

City of Portland, Maine - Building or Use Permit Application
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 01-1406	Issue Date: FEB 25 2002	CBL: 114A F001001
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Location of Construction: 364 Forest Ave	Owner Name: Oakhurst Dairy	Owner Address: 364 Forest Ave	Phone: 207-772-7468
Business Name: n/a	Contractor Name: n/a	Contractor Address: n/a Portland	Phone
Lessee/Buyer's Name n/a	Phone: n/a	Permit Type: Additions - Commercial	Zones: B-2

Past Use: Industrial / Office	Proposed Use: Industrial / Office; One story addition 15'-3" X 14'-0" brick veneer masonry addition & two 13'-9" x 14'-0" concrete pads for two new milk storage silos.	Permit Fee: \$444.00	Cost of Work: \$70,000.00	CEO District: 2
		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: f-1 Type: JB	

Proposed Project Description: Build Two New Milk Silos	Signature: <i>[Signature]</i>	Signature: <i>[Signature]</i>
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
Signature:		Date:

Permit Taken By: gg	Date Applied For: 11/14/2001	Zoning Approval	
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input type="checkbox"/> Shoreland <i>N/A</i> <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <i>Panel B Zone C</i> <input type="checkbox"/> Subdivision <i>N/A</i> <input type="checkbox"/> Site Plan <i># 2001-0301</i> Maj <input type="checkbox"/> Minor <input checked="" type="checkbox"/> MM <input type="checkbox"/> Date: <i>4/20/01</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date:
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

 SIGNATURE OF APPLICANT ADDRESS DATE PHONE

 RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE

Bill Skoolicas

773-5504

364 Forest

Oakhurst

738-1030

01 1406

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: OAKHURST DAIRY
364 FOREST AVE, PORTLAND, ME 04101

Total Square Footage of Proposed Structure: HABITABLE - 222,866 SF + 371 SF. CODE. PAD. Square Footage of Lot: 106,286.4 SF. = 2.44 ACRES

Tax Assessor's Chart, Block & Lot: Chart# 114 Block# AF Lot# 001 Owner: OAKHURST DAIRY Telephone: (207) 772-7468

Lessee/Buyer's Name (If Applicable): N/A Applicant name, address & telephone: DAVID D. LEASURE
ARCHITECTURAL ASSOCIATES INC.
1344 WASHINGTON AVE.
PORTLAND, ME 04103 Cost Of Work: \$ EST. 70,000.- Fee: \$ 444.-

Current use: INDUSTRIAL/OFFICE (F-1 & B)
If the location is currently vacant, what was prior use: N/A
Approximately how long has it been vacant: N/A
Proposed use: INDUSTRIAL (F-1)
Project description: SEE ATTACHED PROJECT SUMMARY

Contractor's name, address & telephone: UNKNOWN AT THIS TIME
Who should we contact when the permit is ready: DAVID LEASURE
Mailing address: ARCHITECTURAL ASSOCIATES INC.
1344 WASHINGTON AVE.
PORTLAND, ME. 04103 Phone: (207) 797-8661 *TX Call*

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: [Signature] Date: 11/9/01

This is not a permit, you may not commence ANY work until the permit is issued

Applicant: OAKHURST Dairy

Date: 11/20/01

Address: 364 Forest Ave

C-B-L: 114A-F-001

CHECK-LIST AGAINST ZONING ORDINANCE

Date - Existing

01-1406

Zone Location - B-2

Interior or corner lot -

Proposed Use/Work - Construct 2 New Milk Silos
Dairies OK AS existing 11/15/99

Sewage Disposal - City

Lot Street Frontage - 50' - 100' + shown

Front Yard - NO min required - ok

Rear Yard - 10' (doesn't about residential zone) - ok
zone line goes down the street

Side Yard - N/A req - 32'3" + shown

Projections -

Width of Lot -

Height - 45' MAX - 43' 11" shown ok

Lot Area - 79,589 sq ft per assessors

Lot Coverage/ Impervious Surface - Not increasing

Area per Family - N/A

Off-street Parking - N/A

Loading Bays - N/A

Site Plan - Memo #2001-0301

Shoreland Zoning/ Stream Protection - N/A

Flood Plains - panel 13 - Zone C

**Site Review Pre-Application
Multi-Family/Attached Single Family Dwellings/Two-Family Dwelling
or Commercial Structures and Additions Thereto**

In the interest of processing your application in the quickest possible manner, please complete the Information below for Site Plan Review

NOTEIf you or the property owner owes real estate or personal property taxes or user charges on ANY PROPERTY within the City, payment arrangements must be made before permits of any kind are accepted.**

OAKHURST DAIRY 11/2/01

Applicant
364 FOREST AVENUE

Application Date
OAK-SILO PROJECT

Applicant's Mailing Address
PORTLAND, ME 04101

Project Name/Description
364 FOREST AVENUE

Consultant/Agent
DAVID D. LEASURE - ARCHITECT
1344 WASHINGTON AVE, PORTLAND ME 04103

Address Of Proposed Site
PORTLAND, ME 04101

Applicant/Agent Daytime telephone and FAX
PH (207) 797-8661
FAX (207) 797-8533

Assessor's Reference, Chart#, Block, Lot#

Proposed Development (Check all that apply) New Building Building Addition Change of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Other(Specify) _____

213.5 S.F. 2.44 ACRES B3
Proposed Building Square Footage and /or # of Units Acreage of Site Zoning

You must Include the following with you application:

- 1) A Copy of Your Deed or Purchase and Sale Agreement
- 2) 7 sets of Site Plan packages containing the information found in the attached sample plans and checklist. 2 Extra Site Plans

(Section 14-522 of the Zoning Ordinance outlines the process, copies are available for review at the counter, photocopies are \$ 0.25 per page)

I hereby certify that I am the Owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if an approval for the proposed project or use described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this approval at any reasonable hour to enforce the provisions of the codes applicable to this approval.

Signature of applicant: <u>DAVID D. LEASURE</u>	Date: <u>11/2/01</u>
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Site Review Fee: Major \$500.00 Minor 400.00

This application is for site review ONLY, a Building Permit application and associated fees will be required prior to construction.

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

Pre-construction Meeting: Must be scheduled with your inspection team upon receipt of this permit. Jay Reynolds, Development Review Coordinator at 874-8632 must also be contacted at this time, before any site work begins on any project other than single family additions or alterations.

Footing/Building Location Inspection: Prior to pouring concrete

Re-Bar Schedule Inspection: Prior to pouring concrete

Foundation Inspection: Prior to placing ANY backfill

Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling

Final/Certificate of Occupancy: Prior to any occupancy of the structure or use. *By other contractors* NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

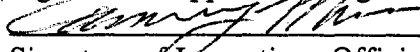
If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

N/A **CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED**



Signature of applicant/designee

2/26/02
Date



Signature of Inspections Official

2/26/02
Date

CBL: 114 AF001 Building Permit #: 011406



CITY OF PORTLAND

November 13, 2001

Mr. David D. Leasure
Architectural Associates, Inc.
1344 Washington Avenue
Portland, ME 04103

RE: Oakhurst Dairy, 364 Forest Avenue, Silo Project
(Application #2001-0301, CBL 114A-F-1)

Dear Mr. Leasure,

On November 13, 2001 the Portland Planning Authority granted minor site plan approval with no conditions for the silo project at the Oakhurst Dairy located at 364 Forest Avenue.

The approval is based on the submitted site plan. If you need to make any modifications to the approved site plan, you must submit a revised site plan for staff review and approval.

Please note the following provisions and requirements for all site plan approvals:

1. The site plan approval will be deemed to have expired unless work in the development has commenced within one (1) year of the approval or within a time period agreed upon in writing by the City and the applicant. A one-year extension may be granted by this department if requested by the applicant in writing prior to the expiration date of the site plan.
2. Prior to construction, a pre-construction meeting shall be held at the project site with the contractor, development review coordinator, Public Work's representative and owner to review the construction schedule and critical aspects of the site work. At that time, the site/building contractor shall provide three (3) copies of a detailed construction schedule to the attending City representatives. It shall be the contractor's responsibility to arrange a mutually agreeable time for the pre-construction meeting.
3. If work will occur within the public right-of-way such as utilities, curb, sidewalk and driveway construction, a street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8822. (Only excavators licensed by the City of Portland are eligible.)

