

Date

05/22/12

Barbara Barhydt - 11711: University of Southern Maine, 25 Bedford Street Renovation - File Transfer - Revised stair entry

From: "Mark D. Lee" <mlee@harriman.com>
To: <bab@portlandmaine.gov>
Date: Wednesday, May 23, 2012 10:34 AM
Subject: 11711: University of Southern Maine, 25 Bedford Street Renovation - File Transfer - Revised stair entry
Attachments: SKC01.pdf; Transmittal - 00013.pdf

The contents listed below and a Transmittal are attached to this email.

Project Name: University of Southern Maine, 25 Bedford Street Renovation
Project Number: 11711
From: Mark Lee (Harriman)
To: Barbara Barhydt (City of Portland / Planning Division)
CC:
Subject: Revised stair entry
Transmittal ID: 00013
Remarks: Barbara,

Attached is the revised layout of the stair to eliminate any potential encroachment into the right-of-way. Please feel free to contact me with any additional questions or concerns.

-Mark

Transferred Files

Name	Type	Date	Time	Size
SKC01.pdf	Adobe Acrobat Document	5/22/2012	2:36 PM	25 KB

Notification generated by [Newforma Project Center](#)

HARRIMAN

Harriman | Auburn Business Park 46 Harriman Drive Auburn, Maine 04210 United States

Transmittal

ID: 00013

Date Sent: 5/23/2012

Project: University of Southern Maine, 25 Bedford Street Renovation
Number: 11711

To: Barbara Barhydt
City of Portland / Planning Division
United States
756-8256 (Phone)

From: Mark Lee
Harriman
Auburn Business Park
46 Harriman Drive
Auburn, Maine 04210
United States
207-784-5100 (Phone)
207-782-3017 (Fax)

Subject: Revised stair entry

Via: Email

Purpose: For your use

Remarks: Barbara,

Attached is the revised layout of the stair to eliminate any potential encroachment into the right-of-way. Please feel free to contact me with any additional questions or concerns.

-Mark

CC:

Description of Contents

Quantity	Title	Number	Date	Scale	Size	Revision
1	SKC01.pdf		5/22/2012			



HARRIMAN

Harriman | Auburn Business Park 46 Harriman Drive Auburn, Maine 04210 United States

Transmittal

ID: 00009
Date Sent: 5/9/2012

Project: University of Southern Maine, 25 Bedford Street Renovation
Number: 11711

To: Barbara Barhydt
City of Portland / Planning Division
United States
756-8256 (Phone)

From: Mark Lee
Harriman
Auburn Business Park
46 Harriman Drive
Auburn, Maine 04210
United States
207-784-5100 (Phone)
207-782-3017 (Fax)

Subject: Administrative Authorization Application
Via: U.S. Mail

Purpose: For your approval

Remarks:

CC:

Description of Contents

Quantity	Title	Number	Date	Scale	Size	Revision
1	Administrative Authorization Application and \$50 Check		--			
1	A05.1 Demolition Floor & Ceiling Plans		--			
1	A10.1 First Floor Plan		--			
1	A20.1 Exterior Elevations and Site Improvement Plan		--			
1	Misc supporting sketch and photo (2)		--			

STREET

FACE OF BUILDING DURHAM ST.

