

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



# CITY OF PORTLAND

# BUILDING PERMIT

This is to certify that University of Maine

Located At 96 FALMOUTH ST

Job ID: 2012-10-5289-ALTCOMM

CBL: \_114A- A-001-001

has permission for Interior renovations to second floor (Honors Center/ Lounge).

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

\_\_\_\_\_  
**Fire Prevention Officer**

\_\_\_\_\_  
**Code Enforcement Officer / Plan Reviewer**

11/29/2012

THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY  
PENALTY FOR REMOVING THIS CARD

## BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: [buildinginspections@portlandmaine.gov](mailto:buildinginspections@portlandmaine.gov)

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
  - **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
  - **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**
1. Close In Elec/Plmb/Frame prior to insulate or gypsum
  2. Final Inspection

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



# PORTLAND MAINE

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Director of Planning and Urban Development  
Jeff Levine

Job ID: 2012-10-5289-ALTCOMM    Located At: 96 FALMOUTH ST    CBL: 114A- A-001-001

## Conditions of Approval:

### Building

1. Separate permits are required for any electrical: plumbing, sprinkler, fire alarm, HVAC systems, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.
2. Interior wall and ceiling finish requirements by occupancy shall comply with Table 803.9.
3. Ventilation of this space is required per ASRAE 62.2 , 2007 edition.
4. **Note: Plans indicate “20-Minute Fire Door” see the table below for “1-hour” required assembly rating minimal corridor fire door and shutter assembly ratings.**

**TABLE 715.4  
FIRE DOOR AND FIRE SHUTTER FIRE PROTECTION RATINGS**

TYPE OF ASSEMBLY	REQUIRED ASSEMBLY RATING (hours)	MINIMUM FIRE DOOR AND FIRE SHUTTER ASSEMBLY RATING (hours)
Fire walls and fire barriers having a required fire-resistance rating greater than 1 hour	4	3
	3	3 <sup>a</sup>
	2	1½
	1½	1½
Fire barriers having a required fire-resistance rating of 1 hour: Shaft, exit enclosure and exit passageway walls Other fire barriers	1	1
	1	¾
Fire partitions: Corridor walls  Other fire partitions	1	½ <sup>b</sup>
	0.5	½ <sup>b</sup>
	1	¾
	0.5	½
Exterior walls	3	1½
	2	1½
	1	¾
Smoke barriers	1	½ <sup>b</sup>

a. Two doors, each with a fire protection rating of 1½ hours, installed on opposite sides of the same opening in a fire wall, shall be deemed equivalent in fire protection rating to one 3-hour fire door.

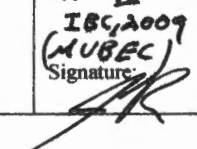
b. For testing requirements, see Section 715.4.3.

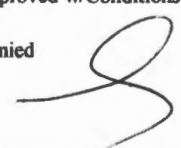
## Fire

1. All construction shall comply with City Code Chapter 10.
2. This permit is being approved on the basis of the plans submitted. Any deviation from the plans would require amendments and approval.
3. All outstanding code violations shall be corrected prior to final inspection.
4. Central Station monitoring for addressable fire alarm systems shall be by point.
5. The fire alarm system shall be reviewed by a licensed contractor for code compliance. Compliance letters are required.
6. A separate Fire Alarm Permit is required for new systems; or for work effecting more than 5 fire alarm devices; replacement of a fire alarm panel with a different model; or installation of a master box. This review does not include approval of fire alarm system design or installation.
7. Fire Alarm system shall be maintained. If system is to be off line over 4 hours a fire watch shall be in place. Dispatch notification required 874-8576.
8. Fire alarm system requires a master box connection per city ordinance. Master box design and installation shall in conformance with Fire Department Regulations and approved by Fire Department Electrical Division.
9. The building requires a Knox Box per city ordinance.
10. Fire extinguishers are required per NFPA 1.
11. All means of egress to remain accessible at all times.
12. Emergency lights and exit signs are required. Emergency lights and exit signs are required to be labeled in relation to the panel and circuit and on the same circuit as the lighting for the area they serve.
13. Any cutting and welding done will require a Hot Work Permit from Fire Department.
14. Walls in structure are to be labeled according to fire resistance rating. IE; 1 hr. / 2 hr. / smoke proof.
15. A single source supplier should be used for all through penetrations.
16. Non-combustible construction of this structure requires all construction to be Non-combustible.

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: <b>2012-10-5289-ALTCOMM</b>	Date Applied: <b>10/26/2012</b>	CBL: <b>114A- A-001-001</b>	
Location of Construction: <b>85 BEDFORD ST - 2<sup>ND</sup> FLOOR</b>	Owner Name: <b>UNIVERSITY OF SOUTHERN MAINE</b>	Owner Address: <b>107 MAINE AVE BANGOR, ME 04401</b>	Phone:
Business Name: <b>Luther Bonney Hall</b>	Contractor Name: <b>TBD - contact person: Adam Thibodeau</b>	Contractor Address: <b>96 Falmouth Street, Portland, ME 04104</b>	Phone: <b>780-4751</b>
Lessee/Buyer's Name:	Phone:	Permit Type: <b>BLDG ALT</b>	Zone: <b>R-5 &amp; USM overlay</b>
Past Use: <b>University - Luther Bonney Hall</b>	Proposed Use: <b>Same: University - to make alterations on the 2<sup>nd</sup> floor of Luther Bonney Hall as per plans</b>	Cost of Work: <b>\$75,000.00</b>	CEO District:
		Fire Dept: <b>11/29/12</b> <input checked="" type="checkbox"/> Approved w/ conditions <input type="checkbox"/> Denied <input type="checkbox"/> N/A	Inspection: Use Group: <b>B</b> Type: <b>II</b> <b>IBC, 2009</b> <b>(MUBEC)</b> Signature: 
Proposed Project Description: <b>interior renovations to create department suite</b>		Pedestrian Activities District (P.A.D.)	
Permit Taken By: <b>Gayle</b>		<b>Zoning Approval</b>	