The Development Review Coordinator must be notified five (5) working days prior to date required for

O:\PLAN\DEVREVW\FOREST364\APPRVLTR.DOC

**L & L STRUCTURAL
ENGINEERING SERVICES, INC.**

Six Q Street
South Portland, ME 04106
Phone: (207) 767-4830
Fax: (207) 799-5432

February 7, 2002

Jodine Adams
City of Portland -Inspections Office
Portland, Maine 04101

Subject: Oakhurst Dairy 30,000 gallon silo addition

Dear Jodine,

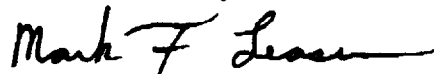
At your request we are writing to inform you of our intent to perform special inspections for the above referenced project in accordance with Boca 1999, Chapter 17, Section 1705.0. In conversation with our client, Oakhurst Dairy, they have authorized our firm to proceed with these inspections. We will be responsible for the inspection of the following.

1. Verify that the concrete mix design meets the requirements of the design drawings.
2. Review the formwork and placement of reinforcement prior to placing concrete.
3. Review the concrete masonry reinforcing and grouting.
4. Review the installation of the Structural Steel framing and connections.
5. Review the installation of the Steel Deck Units.

If you have any questions or require additional information, please do not hesitate to call

Sincerely,

L&L Structural Engineering Services, Inc.



Mark F. Leasure, P.E.
President

Cc: Bill Bennette (Oakhurst Dairy)
Tom Carl (Oakhurst Dairy)
David Leasure (David D. Leasure – Architectural Associates, Inc.)

L&L Structural Engineering Services, Inc.
Six Q Street
South Portland, Maine 04106

Tel: (207) 767-4830
Fax: (207) 799-5432
E_mail: ll.engineering@verizon.net

Fax Transmittal

Date: February 7, 2002
Project: Oakhurst Dairy 30k Silo
Project No.: 21123
Fax No.: (207) 879-1253

NUMBER OF PAGES TRANSMITTED: 2

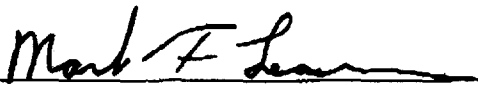
DELIVER TO: Bill Bennette and Tom Carl
COMPANY: Oakhurst Dairy
FROM: Mark Leasure (L&L SES)

If you do not receive all pages, please call our business phone for transmission verification.

Comments: _____

Bill and Tom, attached is the letter sent to the City of Portland to enable them to issue a permit for the above referenced project. Please review and comment.

If you have any questions, please do not hesitate to call.

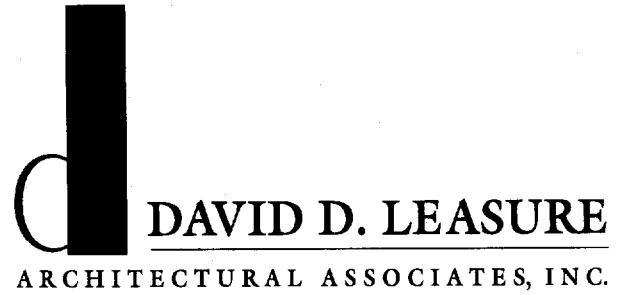
Signed: 
Mark Leasure

Cc: David D. Leasure (DDL Arch, Inc.)

TRANSMITTAL
COVER SHEET

DATE: November 2, 2001

TO: City of Portland - Planning Department
389 Congress Street
Portland, Maine 04101



TRANSMITTAL:

Copies	Date	Description	Action Code
7	10/26/01	Oak-Silo Project 100% review Set	E
7	11/2/01	Site Review Pre-application Form	E
2	10/26/01	Site Plans (Dwg. C-200)	E
1	11/2/01	Application Fee (Ck. #4251 for \$ 400.00)	E

Action A. Action Indicated on transmitted item. D. For Signature & forwarding as noted below
B. No Action Required. E. See Remarks below.
C. For Signature & return to this office.

SUBJECT: Oakurst Dairy - Silo Project

MEMORANDUM:

Dear Sir/Madam:

Enclosed please find application materials for the above referenced project. Please let me know if you need any additional information.

Best Regards,

DAVID D. LEASURE - ARCHITECTURAL ASSOCIATES INC.
1344 WASHINGTON AVENUE PORTLAND, MAINE (207) 797-8661

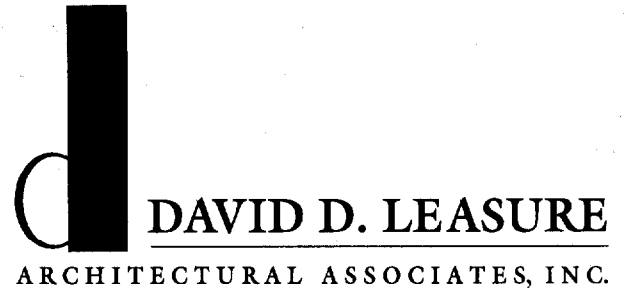
cc: Mark Leasure - L & L Structural Engineering
Bill Bennett - Oakhurst dairy
File

Wpwin80/Data/MG-Ultrasound_Trans

Page 1 of 1

COMMERCIAL • RESIDENTIAL • PLANNING • CONSULTING

1344 WASHINGTON AVENUE PORTLAND, MAINE 04103 (207) 797-8661 FAX (207) 797-8533



November 9, 2001

Code Enforcement Officer
City of Portland, Maine
389 Congress Street
Portland, Maine 04101

Project: Oakhurst Dairy - Silo Project
364 Forest Avenue
Portland, Maine 04101

Re: Project Summary:

Dear Sir/Madam:

The current project consists of the addition of a one story 15'-3" x 14'-0" brick veneer masonry addition and two 13'-9" x 14'-0" concrete pads for two new milk storage silo tanks. The masonry enclosure is adjacent to the industrial (F-1) manufacturing area and houses a refrigerated cooler panel enclosure, associated tank piping and pumps. The two concrete pads on each side of the new masonry refrigerated room will support two new 30,000 gal. milk storage silos supplied and installed by the Owner.

David D. Leasure -Architectural Associates Inc. has been retained to provide architectural and structural design services only of the refrigerated masonry enclosure and silo tank support pads only. All civil engineering, HVAC, refrigeration, electrical power & lighting, plumbing, process piping and instrumentation will be designed by others.

Best Regards,

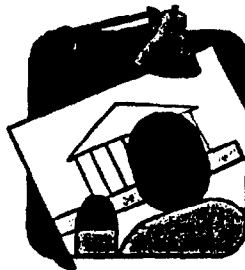
A handwritten signature in black ink, appearing to read 'David Leasure'.

David Leasure, R.A.
Architectural Associates Inc.

cc: Mark Leasure - L L Structural Engineering
File

Wpwin80/Data/Oak_Silo_Adm.

Page 1 of 1



CITY OF PORTLAND MAINE

389 Congress St., Rm 315

Portland, ME 04101

Tel. - 207-874-8704

Fax - 207-874-8716

**TO: Inspector of Buildings City of Portland, Maine
Planning & Urban Development
Division of Housing & Community Services**

**FROM DESIGNER: DAVID D. LEASURE - ARCHITECTURAL ASSOC. INC.
1344 WASHINGTON AVE PORTLAND, ME. 04103**

DATE: 11/9/01

Job Name: OAKHURST SILO PROJECT

Address of Construction: 364 FOREST AVE. PORTLAND, ME. 04101

THE BOCA NATIONAL BUILDING CODE/1999 Fourteenth EDITION
Construction project was designed according to the building code criteria listed below:

Building Code and Year BOCA - 1999 Use Group Classification(s) F-1

Type of Construction 3B Silo Bldg. Height 47'-2"± Bldg. Sq. Footage 594 S.F.

