

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND PERMIT ISSUED

Please Read
Application And
Notes, If Any,
Attached

BUILDING INSPECTION

PERMIT

Permit Number 0100547
 JUL

This is to certify that OAKHURST PROPERTIES LLC / PM Construction

has permission to Renovate existing building into 5-6 units for lease for retail or office space Vanilla spaces + 2 exterior ramps City of Portland

AT 332 FOREST AVE

CBL 114A E003001 8, 7 & 8

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is fathered or otherwise closed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. CAPT. R. Fontaine

Health Dept. _____

Appeal Board _____

Other _____

Department Name

Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD



CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

LOCATION 338 Forest Ave CBL 114A F003001

Issued to Oakhurst Properties Llc /PM Construction Date of Issue 10/04/2010

This is to certify that the building, premises, or part thereof, at the above location, built — altered — changed as to use under Building Permit No. 10-0547, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

Unit A
Far Right Unit on Forest Ave.

APPROVED OCCUPANCY

Commercial Retail
Use Group M
Type 5B
IBC-2003

Limiting Conditions: This certificate is for Unit A ONLY. All other units will need separate permits and Certificates.

This certificate supersedes
certificate issued

Approved:

10-4-10
.....
(Date)

.....
Inspector

.....
Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.

City of Portland, Maine - Building or Use Permit Application
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-0547	Issue Date:	CRL: 3-7-10 114A F007001
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Location of Construction: 332 FOREST AVE (338)	Owner Name: OAKHURST PROPERTIES LLC	Owner Address: 364 FOREST AVE	Phone:
Business Name:	Contractor Name: PM Construction	Contractor Address: 19 Industrial Park Road Saco	Phone: 2072827697
Lesser/Buyer's Name:	Phone:	Permit Type: Alterations - Commercial	Zone: B-2
Past Use: Vacant Building	Proposed Use: Commercial / Restaurant / Retail - Renovate existing building into 5-6 units for lease for retail or office space Vanilla spaces & 2 Ramps EXTERIOR	Permit Fee: \$4,135.00	Cost of Work: \$404,000.00
		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: M Type: 4HT 5B allowed
Proposed Project Description: Renovate existing building into 5-6 units for lease for retail or office space Vanilla spaces & 2 EXTERIOR Ramps.		* See Conditions	Signature: JMB 7/2/10
		Signature: (Signature)	Signature: (Signature)
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)	
		Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied	
		Signature:	Date:

Permit Taken By: Idobson	Date Applied For: 05/20/2010	Zoning Approval		
<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p>		Special Zone or Reviews <input type="checkbox"/> Shoreland N/A <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone P and B Zone C <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan #10-7990001 Maj <input type="checkbox"/> Minor <input checked="" type="checkbox"/> MM <input type="checkbox"/> Denied Date: (Signature) 5/2/10	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: (Signature)

PERMIT ISSUED

JUL 2 2010

City of Portland

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT ADDRESS DATE PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE

730-10

Framing etc

Need clearances on elements

NLP

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-0547	Date Applied For: 05/20/2010	URL: 114A #003001
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Location of Construction: 338 Forest Ave	Owner Name: OAKHURST PROPERTIES LLC	Owner Address: 364 FOREST AVE	Phone:
Business Name:	Contractor Name: PM Construction	Contractor Address: 19 Industrial Park Road Saco	Phone: (207) 282-7897
Lessor/Buyer's Name:	Phone:	Permit Type: Alterations - Commercial	

Proposed Use: Commercial / Retail - Renovate existing building into 5-6 units for lease for retail or office space Vanilla spaces, 2 exterior ramps	Proposed Project Description: Renovate existing building into 5-6 units for lease for retail or office space Vanilla spaces, 2 exterior ramps.
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Dept: Zoning	Status: Approved with Conditions	Reviewer: Marge Schmuckal	Approval Date: 05/21/2010
Note:	Ok to Issue: <input checked="" type="checkbox"/>		
<p>1) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.</p> <p>2) Separate permits shall be required for any new signage.</p> <p>3) This property shall remain retail. Any change of use shall require a separate permit application for review and approval.</p>			

Dept: Building	Status: Approved with Conditions	Reviewer: Jeanine Bourke	Approval Date: 07/02/2010
Note:	Ok to Issue: <input checked="" type="checkbox"/>		
<p>1) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm HVAC systems, heating appliances, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.</p> <p>2) Separate permits are required for each tenant fit up space.</p> <p>3) All penetrations through rated assemblies must be protected by an approved firestop system installed in accordance with ASTM 814 or UL 1479, per IBC 2003 Section 712.</p> <p>4) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.</p>			

Dept: Fire	Status: Approved with Conditions	Reviewer: Capt Keith Gauvreau	Approval Date: 06/16/2010
Note:	Ok to Issue: <input checked="" type="checkbox"/>		
<p>1) The sprinkler system shall be installed in accordance with NFPA 13.</p> <p>2) All fire alarm records required by NFPA 72 should be stored in an approved cabinet located at the FACP labeled "FIRE ALARM RECORDS". Records cabinet, FACP, annunciator(s), and pull stations shall be keyed alike.</p> <p>3) System acceptance and commissioning must be co-ordinated with alarm and suppression system contractors and the Fire Department. Call 874-8703 to schedule.</p> <p>4) The Fire Department will require Knox locking caps on all Fire Department Connections on the exterior of the building.</p> <p>5) Fire department connection type and location shall be approved in writing by fire prevention bureau.</p> <p>6) Application requires State Fire Marshal approval.</p> <p>7) A separate Suppression System Permit is required for all new suppression systems or sprinkler work effecting more than 20 heads.</p> <p>8) All construction shall comply with NFPA 1 and 101.</p> <p>9) Installation of a Fire Alarm system requires a Knox Box to be installed per city ordinance</p> <p>10) The fire alarm system shall comply with the City of Portland Standard for Signaling Systems for the Protection of Life and Property. All fire alarm installation and servicing companies shall have a Certificate of Fitness from the Fire Department.</p> <p>11) A single source supplier should be used for all through penetrations.</p>			

Location of Construction: 338 Forest Ave	Owner Name: OAKHURST PROPERTIES LLC	Owner Address: 364 FOREST AVE	Phone:
Business Name:	Contractor Name: PM Construction	Contractor Address: 19 Industrial Park Road Saco	Phone: (207) 282-1697
Lessee/Boyer's Name	Phone:	Permit Type: Alterations - Commercial	

- 12 The Fire alarm and Sprinkler systems shall be reviewed by a licensed contractor[s] for code compliance. Compliance letters are required.
- 13 Emergency lights and exit signs are required. Emergency lights and exit signs are required to be labeled in relation to the panel and circuit.
- 14 Fire extinguishers required. Installation per NFPA 10
- 15 Emergency lights are required to be tested at the electrical panel on the same circuit as the lighting for the area they serve.
- 16 Sprinkler protection shall be maintained.
Where the system is to be shut down for maintenance or repair, the system shall be checked at the end of each day to insure the system has been placed back in service.
- 17 A separate Fire Alarm Permit is required for new systems, or for work effecting more than 5 fire alarm devices; or replacement of a fire alarm panel with a different model .
- 18 As-built documents shall be submitted in pdf to the Building Inspections Office upon completion of job.

Comments:

5/21/2010-mes: WAIT FOR PLANNING SIGN OFF

6/4/2010-gautreaux: Spoke to Ben Waller (architect) I need code summary and stamped plans before further review. Keith

6/17/2010-jmb: Left vcmag for Laura B. For details on ramp construction, stairs. Also need confirmation of the structural design options for the roof work.

7/2/2010-jmb: Received st

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the City of Portland Inspection Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months, if the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue with construction.**

Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling

Final inspection required at completion of work.

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



CITY OF PORTLAND, MAINE
Department of Building Inspections

Original Receipt

5.20 2010

Received from

PM Construction

Location of Work

330 Foster Ave

Cost of Construction \$

Building Fee:

\$4,060

Permit Fee \$

Site Fee:

Certificate of Occupancy Fee:

75

Total:

4,135

Building (B)

Plumbing (P)

Electrical (E)

Site Plan (S)

Other _____

CEL: 114 H F 328

Check #: 65654

Total Collected: 4,135

No work is to be started until permit issued.
Please keep original receipt for your records.

PAID BY:

J.P.

WHITE - Applicant's Copy
YELLOW - Official Copy
PINK - Permit Copy



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>337 Forest Ave</u>		
Total Square Footage of Proposed Structure/Area <u>12,000 +/-</u>		Square Footage of Lot <u>48,990</u>
Tax Assessor's Chart, Block & Lot Chart# <u>MU114A</u> Block# <u>F</u> Lot# <u>3.7.4</u>	Applicant *must be owner, Lessee or Buyer* Name <u>Oakhurst Properties LLC</u> Address <u>364 Forest Ave</u> City, State & Zip <u>Portland ME 04101</u>	Telephone: <u>207-773-7468</u>
Tessee/DBA (If Applicable) <u>N/A</u>	Owner (if different from Applicant) Name _____ Address _____ City, State & Zip _____	Cost Of Work \$ <u>404,000</u> C of O Fee: \$ _____ Total Fee: \$ _____
Current legal use (i.e. single family) <u>VACANT</u> If vacant, what was the previous use? <u>retail/restaurant</u> Proposed Specific use: <u>retail/office</u> Is property part of a subdivision? <u>no</u> If yes, please name _____ Project description: <u>renovate existing building into 5-6 units for lease for retail or office space, vanilla spaces.</u>		
Contractor's name: <u>PM Construction Co.</u> Address: <u>19 Industrial Park Rd PO Box 728</u> City, State & Zip: <u>Saco, ME 04072</u> Telephone: <u>207-267-7697</u> Who should we contact when the permit is ready: <u>Laura Blanchette</u> Telephone: <u>207-423-3517</u> Mailing address: <u>Same</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

RECEIVED

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to comply with all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: Laura Blanchette Date: 5/20/10

This is not a permit; you may not commence ANY work until the permit is issued.

CWS Architects

Architectural
Space Planning
Value Design

100 Commercial Street
Portland, ME 04101
Tel: 603.761.4111
www.cwsarch.com

OAKHURST DAIRY

344 FOREST AVE
PORTLAND, ME 04101

Project No: 0647

Project Name: **BUILDING PLAN**

Scale: 1/8" = 1'-0"

Date: 7/15/10

Project Number: **A1.1**

334 FOREST AVE RENOVATIONS

344 FOREST AVE
PORTLAND, ME 04101

Project No: 0647

Project Name: **BUILDING PLAN**

Scale: 1/8" = 1'-0"

Date: 7/15/10

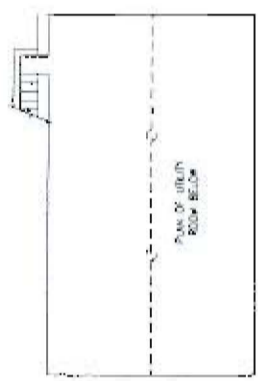
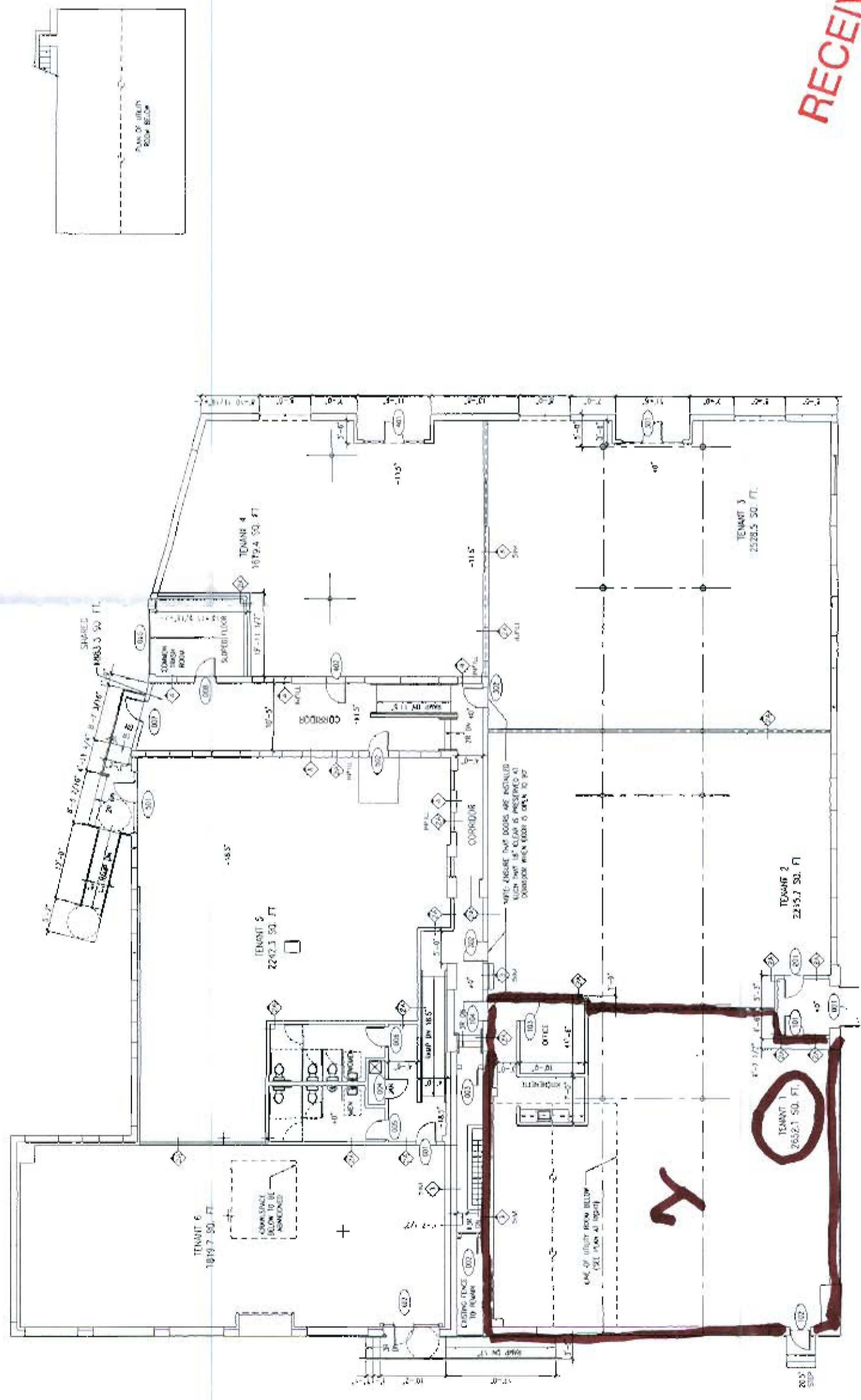
Project Number: **A1.1**

PERMITTING

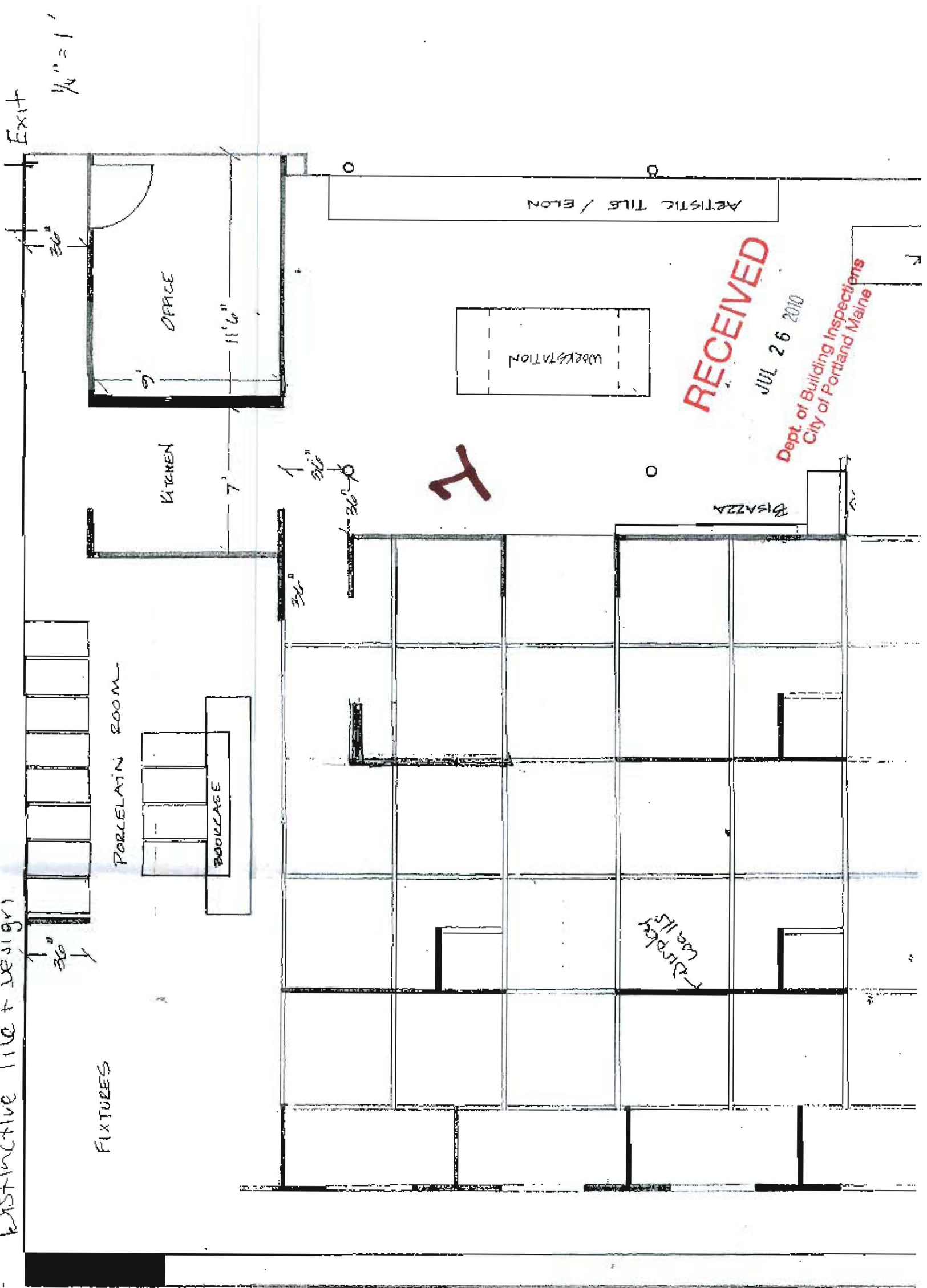
RECEIVED

JUL 26 2010

Dept. of Building Inspections
City of Portland Maine



Distinctive LLC + Design



RECEIVED

JUL 26 2010

Dept. of Building Inspections
City of Portland Maine

RECEIVED

JUL 26 2010

pt. of Building Inspections
City of Portland Maine

332 Forest Ave
 Distinctive Tile unit 1
 114A-F-003
 6P# 10-0547

Portable Display Partitions
 (NOT Permanent) ONLY
 No Permit Required
 except for Electric & Plumbing



CITY OF PORTLAND, MAINE
Department of Building Inspections

Original Receipt

4-17-20 10

Received from

J. Williams

Address of Work

338 Franklin Ave

Building Construction

Building Fee:

Plan Fee

Site Fee:

Certificate of Occupancy Fee:

Total:

Plumbing (18)

Pumbing (19)

Electrical (12)

Site Plan (12)

1441.3

Check #:

8047

Total Collected \$

710

**No work is to be started until permit issued.
Please keep original receipt for your records.**

Taken by:

[Signature]

WHITE - Applicant's Copy

YELLOW - Office Copy

PINK - Permit Copy

ELECTRICAL PERMIT

City of Portland, Me.