<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building Permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False informatin may invalidate a building permit and stop all work.</p>	<p><b>Special Zone or Reviews</b></p> <p><input type="checkbox"/> Shoreland</p> <p><input type="checkbox"/> Wetlands</p> <p><input type="checkbox"/> Flood Zone</p> <p><input type="checkbox"/> Subdivision</p> <p><input type="checkbox"/> Site Plan</p> <p>— Maj — Min — MM</p> <p>Date: <b>10/29/12</b></p>	<p><b>Zoning Appeal</b></p> <p><input type="checkbox"/> Variance</p> <p><input type="checkbox"/> Miscellaneous</p> <p><input type="checkbox"/> Conditional Use</p> <p><input type="checkbox"/> Interpretation</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Denied</p> <p>Date:</p>	<p><b>Historic Preservation</b></p> <p><input checked="" type="checkbox"/> Not in Dist or Landmark</p> <p><input type="checkbox"/> Does not Require Review</p> <p><input type="checkbox"/> Requires Review</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Approved w/Conditions</p> <p><input type="checkbox"/> Denied</p> <p>Date: </p>
	<b>CERTIFICATION</b>		

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

Entered  
electronic  
file

2012 10 5089



# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>88 Bedford Street</u> <u>85 Bedford</u>		
Total Square Footage of Proposed Structure/Area 2,500 SF Renovation		Square Footage of Lot N/A
Tax Assessor's Chart, Block & Lot Chart#      Block#      Lot# G8SW/F8NW    114A      A001	Applicant * <b>must be owner, Lessee or Buyer*</b> Name                      University of Southern Maine Address                    c/o Adam Thibodeau City, State & Zip      Portland, Maine 04104	Telephone: 207-780-4751
Lessee/DBA (If Applicable)  <b>RECEIVED</b>  <b>OCT 26 2012</b>	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>75,000.00</u> C of O Fee: \$ <u>75.00</u> Total Fee: \$ <u>845.00</u>
Dept. of Building Inspections Current legal use (i.e. single family) <u>City of Portland, Maine</u> <u>Business (College/University) - No change of use.</u> <u>Luther Bonney Hall</u> If vacant, what was the previous use? _____ Proposed specific use: <u>2nd floor</u> Is property part of a subdivision? _____ If yes, please name _____ Project description: <u>Minor interior renovation to create department suite for the Honors Program.</u> <u>Creation of rated exit access corridor to improve occupant safety. Removal of non-load bearing wall to a create classroom from two separate rooms.</u>		
Contractor's name: <u>Not yet selected</u>		
Address: _____		
City, State & Zip _____		Telephone: _____
Who should we contact when the permit is ready: _____		Telephone: _____
Mailing address: _____		

**Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.**

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Signature] Date: 10/18/12

**This is not a permit; you may not commence ANY work until the permit is issue**



# Certificate of Design

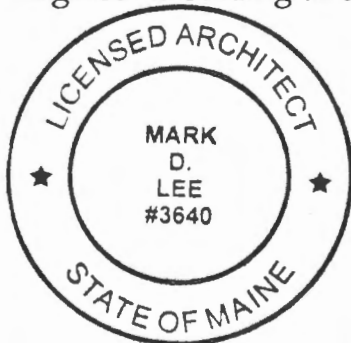
**Date:** October 17, 2012

**From:** Harriman - Mark D. Lee, AIA

These plans and / or specifications covering construction work on:

USM Luther Bonney Hall 2nd Floor Renovation

Have been designed and drawn up by the undersigned, a Maine registered Architect / Engineer according to the *2003 International Building Code* and local amendments.



**(SEAL)**

Signature: 

Title: Mark D. Lee, AIA

Firm: Harriman

Address: 46 Harriman Drive

Auburn, Maine 04210

Phone: 207-784-5100

**For more information or to download this form and other permit applications visit the Inspections Division on our website at [www.portlandmaine.gov](http://www.portlandmaine.gov)**

**City of Portland General Building Permit Application  
Fire Department Requirements***Name of Applicant:*

University of Southern Maine  
Adam Thibodeau, Director of Engineering and Architectural Services  
25 Bedford Street, Portland, ME 04104

*Name of Architect:*

Mark D. Lee, AIA  
Harriman  
46 Harriman Drive  
Auburn, ME 04210

*Name of Project*

USM Luther Bonney Hall 2<sup>nd</sup> Floor Renovation  
Portland, Maine

*Proposed use of structure:*

Business  
Existing Business Occupancy (NFPA 101 Chapter 39)  
Business (IEBC)

*Square footage of proposed structure (total and per story):*

2,500 SF interior renovation to 2<sup>nd</sup> floor of existing structure

*Existing and proposed fire protection of structure:*

Building is partially sprinkled. Portion of building where renovation is occurring is not sprinkled. This is separated from the sprinkled portion of the building. Renovation improves egress protection of occupants by creating a fire rated corridor to the stair exit

*See included Life Safety Plan for the following items:*

- Fire Resistance ratings of all Means of Egress
- Travel Distance from most remote point to exit discharge
- Location of any required fire extinguishers
- Location of emergency Lighting
- Location of Fire Alarm devices
- Location of exit signs
- NFPA 101 code summary