Seismic Zone 2/A_v = 0.1 Group Class ONE

Roof Snow Load Per Sq. Ft. 42 PSF + DRIFT Dead Load Per Sq. Ft. 15 PSF

Basic Wind Speed (mph) 90 MPH Effective Velocity Pressure Per Sq. Ft. 43 PSF

Floor Live Load Per Sq. Ft. 100 PSF

**Structure has full sprinkler system? Yes No X Alarm System? Yes X No
Sprinkler & Alarm systems must be installed according to BOCA and NFPA Standards with approval from the
Portland Fire Department. SYSTEMS DESIGNED BY OTHERS (NITC)**

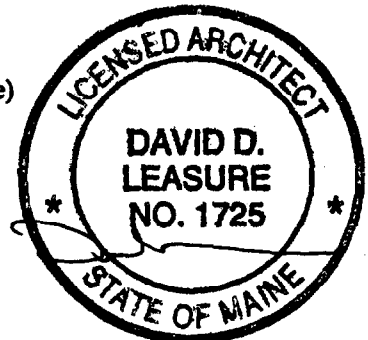
Is structure being considered unlimited area building: Yes No X

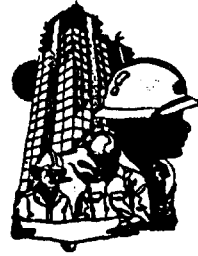
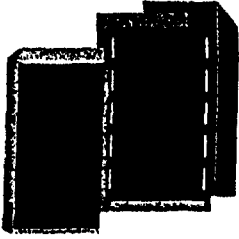
If mixed use, what subsection of 313 is being considered N/A

**List Occupant loading for each room or space, designed into this Project.
REFRIG. EXCL. = OCCUPANT LOAD = 170 GSF @ 1/300 = .56**

PSH 6/07/2K

(Designers Stamp & Signature)





**CITY OF PORTLAND
BUILDING CODE CERTIFICATE
389 Congress St., Rm 315
Portland, ME 04101**

TO: Inspector of Buildings City of Portland, Maine
Department of Planning & Urban Development
Division of Housing & Community Service

FROM: DAVID D. LEASURE - ARCHITECTURAL ASSOC. INC.
1344 WASHINGTON AVE. PORTLAND, ME. 04103

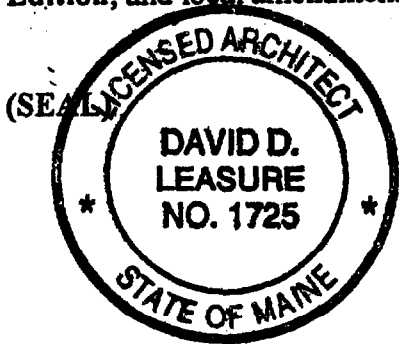
RE: Certificate of Design

DATE: 11/9/01

These plans and/or specifications covering construction work on:

ARCHITECTURAL & STRUCTURAL DESIGN ONLY OF
BAKHURST SILO PROJECT.

Have been designed and drawn up by the undersigned, a Maine registered architect/engineer according to the BOCA National Building Code/1999 Fourteenth Edition, and local amendments.



Signature [Handwritten Signature]

Title PRESIDENT

Firm ARCHITECTURAL ASSOC. INC.

Address 1344 WASHINGTON AVE. PORTLAND, ME.

As per Maine State Law:

\$50,000.00 or more in new construction, repair, expansion, addition, or modification for Building or Structures, shall be prepared by a registered design Professional.



City of Portland, Maine

389 Congress St., Rm 315
Portland, ME 04101

ACCESSIBILITY CERTIFICATE

TO: Inspector of Buildings City of Portland, Maine
 Department of Planning & Urban Development
 Division of Housing & Community Services

FROM: DAVID D. LEASURE -
ARCHITECTURAL ASSOCIATES INC.

RE: Certificate of Design, HANDICAP ACCESSIBILITY

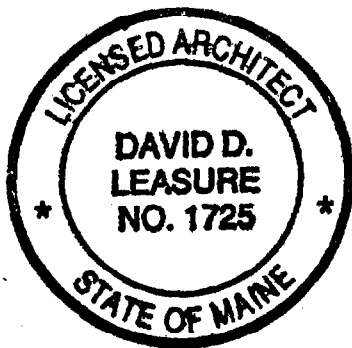
DATE: 11/9/01

These plans and/or specifications covering construction work on:

ARCHITECTURAL AND STRUCTURAL DESIGN ONLY ON
REFRIGERATED ENCLOSURE AND (2) MILK STORAGE
SILOS FOR OAKHURST DAIRY

Have been designed and drawn up by the undersigned, a Maine registered engineer/architect according to State Regulations as adopted by the State of Maine on Handicapped Accessibility.

(SEAL)

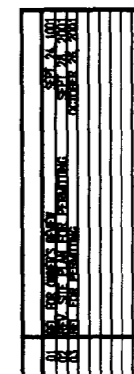


Signature [Handwritten Signature]

Title PRESIDENT

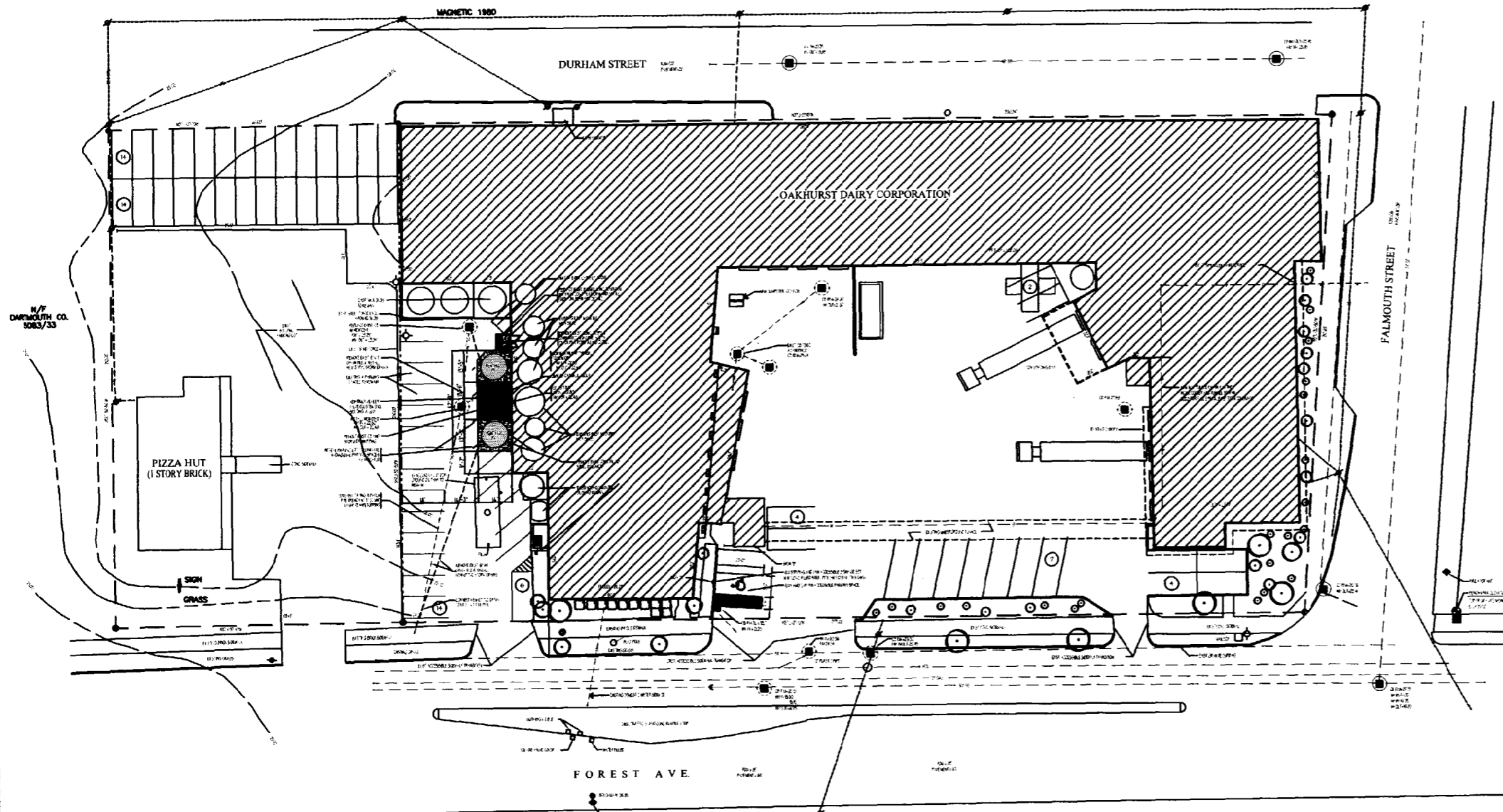
Firm ARCHITECTURAL ASSOC. INC.