To the Chief Electrical Inspector, Portland Maine:
 The undersigned hereby applies for a permit to make electrical installations
 in accordance with the laws of Maine, the City of Portland Electrical Ordinance,
 National Electrical Code and the following specifications:

Date 7/14/10
 Permit # 2610 4153
 CEL # 114A F003

LOCATION: 334 Forest Ave. METER MAKE & # _____
 CIP ACCOUNT # 441-183-8324-001 OWNER Odehust Properties
 TENANT _____ PHONE # _____

						TOTAL EACH FEE		
OUTLETS	21	Receptacles	12	Switches	11	Smoke Detector	20	8.80
FIXTURES		Incandescent	32	Fluorescent	11	Strips	20	10.20
SERVICES	1	Overhead	5	HED		TTL AMPS <800	15.00	15.00
		Overhead		Underground		600 AMP >800	25.00	
Temporary Service		Overhead		Underground		TTL AMPS	25.00	
METERS	7	(number of)					1.00	7.00
MOTORS		(number of)					2.00	
RESISTION		Electric units					1.00	
HEATING		oil/gas units		Interior		Exterior	5.00	
APPLIANCES		Ranges		Cook Tops		Wall Ovens	2.00	
		Insta-Hot	1	Water heaters		Fans	2.00	2.00
		Dryers		Disposals		Dishwasher	2.00	
		Compactors		Spa		Washing Machine	2.00	
		Others (denote)					2.00	
MISC. (number of)		Air Cond/win					3.00	
		Air Condition				Pool	10.00	
	6	HYAC		EMS		Thermostat	5.00	30.00
		Signs					10.00	
		Alarms/res					5.00	
	1	Alarms/com					15.00	15.00
		Heavy Duty(CRKT)					2.00	
		Circus/Camv					25.00	
		Alterations					5.00	
		Fire Repairs					15.00	
	20	E Lights					1.00	20.00
		F Generators					20.00	
TRAVEL		Service	7	Remote		Main	4.00	28.00
TRANSFORMER		0-25 Kva					5.00	
		25-200 Kva					8.00	
		Over 200 Kva					10.00	
						TOTAL AMOUNT DUE		
						MINIMUM FEE/COMMERCIAL	55.00	
						MINIMUM FEE	45.00	137.00

114A F003

RECEIVED
 JUL 14 2010
 Dept. of Building Inspection
 City of Portland Maine

CONTRACTORS NAME Sedber Electric Inc. MASTER LIC # 17768
 ADDRESS 84 Pleasant Hill Rd. Scarborough LIMITED LIC # _____
 TELEPHONE 207-883-5448

SIGNATURE OF CONTRACTOR Harry Pullman

PLUMBING APPLICATION

Department of Health and Human Services
Division of Environmental Health

PROPERTY ADDRESS

Town or
Plantation

Portland

Street
Subdivision Lot #

Forest Ave

338

PROPERTY OWNERS NAME

OAKHURST LLC

Case

Applicant
Name:

Jimino's P&H

Working Address of
Owner/Applicant
(if Different)

1407 REVERSIDE ST
PORTLAND ME 04103

Owner/Applicant Statement

I verify that the information submitted is correct to the best of my knowledge and understanding and I understand that my signature is a reason for the local plumbing inspector to deny a permit.

Signature of Owner/Applicant

Date

7/7/10

PORTLAND

PERMIT # 11346 TOWN COPY

Date
Permit
Issued

7/7/10

11346

Fee
Paid

Local Plumbing Inspector Signature

114AF3

Caution: Inspection Required

I have inspected the installation authorized above and found it to be in compliance with the Maine Plumbing Rules.

Local Plumbing Inspector Signature

Date Approved

PERMIT INFORMATION

This Application is for

1. NEW PLUMBING
2. RELOCATED PLUMBING

Type of Structure To Be Served:

1. SINGLE FAMILY DWELLING
2. MODULAR OR MOBILE HOME
3. MULTIPLE FAMILY DWELLING
4. OTHER - SPECIFY: *Retail*

Plumbing To Be Installed By:

1. MASTER PLUMBER
2. OIL BURNERMAN
3. MFG'D. HOUSING DEALER/MECHANIC
4. PUBLIC UTILITY EMPLOYEE
5. PROPERTY OWNER
LICENSE # *10,5683*

Hook-Up & Piping Relocation
Maximum of 1 Hook-Up

HOOK-UP to public sewer in those cases where the connection is not regulated and inspected by the local Sanitary District.

OR

HOOK-UP to an existing subsurface wastewater disposal system.

PIPING RELOCATION of sanitary lines, drains, and piping without new fixtures.

OR

TRANSFER FEE
(\$5.00)

Column 2
Number Type of Fixture

- | | |
|---|---|
| | Hosebib / Sillcock |
| 2 | Floor Drain |
| 1 | Urinal |
| | Drinking Fountain |
| | Infrared Waste |
| | Water Treatment Softener, Fitted with Backflow Prevention |
| | Grease / Oil Separator |
| | Roof Drain |
| | Bidet |
| | Other |

Fixtures (Subtotal)
Column 2

Column 1
Number Type of Fixture

- | | |
|---|-----------------------|
| | Bath (and Shower) |
| | Shower (Separate) |
| | Sink |
| 2 | Wash Basin |
| | Water Closet (Toilet) |
| | Clothes Washer |
| | Dish Washer |
| | Garbage Disposal |
| | Laundry Tub |
| | Water Heater |

Fixtures (Subtotal)
Column 1

Fixtures (Summary)
Column 2

Total Fixtures

Fixture Fee

Transfer Fee

Hook Up & Relocation Fees

Permit Fee

SEE PERMIT FEE SCHEDULE
FOR CALCULATING FEE

48
x 7/7/10

RECEIVED
JUL 17 2010
Dept. of Plumbing Inspection
City of Portland, Maine

Jeanie Bourke - 326 Forest Ave., Oakhurst Dairy - BP Issuance

From: Philo DiPiero
To: Code Enforcement & Inspections
Date: 6/3/2010 12:35 PM
Subject: 326 Forest Ave., Oakhurst Dairy - BP Issuance

Hi all, this project #10-79900001, meets minimum DRC site plan requirements for the issuance of the site/building permit.

Please contact me with any questions. Thanks.

PHI

OAKHURST PROPERTIES LLC

c/o Oakhurst Dairy
364 Forest Avenue
Portland, ME 04101

9/30/10

To: City of Portland--Planning & Urban Development Dept/Inspections Division
Attn: Jeanie Bourke

From: Thomas Brigham (Manager, Oakhurst Properties LLC)

Subject: Roof Snow Removal Plan - 334 Forest Avenue, Portland

Ref: Building Permit #10-0547 and CBL: 114A F003001

It is our understanding that the structural components of certain portions of the roof at the above referenced property may not meet current building code requirements to carry an unlimited amount of snow load. To address this issue, it is our intention to monitor the depth of snow on the roof and implement a snow removal plan when necessary.

More specifically, we will monitor the snow load on the half of the building that is adjacent to Bedford Street (identified as structure "B" and "C" on plan S-4 prepared by Joe Leasure/L & L Structural Engineering Services, Inc.). At any time that the depth of snow on that portion of the building reaches or exceeds twelve inches (12"), we will then commence work to remove snow (at least to the point of being less than that depth).

The actual work of removing the snow will be done by employees of either Oakhurst Dairy or an independent contractor, temporary labor engaged by Oakhurst Properties LLC, or some combination of these three resources.

If you have questions and/or wish to discuss this further, you may feel free to call me at (207)772-7468 x.227.

Submitted by:

Thomas A Brigham, Manager
Oakhurst Properties LLC

OAKHURST PROPERTIES LLC

c/o Oakhurst Dairy
364 Forest Avenue
Portland, ME 04101

5/10/10

To: City of Portland—Planning & Urban Development Dept/Inspections Division

Attn: Joanie Bourke

From: Thomas Brigham (Manager, Oakhurst Properties LLC)

Subject: Roof Snow Removal Plan - 334 Forest Avenue, Portland

Ref: Building Permit #10-0547 and CBL: 114A F003001

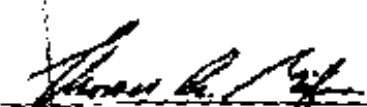
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If you have questions and/or wish to discuss this further, you may feel free to call me at (207)772-7468 x.227.

Submitted by:


Thomas A. Brigham, Manager
Oakhurst Properties LLC

Final Report of Special Inspections

Project: *Retail Building Renovation*

Location: *334 Forest Avenue, Portland, Maine*

Owner: *Oakhurst Dairy*

Owner's Address: *364 Forest Avenue
Portland, Maine 04101*

Architect of Record: *Curtis Walter Stewart Architects*

Structural Engineer of Record: *L&L Structural Engineering Services, Inc.*

As per your request we have performed the structural design and special inspection of the structural components for the retail building renovation project located at 334 Forest Avenue in Portland, Maine. Our analysis and review utilized the 2003 IBC International Building Code adopted by the City of Portland, Maine. In addition, our analysis and review considered the latest edition of the NDS National Design Specification for Wood Construction published by the National Forest Products Association and the Manual of Steel Construction published by the AISC American Institute of Steel Construction. The proposed structural design meets or exceeds the code stipulated design requirements, is acceptable to support the anticipated structural loading as long as snow removal is implemented in accordance with the design documents, and is in general compliance with our structural design concept.

To the best of my information, knowledge and belief, the Special Inspections required for this project, and itemized in the Statement of Special Inspections submitted for permit, have been performed and all discovered discrepancies have been reported and resolved. Interim reports submitted prior to this final report form a basis for and are to be considered an integral part of this final report.

Respectfully submitted,
Special Inspector

Joseph H. Leasure, P.E., Principal
(Type or Print your Name)

Signature

10/4/2010

Date





Planning & Urban Development Department
Peter St. Louis Jrell, Director

MAY 18, 2010

Tom Brigham
Oakhurst Properties, LLC
354 Forest Avenue
Portland, ME 04101

Project Name: Forest Avenue - 326; Retail And Parking; Oakhurst Properties, Applicant.
Project ID: 10-79900001
Project Address: 326 FOREST AVENUE
Planner: Shakria Wier

Dear Mr. Brigham:

On May 17, 2010, the Portland Planning Authority approved with conditions the proposal for the demolition of the existing rear structure of the building and the internal demolition of the ceiling, ramps and wall (as shown on Attachment #1) located at 326 Forest Avenue, the site of the former World Imports. As provided in Section 14-528, this letter serves as the written permission from the Planning Authority to commence demolition of the former World Imports site prior to posting the performance guarantee. The commencement of site work is limited to the extent of work outlined in Laura Blanchette, Project Manager with PM Construction, letter dated May 14, 2010 and listed below:

1. Demolition of the existing rear structure of the building and the internal demolition of the ceiling, ramps and wall (as shown on Attachment #1) located at 326 Forest Avenue, the site of the former World Imports.
2. A pre-demolition meeting must be held with Portland's Planning Division and the Department of Public Works. Please contact Phil DiPiero at 874-8632 to schedule the meeting.
3. Erosion control measures meeting DEP's best management practices must be installed prior to the start of demolition.

Please be advised that you must obtain a demolition permit from the City's Inspection Division prior to commencing the demolition and obtain any permits that may be required from Public Works for the temporary closing of any sidewalks and any temporary loss of on-street parking.

Shukria Wier - RE: Oakhurst Dairy Site Plan

From: "Laura Blanchette" <lblanchette@pmconstruction.com>
To: "Barbara Barbydt" <BAB@portlandmaine.gov>, "Tom Brigham" <tbrigham@oakhu...>
Date: 5/14/2010 3:59 PM
Subject: RE: Oakhurst Dairy Site Plan
CC: "Alex Jaegerman" <AJJ@portlandmaine.gov>, "Jeanie Bourke" <JMB@portlandm...

Barbara,

The work we have proposed to do is the exterior demo and the ceiling, interior ramps and wall demo only. There is a drawing detailing this that was submitted with the Demo Permit dated 2/19/09. I am hoping this email can serve as the letter you are looking for.

I will have the performance guarantee together next week when I will also be submitting the building permit. I believe we may have a solution to the handicap ramp situation so this should wrap things up.

We had the pre-demo meeting on Tuesday 5/11 with Nick Adams and he had signed off as of Wednesday 5/12. When I spoke to Cassie on 5/7 she told me Planning had signed off and the Fire Department had signed off and we were just waiting on "Commercial Review", now I am being told we are back at Planning, I'm confused.

Thanks,

Laura

PS I will take Jay off. I only copied him because I hit Reply all on an email Shukria sent to Oakhurst earlier this week. Sorry Phil.

Laura J. Blanchette

Director of Business Development

(207)282-7697 phone

(207)283-4549 fax

(207)483 3517 cell

www.pmcconstruction.com

From: Barbara Barbydt [mailto:BAB@portlandmaine.gov]
Sent: Friday, May 14, 2010 3:31 PM
To: Tom Brigham; Laura Blanchette; Shukria Wier
Cc: Alex Jaegerman; Jeanie Bourke; Philip DiPierro; Tammy Murson

BH2M

Date: 2/2/2010
CBL: 114A - F-008

Applicant:

Address: 326 Forest

CHECK-LIST AGAINST ZONING ORDINANCE

Date -

Zone Location - B-7

Interior or corner lot -

Proposed Use/Work -

Demolishing 5,616 sq ft of bldg - Expand parking - rest of bldg to remain

Severage Disposal - City

Lot Street Frontage - 50' min - 50' shown

Lot (no chg - refuse) on 2 streets

Front Yard -

Rear Yard -

existing Bldg

Side Yard -

Projections -

Width of Lot - N/A

Height -

1 story shown - 45' min req

Lot Area -

give lot size - 48,890 sq ft

Lot Coverage/Impervious Surface -

66% required was 97,30 sq ft impervious previously
reduction of 3080 sq ft impervious
total impervious post work - 44,477 sq ft

Area per Family -

N/A

Off-street Parking -

~~not required~~ - 37 PKG SPCS shown
120 required

Loading Bays -

N/A

Grassdrains?

Site Plan -

#10-79900001

FILES & RACKS

Shoreland Zoning/Stream Protection -

NO

Flood Plains -

Panel 13 - Zone C

SEPARATE PERMITS REQUIRED FOR SIGNAGE

ZONING PRELIMINARY COMMENTS

FEBRUARY 26, 2010

This project is located in a B-2 Business Zone. The existing building was considered to be completely retail (was World Over Imports). 5,616 square feet of building located along Durham Street is proposed to be removed. That area is proposed to be turned into additional parking for the retail. This is not considered to be a change of use for the property.

Because the space will be divided up into six separate retail spaces, using the methodology for calculating first floor parking spaces, only 12 spaces are required for the retail shops. 37 parking spaces are being shown. It is noted that the new spaces abutting the end of the building are very narrow. It is recommended that several spaces be removed to get a better width of parking space. Section 14-339 requires continuous guards where vehicles are to be parked within 10 feet of any street line. There is an entire row of parking within 10 feet of Durham Street which will need to meet the requirements of 14-339. It is noted that the submitted plans show details of guard rails, but the site plan does not indicate where any guard rails will be located. The plans should indicate where such guard rails will be located.

No bike racks are indicated on the plans as required.

The B-2 Zone requires an 80% impervious surface. This is an already developed site with a predevelopment impervious surface of 97.30%. Post development impervious surfaces have been reduced to 91%. If any more pervious surfaces could be created, that would be encouraged. Because this is a site that has been previously developed and the majority of the principal building is remaining, the site is not required to be brought fully up to all B-2 standards.

Separate permits are required for any new signage.

March 23, 2010

On March 17, 2010 I received additional written comments from the applicant. The applicant would like to use precast curb stops along Durham Street. There were no specifications or plans showing what particularity was being proposed. If the applicant could submit the specs on the proposed precast curb stops, I can apply the requirements of 14-339 to determine compliance. The applicant now proposes a bike rack for 6 bikes on site as required by ordinance.

The applicant also states that additional impervious areas will be added per traffic engineer's comments. The applicant would need to update their submittal and the impervious surface ratio for the record. What is the new impervious surface ratio that is now being proposed?

It is understood that no signs are being provided at this time for review. Such permits for signs shall be required in the future after the tenant spaces are determined.

Marge Schumickal

(a) Where off-street parking for more than six (6) vehicles is required or provided on a lot in a residence zone and vehicles are to be or may be parked within the area otherwise required to be kept open and unoccupied for front, side and rear yards in the zone in which such parking is located, the following requirements shall be met:

- (1) A continuous curb guard, rectangular in cross-section, at least six (6) inches in height and permanently anchored, shall be provided and maintained at least five (5) feet from the street or lot line between such off-street parking and that part of the street or lot line involved; or a continuous bumper guard of adequate strength, the top of which shall be at least twenty (20) inches in height, shall be provided and maintained between such off-street parking and that part of the street or lot line involved so that bumpers of vehicles cannot project beyond its face toward the street or lot line involved, either above or below the impact surface.
- (2) Where such off-street parking shall abut a lot in residential use or an unoccupied lot which is located in a residence zone, a chain link, picket or sapling fence, not less than forty-eight (48) inches in height, shall be provided and maintained between such off-street parking and that part of the lot line involved.

(b) Notwithstanding the provisions of subsection (a) of this section, parking shall be prohibited in the front yard of lots containing two (2) or more dwelling units, except within one (1) driveway on the lot. "Driveway," as used in this paragraph, shall not include any turnaround area.

(Code 1968, § 602.14.B; Ord. No. 231-90, § 2, 3-5-90)

Sec. 14-339. When located adjacent to a street or a residential use.

Where off-street parking for more than six (6) vehicles is required or provided on a lot in any business zone, the following requirements shall be met:

- Graded Park Detail Given*
- Reg*
- (a) Where vehicles are to be or may be parked within ten (10) feet of any street line, a continuous curb guard, rectangular in cross-section, at least six (6) inches in

height and permanently anchored, shall be provided and maintained at least five (5) feet from the street line between such off-street parking and that part of the street line involved; or a continuous bumper guard of adequate strength, the top of which shall be at least twenty (20) inches in height, shall be provided and maintained between such off-street parking and that part of the street line involved so that bumpers of vehicles cannot project beyond its face toward the street line involved either above or below the impact surface.

- (b) Where such off-street parking shall abut a lot in a residence zone or a lot in residential use, a chain link, picket or sapling fence, not less than forty-eight (48) inches in height, shall be provided and maintained between such off-street parking and that part of the lot line involved.

(Code 1968, § 602.14.1)

Sec. 14-340. Construction requirements when more than six vehicles parked.

Where off-street parking for more than six (6) vehicles is required or provided, the following construction requirements shall apply:

- (a) Appropriate driveways from streets or alleys, as well as maneuvering areas, shall be provided. Location and width of approaches over public sidewalks shall be approved by the traffic engineer.
- (b) The surface of driveways, maneuvering areas and parking areas shall be uniformly graded with a subgrade consisting of gravel or equivalent materials at least six (6) inches in depth, well compacted, and with a wearing surface equivalent in quantities of compaction and durability to fine gravel.
- (c) A system of surface drainage shall be provided in such a way that the waste run-off shall not run over or across any public sidewalk or street.
- (d) Where artificial lighting is provided, it shall be shaded or screened so that no light source shall be visible from outside the area and its access driveways.

(a) Where off-street parking for more than six (6) vehicles is required or provided on a lot in a residence zone and vehicles are to be or may be parked within the area otherwise required to be kept open and unoccupied for front, side and rear yards in the zone in which such parking is located, the following requirements shall be met:

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(b) Notwithstanding the provisions of subsection (a) of this section, parking shall be prohibited in the front yard of lots containing two (2) or more dwelling units, except within one (1) driveway on the lot. "Driveway," as used in this paragraph, shall not include any turnaround area.

[Code 1959, S. 602.16.4; Ord. No. 231-90, S 2, 3-5-90]

Sec. 14-339. When located adjacent to a street or a residential use.

Where off-street parking for more than six (6) vehicles is required or provided on a lot in any business zone, the following requirements shall be met:

- (a) Where vehicles are to be or may be parked within ten (10) feet of any street line, a continuous curb guard, rectangular in cross-section, at least six (6) inches in

Wex + RG

height and permanently anchored, shall be provided and maintained at least five (5) feet from the street line between such off-street parking and that part of the street line involved; or a continuous bumper guard of adequate strength, the top of which shall be at least twenty (20) inches in height, shall be provided and maintained between such off-street parking and that part of the street line involved so that bumpers of vehicles cannot project beyond its face toward the street line involved either above or below the impact surface.

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(Code 1969, § 602.14.1)

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- (c) A system of surface drainage shall be provided in such a way that the waste run-off shall not run over or across any public sidewalk or street.
- (d) Where artificial lighting is provided, it shall be shaded or screened so that no light source shall be visible from outside the area and its access driveways.



State of Maine
 Department of Public Safety
 Construction Permit



Not
 Reviewed
 for Barrier
 Free

Sprinkled

19050

RENOVATIONS TO 334 FOREST AVE.

Located at: 334 FOREST AVE

PORTLAND

Occupancy/Use: MERCANTILE CLASS B

RECEIVED

JUN - 9 2010

Dept. of Building Inspections
 City of Portland Maine

Permission is hereby given to:

OAKHURST DAIRY

384 FOREST AVE.

PORTLAND, ME 04101

to construct or alter the afore referenced building according to the plans heretofore filed with the Commissioner and now approved.

No departure from application form/plans shall be made without prior approval in writing. This permit is issued under the provision of Title 25, Chapter 117, Section 2448.

Nothing herein shall excuse the holder of this permit for failure to comply with local ordinances, zoning laws, or other pertinent legal restrictions. Each permit issued shall be displayed/available at the site of construction.