# Certificate of Design Application

From Designer:

Harriman - Mark D. Lee, AIA

Date:

October 17, 2012

Job Name:

USM Luther Bonney Hall 2nd Floor Renovation

Address of Construction:

88 Bedford Street, Portland, Maine 04104

## 2003 International Building Code

Construction project was designed to the building code criteria listed below:

Building Code & Year IBC/IEBC/NFPA Use Group Classification (s) Business

Type of Construction II Unprotected (0,0,0)

Will the Structure have a Fire suppression system in Accordance with Section 903.3.1 of the 2003 IRC N/A - Not a residence

Is the Structure mixed use? No If yes, separated or non separated or non separated (section 302.3) \_\_\_\_\_

Supervisory alarm System? Yes\* Geotechnical/Soils report required? (See Section 1802.2) \_\_\_\_\_

\*No significant work to existing FA system. Existing duct smoke detector, pull station initiation. See drawing A02.1 for FA devices in area of work.

### Structural Design Calculations

\_\_\_\_\_ Submitted for all structural members (106.1 - 106.11)

- \_\_\_\_\_ Live load reduction
- \_\_\_\_\_ Roof *live* loads (1603.1.2, 1607.11)
- \_\_\_\_\_ Roof snow loads (1603.7.3, 1608)
- \_\_\_\_\_ Ground snow load,  $P_g$  (1608.2)
- \_\_\_\_\_ If  $P_g > 10$  psf, flat-roof snow load  $P_f$
- \_\_\_\_\_ If  $P_g > 10$  psf, snow exposure factor,  $C_e$
- \_\_\_\_\_ If  $P_g > 10$  psf, snow load importance factor,  $I_f$
- \_\_\_\_\_ Roof thermal factor,  $C_t$  (1608.4)
- \_\_\_\_\_ Sloped roof snowload,  $P_s$  (1608.4)
- \_\_\_\_\_ Seismic design category (1616.3)
- \_\_\_\_\_ Basic seismic force resisting system (1617.6.2)
- \_\_\_\_\_ Response modification coefficient,  $R_f$  and deflection amplification factor,  $C_d$  (1617.6.2)
- \_\_\_\_\_ Analysis procedure (1616.6, 1617.5)
- \_\_\_\_\_ Design base shear (1617.4, 1617.5.1)

### Design Loads on Construction Documents (1603)

Uniformly distributed floor live loads (7603.11, 1807)

Floor Area Use	Loads Shown
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____

### Wind loads (1603.1.4, 1609)

- \_\_\_\_\_ Design option utilized (1609.1.1, 1609.6)
- \_\_\_\_\_ Basic wind speed (1809.3)
- \_\_\_\_\_ Building category and wind importance Factor,  $w$  (table 1604.5, 1609.5)
- \_\_\_\_\_ Wind exposure category (1609.4)
- \_\_\_\_\_ Internal pressure coefficient (ASCE 7)
- \_\_\_\_\_ Component and cladding pressures (1609.1.1, 1609.6.2.2)
- \_\_\_\_\_ Main force wind pressures (7603.1.1, 1609.6.2.1)

### Earth design data (1603.1.5, 1614-1623)

- \_\_\_\_\_ Design option utilized (1614.1)
- \_\_\_\_\_ Seismic use group ("Category")
- \_\_\_\_\_ Spectral response coefficients,  $S_D$ s &  $S_D1$  (1615.1)
- \_\_\_\_\_ Site class (1615.1.5)

### Flood loads (1803.1.6, 1612)

- \_\_\_\_\_ Flood Hazard area (1612.3)
- \_\_\_\_\_ Elevation of structure

### Other loads

- \_\_\_\_\_ Concentrated loads (1607.4)
- \_\_\_\_\_ Partition loads (1607.5)
- \_\_\_\_\_ Misc. loads (Table 1607.8, 1607.6.1, 1607.7, 1607.12, 1607.13, 1610, 1611, 2404)



# PORTLAND MAINE

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## Receipts Details:

**Tender Information:** Check , BusinessName: Harriman, Check Number: 163626

**Tender Amount:** 845.00

## Receipt Header:

**Cashier Id:** gguertin

**Receipt Date:** 10/26/2012

**Receipt Number:** 49736

## Receipt Details:

Referance ID:	8551	Fee Type:	BP-Constr
Receipt Number:	0	Payment Date:	
Transaction Amount:	770.00	Charge Amount:	770.00
Job ID: Job ID: 2012-10-5289-ALTCOMM - interior renovations to create department suite			
Additional Comments: Harriman			

Referance ID:	8558	Fee Type:	BP-C of O
Receipt Number:	0	Payment Date:	
Transaction Amount:	75.00	Charge Amount:	75.00
Job ID: Job ID: 2012-10-5289-ALTCOMM - interior renovations to create department suite			

# HARRIMAN

Harriman | Auburn Business Park 46 Harriman Drive Auburn, Maine 04210 United States

## Transmittal

**ID:** 00012

**Date Sent:** 11/13/2012

**Project:** USM Luther Bonney Hall Second Floor Renovation

**Number:** 12677

**To:** Jonathan Rioux  
City of Portland / Planning Division  
United States  
874-8702 (Phone)

**From:** Eric Potvin  
Harriman  
Auburn Business Park  
46 Harriman Drive  
Auburn, Maine 04210  
United States  
207-784-5100 (Phone)  
207-782-3017 (Fax)

**Subject:** Section Through Corridor

**Via:** Info Exchange

**Purpose:** As requested

**Remarks:** Please find SK01 attached. (Section through Corridor) As requested. I will call to follow up. Let us know if you need any further information.