ASPHALT PAVING

EXISTING STREET SIGN TO REMAIN

EXISTING CONC RAMP TO REMAIN

CONCRETE STAIR

EXISTING GRANITE CURB TO REMAIN

STEEL HANDRAIL

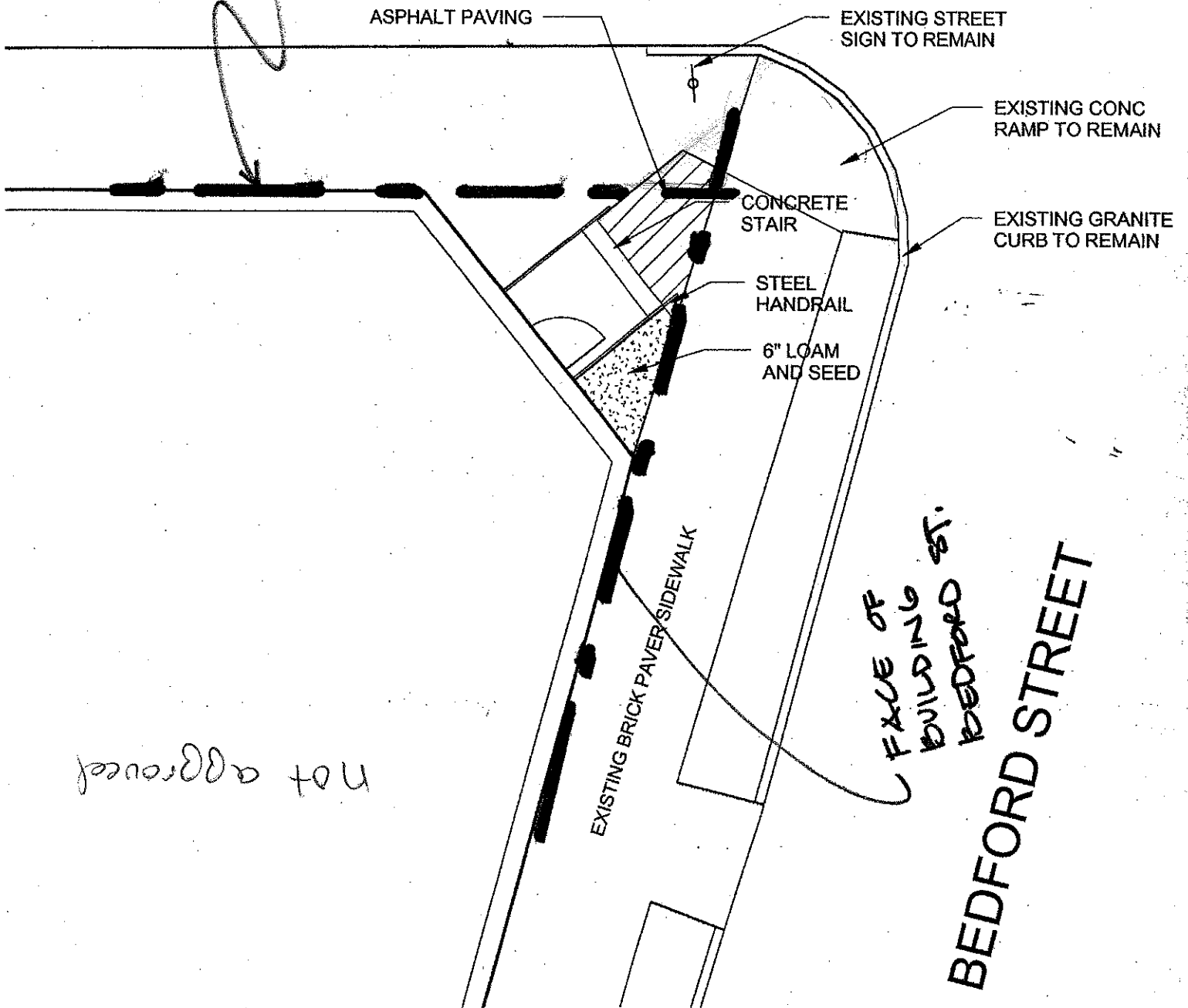
6" LOAM AND SEED

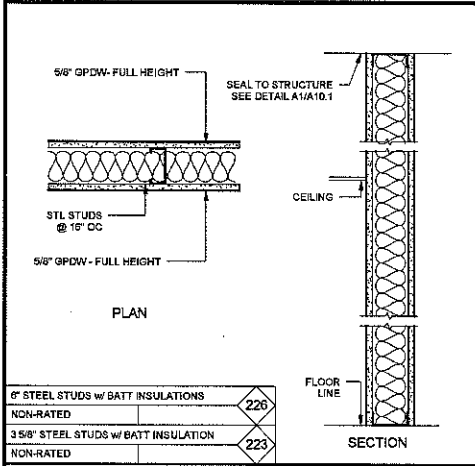
EXISTING BRICK PAVEMENT SIDEWALK

FACE OF BUILDING BEDFORD ST.