This permit will expire at midnight on the 1st of December 2010

Dated the 2nd day of June A.D. 2010

Commissioner

Copy-2 Architect

Comments:

CWS ARCHITECTS

454 CUMBERLAND AVE.

PORTLAND, ME 04101

Code Analysis

Category	Reference	Code Requirements	Reference	Code Requirements	Proposed
Use Group	309.0	M Mercantile	5.1.10	Mercantile Class B (21,487 SF, One Story)	(1) Mercantile Building (6) Tenant Spaces
Mercantile Class B with Class B and Class C Tenants	3.3.23.6	Mail Building which defines a Mail Building as a single building enclosing a number of tenant and occupancies wherein two or more tenants have a main entrance into one or more malls			
	3.3.14B	Mail is defined as A roofed or covered common pedestrian area within a mall building that serves as access for two or more tenants, etc.			
		Because all of the retail spaces in the subject building have main entrances from the exterior, none have main entrances from a Mall, and the only purposes of the corridor are for shared bathrooms and exit access, this layout does not appear to meet the definition of a Mail Building. Therefore, as per Life Safety 101 that this building is a Mercantile use of either Class C or Class B depending on the ultimate size of the individual retail spaces.			
Building Construction	Table 601	Type IV HT (primary structure) Type II B (secondary locations) Type VB (incidental framing)	3.2	Type IV 2-HH (primary structure) Type II 000 (secondary locations) Type VB 000 (incidental framing)	Mixed Constr. Types
Height & Area Limitations	Table 503	See IBC 2003 - Code Calculations			Sprinklered - NFPA 13
Height Modifications	504.2	See IBC 2003 - Code Calculations 4 stories / 70'			
Maximum allowable height	505.2	See IBC 2003 - Code Calculations			
Area Modifications	506.3	See IBC 2003 - Code Calculations			
Maximum allowable area	506.1	See IBC 2003 - Code Calculations			
Fire ratings	Table 601 Table 602 Table 1016.1 Table 302.1.1 Table 302.1.1	See IBC 2003 - Code Calculations See IBC 2003 - Code Calculations Exit access corridors - 0 hour (with sprinkler system) Boiler Rooms over 10 HP - 1 hour or automatic fire extinguishing Storage Rooms over 100 s.f. - 1 hour or automatic fire extinguishing	30.3.6.1.2 T 30.3.2.1.1 T 30.3.2.1.1	Exit access corridors - 1/2 hour Boiler Rooms - 1 Hour and sprinkler Storage rooms - 1 hour OR sprinklers with smoke partitions	1/2 hour protected wood frame provided 1 Hour & Sprinklered Sprinklered

RECEIVED
 JUN - 9 2010
 Dept. of Building Inspections
 City of Portland Maine

334 Forest Avenue Renovations		CWS Architects			
Forest Avenue, Portland, Maine		8-Jun-10			
International Building Code 2003 - Code Calculations					
Floor Plate - Floor 1		15,753			
Section 302.3.2 Separated Uses		N/A - No Use Separations			
Building Use Summary		Floors 1	Floor 1	Floors 2-x	
		Mercantile M1	N/A	N/A	
Number of Floors (Proposed)		1	0	0	
Level 1		15,753			
Level 2					
Level 3					
Level 4					
Total floor area per use (SF)		15,753	0	0	
Total Building Area		15,753			
Allowable Height and Building Areas		Mercantile M1			
Table 503					
Type of Construction		II B	IV	VB	
Number of Floors		4	4	1	
Building Height (Feet)		55	85	40	
Area (Square Feet)		12,500	20,500	9,000	
Frontage Calculations 506.2		North	South	East	West
Frontage		142	146.00	98.00	128.00
Width		>30	>30	>30	>30
Total Frontage		386.00	386.00	386.00	386.00
Perimeter		386.00	386.00	386.00	386.00
Frontage increase $I(f) = 100[F/P - 0.25]W/30$		75.00%	75.00%	75.00%	75.00%
Area Modifications 506					
Allowable tabular area		100%	100%	100%	
Increase for frontage		75.00%	75.00%	75.00%	
Increase for sprinklers (NFPA 13R system)		200%	200%	200%	
Total percentage factor		375%	375%	375%	
Conversion factor		3.75	3.75	3.75	
Adjusted Allowable Building Area		46,875	76,875	33,750	
Actual building area		15,753	15,753	15,753	
If Actual building area < Adjusted, then OK		OK	OK	OK	
Section 504 Height Modifications		All Use Group			
		Feet	Stories	No Increase	
Actual building height		20	1	Required	
Tabular building height - Type IB					
Tabular building height - Type VA					

334 Forest Avenue Renovations		CWS Architects		
Forest Avenue, Portland, Maine		8-Jun-10		
International Building Code 2003 - Code Calculations				
Increase for sprinklers (NFPA 13 system)				
Allowable building height (b)				
Section 506.4 Area determinations				
	IIB	IV	VB	
Total floor area (all stories)	15,753	15,753	15,753	
A. Allowable area per floor (SF)	46,875	76,875	33,750	
B. Number of Applicable Floors	1	1	1	
C. Tabular area A x B	46,875	UL	33,750	
If C > Total Building Floor Area, then OK	OK	CK	CK	
Section 508 Special Provisions				
508.2 Parking beneath Group A, B, M or R as separate buildings, number of stories measured from second floor.				
Separation between S2 and R uses	3 Hours	provided		
Table 601 Fire Resistance Ratings (hours)				
	M Use	Provided	Provided	
	IIB	IV	VB	
Structural Frame including Columns	0	HT	0	
Bearing Walls - Exterior	0	2	0	
Bearing Walls - Interior	0	HT	0	
Nonbearing Walls - Exterior >10' (d)	0	0	0	
Nonbearing Walls - Exterior >30'	0	0	0	
Nonbearing Walls - Interior	0	0	0	
Floor Construction including Beams	0	HT	0	
Roof Construction including Beams	0	HT	0	
NOTE: Building Area Works for VB Construction - No Protection Required.				
Section 708 Fire Partitions				
Required fire rating - Tenant Separation - NFPA 13 sprinkler system				
	1 hour			
Provided	1 hour			
Section 1004 Occupant Load				
	Mercantile SF	Mercantile Per SF	Total Occupants	Required Exits per 1018
Mercantile Unit 1	2,652	60	44.2	
Mercantile Unit 2	2,215	60	36.9	
Mercantile Unit 3	2,528	60	42.1	
Mercantile Unit 4	1,679	60	28.0	
Mercantile Unit 5	2,442	60	40.7	
Mercantile Unit 6	1,819	60	30.3	
Total	13,335		222.3	
Section 1018 Number of Exits				
Mercantile Units with fewer than 50 occupants and a travel distance of less than 75 feet may have a single exit.				

**City of Portland
Development Review Application
Planning Division Transmittal form**

Application Number: 10-79900001 **Application Date:** 1-30-10

Project Name: RETAIL AND PARKING

Address: 326 Forest Ave **CBL:** 114A-F-008-001

Project Description: Forest Avenue - 326; Retail And Parking; Oakhurst Properties Applicant.

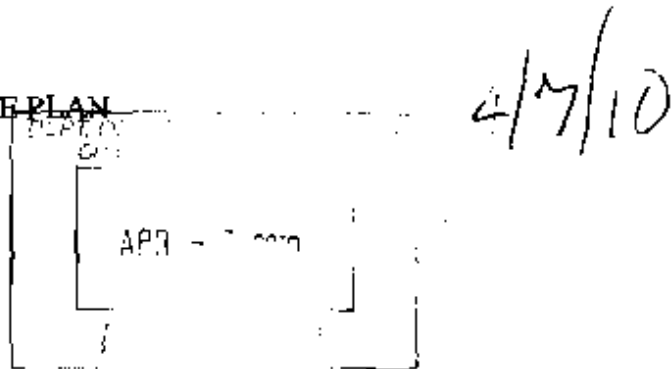
Zoning: B2

Other Reviews Required:

Review Type: MINOR SITE PLAN

Pizzagalli Construction
Tim Gallagher

Portland Me 04101



Distribution List:

<input checked="" type="checkbox"/> Planner	Barbara Barhydt	<input checked="" type="checkbox"/> City Arborist	Jeff Tarling
<input checked="" type="checkbox"/> Zoning Administrator	Marge Schmuckal	<input type="checkbox"/> Design Review	Alex Jaegerman
<input checked="" type="checkbox"/> Traffic	Tom Errico	<input type="checkbox"/> Corporation Counsel	Danielle West-Chubta
<input type="checkbox"/> Inspections	Tammy Munson	<input type="checkbox"/> Sanitary Sewer	John Emerson
<input checked="" type="checkbox"/> Fire Department	Keith Gautreau	<input checked="" type="checkbox"/> Stormwater	Dan Coyette
<input type="checkbox"/> Parking	John Peverada	<input type="checkbox"/> Historic Preservation	Deh Andrews
<input checked="" type="checkbox"/> Engineering	David Margolis-Pineo	<input type="checkbox"/> Outside Agency	
<input type="checkbox"/> DRC Coordinator	Phil DiPierro		

Final Comments needed by: ASAP

These revised site plans are supposed to be based on the City staff review of the site. Please review and forward your final comments.

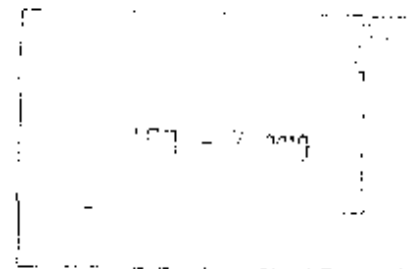
Thank you.



Corporate Office:
19 Industrial Park Road
P.O. Box 728
Seco, ME 04072
Phone (207) 283-7497
Fax (207) 283-4548
www.p/mconstruction.com

April 6, 2010

Shukria War, Planner
City of Portland, Division of
Planning
389 Congress Street
Portland, ME 04101



Re: 336 FOREST AVENUE
Address: 336 FOREST AVENUE
Project ID: 10-79900001
Applicant: OAKHURST PROPERTIES, LLC

CBL: 114A-F008-001

Dear Shukria:

Attached is our application for a proposed surface parking lot and building renovation for Oakhurst Properties at 326-336 Forest Avenue. We have incorporated the city comments per our letter dated 3/12/10 and meeting onsite 3/29/10.

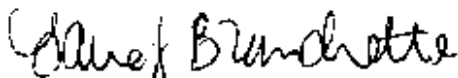
We would also like to request at this time that two waivers be issued for the parking lot spaces – one for the (10) spaces attached to the building being 8'X19' instead of 9'X19'. The second waiver is for the use of compact spaces on the Durham Street side of the lot.

As far as changes made we have closed all of the curb cuts except the one with the working OH Door. This work is to be done after the moratorium on Bedford Street but we will temporarily fill them in with bituminous curb. We have also added a bituminous curb edge to the landscaped area on Bedford Street. As far as the sidewalks we are proposing concrete for the front half of the Bedford Street and leaving the back half as is since it is in decent shape. Landscaped area has been added to the Durham Street entrance and several trees have been added to the landscaping as well. A bike rack and curb stops have also been added in the parking area. The 3' sump was added to the catch basin as was the SDR-35 PVC material requested. Also the granite curb detail has been added to the plans, and all the granite will be matching vertical).

The color rendering requested is attached as are the calculations for the catch basin with the pipe sizes as shown.

Please let me know if you have any questions or if you need additional information.

Sincerely,

A handwritten signature in black ink that reads "Laura J. Blanchette". The signature is written in a cursive style with a large initial "L".

Laura J. Blanchette
Director of Business Development
PM Construction



BH2M

Berry, Huff, McDonald, Milligan Inc.
Engineers, Surveyors

LESTER S. BERRY
WILLIAM A. THOMPSON
ROBERT C. LIBBY, Jr.
WALTER E. PELKEY

April 1, 2010

Laura Blanchette
PM Construction Co.
P.O. Box 728
Saco, ME 04072

RE: Portland Review Memo
March 5, 2010
Oakhurst Properties LLC

Dear Laura:

The review memo in Section E Consulting Engineers asks for evidence that the proposed and existing catchbasins will not flood due to the restriction of the existing 8" pipe. In response, we have attached the HydroCad Calculations Model with the two catchbasins and drainage areas:

- 1S = On-site Runoff to CB#1 (2P)
- 4S = Durham Street Runoff to CBG (JP)

Using a 25-year storm, both catchbasins will not flood above the rim:

CB1: Inv. = 18.72
Rim = 21.80
Peak = 19.29

CBG: Inv. = 18.50
Rim = 21.64
Peak = 19.50*

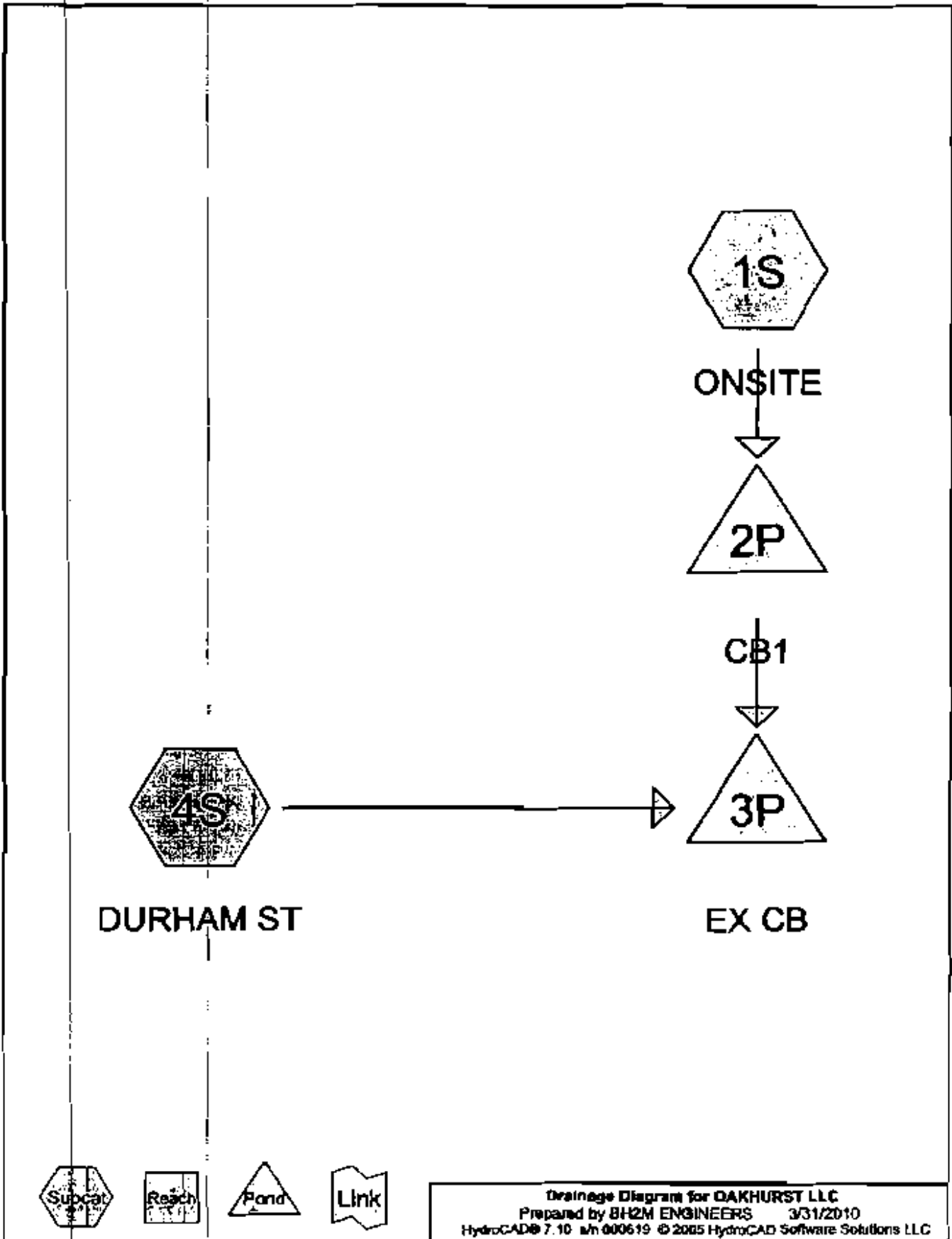
*Slight surcharge of 8" pipe.

Please review and give me a call if you have any questions.

Sincerely,


Lester S. Berry, P.E.

Attachments:
OakhurstPMConst



OAKHURST LLC

Type III 24-hr Rainfall=5.40"

Prepared by BH2M ENGINEERS

Page 2

HydroCAD® 7.10 s/n 000619 © 2005 HydroCAD Software Solutions LLC

3/31/2010

Subcatchment 1S: ONSITE

Runoff = 0.93 cfs @ 12.02 hrs, Volume= 0.064 af, Depth> 4.78"

Runoff by SCS TR-20 method, UH=SCS, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
Type II 24-hr Rainfall=5.40"

Area (ac)	CN	Description			
0.160	98	Paved parking & roofs			
Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
1.3	115	0.0220	1.4		Sheet Flow, PAVEMENT Smooth surfaces n= 0.011 P2= 3.00"

Subcatchment 4S: DURHAM ST

Runoff = 0.40 cfs @ 12.05 hrs, Volume= 0.028 af, Depth> 4.78"

Runoff by SCS TR-20 method, UH=SCS, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
Type II 24-hr Rainfall=5.40"

Area (ac)	CN	Description			
0.070	98	Paved parking & roofs			
Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
2.5	150	0.0080	1.0		Sheet Flow, GUTTER Smooth surfaces n= 0.011 P2= 3.00"
0.5	50	0.0080	1.8		Shallow Concentrated Flow, GUTTER Paved Kv= 20.3 fps
3.0	200	Total			

Pond 2P: CB1

Inflow Area = 0.160 ac, Inflow Depth > 4.78"
 Inflow = 0.93 cfs @ 12.02 hrs, Volume= 0.064 af
 Outflow = 0.93 cfs @ 12.02 hrs, Volume= 0.064 af, Atten= 0%, Lag= 0.1 min
 Primary = 0.93 cfs @ 12.02 hrs, Volume= 0.064 af

Routing by Stor-Ind method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
 Peak Elev= 19.29' @ 12.02 hrs Surf.Area= 14 sf Storage= 8 cf
 Plug-Flow detention time= 0.6 min calculated for 0.064 af (100% of inflow)
 Center-of-Mass det. time= 0.3 min (731.6 - 731.2)

Volume	Invert	Avail.Storage	Storage Description
#1	18.72'	43 cf	Custom Stage Data (Prismatic) listed below (Recalc)

OAKHURST LLC

Type III 24-hr Rainfall=5.40"

Prepared by BH2M ENGINEERS

Page 3

HydroCAD® 7.10 s/n 000619 ©2005 HydroCAD Software Solutions LLC

3/31/2010

Elevation (feet)	Surf.Area (sq-ft)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)
18.72	14	0	0
21.80	14	43	43

Device	Routing	Invert	Outlet Devices
#1	Primary	18.72'	12.0" x 10.0' long Culvert CPP, square edge headwall, Kc= 0.500 Outlet Invert= 18.62' S= 0.0100 /' Cc= 0.900 n= 0.012

Primary OutFlow Max=0.89 cfs @ 12.02 hrs HW=19.27' (Free Discharge)

↑1=Culvert (Barrel Controls 0.89 cfs @ 2.9 fps)

Pond 3P: EX CB

Inflow Area =	0.230 ac, Inflow Depth > 4.78'		
Inflow =	1.30 cfs @ 12.03 hrs, Volume=	0.092 af	
Outflow =	1.31 cfs @ 12.03 hrs, Volume=	0.092 af, Altan= 0%, Lag= 0.3 min	
Primary =	1.31 cfs @ 12.03 hrs, Volume=	0.092 af	

Routing by Stor-Ind method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs

Peak Elev= 19.50' @ 12.03 hrs Surf.Area= 14 sf Storage= 14 cf

Plug-Flow detention time=0.5 min calculated for 0.092 af (100% of inflow)

Center-of-Mass det. time= 0.3 min (732.2 - 731.8)

Volume	Invert	Avail.Storage	Storage Description
#1	18.50'	44 cf	Custom Stage Data (Prismatic) Listed below (Recalc)

Elevation (feet)	Surf.Area (sq-ft)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)
18.50	14	0	0
21.64	14	44	44

Device	Routing	Invert	Outlet Devices
#1	Primary	18.50'	8.0" x 16.0' long Culvert CPP, square edge headwall, Kc= 0.500 Outlet Invert= 18.34' S= 0.0100 /' Cc= 0.900 n= 0.012

Primary OutFlow Max=1.26 cfs @ 12.03 hrs HW=19.48' (Free Discharge)

↑1=Culvert (Barrel Controls 1.26 cfs @ 3.6 fps)

CWS Architects

Architecture • Planning • Construction Services

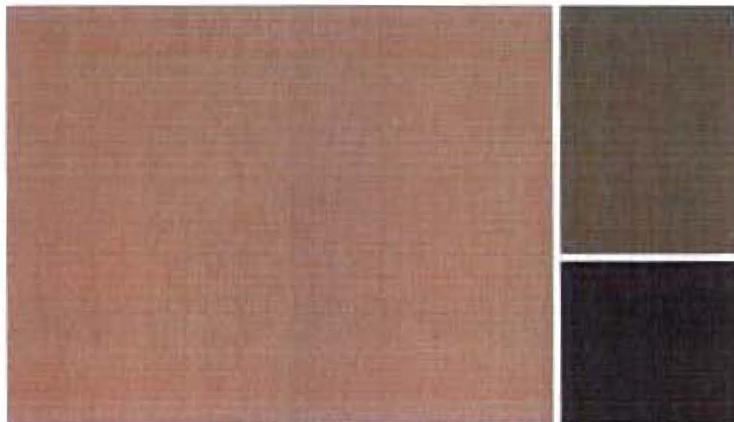
434 Cumberland Avenue Portland, Maine 04101
www.CWSarch.com

Phone: (207) 774-4441
Fax: (207) 774-4016

RENOVATIONS TO 338 FOREST AVENUE EXTERIOR COLOR

March 30, 2010

SUMMARY: The building was originally constructed during the 1920s, pretty much at the height of the Arts and Crafts design period. It is probable that the original paint colors were similar to the proposed scheme which were pulled from the Sherwin-Williams website's historical colors palette, [SW Arts and Crafts Palette](#). The Roycroft Suede would be the primary color (main field) and the Roycroft Brass would be the accent trim. The existing red brick would be a contrast similar to the Polished Mahogany, which would be used to paint solid doors. All existing naturally finished brick and stone will remain their existing natural finishes.