Thank you,

**CC:** Mark Lee(Harriman)  
Adam L. Thibodeau LEED AP(University of Southern Maine)

### Description of Contents

Quantity	Title	Number	Date	Scale	Size	Revision
1	SK01-SECTION THROUGH CORRIDOR.pdf		11/13/2012			

## Jonathan Rioux - 12677: USM Luther Bonney Hall Second Floor Renovation - File Transfer - Section Through Corridor

**From:** "Eric Potvin" <epotvin@harriman.com>  
**To:** <JRioux@PortlandMaine.gov>  
**Date:** 11/13/2012 10:01 AM  
**Subject:** 12677: USM Luther Bonney Hall Second Floor Renovation - File Transfer - Section Through Corridor  
**Attachments:** Transmittal - 00012.pdf

IMPORTANT: Click a link below to access files associated with this transmittal that came in through the Harriman Info Exchange web site. The attached file contains the transmittal details.

[Click here to download associated files](#)

**Project Name:** USM Luther Bonney Hall Second Floor Renovation  
**Project Number:** 12677  
**From:** Eric Potvin (Harriman)  
**To:** Jonathan Rioux (City of Portland / Planning Division)  
**CC:** Mark Lee (Harriman); Adam L. Thibodeau LEED AP (University of Southern Maine)  
**Subject:** Section Through Corridor  
**Sent via:** Info Exchange  
**Expiration Date:** 11/27/2012  
**Remarks:** Please find SK01 attached. (Section through Corridor) As requested. I will call to follow up. Let us know if you need any further information.

Thank you,

### Transferred Files

Name	Type	Date	Time	Size
SK01-SECTION THROUGH CORRIDOR.pdf	PDF File	11/13/2012	9:53 AM	25 KB

To share and learn more about Newforma Info Exchange visit [www.newformant.com](http://www.newformant.com)



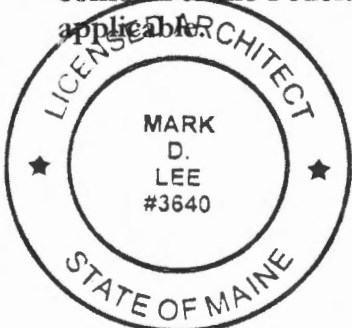
# Accessibility Building Code Certificate

**Designer:** Harriman - Mark D. Lee, AIA

**Address of Project:** 88 Bedford Street, Portland Maine (USM Luther Bonney Hall 2nd Floor)

**Nature of Project:** Minor interior renovation to create department suite for the Honors Program.  
Creation of rated exit access corridor to improve occupant safety. Removal of non-load bearing wall to a create classroom from two separate rooms.

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act. Residential Buildings with 4 units or more must conform to the Federal Fair Housing Accessibility Standards. Please provide proof of compliance if applicable.



**(SEAL)**

Signature: 

Title: Mark D. Lee, AIA

Firm: Harriman

Address: 46 Harriman Drive

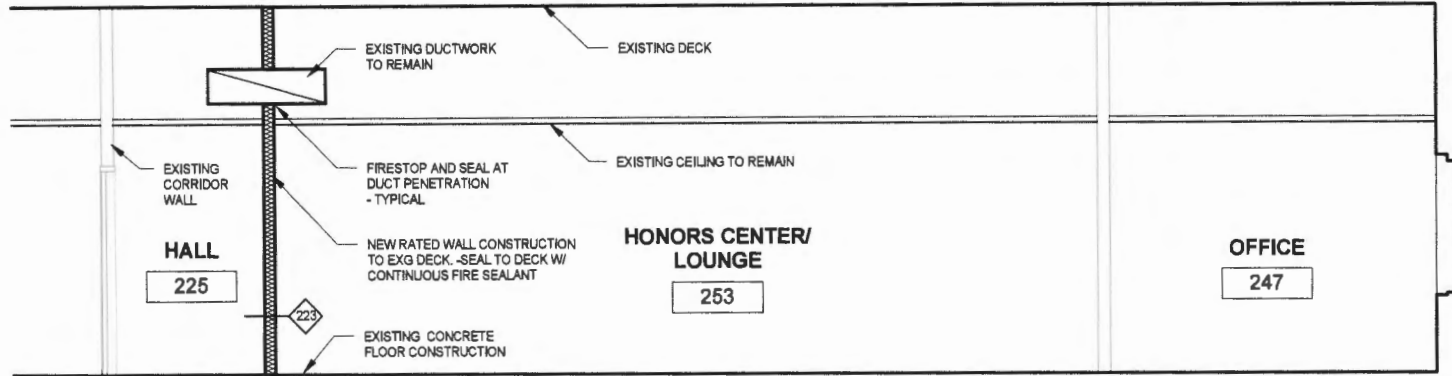
Auburn, Maine 04210

Phone: 207-784-5100

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**HARRIMAN**  
Architects + Engineers  
Auburn, ME 207.784.5100 tel  
Portland, ME 207.775.0053 tel  
Manchester, NH 603.626.1242 tel  
www.harriman.com © 2012

Project Title  
**USM LUTHER BONNEY  
HALL 2ND FLOOR  
RENOVATION**  
Portland, Maine  
HA Project No. 12677



11/13/12	ISSUED W/ BUILDING PERMIT APPLICATION

Date	11/13/12
Scale	1/4" = 1'-0"