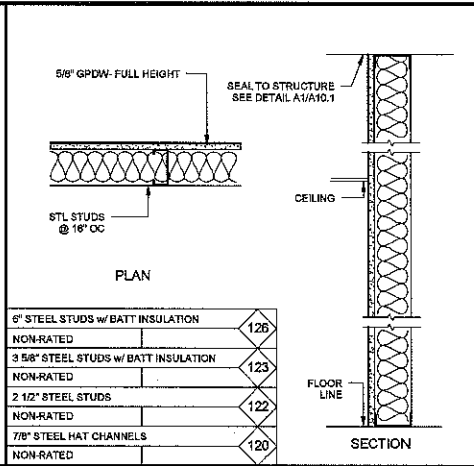
BEDFORD STREET

not approved

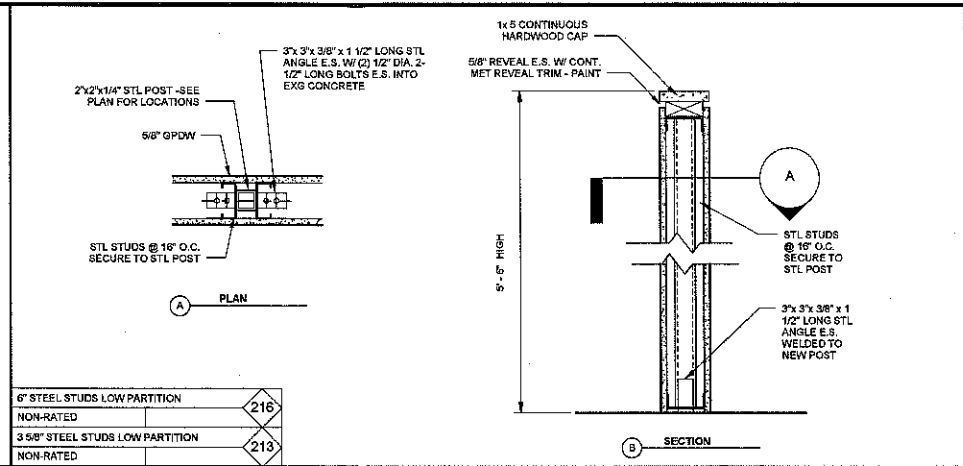




6\"/>	
NON-RATED	220
3 5/8\"/>	
NON-RATED	223



6\"/>	
NON-RATED	126
3 5/8\"/>	
NON-RATED	123
2 1/2\"/>	
NON-RATED	122
7/8\"/>	
NON-RATED	120



6\"/>	
NON-RATED	216
3 5/8\"/>	
NON-RATED	213

GENERAL NOTES

1. ALL DIMENSIONS TO FACE OF GPDW UNLESS NOTED OTHERWISE.
2. SEE DETAIL SHEETS FOR CONNECTIONS/DETAILS OTHER THAN SHOWN.
3. EXTEND PARTITIONS TO UNDERSIDE OF FLOOR/ROOF DECK U.N.O., SEAL TO DECK FOR SMOKE AND SOUND CONTROL, FILL VOIDS BETWEEN.
4. WHERE OCCURS, FRAME GPDW AROUND BOTH SIDES OF BEAMS/OISTS WHERE PARTITION INTERSECTS STRUCTURAL MEMBERS TO MAINTAIN CONTINUITY OF PARTITION TO UNDERSIDE OF DECK.
5. CONTRACTOR IS RESPONSIBLE TO VERIFY FIELD CONDITIONS WHICH MAY VARY FROM TYPICAL DETAIL SHOWN ON DRAWINGS. CONTRACTOR TO MODIFY CLOSURE DETAILS TO MEET ACTUAL CONDITIONS AND TO MAINTAIN CONTINUITY OF PARTITION FROM FLOOR TO ABOVE DECK.