Wall - Roycroft Suede SW 2842
Trim - Roycroft Brass SW 2843
Accent - Polished Mahogany SW 2838

(See attached 11x17 Elevation Rendering that diagrams the location of these colors on the building.

Cat. #		Approval
Job	Type	

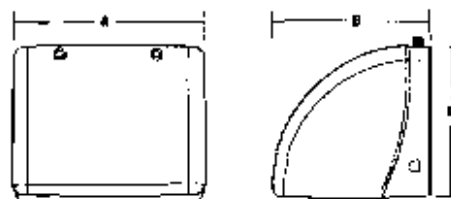


APPLICATIONS

- Use for wall perimeter or entry at mounting heights of 8-15 feet.

SPECIFICATIONS

- Hubbell Outdoor Lighting's newest NRG® family to be introduced late in the second quarter 2007 is packed with owner benefits. The StarView compliant optics allow no up light, saving energy and keeping the neighbors happy!
- The decorative styling is also rugged with one piece polycarbonate front, painted bronze or white on the inside, that resists rocks and other small projectiles.
- The die cast housing provides rigid mounting, conduit and photocontrol hubs, easy mount design and heat dissipation.



A	B	C
11 1/2"	9 1/2"	9 1/2"
298 mm	241 mm	241 mm

LISTINGS

- CSA certified to UL 1598 for use in wet locations.



StarView
compliant



ORDERING INFORMATION

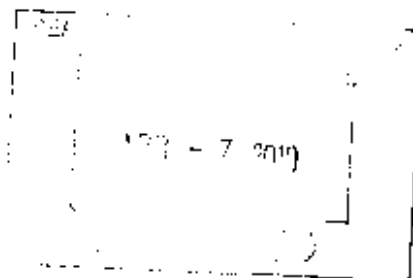
Catalog Number ¹	Wattage/Volts	Finish	Weight	
			lbs	(kg)
PULSE START METAL HALIDE				
NRG-1111-B	100 PS 120, 277, 347	bronze	12	(5.4)
NRG-1111-W	100 PS 120, 277, 347	white	12	(5.4)
NRG-171-B	70 PS 120, 277, 347	bronze	11	(5.0)
NRG-171-W	70 PS 120, 277, 347	white	11	(5.0)
NRG-161-B	50 PS 120, 277	bronze	9	(4.1)
NRG-161-W	50 PS 120, 277	white	9	(4.1)
HIGH PRESSURE SODIUM				
NRG-112-B	100 PS 120, 277, 347	bronze	10	(4.5)
NRG-112-W	100 PS 120, 277, 347	white	10	(4.5)
NRG-172-B	70 PS 120, 277, 347	bronze	9	(4.1)
NRG-172-W	70 PS 120, 277, 347	white	9	(4.1)
ELECTRONIC FLUORESCENT				
NRG-1143-B	42 CFL 120-277 60/50Hz	bronze	7	(3)
NRG-1143-W	42 CFL 120-277 60/50Hz	white	7	(3)

¹ All listings include equipment from an approved manufacturer. Powerlines with use universal sockets and are capable of operating 20 or 30-watt CFL lamps if substituted in the field.

ACCESSORIES

(order as separate part #, field installed)

Catalog Number	Description
PBT-1	Photocontrol, button type, 120V
PBT-204	Photocontrol, button type, 208, 240, 277V



Due to our continued efforts to improve our products, product specifications are subject to change without notice.



Outdoor Lighting

Hubbell Outdoor Lighting • 701 Millennium Boulevard • Greenville, SC 29607 • Phone: 864-678-1000

For more information visit our web site: www.hubbell-llg.com

9:00 Monday Morning sounds fine. Thanks
Larry
Distinctive Tile.

Tenant # 1
Distinctive Tile

Anytime. Just let me know. 9:00?

>>> <Me99King@aol.com> 7/22/2010 7:58 PM >>>
I am available on Monday. Is there a good time for you?

In a message dated 7/22/2010 11:04:53 A.M. Eastern Daylight Time, TMM@portlandmaine.gov writes:

It is in rm 315 of City Hall 3rd floor. When do you want to come in?

>>> <Me99King@aol.com> 7/21/2010 6:52 PM >>>
I need to come by and talk to you, do I need an appointment and where is your office?
Thanks
Larry

In a message dated 7/20/2010 7:54:20 A.M. Eastern Daylight Time, TMM@portlandmaine.gov writes:

You do need a fit up permit and your contractor can bring in a set of plans showing all of the work that is being done and a layout of the entire space. Please include all life safety details (ie, exits, alarms, sprinklers, etc.).

>>> <Me99King@aol.com> 7/19/2010 4:23 PM >>>

Jeanie,
We are leasing the space from Oakhurst at 334 Forest Ave and my contact person Tom Brigham wanted me to contact you again regarding a separate Building Permit.
In our kitchenette we are supplying and installing the kitchen sink & cabinets. All the rough ins will be done and shut offs installed by the builder. All we are doing is putting in the Cabinets & sink. Do I need a permit for this and if so what information do I need to get for you to get it.
Thanks for your help
Larry Stoddard
Distinctive Tile & design.

In a message dated 6/23/2010 8:05:41 A.M. Eastern Daylight Time, TMM@portlandmaine.gov writes:

Larry, you do not need a separate permit for your displays. If possible, please have Oakhurst submit a floor plan showing how the store will be setup so we can make sure all of the egress aisles are clear. The work will be covered under their permit for the fit up. If you have any other questions please contact me.

>>> <Me99King@aol.com> 6/22/2010 5:53 PM >>>
We are relocating our retail showroom from Union station plaza St John Street to 334 forest Ave. (The old World Over building) Oakhurst Dairy owns the building and is getting a building permit to do the buildings renovations and interior build out including all permanent interior structures.
Do we need one also to move our showroom into this space. We will be constructing some non permanent wall displays. Not from floor to ceiling. They will be moveable. Plus a couple of half walls.
We also will be tiling the floors
We want to make sure we get a permit if we need one.
Thank you for your help.

Larry Stoddard
Distinctive Tile & Design
Homestead Flooring Inc
www.distinctivetileanddesign.com



CWS Architects
 Architecture
 Space Planning
 Interior Design

301 Commercial Street
 Portland, ME 04101
 Phone: (603) 876-0000
 Fax: (603) 876-0000
 www.cwsarchitects.com



DAVID M. DYER
 ENGINEER
 204 FOREST AVE
 PORTLAND, ME 04101

Project No: 000007
 Date: 11/18/10

**204 FOREST AVE
 RENOVATIONS**

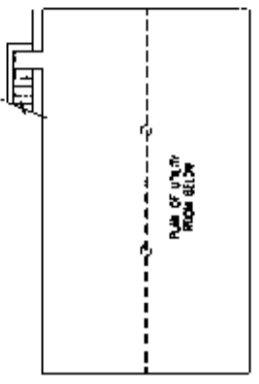
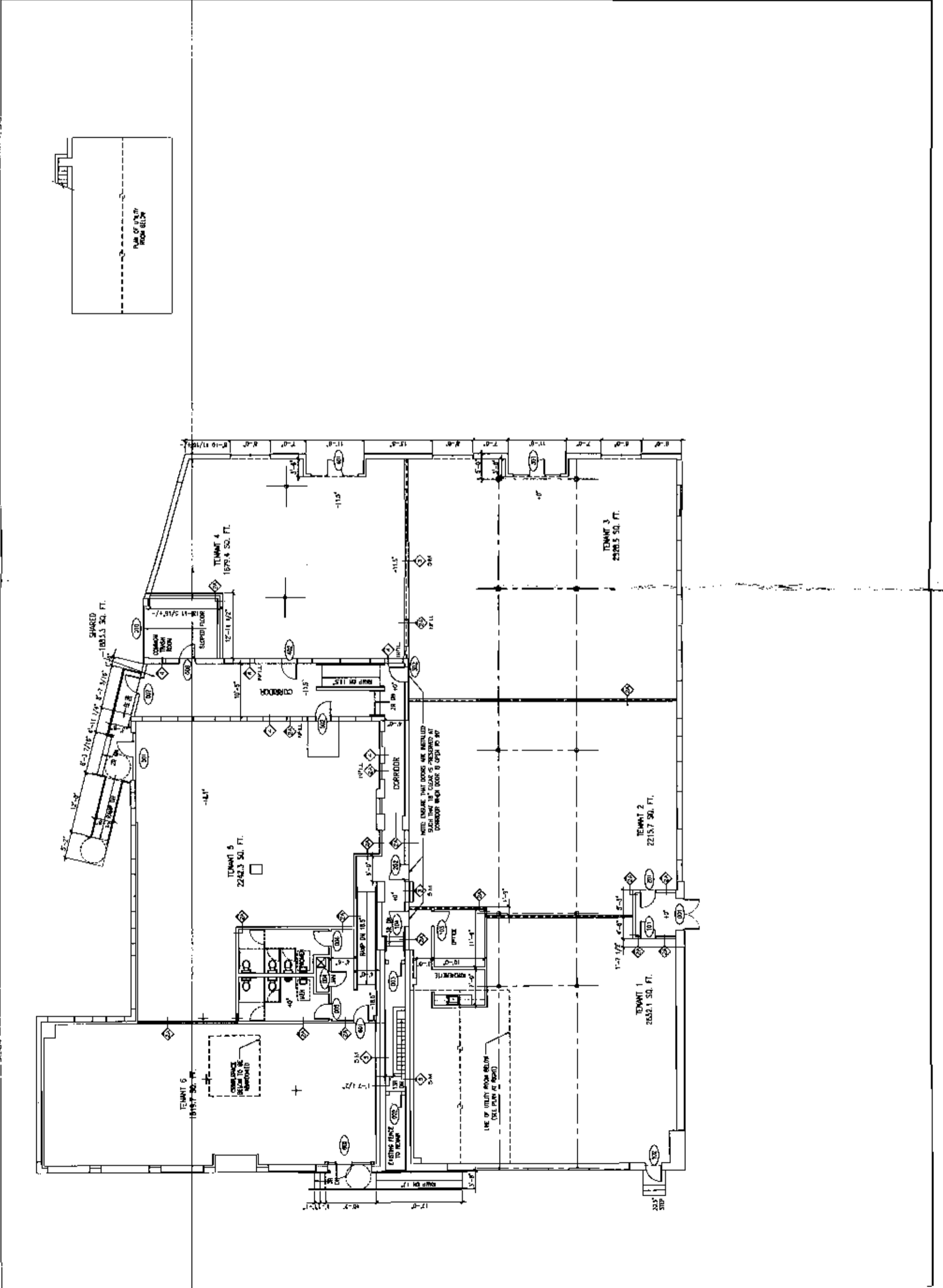
204 FOREST AVE
 PORTLAND, ME 04101

Project No: 000007
 Drawing Title: **BUILDING PLAN**

Scale: 1/8" = 1'-0"
 Date: 11/18/10
 Drawing No: 11/18/10-001

Drawing Number: **A1.1**

PERMITTING



CWS
Architects
 Architecture
 Space Planning
 Value Design
 100 Central Avenue
 Suite 100
 Westborough, MA 01581
 Tel: 508-853-4111
 Fax: 508-853-4112
 www.cwsarch.com

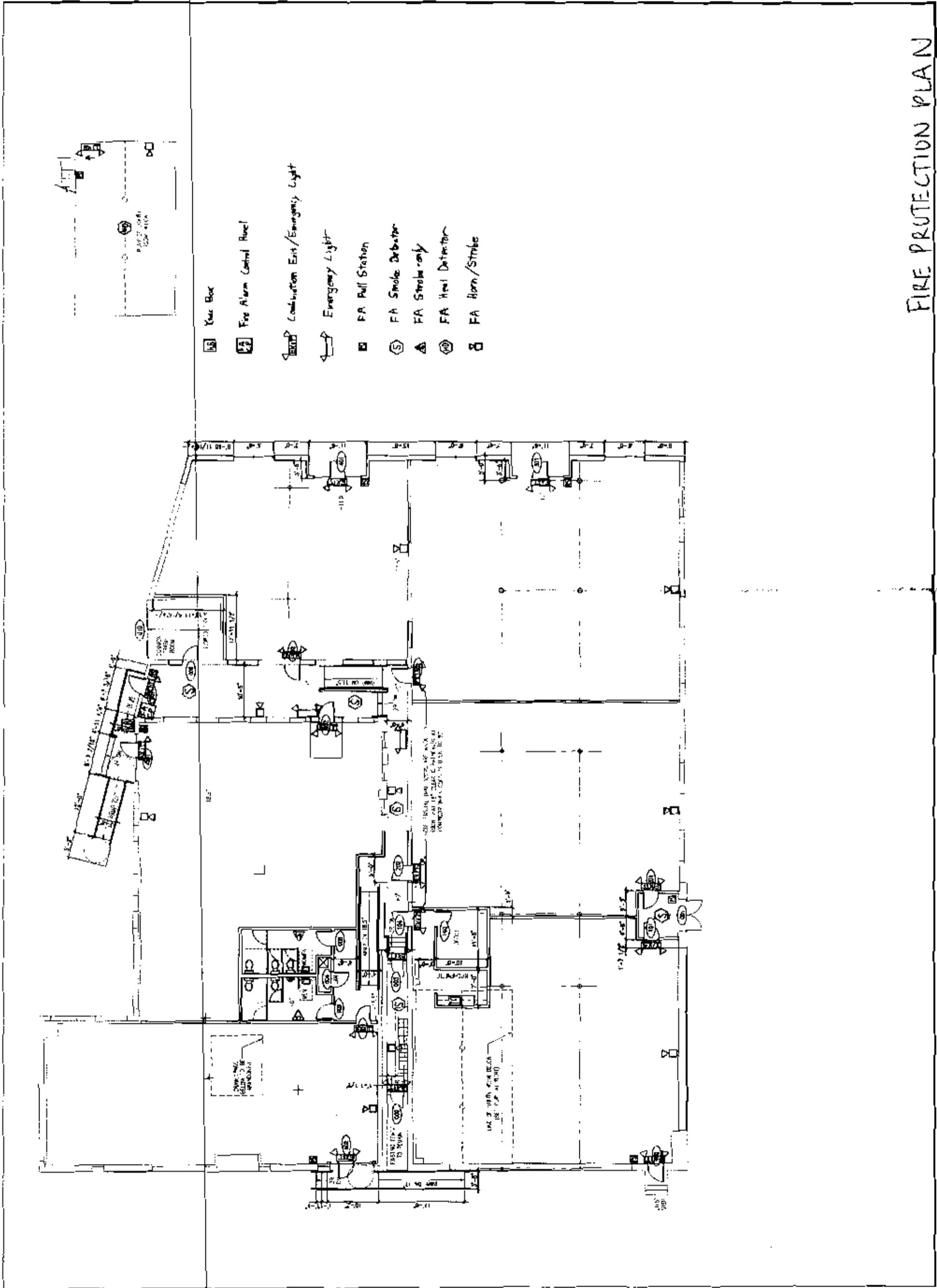
DARRIN BARRY
 20 FOREST AVE
 WESTBORO, MA 01581
 Designer

**354 FOREST AVE
RENOVATIONS**
 20 FOREST AVE
 WESTBORO, MA 01581
 Project No: 08-002
 Building Plan

Scale: 1/8" = 1'-0"
 Date: 9 May 2010
 Revisions:
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Sheet No: **A1.1**

FIRE PROTECTION PLAN



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OAKLEAF DAIRY
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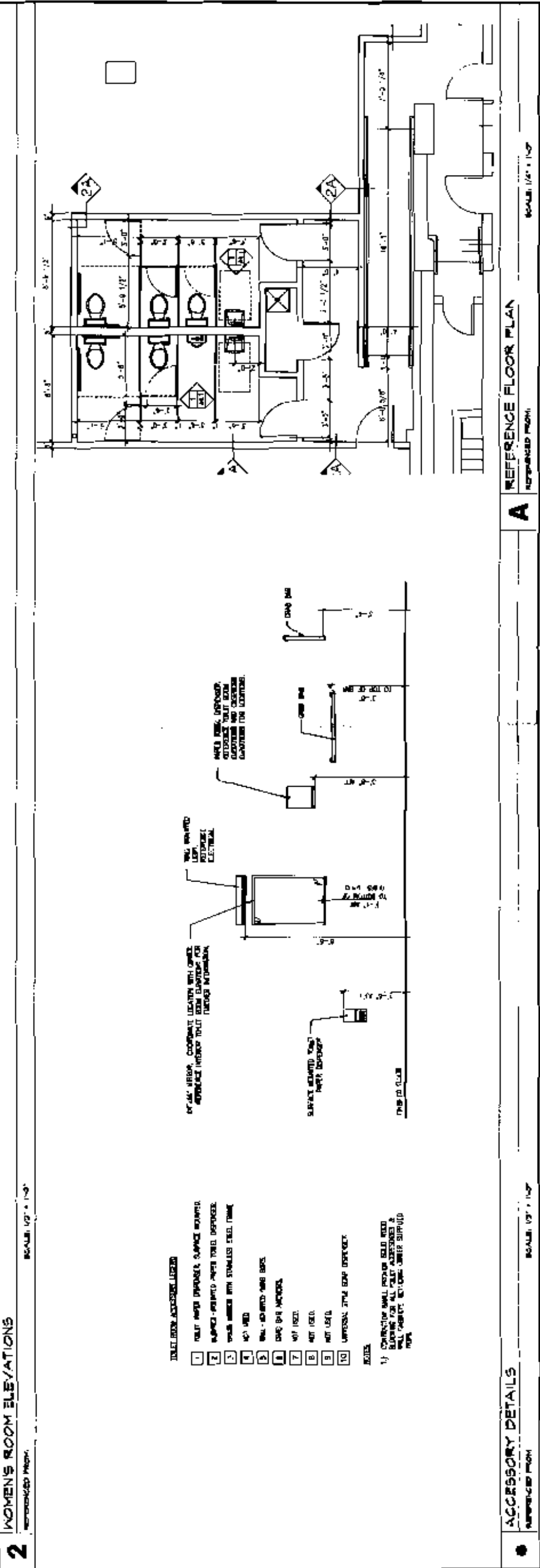
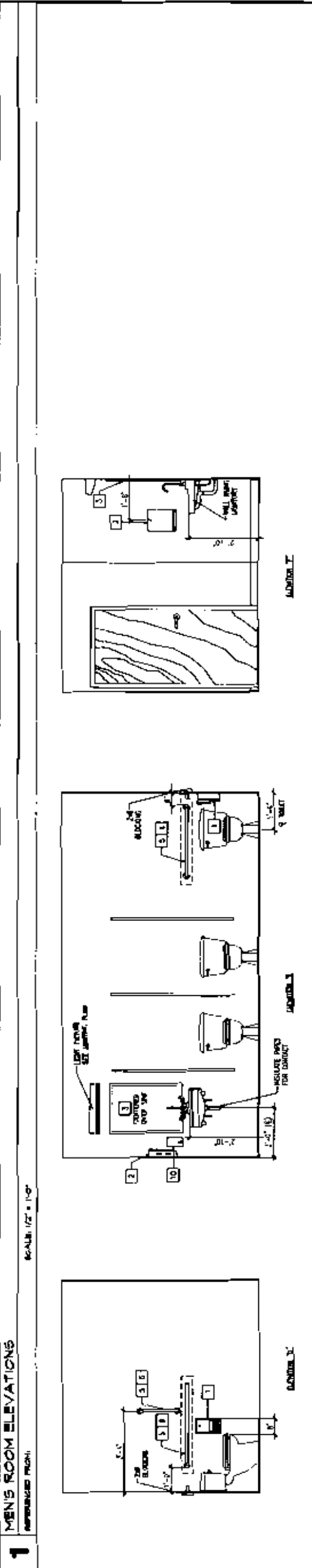
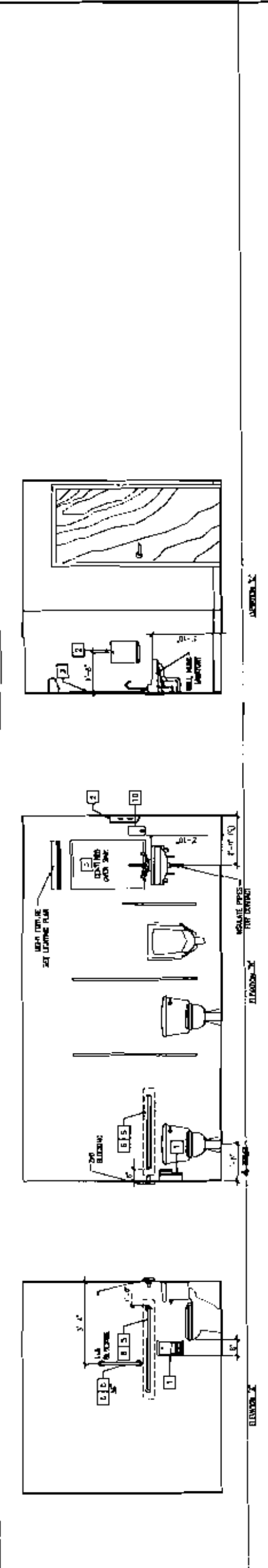
324 FOREST AVE RENOVATIONS
 1/4 SHEET 05
 10/11/10, 06/10/11

Project No. 0402
 Design Title: TOILET ROOM DETAILS

Scale: 1/4" = 1'-0"
 Date: 10/11/10
 Revision: 1

Sheet Number: **A4.1**

PERMITTING



- TOILET ROOM ACCESSORY DETAILS**
1. WALL MOUNTED URINALS
 2. WALL MOUNTED SINKS
 3. WALL MOUNTED MIRROR
 4. WALL MOUNTED MIRROR
 5. WALL MOUNTED MIRROR
 6. WALL MOUNTED MIRROR
 7. WALL MOUNTED MIRROR
 8. WALL MOUNTED MIRROR
 9. WALL MOUNTED MIRROR
 10. WALL MOUNTED MIRROR
- NOTES**
1. CONTRACTOR SHALL PROVIDE SINKS, MIRRORS, AND MOUNTING HARDWARE. ALL ITEMS SHALL BE SUPPLIED BY THE CONTRACTOR.