Drawing Title  
**SECTION THROUGH  
CORRIDOR**  
Drawing Number  
**SK01**

**1 SECTION THROUGH CORRIDOR**  
SCALE: 1/4" = 1'-0"

**RECEIVED**  
**NOV 13 2012**  
Dept. of Building Inspections  
City of Portland Maine

# USM LUTHER BONNEY HALL 2ND FLOOR RENOVATION

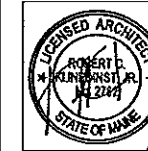
Portland, Maine

ISSUED FOR BID

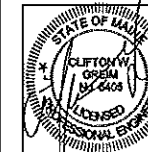
10-15-12

**HARRIMAN**  
Architects • Engineers  
46 Harriman Drive  
Auburn, ME 04210  
207.754.5100 tel  
123 Myrtle Street  
Portland, ME 04101  
207.775.6633 tel  
One Franklin Road  
Manchester, NH 03103  
603.636.1242 tel  
www.harriman.com  
© 2012

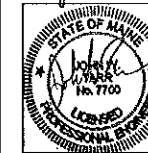
## LIST OF DRAWINGS



ARCHITECTURAL DRAWINGS  
- COVER  
A01.1 ABBREVIATIONS  
A02.1 CODE PLAN  
A10.1 SECOND FLOOR DEMO PLAN AND SECOND FLOOR PLAN  
A10.2 MATERIALS PLAN, REFLECTED CEILING PLAN AND SCHEDULES  
A50.1 SCHEDULES, DETAILS AND SECTIONS  
A81.1 INTERIOR ELEVATIONS



MECHANICAL DRAWINGS  
M05.1 SECOND FLOOR DUCTWORK DEMOLITION  
M09.1 SECOND FLOOR DUCT PLAN  
M30.1 DETAILS, SCHEDULES AND NOTES



ELECTRICAL DRAWINGS  
E00.1 ELECTRICAL LEGEND & LIGHTING FIXTURE SCHEDULE  
E05.1 ELECTRICAL EXISTING CONDITIONS PART PLAN  
E10.1 LIGHTING PART PLAN  
E20.1 FIRST FLOOR PLAN POWER

RECEIVED

NOV 19 2012

Dept. of Building Inspections  
City of Portland Maine





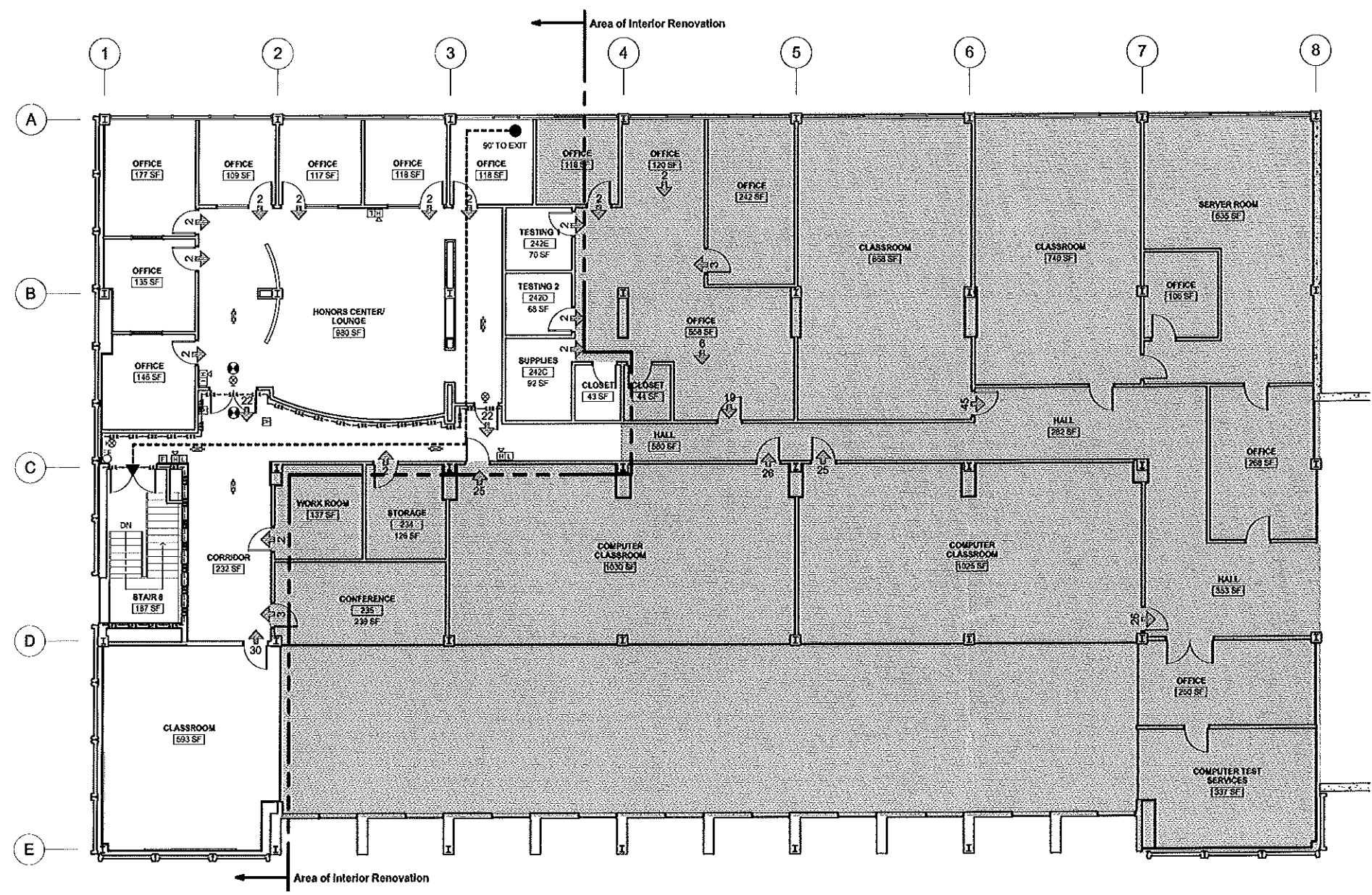
RECEIVED  
NOV 10 2012  
Dept. of Building Inspections  
City of Portland Maine