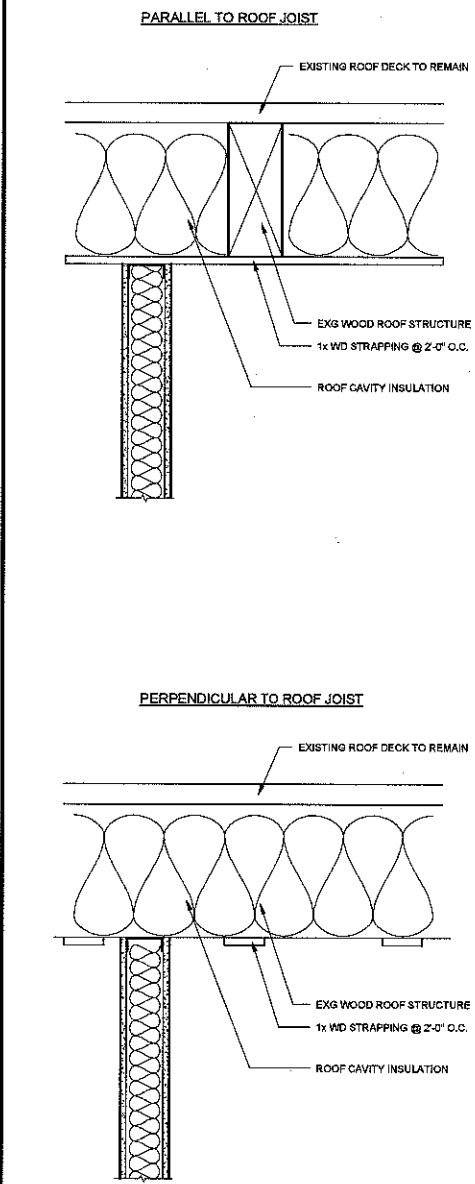
STUD OR CMU SIZE: (2) 3-5/8\"/>

FIRE RATING: 1 HR FIRE RATED

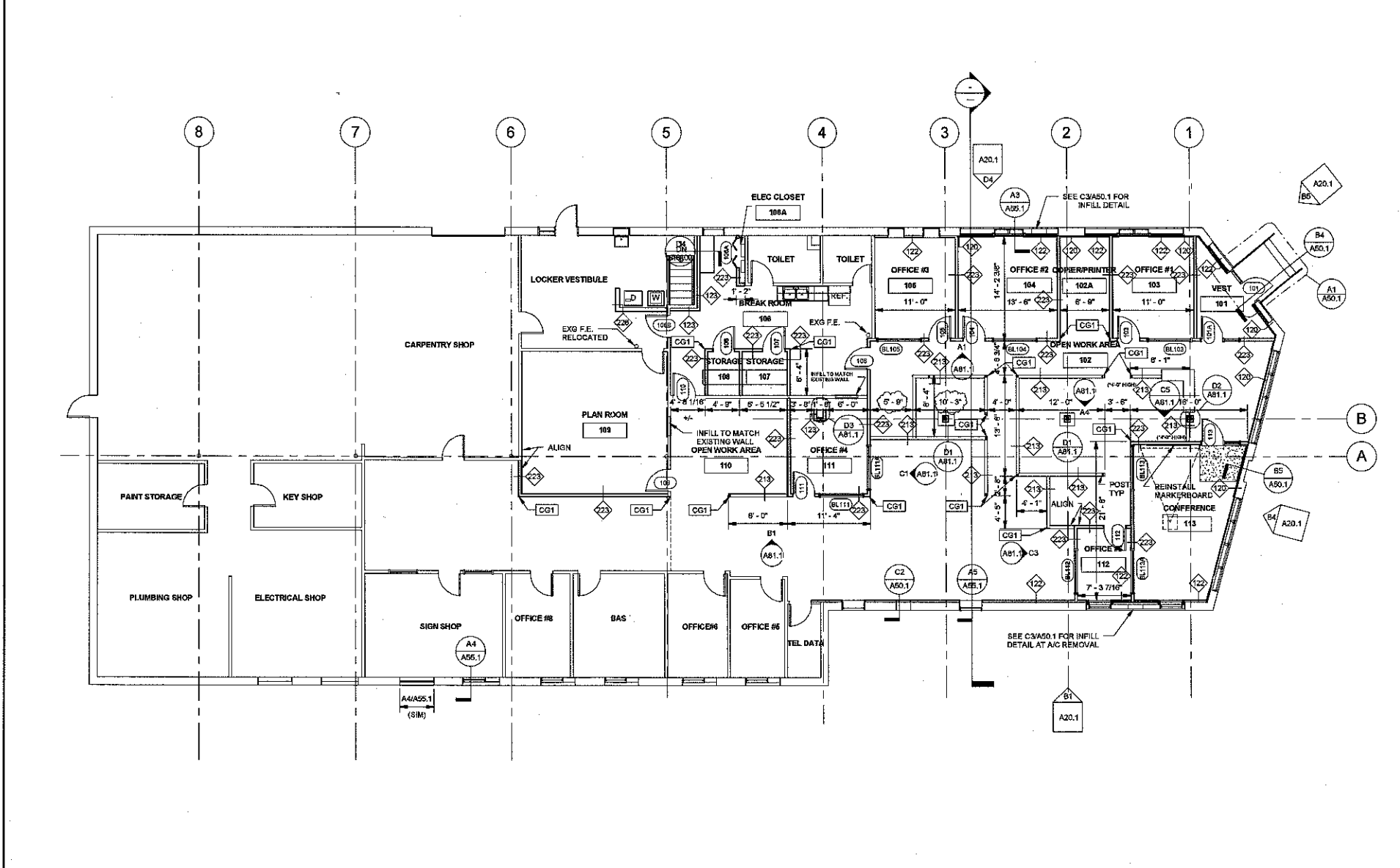
UL DESIGN NO. WHERE APPLICABLE: UL NO. V446