ACCESSORY DETAILS
 REFERENCED FROM: SCALE: 1/2" = 1'-0"

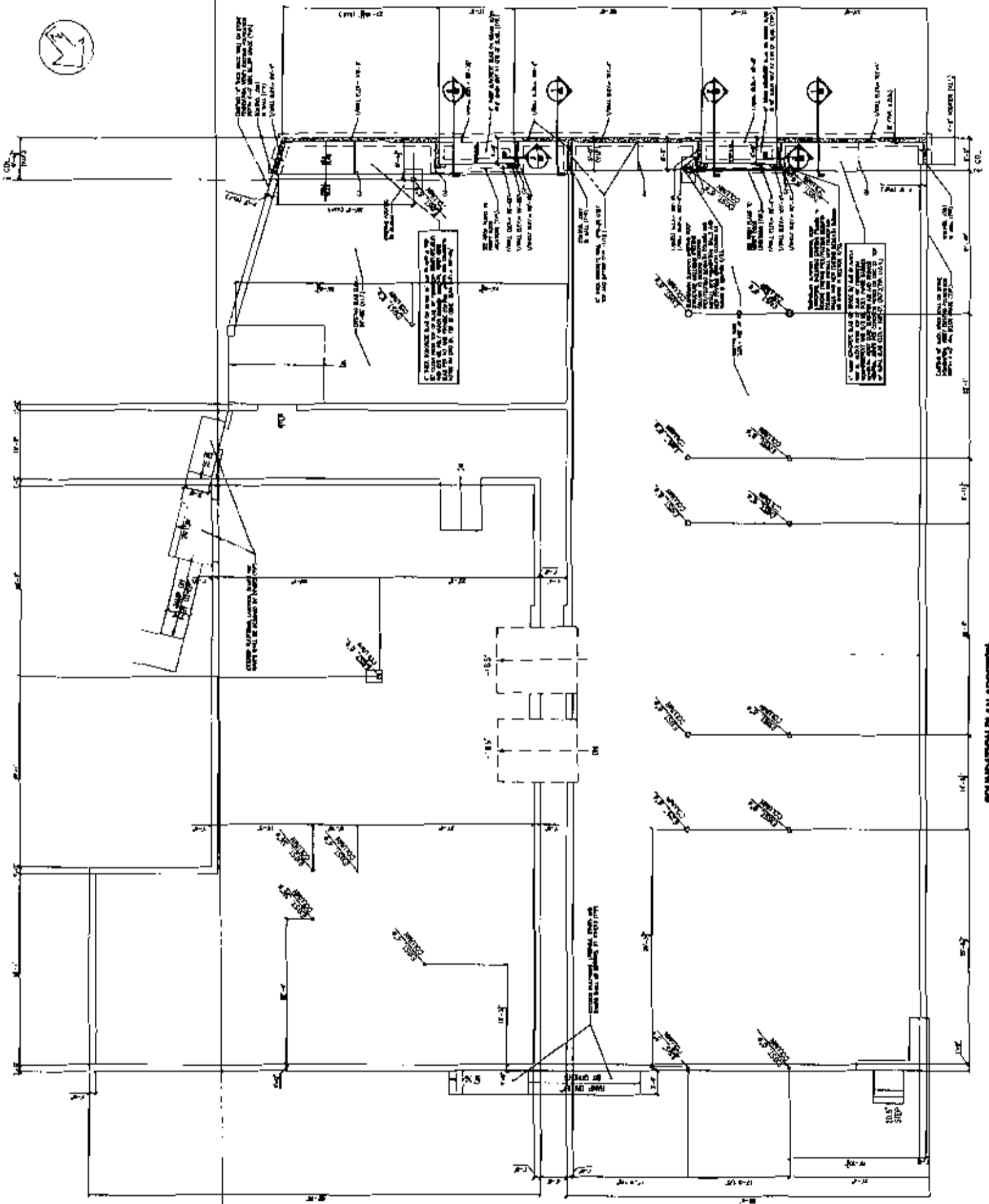
334 FOREST AVE. - RENOVATION
PORTLAND, MAINE
EXISTING BUILDING RETROFIT
FOUNDATION PLAN-ADDITION

DESIGNED BY: J.E. LADD
CHECKED BY: J.E. LADD
DATE: 01-10-08
PROJECT NO.: 08-001



L & L STRUCTURAL
ENGINEERING SERVICES, INC.
SIX O STREET
SOUTH PORTLAND, MAINE 04106
PHONE: (207) 757-4430
FAX: (207) 759-2432

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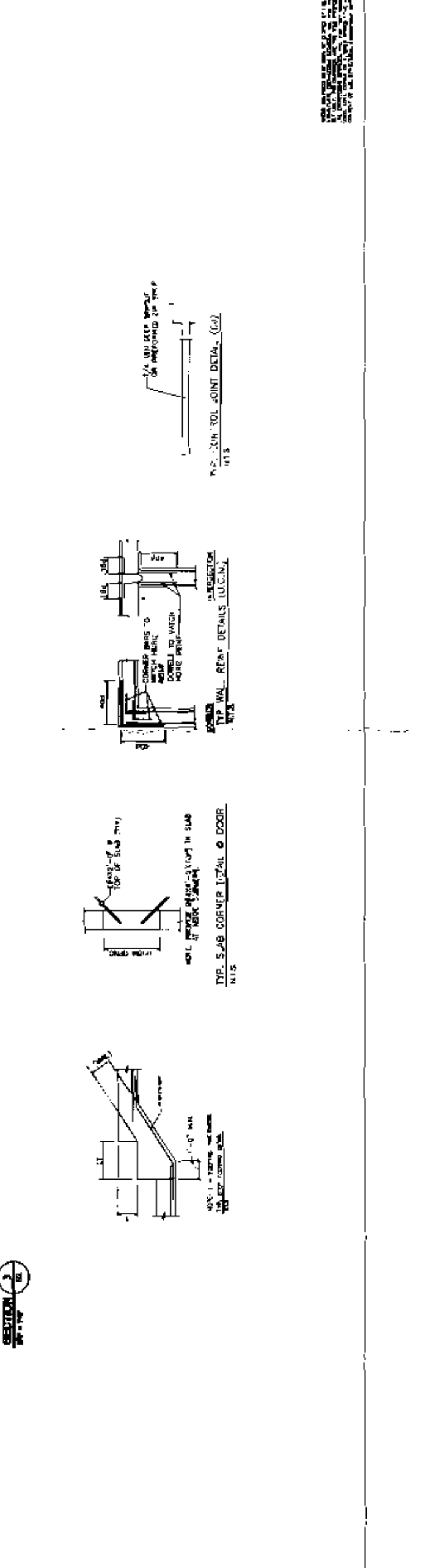
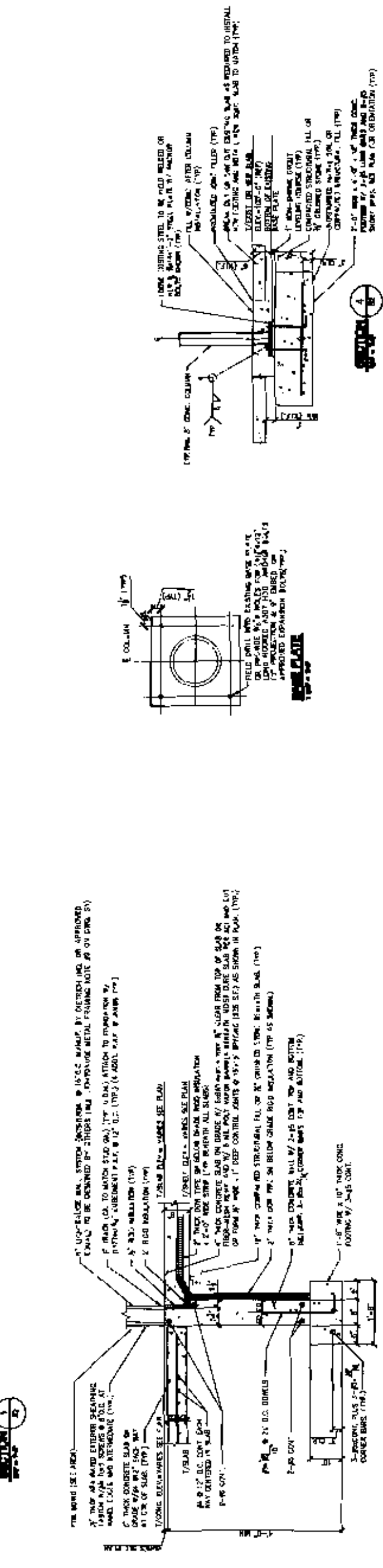
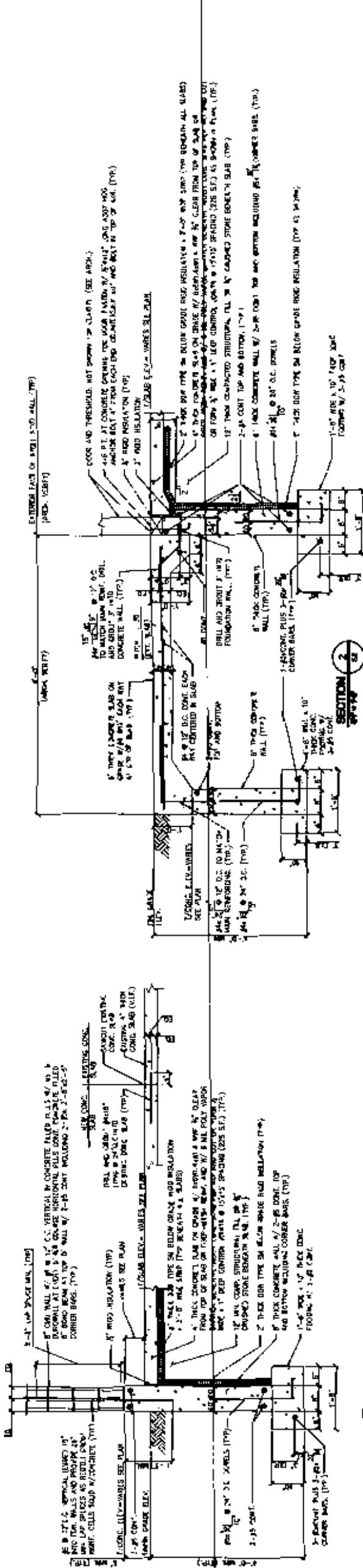
FOUNDATION PLAN-ADDITION

- 1. SEE FOUNDATION PLAN FOR ALL FOUNDATION DETAILS.
- 2. ALL FOUNDATION DETAILS SHALL BE CONFORMANT WITH THE 2005 INTERNATIONAL BUILDING CODE (IBC) AND THE 2005 INTERNATIONAL FOUNDATION CODE (IFC).
- 3. ALL FOUNDATION DETAILS SHALL BE CONFORMANT WITH THE 2005 INTERNATIONAL GEOTECHNICAL AND SOIL FOUNDATION CODE (IGSCF).
- 4. ALL FOUNDATION DETAILS SHALL BE CONFORMANT WITH THE 2005 INTERNATIONAL CONCRETE AND ALLOYS CODE (ACI 308).
- 5. ALL FOUNDATION DETAILS SHALL BE CONFORMANT WITH THE 2005 INTERNATIONAL STEEL CONSTRUCTION CODE (AISC 360).
- 6. ALL FOUNDATION DETAILS SHALL BE CONFORMANT WITH THE 2005 INTERNATIONAL WOOD CONSTRUCTION CODE (AWC 2005).
- 7. ALL FOUNDATION DETAILS SHALL BE CONFORMANT WITH THE 2005 INTERNATIONAL MASONRY CONSTRUCTION CODE (TMS 602).
- 8. ALL FOUNDATION DETAILS SHALL BE CONFORMANT WITH THE 2005 INTERNATIONAL MECHANICAL AND ELECTRICAL PLUMBING CODE (IMC).
- 9. ALL FOUNDATION DETAILS SHALL BE CONFORMANT WITH THE 2005 INTERNATIONAL PLUMBING AND MECHANICAL CODE (IPC).
- 10. ALL FOUNDATION DETAILS SHALL BE CONFORMANT WITH THE 2005 INTERNATIONAL MECHANICAL AND ELECTRICAL PLUMBING CODE (IMC).

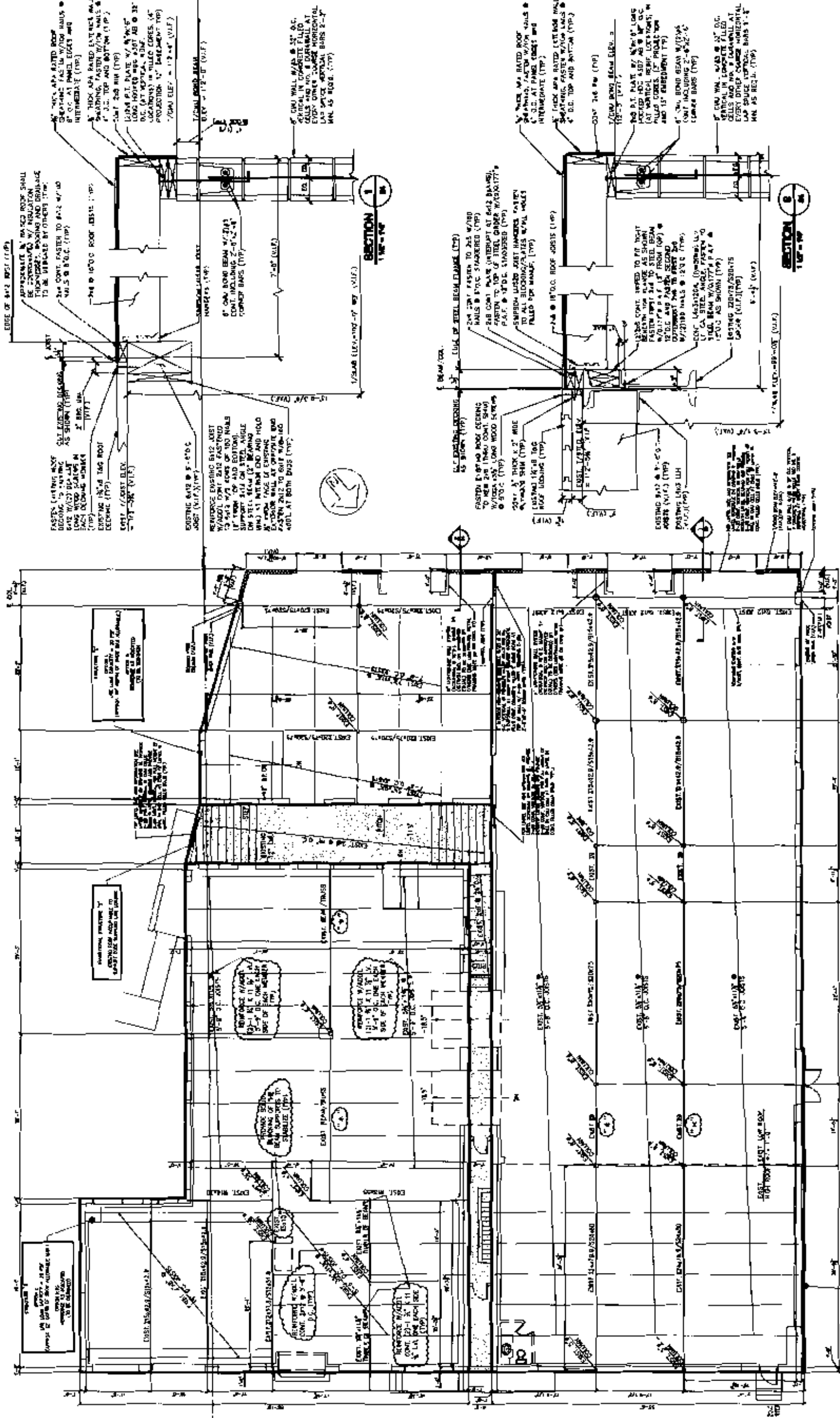




Project No.	2010-008
Date of Issue	11/10
Scale	AS NOTED
Drawn by	AS NOTED
Checked by	AS NOTED
Engineer of Record	AS NOTED

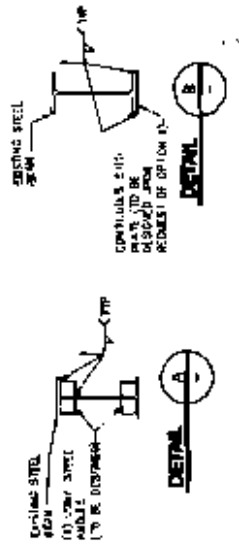


NOT TO SCALE
 ALL DIMENSIONS IN FEET AND INCHES
 UNLESS OTHERWISE NOTED
 SEE NOTES FOR MATERIALS AND FINISHES
 SEE SPECIFICATIONS FOR CONSTRUCTION METHODS
 SEE GENERAL NOTES FOR NOTES NOT SHOWN



ROOF FRAMING PLAN, SECTION AND DETAIL

- 1. SEE GENERAL NOTES ON DRAWING
- 2. GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS, REVISIONS AND CONDITIONS IN THE FIELD.
- 3. MODIFIED EXISTING JOISTS, CONNECTIONS, ROOF DRAINAGE AND FASCIA DETAILS SHALL BE: (REVISIONS AND DETAILS INDICATED BY OTHERS)



GENERAL NOTES:

1. ALL DIMENSIONS UNLESS OTHERWISE NOTED ARE IN FEET AND INCHES (1/8" = 1/8").

2. ALL MATERIALS SHALL BE AS SHOWN UNLESS OTHERWISE NOTED.

3. ALL CONNECTIONS SHALL BE AS SHOWN UNLESS OTHERWISE NOTED.

4. ALL JOISTS SHALL BE 2x12 S4S UNLESS OTHERWISE NOTED.

5. ALL BEAMS SHALL BE 4x12 S4S UNLESS OTHERWISE NOTED.

6. ALL ROOFING SHALL BE AS SHOWN UNLESS OTHERWISE NOTED.

7. ALL FLASHING SHALL BE AS SHOWN UNLESS OTHERWISE NOTED.

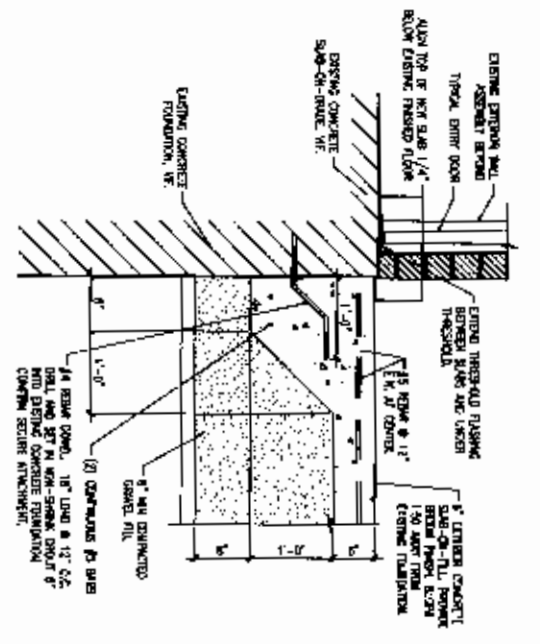
8. ALL FINISHES SHALL BE AS SHOWN UNLESS OTHERWISE NOTED.

9. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE AIA, AISC, AND NDS SPECIFICATIONS.

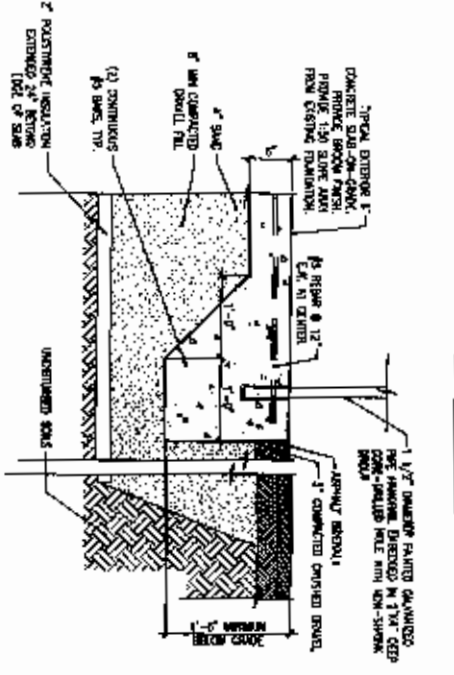
10. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE AIA, AISC, AND NDS SPECIFICATIONS.

ABBREVIATIONS:

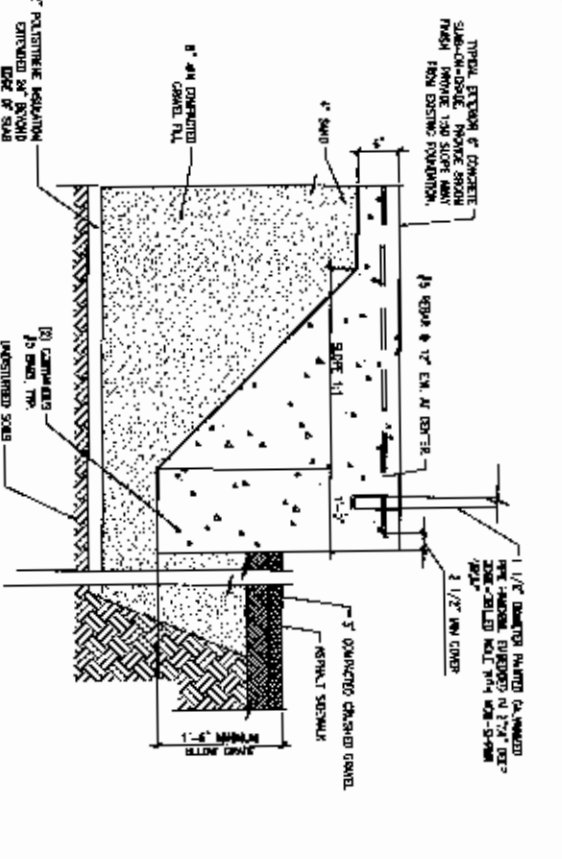
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 1/512" = 1'-0" 1/1024" = 1'-0" 1/2048" = 1'-0" 1/4096" = 1'-0" 1/8192" = 1'-0" 1/16384" = 1'-0"
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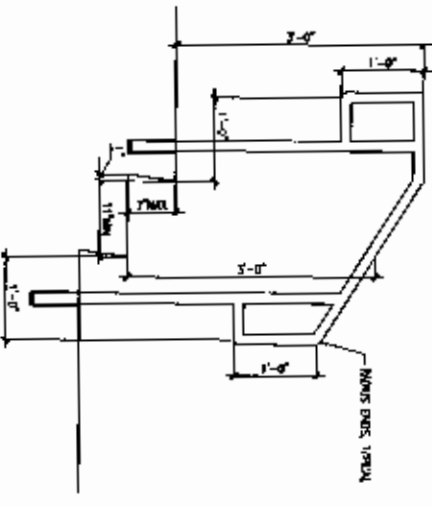
1 SLAB DETAIL AT DOOR THRESHOLD
REPRODUCED FROM: SCALE: 1/4"=1'-0"



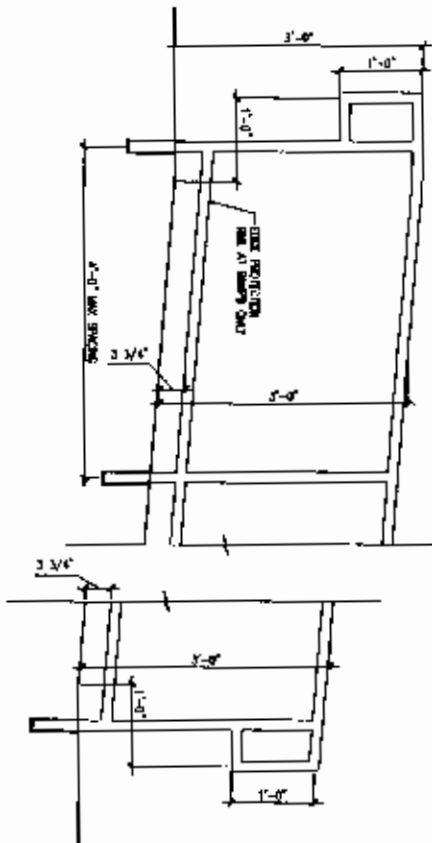
2 SLAB DETAIL AT FLUSH CONDITION
REPRODUCED FROM: SCALE: 1/4"=1'-0"



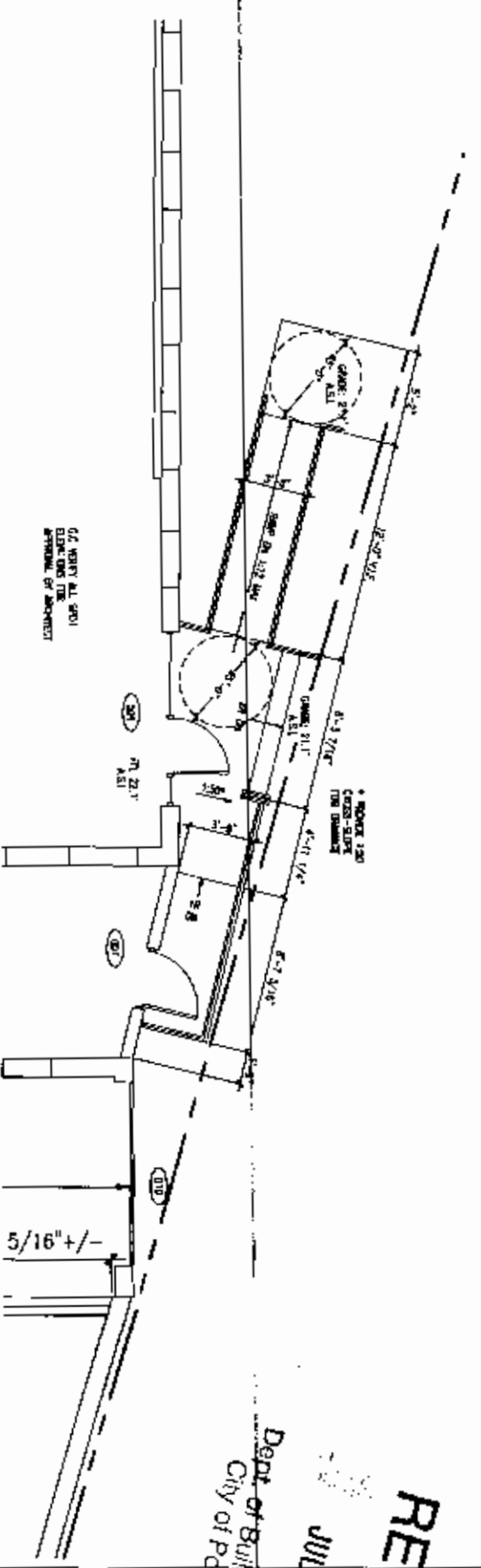
3 SLAB DETAIL AT ELEVATED EDGE
REPRODUCED FROM: SCALE: 1/4"=1'-0"



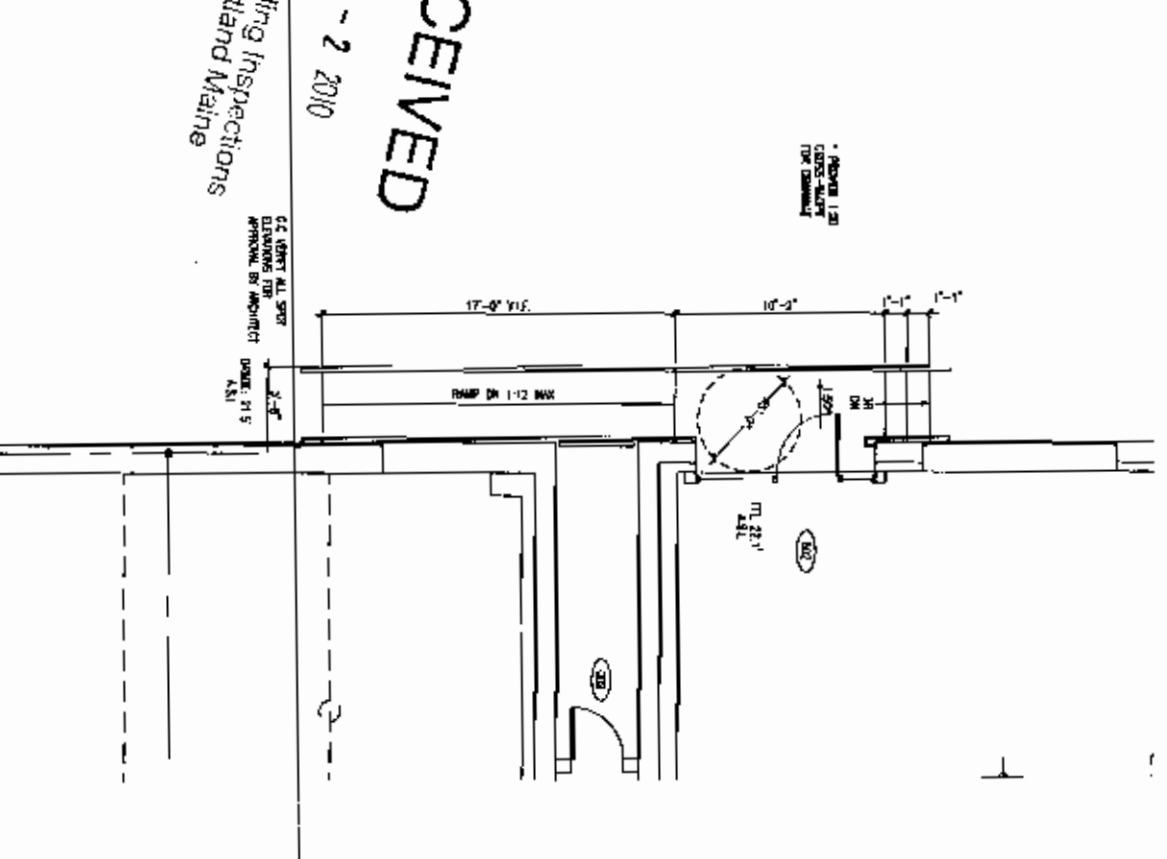
4 TYPICAL HANDRAIL ELEVATION AT STAIRS
REPRODUCED FROM: SCALE: 1/4"=1'-0"



5 TYPICAL HANDRAIL ELEVATION AT RAMPS
REPRODUCED FROM: SCALE: 1/4"=1'-0"



7 RAMP REFERENCE PLAN
REPRODUCED FROM: SCALE: 1/4"=1'-0"



9 RAMP REFERENCE PLAN
REPRODUCED FROM: SCALE: 1/4"=1'-0"

RECEIVED
JUL - 2 2010
Dept of Building Inspections
City of Portland Maine

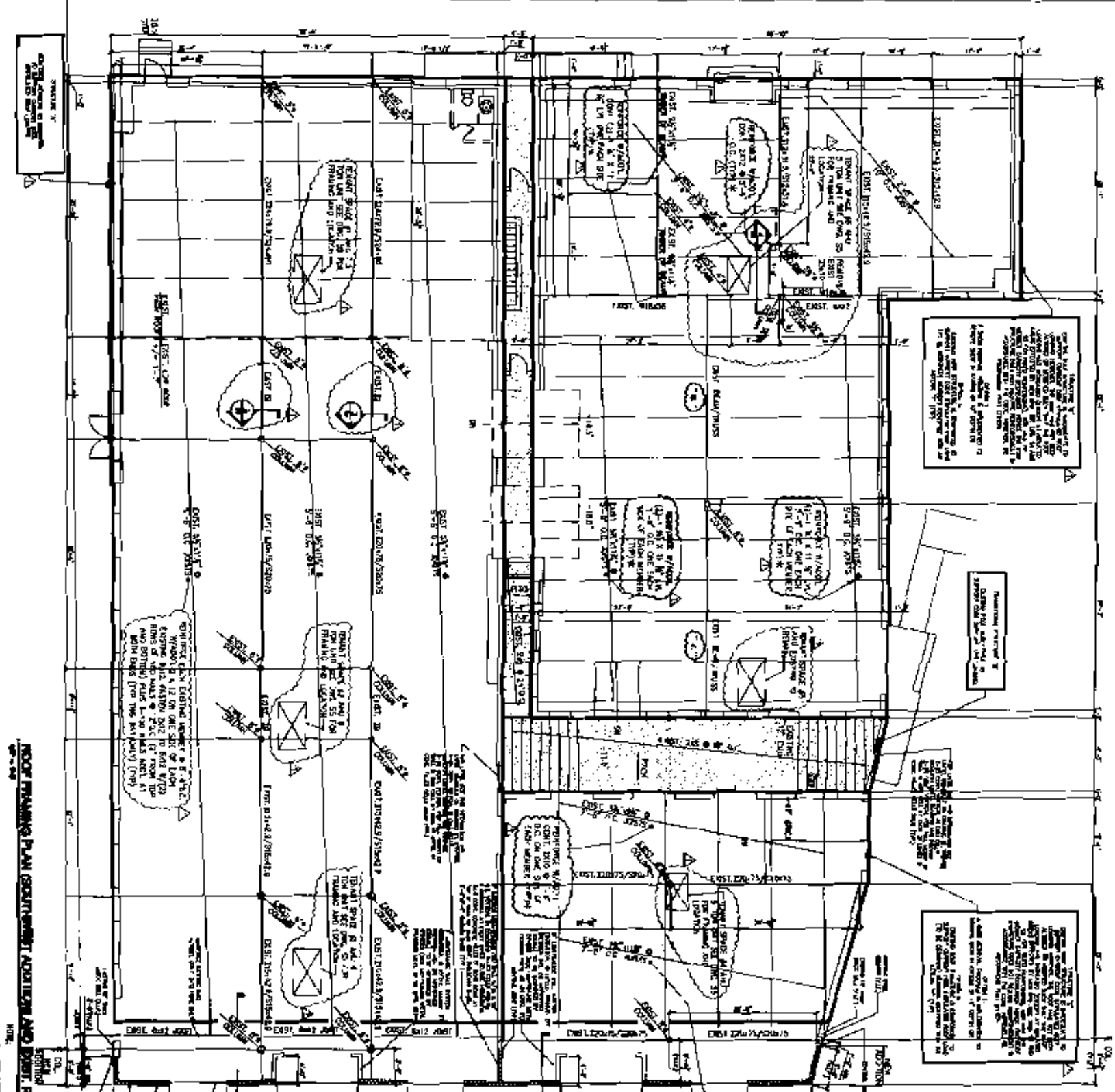
CMS Architects
Architects
32 FOREST AVE
AKRON, MA 01003
TEL: 413-866-1111
WWW.CMSARCHITECTS.COM

OAKMIST DARTY
32 FOREST AVE
AKRON, MA 01003

SMA FOREST AVE RENOVATIONS
32 FOREST AVE
AKRON, MA 01003

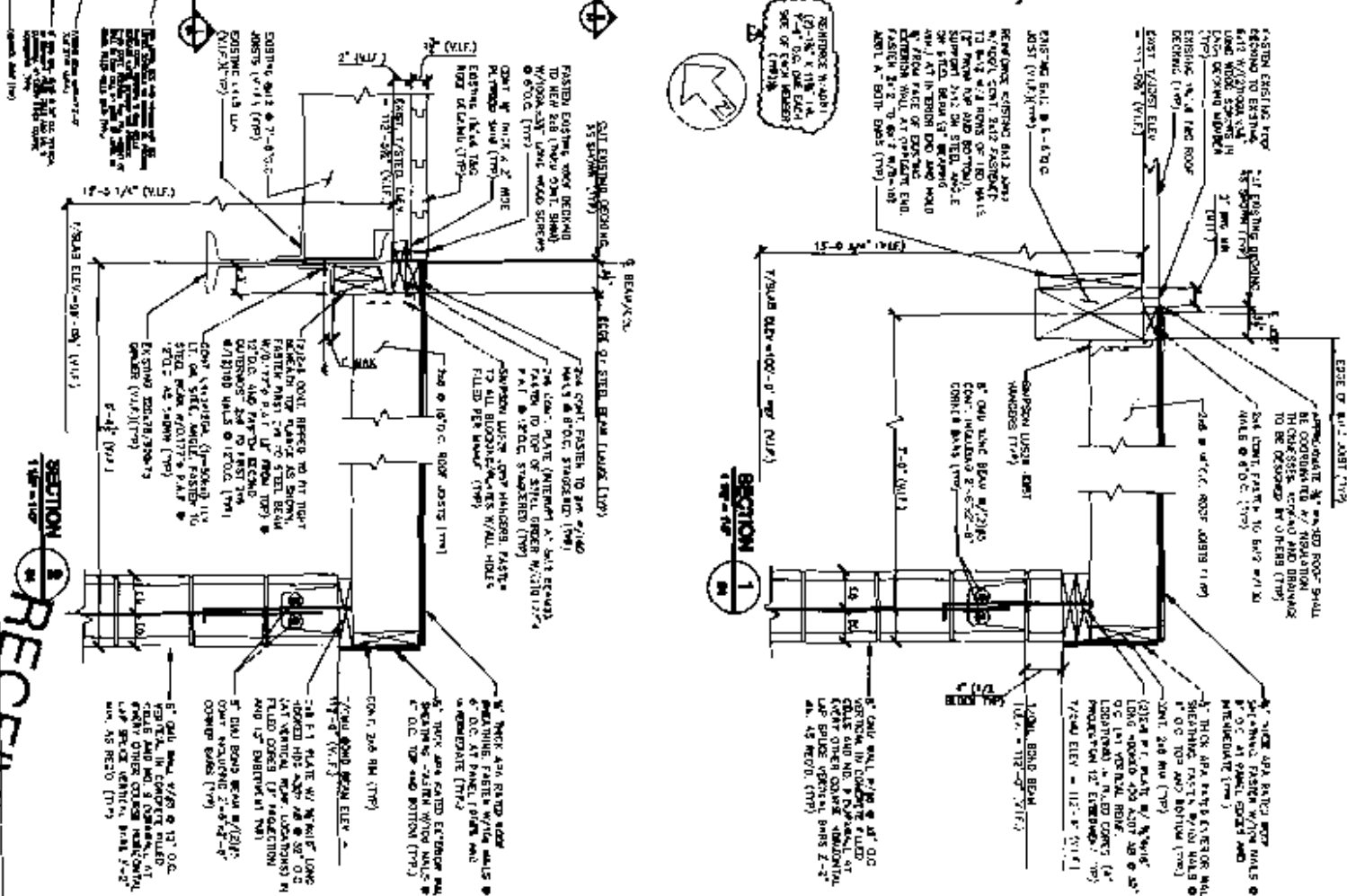
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Date: 6/5/09
Scale: 7/11/09
Drawn: [Signature]

ST.1
PERMITTING



ROOF FRAMING PLAN (EXISTING AND PROPOSED) ROOF FRAMING REINFORCEMENT

- NOTE:
1. SEE JOIST NOTES ON DRG. 10
 2. GENERAL REMARKS: SHALL REFER ALL PROPOSED CHANGES AND CONDITIONS TO THE FIELD
 3. REVISIONS: ALL CHANGES SHALL BE SHOWN ON THIS DRAWING AND ASSOCIATED DETAILS SHALL BE