Drawing Scale:  
1/8" = 1'-0"

Mark	Date	Description
-	10-15-12	ISSUED FOR B/D
-	10-10-12	50% REVIEW
-	10-02-12	75% REVIEW

Drawing Title

Drawing Title  
**CODE PLAN**  
PA/PE MDL Drawn By: ERP  
Drawing Number  
**A02.1**



**CODE PLAN LEGEND:**

- ⊗ EXIT SIGN
- ☐ HORN / STROBE
- ☐ STROBE
- ☐ EMERGENCY LIGHT
- ☐ KNOX BOX
- ☐ FIRE ALARM CONTROL PANEL
- ☐ SMOKE DETECTOR
- ☐ FIRE ALARM PULL STATION
- ☐ ELECTROMAGNETIC DOOR HOLDER
- ☐ MASTER FIRE BOX
- ☐ FIRE DEPT HOSE CONNECTION
- ☐ FIRE EXTINGUISHER
- ☐ OCCUPANT LOAD

**BUILDING DESIGN CODES:**

- AMERICANS WITH DISABILITIES ACT (ADA 2010)
- NFPA 101 LIFE SAFETY CODE (2000)
- INTERNATIONAL BUILDING CODE (2009)
- INTERNATIONAL EXISTING BUILDING CODE (2009)
- INTERNATIONAL MECHANICAL CODE (2009)
- ASHRAE /IES STANDARD 60.1 - 2004
- NFPA 70 NATIONAL ELECTRIC CODE (2008)
- NFPA 13

**OCCUPANCY CLASSIFICATION:**

- NFPA: BUSINESS
- IBC: BUSINESS

**CONSTRUCTION TYPE:**

- NFPA: TYPE II (500)
- IBC: TYPE IIB

**AREA:**

BASEMENT:	5,656 SF
FIRST:	26,017 SF
SECOND:	24,692 SF
THIRD:	10,093 SF
FOURTH:	8,138 SF
FIFTH:	6,126 SF
<b>TOTAL:</b>	<b>82,692 SF</b>
AREA OF RENOVATION:	
SECOND:	4,000 SF

**FIRE SUPPRESSION:**

NOTE: PROJECT AREA - UNSPRINKLED

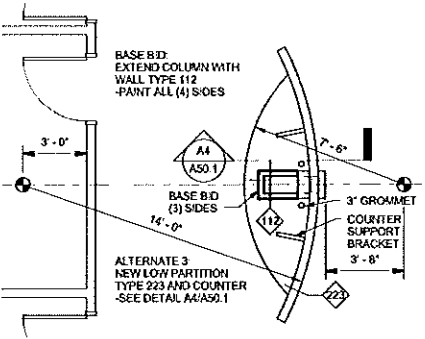
**OCCUPANT LOADS:**

OFFICE:	100 SF GROSS
MECHANICAL:	300 SF GROSS
STORAGE:	300 SF GROSS
CLASSROOM:	20 SF NET
ASSEMBLY (SEATING):	15 SF NET

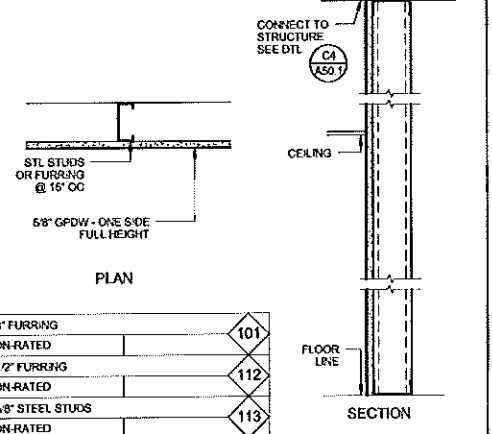
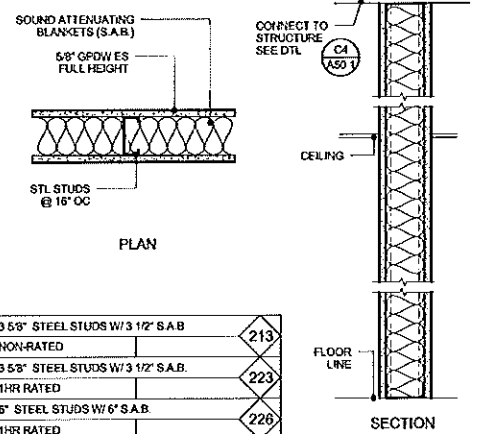
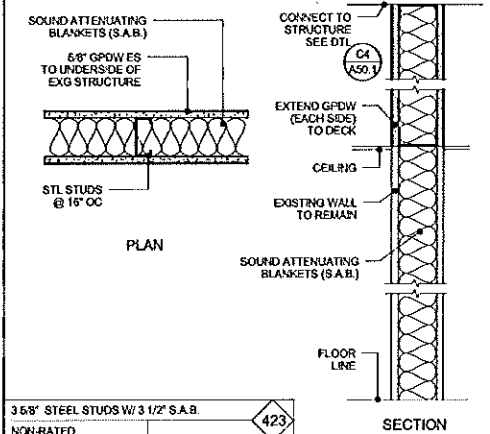
**MEANS OF EGRESS:**