Address 1344 WASHINGTON AVE
PORTLAND, ME. 04103



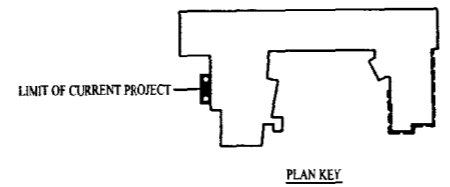
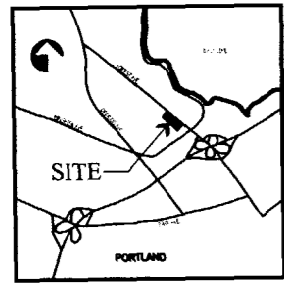
LEGEND

- PROP. LINE BEARING: S 23-02'-00" E 179.26'
- EASEMENT LINE: ---
- EXIST. EDGE OF VEGETATION: ~~~~~
- BUILDING ENVELOPE: - - - - -
- SILT/WAYSIDE BANNER: -S- -S-
- SMILE: - - - - -
- CULVERT: - - - - -
- EDGE OF TRAVELED HWY: - - - - -
- STAKE: +
- POINT ELEVATION: + 24.07'
- NEW CONTOUR: ---
- EXISTING CONTOUR: ~~~~~
- BENCH MARK: ⊕
- CONCRETE MONUMENT FOUND: ⊠
- IRON PIPE FOUND: ⊠
- UTILITY POLE: ⊙
- MANHOLE: ⊙
- HYDRANT: ⊙
- CATCH BASIN: ⊠
- CATCH BASIN (SOIL DISPERSION TYPE): ⊠
- WATER VALVE: ⊙
- TRANSFORMER PAD: ⊠
- DECIDUOUS TREE: ⊙
- CONIFEROUS TREE: ⊙
- EXISTING BUILDING: [Hatched Box]
- NEW BUILDING: [Dotted Box]
- OVERHEAD ELEC. LINE: -OE-
- OVERHEAD TELEPHONE: -OTEL-
- OVERHEAD CATV: -OCATV-
- UNDERGROUND ELEC.: -UE-
- UNDERGROUND TEL.: -UTEL-
- UNDERGROUND CATV: -UCATV-
- FOUNDATION UNDERDRAIN: -FD-
- STORM DRAIN: -ST-
- SANITARY SEWER: -SS-
- WATER SERVICE: -W-
- UNDERG. ELEC. CIRCUIT (1" PVC CONDUIT): -C-



SITE PLAN

1" = 20'-0"

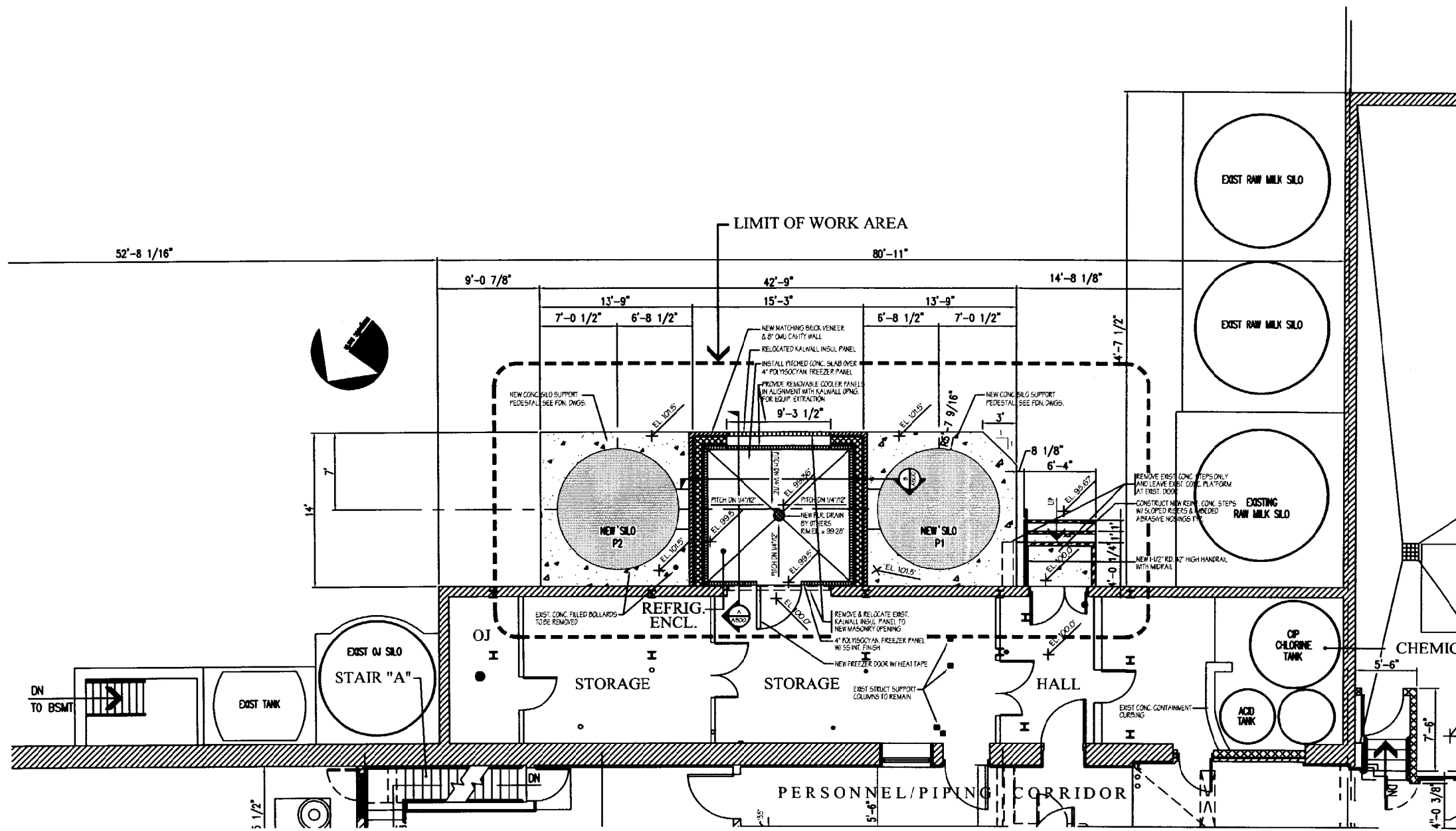
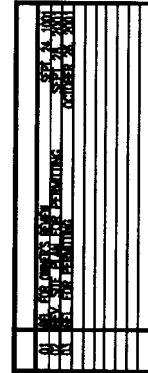
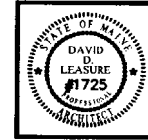


REL. FOR PERMITTING - OCTOBER 26, 2001

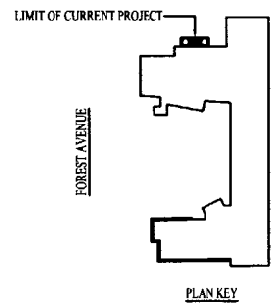
NEW SILO / VALVE CLUSTER ENCLOSURE
 OAKHURST DAIRY
 364 FOREST AVENUE
 PORTLAND, MAINE

C-200

DAVID D. LEASURE - ARCHITECTURAL ASSOCIATES INC.
 1344 WASHINGTON AVENUE PORTLAND, MAINE PH. (207) 797-8661 FAX (207) 797-8533
 PROJECT NO. 092001 PROJECT TITLE: SILO / VALVE CLUSTER ENCL. PROJECT
 SCALE: 1" = 240'-0" SHEET TITLE: SCHEMATIC SITE PLAN



MILK SILO / REFRIGERATED ENCLOSURE PLAN
1/4" = 1'-0"



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1344 WASHINGTON AVENUE PORTLAND, MAINE PH. (207) 797-8661 FAX (207) 797-8333
PROJECT NO. 092001 PROJECT TITLE: SILO / VALVE CLUSTER ENCL. PROJECT
SCALE: 1/4" = 1'-0" SHEET TITLE: MILK SILO / REFRIG. ENCLOSURE PLAN