PARTITION OR WALL TAG NO.: W10

INDICATES FIRE RATINGS WHERE APPLICABLE



A1 PARTITION CLOSURE AT ROOF
SCALE: 1 1/2\"/>



A2 FIRST FLOOR PLAN
SCALE: 1/8\"/>

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Architects + Engineers

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Auburn, ME 04210
207.784.5100 ext

123 Middle Street
Portland, ME 04101
207.775.8053 ext

One Pine Street
Manchester, NH 03103
603.626.1242 ext

www.harriman.com
©2012

Project Title:
**USM
25 BEDFORD STREET
RENOVATION
PORTLAND, ME**

Harriman Project No. 11711

Key Plan:

Drawing Book: 0 4' 8' 12'

As indicated: 1/8\"/>

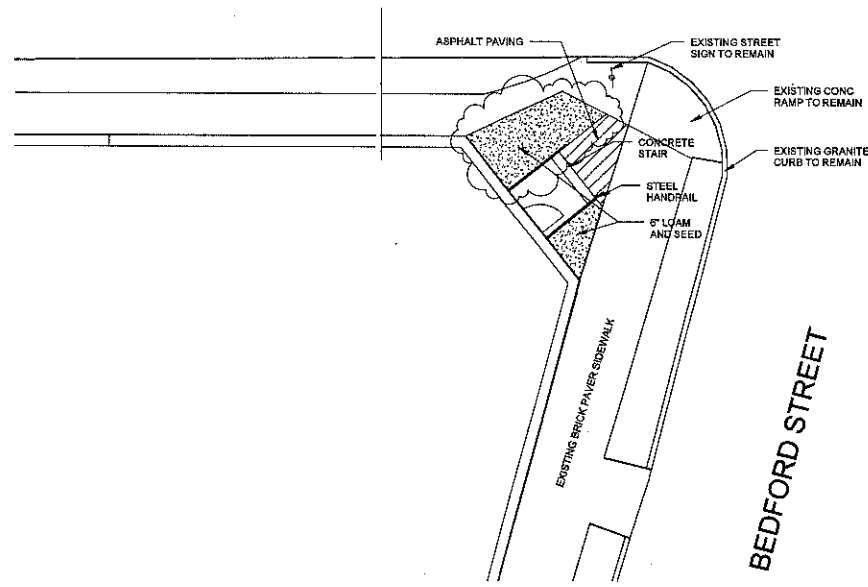
Rev	Date	Description
04/12/2012		Addendum #1
04/02/2012		ISSUED FOR BID
03/12/2012		95% REVIEW
03/02/2012		75% REVIEW
02/17/2012		PROGRESS REVIEW