MAX TRAVEL DISTANCE:	200 FT (NFPA)
DEAD END CORRIDOR:	20 FT
COMMON PATH OF TRAVEL:	75 FT OL < 50
	20 FT OL > 50
	44 IN OL > 50
MIN CORRIDOR WIDTH:	3'-OCCUPANT (VERTICAL)
EXIT CAPACITY:	2'-OCCUPANT (HORZ)

**1 CODE PLAN**  
SCALE: 1/8" = 1'-0"



**B1 LOW PARTITION (ALTERNATE #3)**  
SCALE: 1/4" = 1'-0"



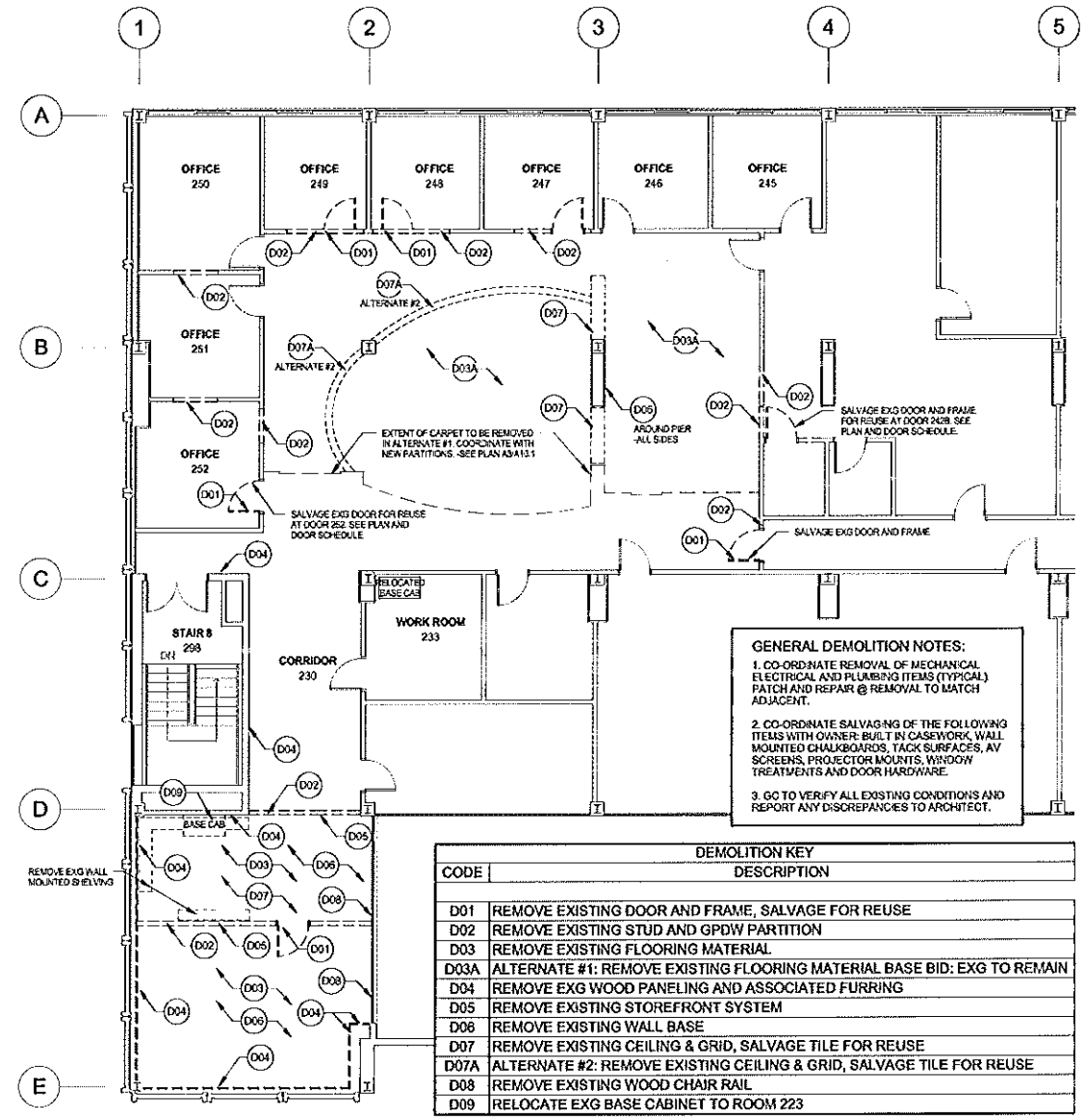
**GENERAL NOTES**

- ALL 1 HR OR 2 HR FIRE RATED WALLS SHALL BE STENCILED ON THE WALL SURFACE JUST ABOVE THE CEILING LINE INDICATING THE WALL'S FIRE RATING: "1 HR", "2 HR", ETC. IN RED OR ORANGE PAINT ON EACH SIDE OF THE PARTITION.
- WHERE BATT INSULATION IS SHOWN FILL STUD CAVITY FULL.
- ALL DIMENSIONS SHOWN TO FACE OF GPDW (TYP.) UNLESS NOTED OTHERWISE