Dept. of Building Inspections
City of Portland Maine

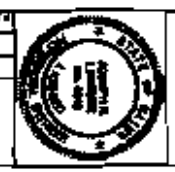
JUL - 2 2010

RECEIVED

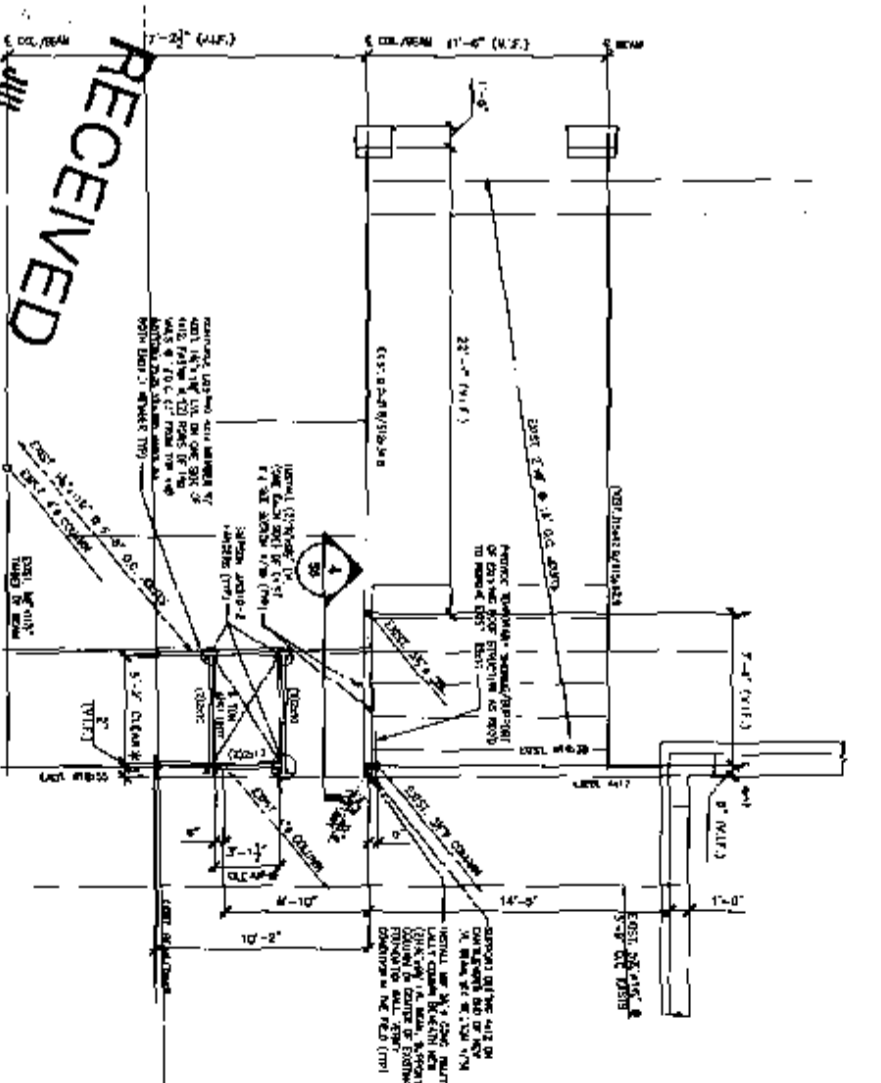
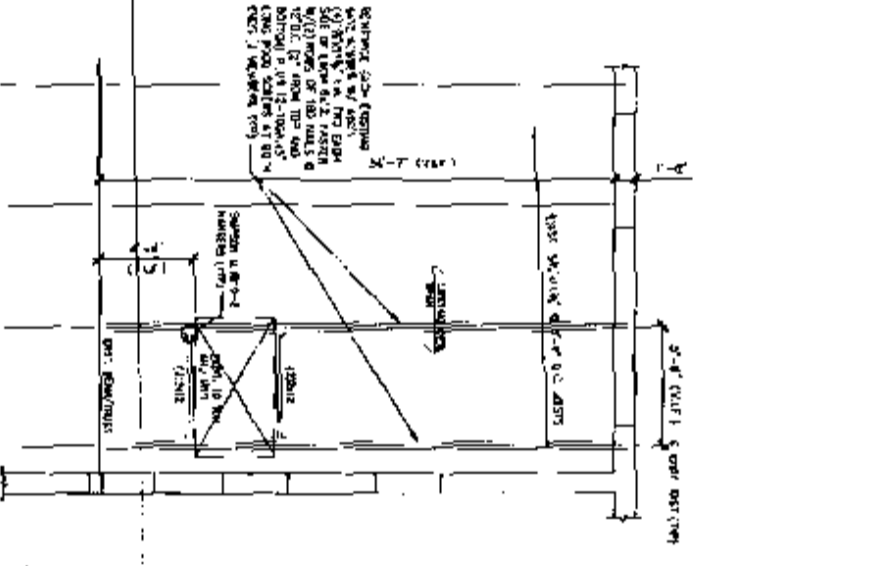
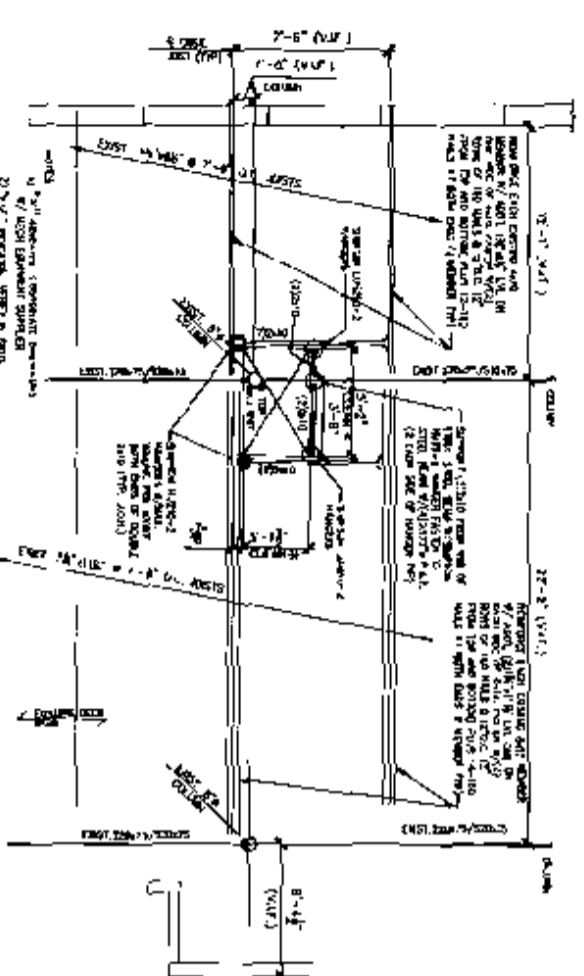
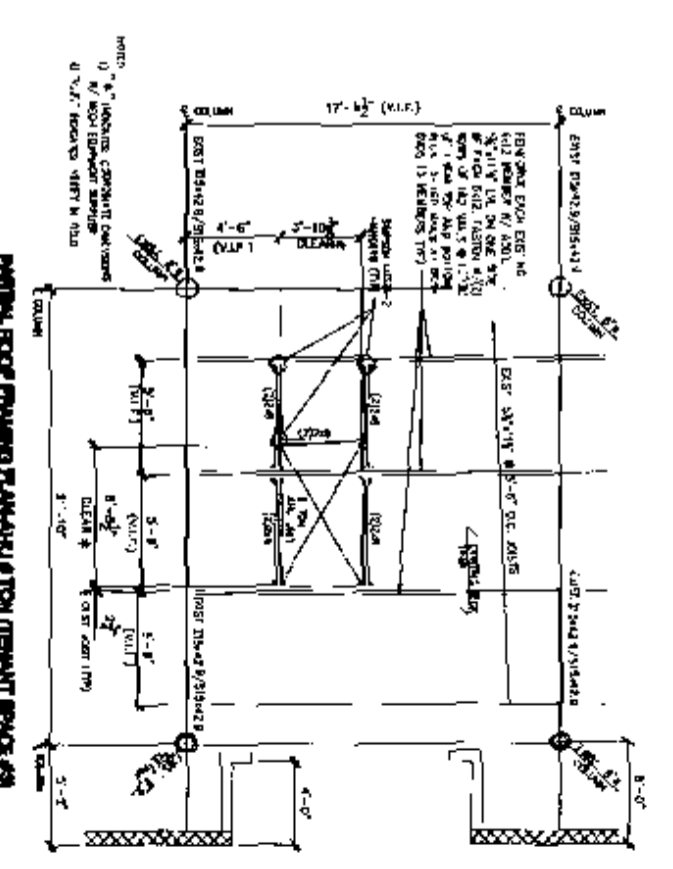
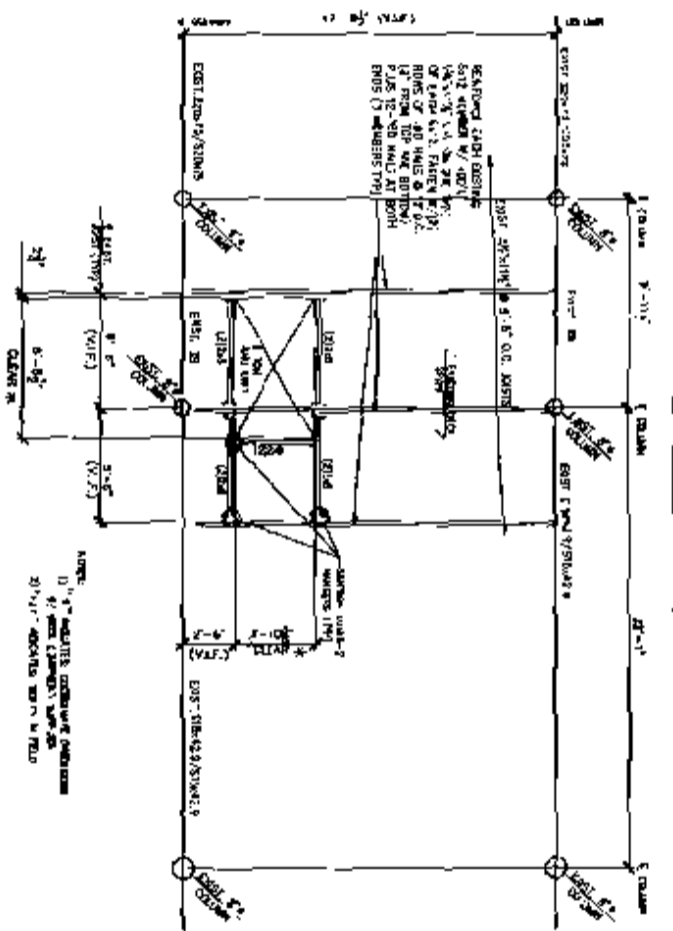
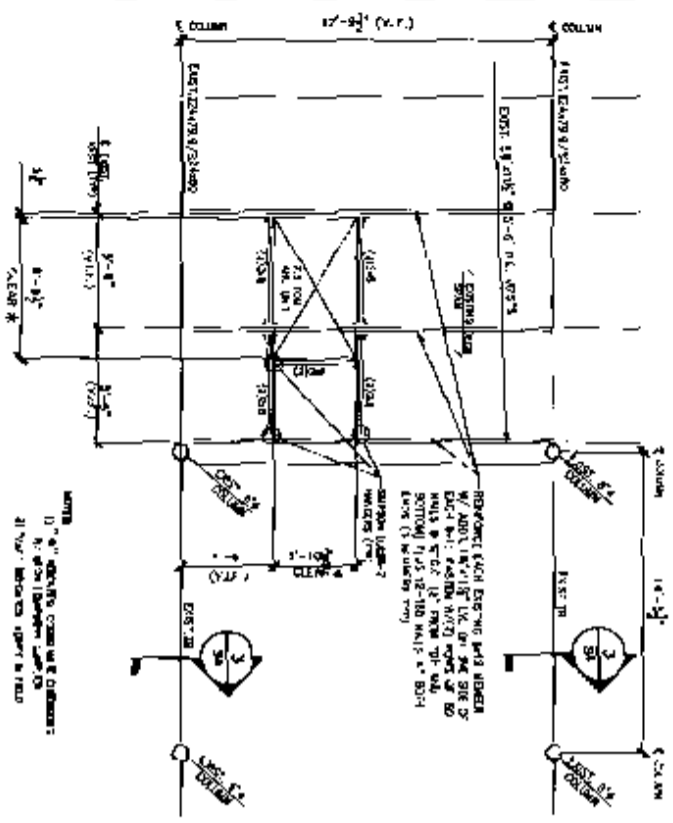
334 FOREST AVE. - RENOVATION
PORTLAND, MAINE
EXISTING BUILDING RETROFIT
ROOF FRAMING PLAN, SECTIONS AND DETAILS

S4

Revised by	Date	Description
Drawn by	1-17-10	ROOF FRAMING AND JOIST LAYOUT
Checked by		
Scale	1/8" = 1'-0"	
Plot Date	6-23-10	
Plot Time	10:00 AM	



E. & L. STRUCTURAL ENGINEERING SERVICES, INC.
516 O STREET
SOUTH PORTLAND, MAINE 04106
PHONE (207) 871-4633
FAX (207) 799-2423



RECEIVED

JUL - 2 2010

PARTIAL ROOF FRAMING PLAN-AHU & TON CABINET SPACE #1-6

City of Portland Inspections

334 FOREST AVE. - RENOVATION
 PORTLAND, MAINE

EXISTING BUILDING RETROFIT
 PARTIAL ROOF FRAMING PLANS-AHU UNIT SUPPORT

Designed by: JLL	Rev.	Date	Description
Drawn by: JLL			
Checked by: JLL			
Scale: AS SHOWN			
Project No: 2010-10			
Plot Date: 8-25-10			
Plot No: 2010-10			



L & L STRUCTURAL ENGINEERING SERVICES, INC.
 517 D STREET
 SOUTH PORTLAND, MAINE 04106

PHONE: (207) 767-4930
 FAX: (207) 766-2432

NO.	DATE	DESCRIPTION
1	11/10/10	PRELIMINARY SURVEY
2	11/15/10	FIELD SURVEY
3	11/20/10	OFFICE SURVEY
4	11/25/10	FINAL SURVEY



Robert S. Liberty
Professional Engineer
No. 12345
State of Maine

EXISTING CONDITIONS
NO. 12345

REGISTERED	DATE
Survey	06/10/10
DRAWN	SCALE
W. Liberty	As Noted
CHECKED	DATE
R. Liberty	06/10/10

2

NO. 12345



LOCATION MAP
SCALE 1" = 1 MILE

- NOTES:
1. OWNER/CLIENT: QUADRIEST INVESTMENTS, LLC
324 PINE STREET
PORTLAND, MAINE 04101
 2. SURVEYOR: ROBERT S. LIBERTY, P.E., PLS #12345
215 STATE STREET
CONSUMERS MILLS
 3. DATE SURVEYED: 06/10/10
 4. TAP MAP REFERENCE: MAP 174A, BLOCK 1, LOTS 3, 7, 9
 5. ZONING: 02, BUSINESS COMMUNITY
 6. PROJECT AREA: 46,000 S.F.
 7. BENCHMARK: 1985 BENCH MARK AT CORNER OF FOREST AVENUE AND GEORGE STREET, ELEVATION 101.25, MSL. (SEE PLAN SET FOR BENCHMARK ON PLAN SET, 174A-11-1).
 8. COORDINATES: BEARINGS AND NORTH ORIENTATIONS GIVEN ARE BASED ON MAINE STATE PLANNED SURVEY SYSTEM (MSPSS) DATUM. (NAD 83) COORDINATES OF BENCHMARK POINT ARE: N 78° 20' 00" W 120.00' AND 610.00' (78° 20' 00" W).
 9. PLAN REFERENCE: A. EXISTING SITE PLAN MADE FOR QUADRIEST INVESTMENTS, LLC, 324 PINE STREET, PORTLAND, MAINE, DATED JULY 7, 2010.
 - B. ALL VISIBLE LAMP WIRE SURVEY MADE FOR QUADRIEST INVESTMENTS, LLC, 324 PINE STREET, PORTLAND, MAINE, DATED JULY 7, 2010.
 - C. VARIOUS RIGHT OF WAY BOUNDARIES OF FOREST AVENUE, BOUNDARY OF DUNHAM ST., PROVIDED BY THE OFFICE OF PUBLIC LAND ENGINEERING DEPARTMENT.

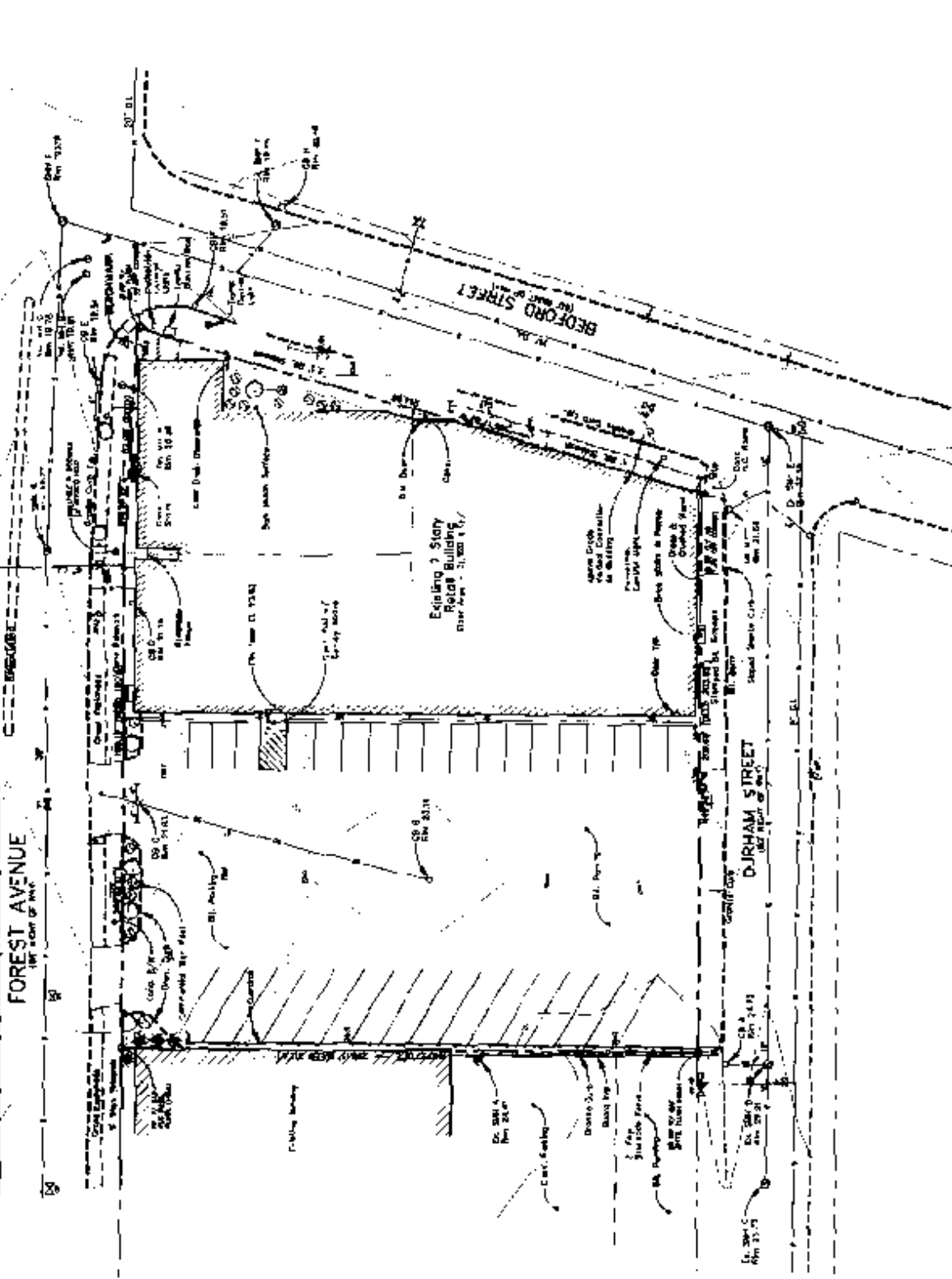
I CERTIFY THAT THIS SURVEY CONFORMS TO THE MAINE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS TECHNICAL STANDARDS OF PRACTICE FOR A STANDARD BOUNDARY SURVEY WITH THE FOLLOWING EXCEPTIONS:



ROBERT S. LIBERTY, P.E. PLS #12345



BANKER BOULEVARD



STANDARD SYMBOLS:

08-B	1/4" DIA. 1/4" DIA. 1/4" DIA.
08-C	1/4" DIA. 1/4" DIA. 1/4" DIA.
08-E	1/4" DIA. 1/4" DIA. 1/4" DIA.
08-F	1/4" DIA. 1/4" DIA. 1/4" DIA.
08-H	1/4" DIA. 1/4" DIA. 1/4" DIA.
08-I	1/4" DIA. 1/4" DIA. 1/4" DIA.
08-J	1/4" DIA. 1/4" DIA. 1/4" DIA.
08-K	1/4" DIA. 1/4" DIA. 1/4" DIA.
08-L	1/4" DIA. 1/4" DIA. 1/4" DIA.
08-M	1/4" DIA. 1/4" DIA. 1/4" DIA.
08-N	1/4" DIA. 1/4" DIA. 1/4" DIA.
08-O	1/4" DIA. 1/4" DIA. 1/4" DIA.
08-P	1/4" DIA. 1/4" DIA. 1/4" DIA.
08-Q	1/4" DIA. 1/4" DIA. 1/4" DIA.
08-R	1/4" DIA. 1/4" DIA. 1/4" DIA.
08-S	1/4" DIA. 1/4" DIA. 1/4" DIA.
08-T	1/4" DIA. 1/4" DIA. 1/4" DIA.
08-U	1/4" DIA. 1/4" DIA. 1/4" DIA.
08-V	1/4" DIA. 1/4" DIA. 1/4" DIA.
08-W	1/4" DIA. 1/4" DIA. 1/4" DIA.
08-X	1/4" DIA. 1/4" DIA. 1/4" DIA.
08-Y	1/4" DIA. 1/4" DIA. 1/4" DIA.
08-Z	1/4" DIA. 1/4" DIA. 1/4" DIA.