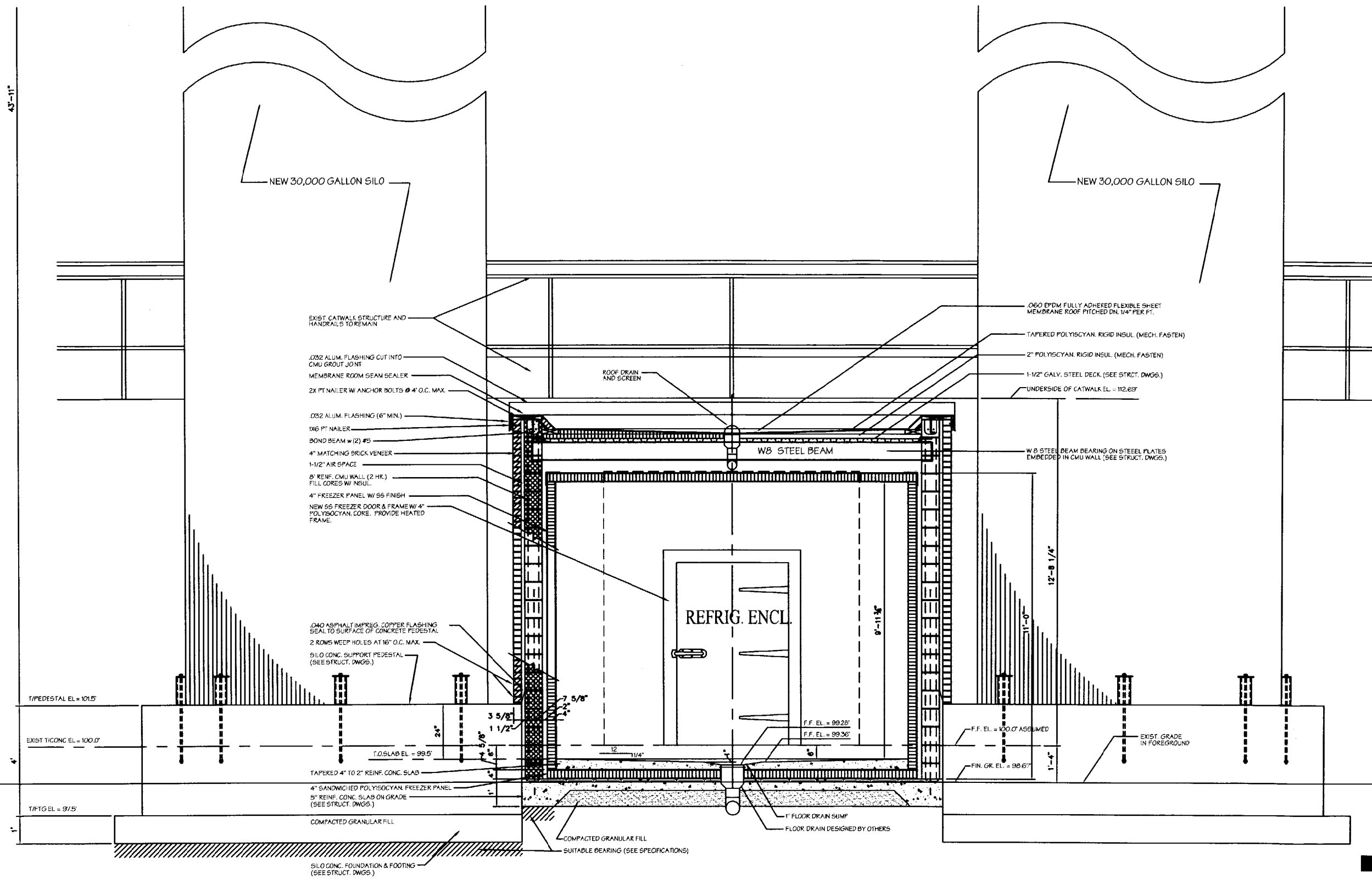
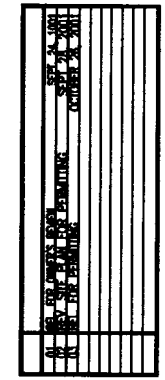
REL. FOR PERMITTING - OCTOBER 26, 2001



NEW SILO / VALVE CLUSTER ENCLOSURE
OAKHURST DAIRY
364 FOREST AVENUE
PORTLAND, MAINE

A-200

43'-11"



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 1344 WASHINGTON AVENUE PORTLAND, MAINE
 PH. (207) 797-8661 FAX (207) 797-8533
 PROJECT NO. 092001 PROJECT TITLE: SILO / VALVE CLUSTER ENCL. PROJECT
 SCALE: 3/4" = 1'-0" SHEET TITLE: BUILDING SECTION

REL. FOR PERMITTING - OCTOBER 26, 2001

A SECTION THRU CLUSTER VALVE ENCLOSURE
A200 3/4" = 1'-0"

NEW SILO / VALVE CLUSTER ENCLOSURE
 OAKHURST DAIRY
 364 FOREST AVENUE
 PORTLAND, MAINE

A-500

THIS DRAWING HAS BEEN DEVELOPED BY DAVID LEASURE ARCHITECTURAL ASSOCIATES INC. AND IS THE PROPERTY OF DAVID LEASURE ARCHITECTURAL ASSOCIATES INC. NO PART OF THIS DRAWING IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM. WITHOUT THE WRITTEN PERMISSION OF DAVID LEASURE ARCHITECTURAL ASSOCIATES INC. ALL RIGHTS RESERVED.

GENERAL NOTES

- Structural drawings shall be used in conjunction with job specifications and architectural, mechanical, plumbing, and site drawings. Consult these drawings for locations and dimensions of openings, doors, windows, stairs, ramps, elevators, and other features. All dimensions shall be verified in the field. Any discrepancies shall be brought to the attention of the engineer before proceeding with the affected part of the work.
- Do not make plans.
- Sections and details shown on any structural drawing shall be considered typical for similar conditions.
- All proprietary products shall be installed in accordance with the manufacturer's written instructions.
- The structure is designed to be self supporting and stable after the building is complete. It is the contractor's sole responsibility to determine erection procedures and sequencing to ensure the safety of the building and its components during erection. This includes the addition of necessary shoring, bracing, temporary bracing, guys or tie downs. Such materials shall remain the property of the contractor after completion of the project.
- All applicable federal, state, and municipal regulations shall be followed, including the federal department of labor occupational safety and health act.

DESIGN LOADS

- Building code: BOCA Basic Building Code (1990)
- Design Live Loads: (Ground snow load = 80 PSF)
Roof: 42 PSF + Drift
- Design wind loads are based on exposure C using 90 mph basic wind speed.
- Seismic design within the following criteria:
 - Building framing system: Reinforced concrete masonry load bearing wall.
 - Analyze ground: Equivalent Lateral Force Procedure.
 - Seismic hazard exposure group: T
 - Seismic performance category: C
 - Soil profile type: S₁
 - Peak velocity-related consideration (A_v): 0.10
 - Peak acceleration (A_s): 0.10
 - Response modification factor (R): 3
 - Deflection amplification factor (Q_d): 3

FOUNDATION NOTES

- Foundations have been designed conform with the bearing capacity indicated in BOCA 1990.
- Interior grade footings and exterior step footings shall be founded on native soil or compacted structural fill.
- Slabs on grade shall bear on a minimum of 6" of compacted structural fill overlaid with 4" of sand, if loose or undesirable fill are encountered at the slab on grade level, they shall be over removed to the surface of the natural soil and replaced with structural fill. Refer to drawings and specifications for vapor barrier requirements.
- Structural fill shall be used at all locations below footings and slabs and adjacent to the foundation walls. Prior to placement of structural fill, remove all organic or undesirable material. Compacted structural fill shall consist of clean granular material free of organic, loam, trash, snow, ice, frozen soil or any other objectionable material. It shall be well graded with the following limits:

SCREEN OR SIEVE SIZE	PERCENT FINER BY WEIGHT
3 INCH	100
2 INCH	70-100
NO. 4	35-70
NO. 40	5-25
NO. 200	0-5

- Structural fill beneath slabs shall be placed in layers not exceeding 6" in loose measure and compacted by self propelled compaction equipment at approximate optimum moisture content to a dry density of at least 95% of the maximum in place dry density as determined by the modified proctor test (ASTM D-1557).