Drawing Title:
FIRST FLOOR PLAN

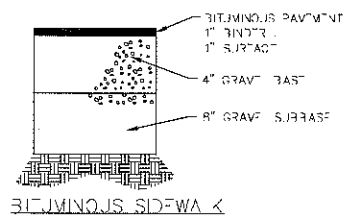
PA/PE: MDL Drawn By: BSL

Drawing Number:
A10.1

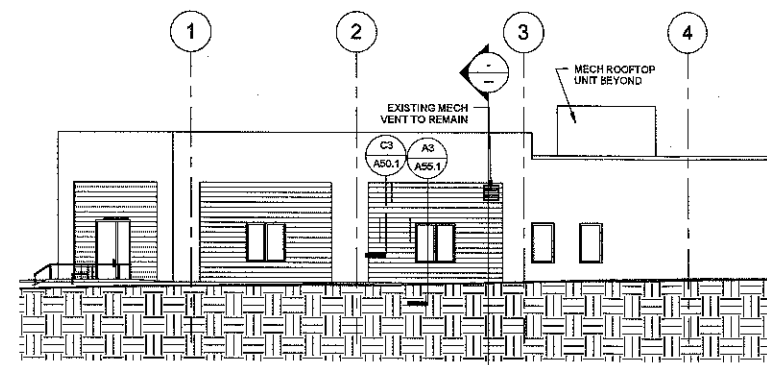
DURHAM STREET



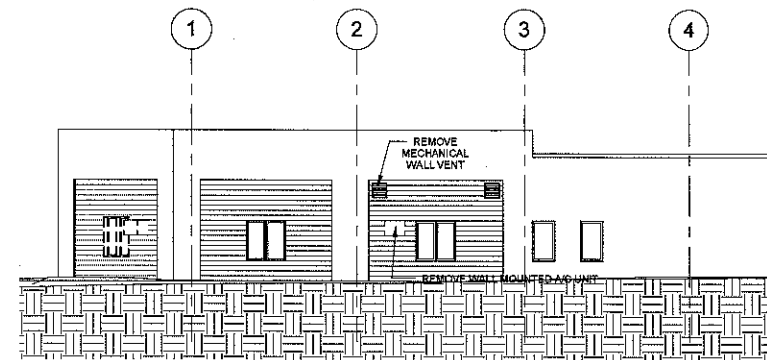
C1 SITE IMPROVEMENT PLAN
SCALE: 1/8" = 1'-0"



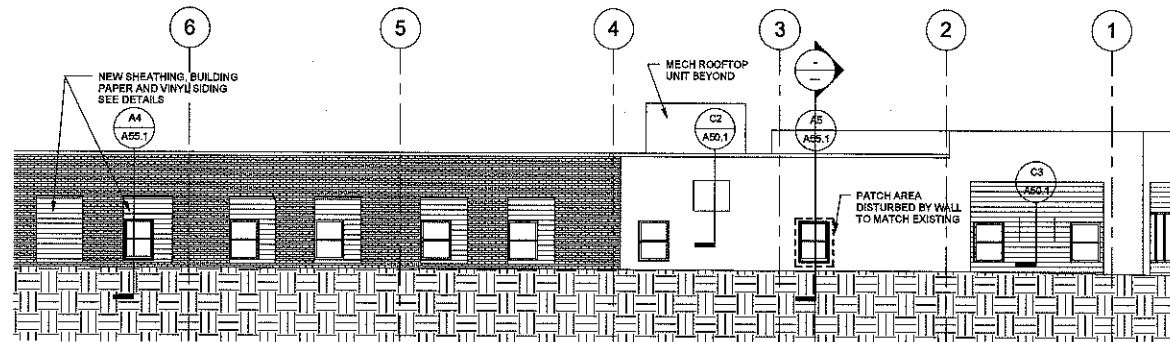
C3 ASPHALT DETAIL
SCALE: 1" = 1'-0"