LEGEND:

08-B	1/4" DIA. 1/4" DIA. 1/4" DIA.	BLANK SPACE
08-C	1/4" DIA. 1/4" DIA. 1/4" DIA.	FROM MAP TO MAP
08-D	1/4" DIA. 1/4" DIA. 1/4" DIA.	EDGE OF PAVEMENT/CONC.
08-E	1/4" DIA. 1/4" DIA. 1/4" DIA.	EXISTING CONTOUR
08-F	1/4" DIA. 1/4" DIA. 1/4" DIA.	NEW OR PROPOSED
08-G	1/4" DIA. 1/4" DIA. 1/4" DIA.	CLIPPING SYMBOLISM
08-H	1/4" DIA. 1/4" DIA. 1/4" DIA.	BOUNDARY SURVEY LINE
08-I	1/4" DIA. 1/4" DIA. 1/4" DIA.	WATER
08-J	1/4" DIA. 1/4" DIA. 1/4" DIA.	PAVED DRIVE
08-K	1/4" DIA. 1/4" DIA. 1/4" DIA.	CONCRETE TREE
08-L	1/4" DIA. 1/4" DIA. 1/4" DIA.	DECIDUOUS TREE
08-M	1/4" DIA. 1/4" DIA. 1/4" DIA.	SHRUB
08-N	1/4" DIA. 1/4" DIA. 1/4" DIA.	SPOT GRADE



NO.	DATE	DESCRIPTION
1	10/15/10	ISSUED FOR PERMIT
2	11/15/10	REVISED PER CITY OF DURHAM COMMENTS
3	12/15/10	REVISED PER CITY OF DURHAM COMMENTS
4	01/15/11	REVISED PER CITY OF DURHAM COMMENTS
5	02/15/11	REVISED PER CITY OF DURHAM COMMENTS
6	03/15/11	REVISED PER CITY OF DURHAM COMMENTS
7	04/15/11	REVISED PER CITY OF DURHAM COMMENTS
8	05/15/11	REVISED PER CITY OF DURHAM COMMENTS
9	06/15/11	REVISED PER CITY OF DURHAM COMMENTS
10	07/15/11	REVISED PER CITY OF DURHAM COMMENTS
11	08/15/11	REVISED PER CITY OF DURHAM COMMENTS
12	09/15/11	REVISED PER CITY OF DURHAM COMMENTS
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16	01/15/12	REVISED PER CITY OF DURHAM COMMENTS
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88	01/15/18	REVISED PER CITY OF DURHAM COMMENTS
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90	03/15/18	REVISED PER CITY OF DURHAM COMMENTS
91	04/15/18	REVISED PER CITY OF DURHAM COMMENTS
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97	10/15/18	REVISED PER CITY OF DURHAM COMMENTS
98	11/15/18	REVISED PER CITY OF DURHAM COMMENTS
99	12/15/18	REVISED PER CITY OF DURHAM COMMENTS
100	01/15/19	REVISED PER CITY OF DURHAM COMMENTS

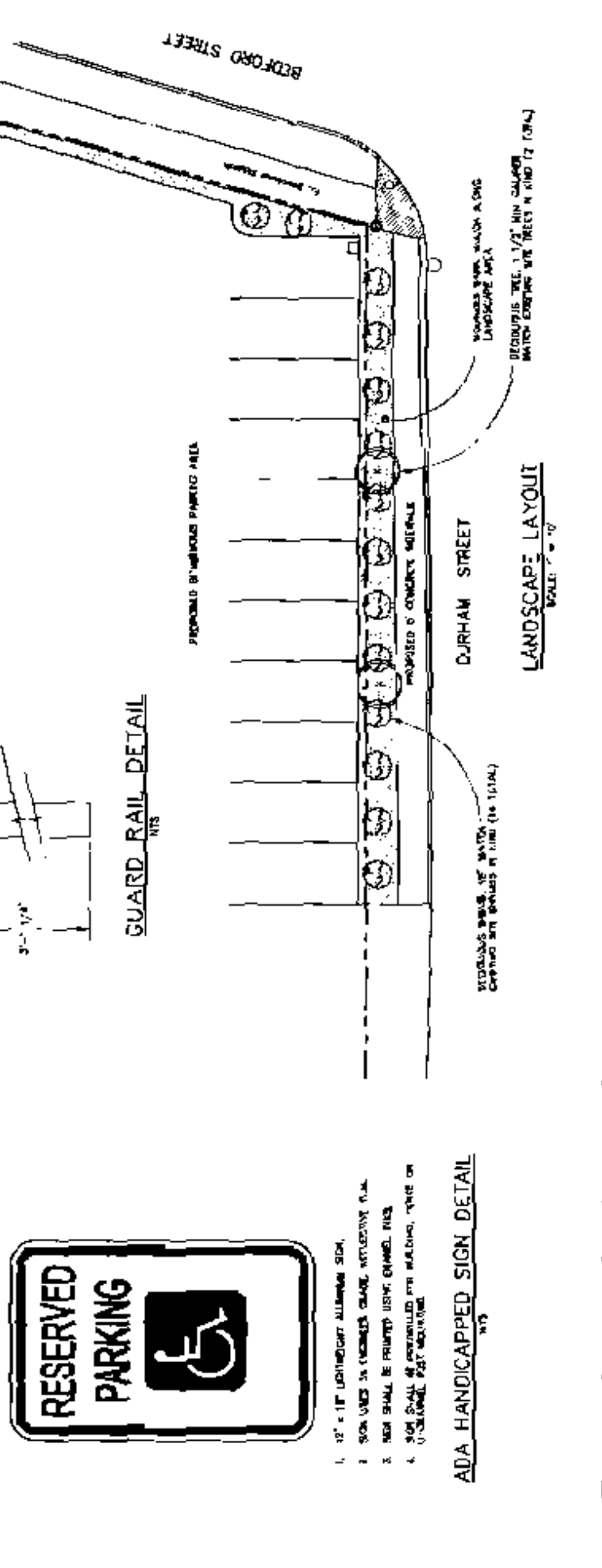
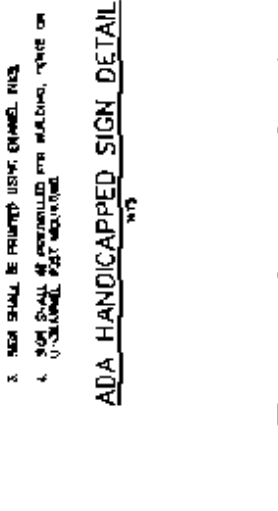
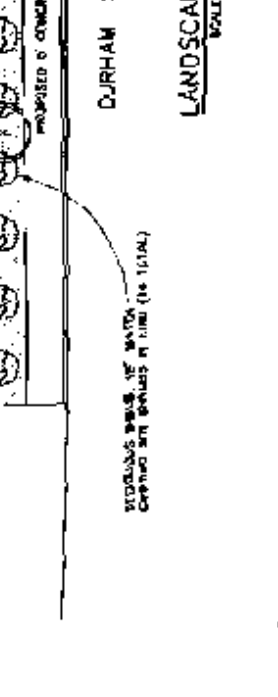
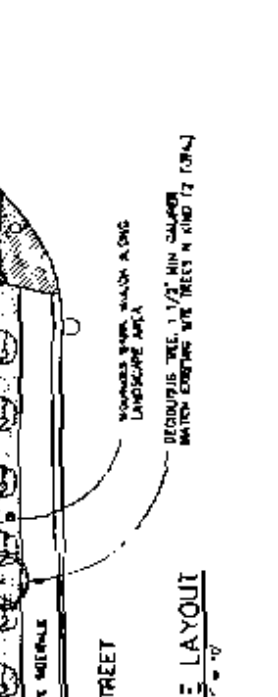
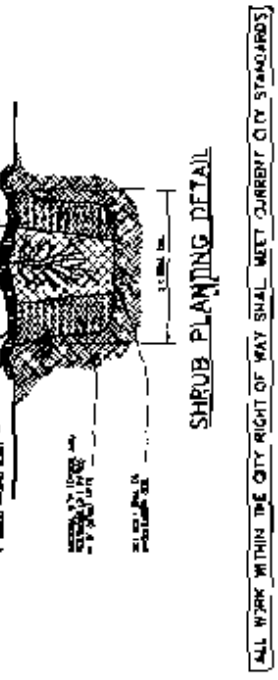
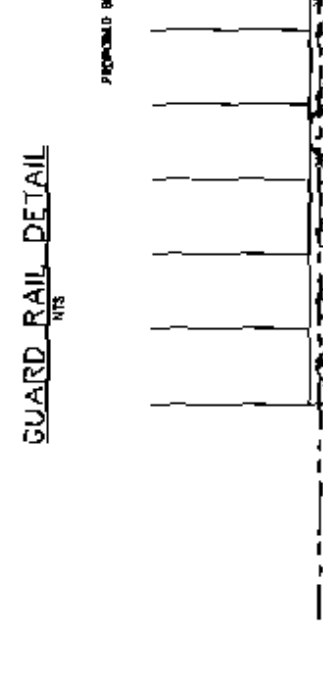
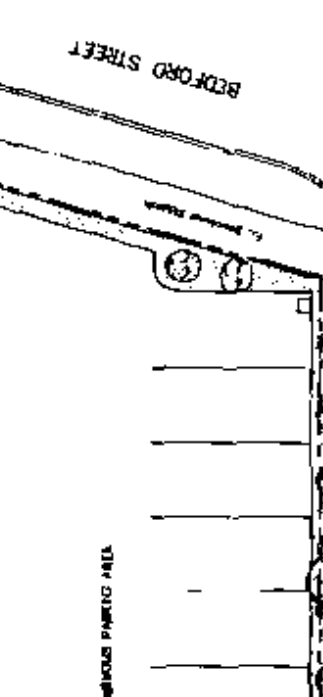
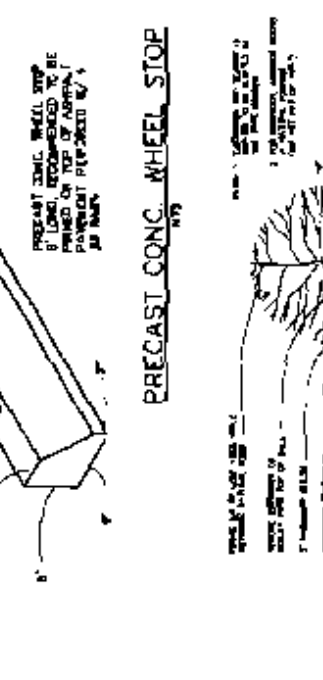
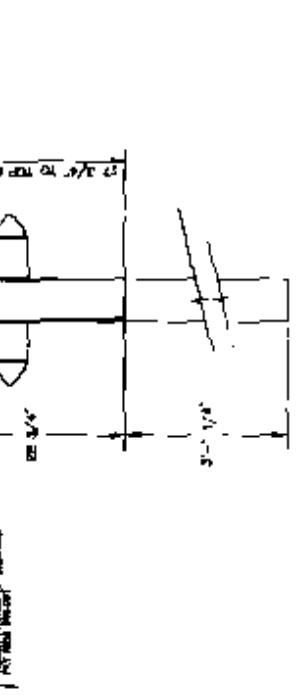
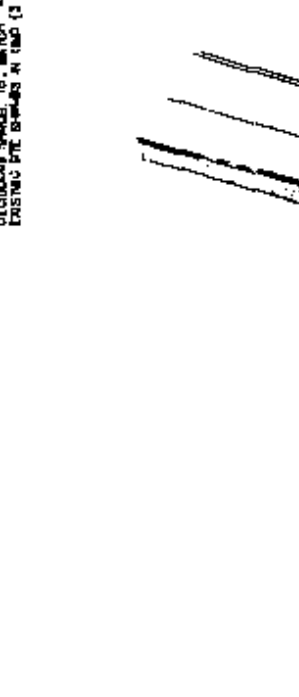
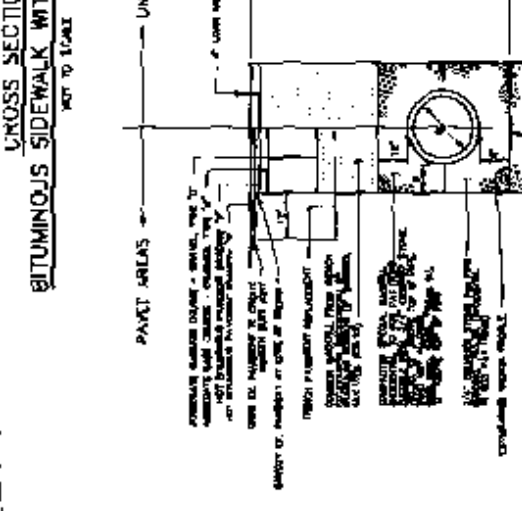
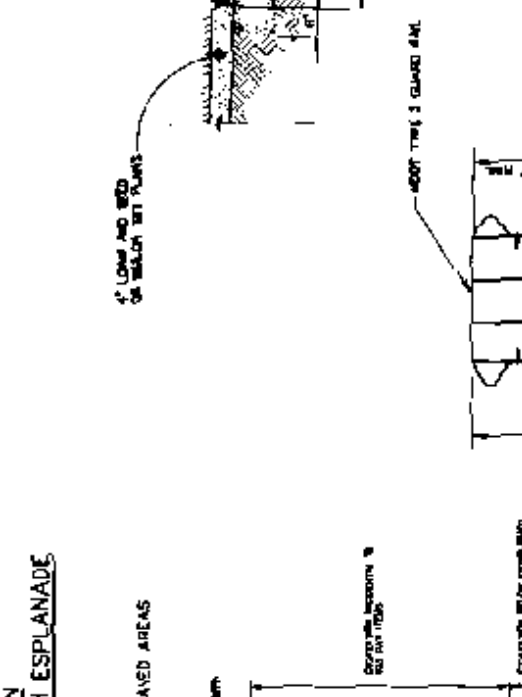
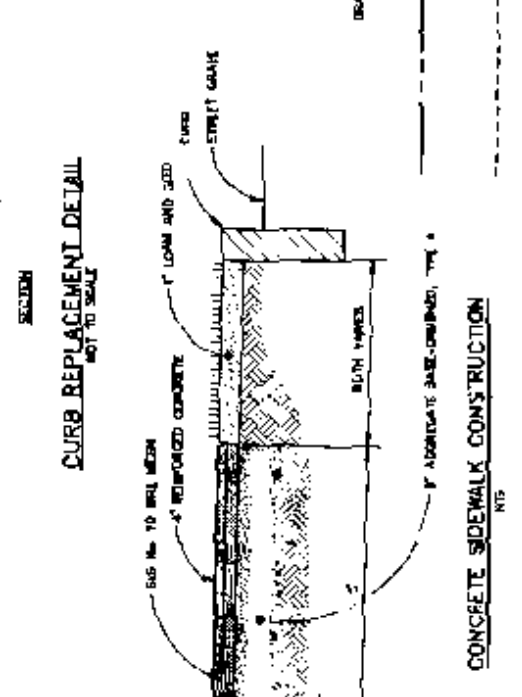
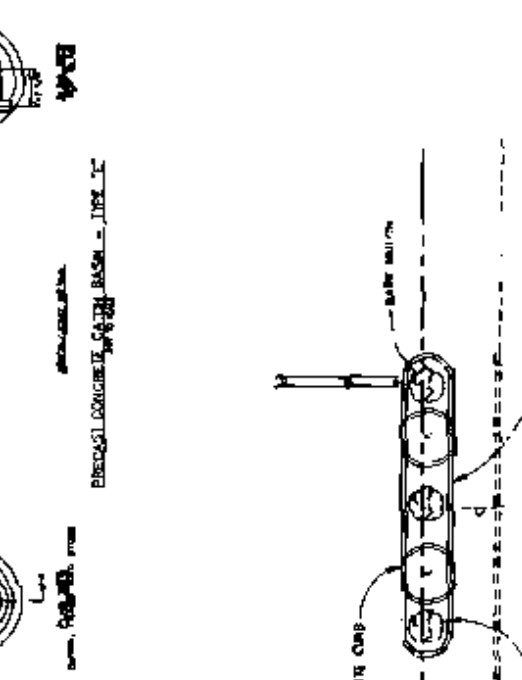
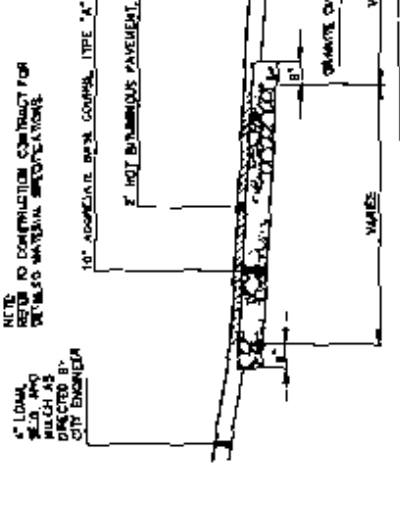
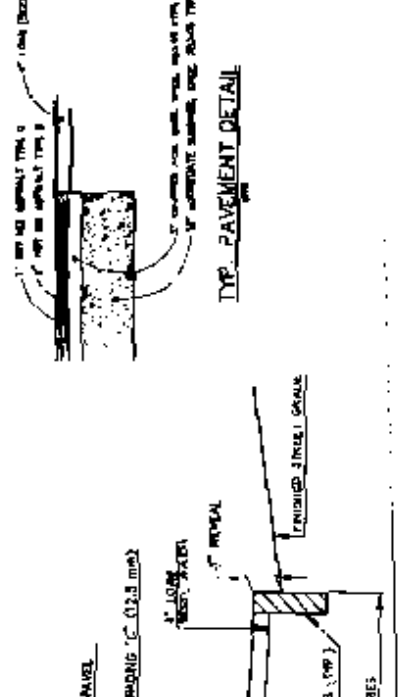
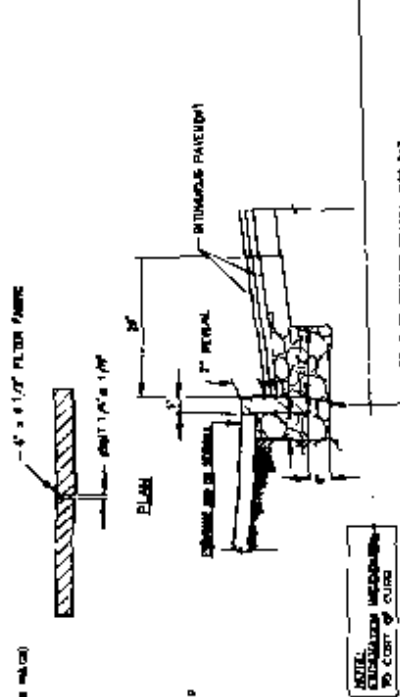
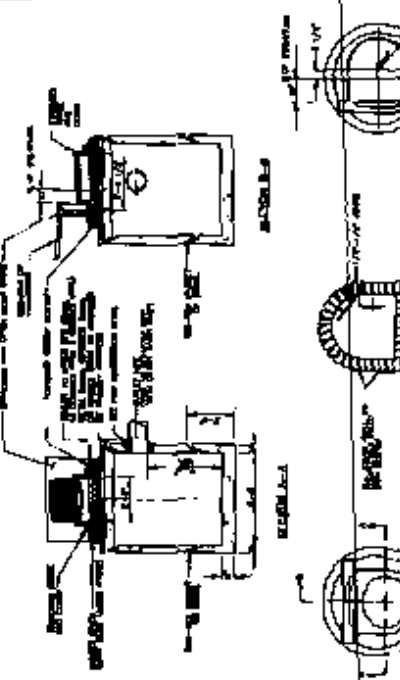


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 B. H. M.
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 Fax: 919.487.5678
 www.bh2m.com

DATE: 10/15/10
 DRAWN: J. SMITH
 CHECKED: M. JONES
 PROJECT: 10000 RESEARCH TRIANGLE PARK
 SHEET: 3 OF 3

DETAILS

DATE	10/15/10
DRAWN	J. SMITH
CHECKED	M. JONES
PROJECT	10000 RESEARCH TRIANGLE PARK
SHEET	3 OF 3



1. 12" x 18" LIGHTWEIGHT ALUMINUM SIGN.
2. SIGN USES 3/4" CHARLES CHASE REFLECTIVE FILM.
3. SIGN SHALL BE PRINTED USING GRAVURE INK.
4. SIGN SHALL BE MOUNTED PER MANUFACTURER'S INSTRUCTIONS.

ADA HANDICAPPED SIGN DETAIL
 NOT TO SCALE

ALL WORK WITHIN THE CITY RIGHT OF WAY SHALL MEET CURRENT CITY STANDARDS