CONCRETE NOTES

- All concrete work shall conform to ACI 318-Latest Edition.
- Concrete strength at 28 days shall be:
 - 3000 PSI for footings, wall and slabs.
 - 3000 PSI for all slabs on grade.
- All concrete shall be air entrained per the specifications.
- Concrete shall not be placed in water or on frozen ground.
- Provide PVC sleeves where pipes pass through concrete walls or slabs.
- Reinforcing bars shall conform to ASTM A618 Grade 60 deformed bars and shall be detailed, fabricated and placed in accordance with ACI 318-Latest Edition.
- Reinforced concrete shall conform to ASTM C-1116.
- Complete shop drawings and schedule of all reinforcing steel shall be prepared by the contractor and submitted to the engineer for review prior to commencement of that portion of work. All necessary notes shall be shown on the shop drawings. Submit (6) blue prints and (1) reproducible (copy) to the Architect.
- Splices of reinforcing bars shall be in accordance with ACI 318. Splice of WSP shall be 1' minimum.

MASONRY NOTES

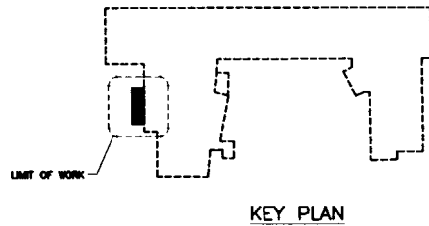
- All below level bearing concrete masonry units shall be ASTM C90 grade II, type I standard weight standard blocks including stretchers in corner blocks unless otherwise noted.
- All level bearing concrete masonry units shall conform to ASTM C90 grade II, type I standard weight standard blocks including stretchers in corner blocks.
- Masonry prism strength (psi) shall be 1,500 psi.
- Mortar shall conform to ASTM Specification C270, Type M or S.
- Concrete masonry units shall be laid in running bond.
- Full penultimate shall be constructed with the Anchor and Owners vendors/drawings and shall be fully located.
- Provide joint reinforcement per drawings & specifications in all concrete masonry unit construction.
- All masonry reinforcement shall be #4 rebar.
- Reinforcing bars shall conform to ASTM A618 grade 60 deformed bars and shall be detailed, fabricated and placed in accordance with ACI 318-Latest Edition.
- Masonry walls which support structural members shall have cells grouted with full height under footing with 2" minimum vertical reinforcing bar in each cell unless otherwise noted in plan.
- Steel beams shall be filled with grout capable of achieving 3,000 psi compressive strength at 28 days. Reinforcing shall be supported prior to placing concrete to provide a minimum 1/2" clearance around all bars.
- Cells of masonry units containing vertical reinforcing shall be filled with grout unless otherwise noted. Maximum grout fill without expansion and inspection shall be 4'-0". Support all vertical bars in walls as shown on the drawings.
- Provide steel bracing for all masonry openings unless CMU bracing is indicated. Refer to bracing schedule for bracing details. All bracing used in exterior masonry walls shall be hot dipped galvanized.

STRUCTURAL STEEL NOTES

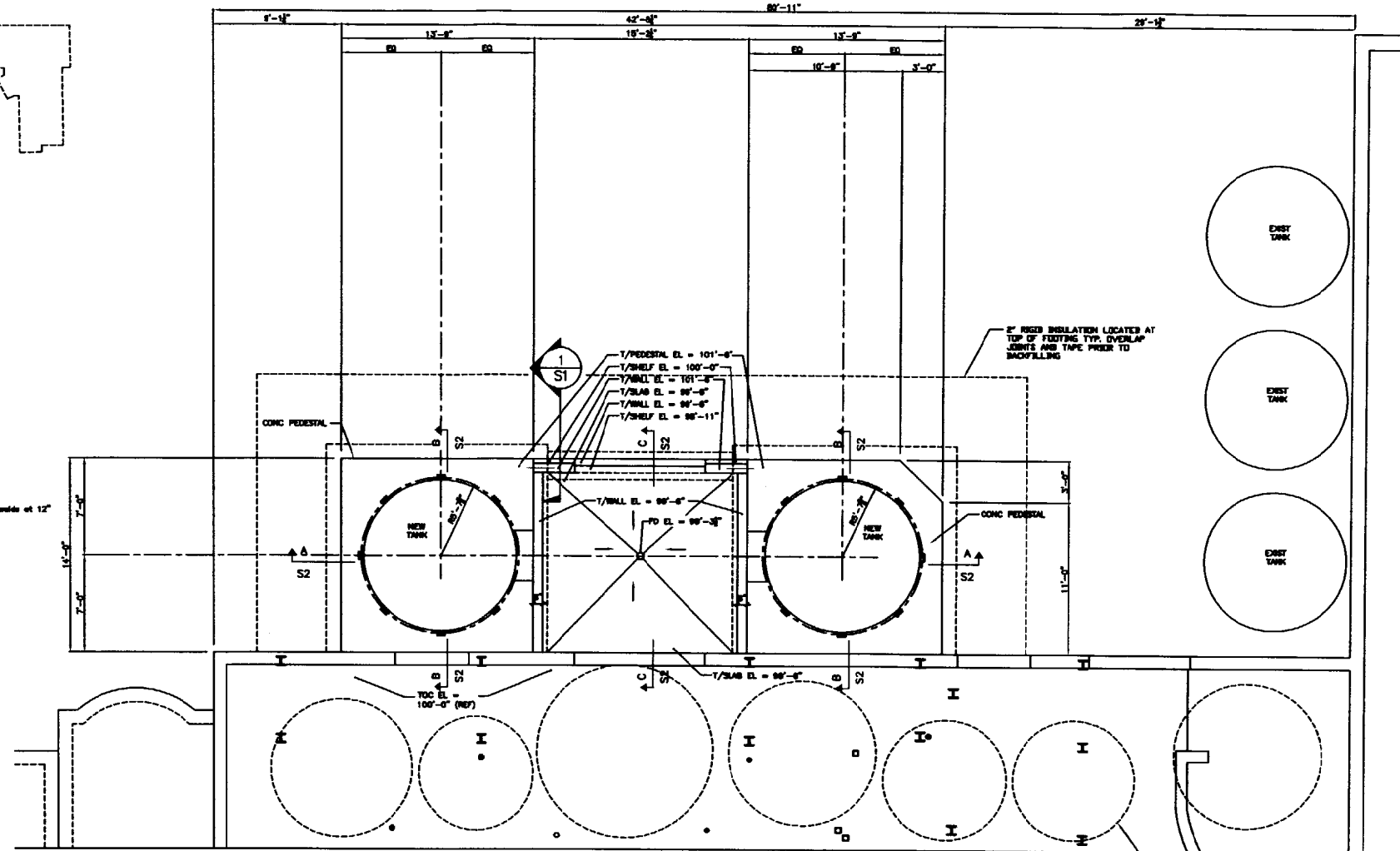
- Structural steel fabrication, erection, and connection design shall conform to AISC "Specification for the design, fabrication, and erection of structural steel"-16th Edition.
- Structural steel:
 - Structural steel shall conform to ASTM A-36.
 - Structural tubing shall conform to ASTM A-500 GR.B.
 - Structural pipe shall conform to ASTM A-53, TYPE E or S.
- Design connections for the reactions shown on the drawings or the maximum and reactions that can be produced by a laterally supported uniformly loaded beam for each given beam size and span.
- Field connections shall be bolted using 3/4" ASTM A325 High strength bolts except where field welding is indicated on the drawings.
- All welding shall conform to AWS D1.1-Latest Edition. Welding electrodes shall be E70XX.