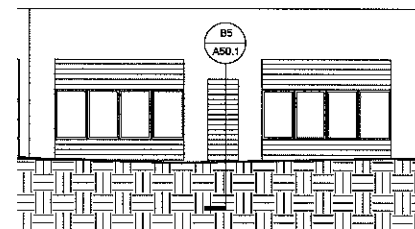
D4 NORTHEAST ELEVATION
SCALE: 1/8" = 1'-0"



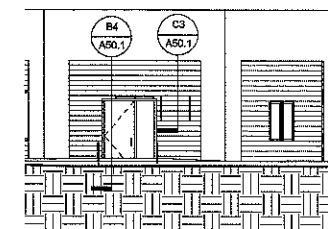
C4 NORTHEAST DEMO ELEVATION
SCALE: 1/8" = 1'-0"



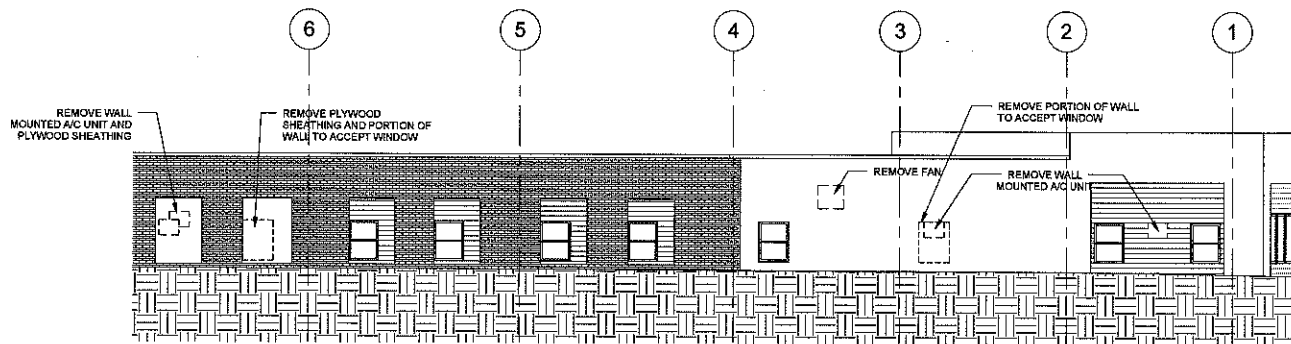
B1 SOUTHWEST ELEVATION
SCALE: 1/8" = 1'-0"



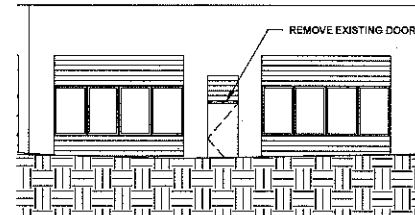
B4 SOUTHEAST ELEVATION
SCALE: 1/8" = 1'-0"



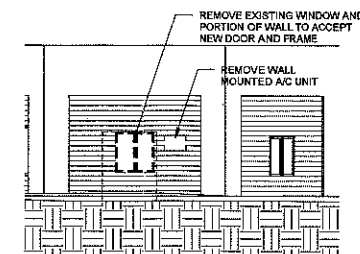
B5 EAST ELEVATION
SCALE: 1/8" = 1'-0"



A1 SOUTHWEST DEMO ELEVATION
SCALE: 1/8" = 1'-0"



A4 SOUTHEAST DEMO ELEVATION
SCALE: 1/8" = 1'-0"



A5 EAST DEMO ELEVATION
SCALE: 1/8" = 1'-0"

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Scarborough, ME 05103
603.528.1342 ext
www.harriman.com
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Project Title
**USM
25 BEDFORD STREET
RENOVATION**
PORTLAND, ME
Harriman Project No. 11711
Key Plan

Drawing Scale
As Indicated
0 4 8 12
1/8" = 1'-0"

Mark	Date	Description

Drawing Title
**EXTERIOR ELEVATIONS
AND SITE IMPROVEMENT
PLAN**

PA/FE MDL Drawn By BSL
Drawing Number

A20.1