METAL DECK NOTES

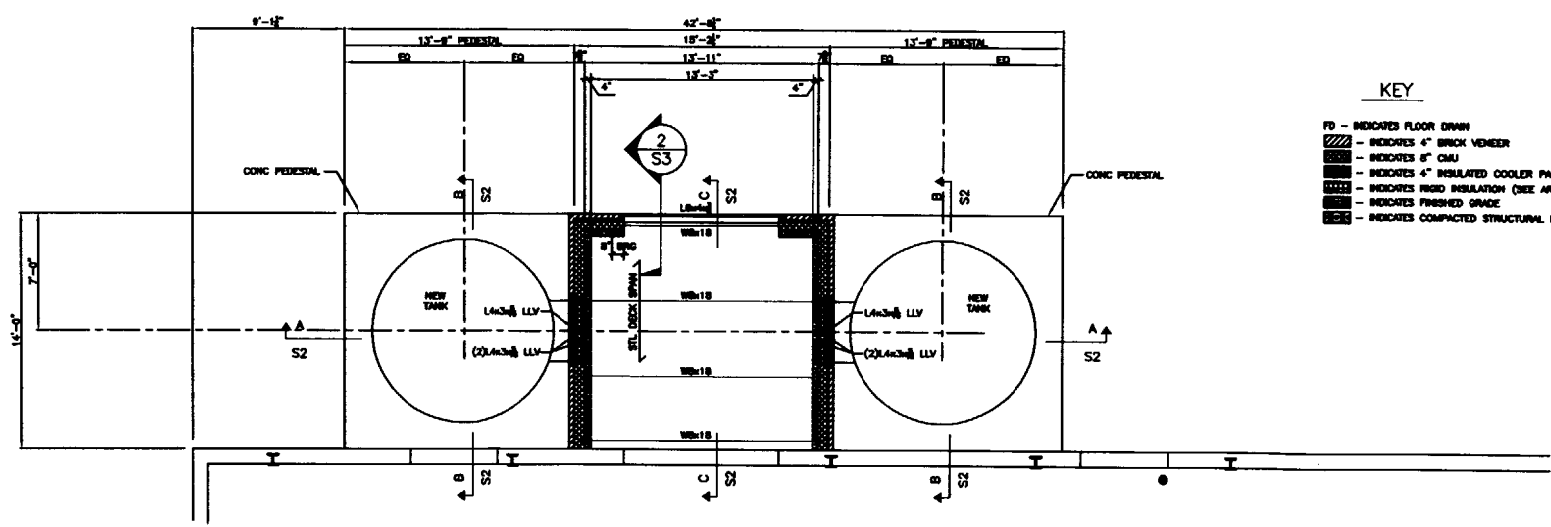
- Steel roof deck shall be as indicated on plan by Valcraft or approved alternate. Steel deck units shall conform with the latest edition of the "Design Manual for floor and roof decks" by the steel deck Institute. Steel floor deck shall be galvanized in accordance with ASTM A925 800 coating.
- Flash metal deck to all steel supports with 5/8" o.c. unless otherwise indicated on plan. Provide welding washers on all deck units 24" wide and higher.
- All welding shall conform to AWS D1.1-Latest Edition. Welding electrodes shall be E70XX.



KEY PLAN



FOUNDATION PLAN
1/4\"/>



ROOF FRAMING PLAN
1/4\"/>

KEY

FD	- INDICATES FLOOR DOWN
▨	- INDICATES 4\"/>
▩	- INDICATES 4\"/>
▧	- INDICATES 4\"/>
▦	- INDICATES 4\"/>
▥	- INDICATES FINISHED GRADE
▤	- INDICATES COMPACTED STRUCTURAL FILL

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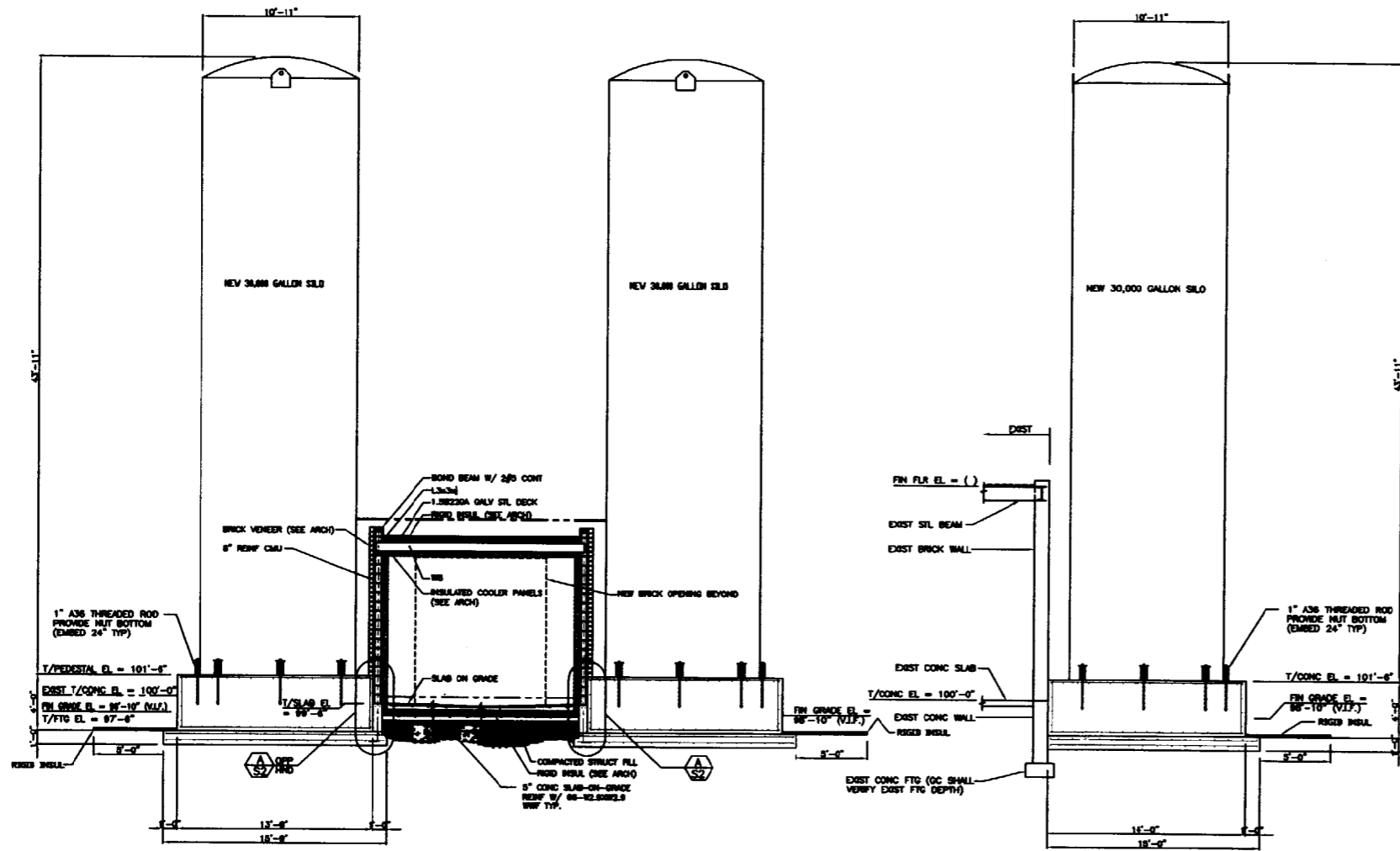


REV.	DATE	DESCRIPTION
A	10-28-01	RELEASED FOR PERMITTING

DESIGNED BY: MFL
DRAWN BY: LAM
CHECKED BY: JHL
SCALE: AS NOTED
DATE: SEPTEMBER 21, 2001
P&H DATE: SEPTEMBER 21, 2001
PROJECT #: 21123

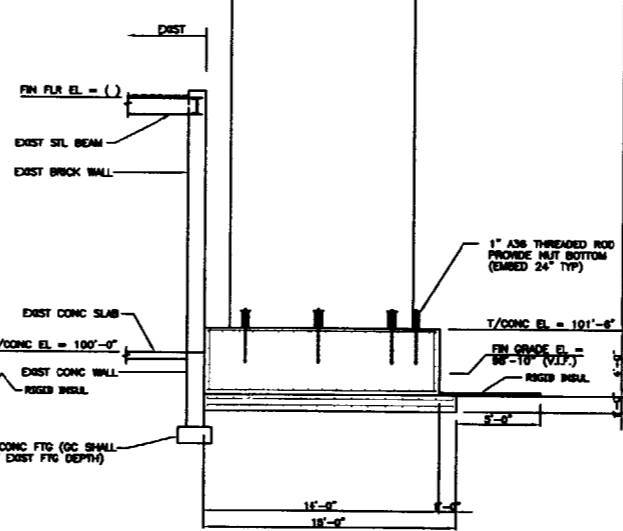
OAKHURST DAIRY - NEW 30,000 GALLON SILO SUPPORT & REFRIGERATION ROOM
364 FOREST AVENUE
PORTLAND, MAINE
GENERAL NOTES & PLANS

S1



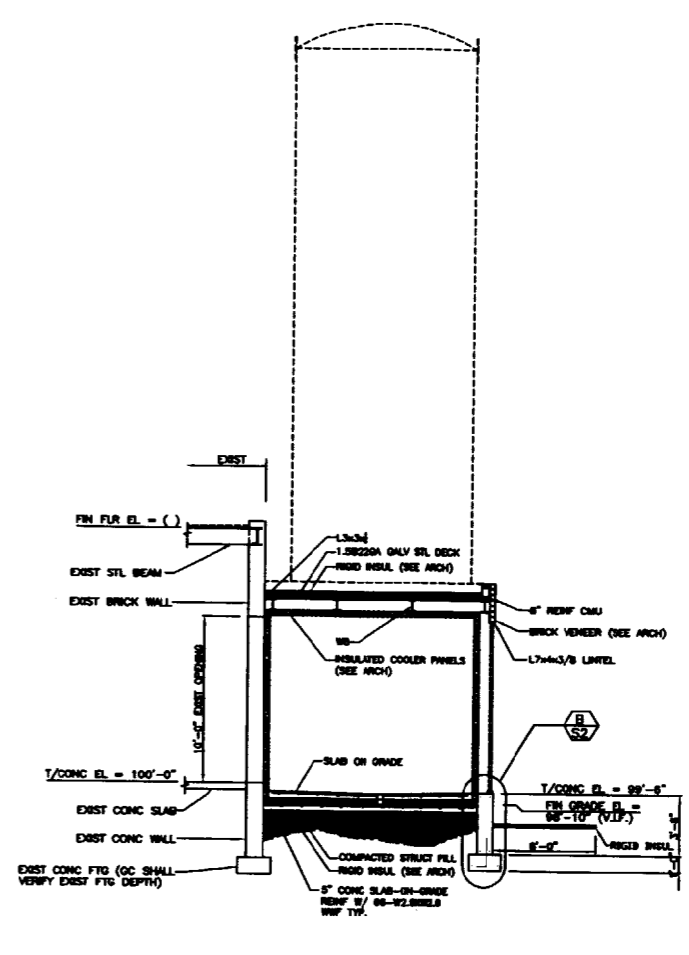
SECTION A-A
 1/4" = 1'-0"
 S1

NOTE: 1. NEW FOOTING SHALL NOT UNDERMINE EXISTING.
 2. PROVIDE 4'-0" LING CORNER BARS TO MATCH MAIN REINFORCING. HORIZ BARS ONLY (BOND BARS 90° @ MID-POINT)
 3. OC SHALL COORDINATE TANK A-BOLT AND ALCOVE DETAILS WITH THE TANK MANUFACTURER.



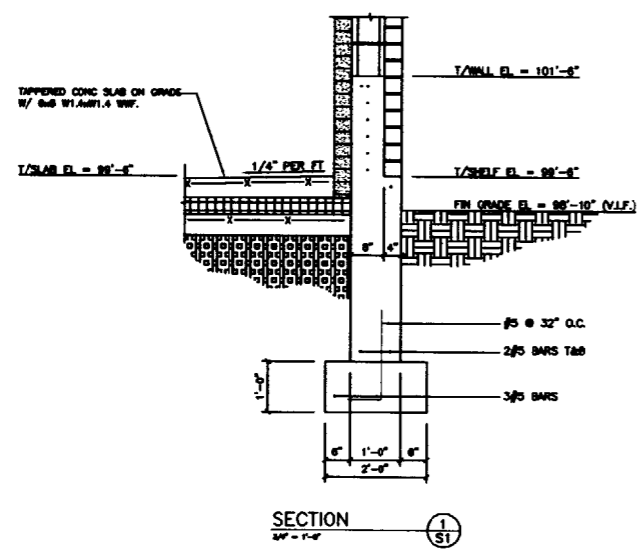
SECTION B-B
 1/4" = 1'-0"
 S1

NOTE: 1. TOP OF NEW FOOTING SHALL MATCH EXISTING.
 2. PROVIDE 4'-0" LING CORNER BARS TO MATCH MAIN REINFORCING. HORIZ BARS ONLY (BOND BARS 90° @ MID-POINT)
 3. OC SHALL COORDINATE TANK A-BOLT AND ALCOVE DETAILS WITH THE TANK MANUFACTURER.

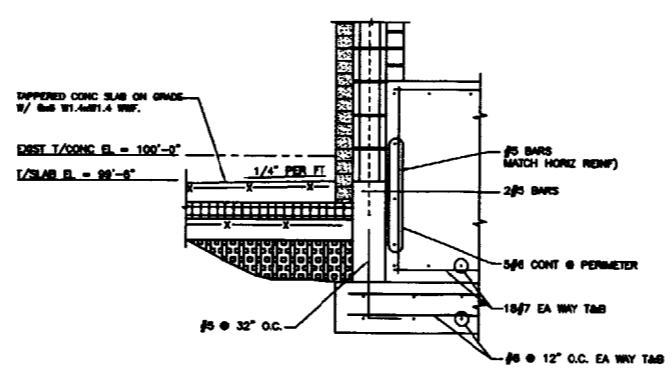


SECTION C-C
 1/4" = 1'-0"
 S1

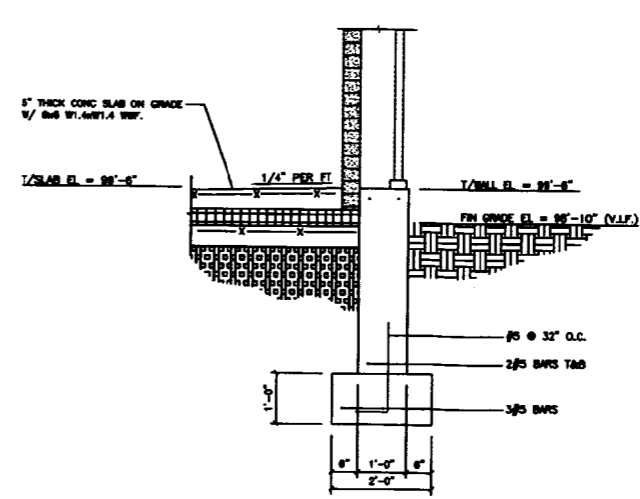
NOTE: 1. TOP OF NEW FOOTING SHALL MATCH EXISTING.
 2. PROVIDE 4'-0" LING CORNER BARS TO MATCH MAIN REINFORCING. HORIZ BARS ONLY (BOND BARS 90° @ MID-POINT)
 3. OC SHALL COORDINATE TANK A-BOLT AND ALCOVE DETAILS WITH THE TANK MANUFACTURER.



SECTION 1
 3/8" = 1'-0"
 S1



DETAIL A
 3/8" = 1'-0"
 S2



DETAIL B
 3/8" = 1'-0"
 S2

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REV.	DATE	DESCRIPTION
A	10-28-01	RELEASED FOR PERMITTING

Designed by: MFL
 Drawn by: LAM
 Checked by: JAL
 Notes AS NOTED
 DATE: SEPTEMBER 21, 2001
 PLOT DATE: SEPTEMBER 21, 2001
 Project #: 21123

OAKHURST DAIRY - NEW 30,000 GALLON
SILO SUPPORT & REFRIGERATION ROOM
 364 FOREST AVENUE
 PORTLAND, MAINE
SECTIONS & DETAILS



DUPLICATE

GENERAL RECEIPT

CITY OF PORTLAND, MAINE

DEPARTMENT Inspection DATE 11/14/01

RECEIVED FROM Donald S. Gaudin

ADDRESS 364 Forest Cove

UNIT	ITEM	REVENUE CODE	DOLLAR AMOUNT
	Building		4440
	check # 4259		
	CPL 114 AF 001		

CASH CHECK OTHER TOTAL 4440

RECEIVED BY [Signature]