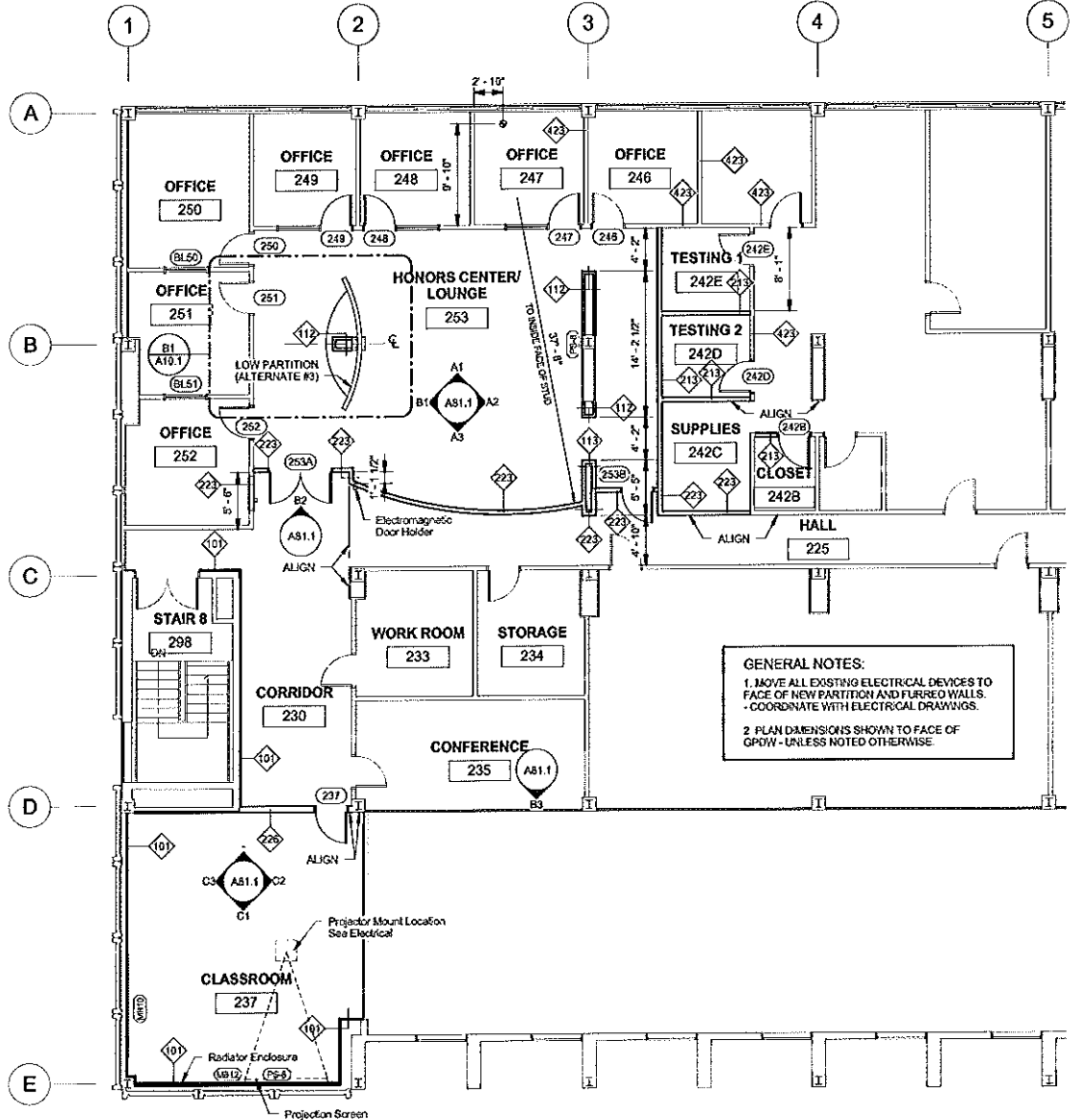
STUD OR CAJ SIZE

3 5/8" STEEL STUDS	U.L. No. U455	010
1 HR FIRE-RATED	U.L. DESIGN No.	IF APPLICABLE

PARTITION OR  
WALL TAG No.



**A1 SECOND FLOOR DEMO PLAN**  
SCALE: 1/8" = 1'-0"



**A3 SECOND FLOOR PLAN**  
SCALE: 1/8" = 1'-0"

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REGISTERED ARCHITECT  
ALBERT J. HARRIMAN  
STATE OF MAINE

Project Title  
**USM LUTHER BONNEY  
HALL 2ND FLOOR  
RENOVATION**  
Portland, Maine

Harriman Project No. 12677

Key Plan

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Dept. of Building Inspections  
City of Portland Maine

Drawing Status

As indicated

Issue Dates

Date	Description
10-15-12	ISSUED FOR B/D
10-10-12	80% REVIEW
10-02-12	75% REVIEW

Drawing Title

**SECOND FLOOR DEMO  
PLAN AND SECOND  
FLOOR PLAN**

PA/FE: MDL  
Drawn By: ERP

Drawing Number

**A10.1**

ROOM NUMBER	ROOM NAME	FLOOR FINISH	BASE FINISH	WALL FINISH				COMMENTS
				NORTH WALL	EAST WALL	SOUTH WALL	WEST WALL	
225	HALL	EXG	EXG	VARIES	EXG	EXG	EXG	SEE INTERIOR ELEVATION FOR PAINT COLORS
230	CORRIDOR	EXG	RB1	EXG	EXG	P1	P1	
233	WORK ROOM	EXG	EXG	EXG	EXG	EXG	EXG	
234	STORAGE	EXG	EXG	EXG	EXG	EXG	EXG	
235	CONFERENCE	EXG	EXG	EXG	EXG	EXG	EXG	GLAZING FILM- SEE INTERIOR ELEVATION
237	CLASSROOM	CPT1	RB1	P1	P1	P4	P1	GLAZING FILM- SEE INTERIOR ELEVATION
242C	SUPPLIES	CPT1	RB1	P1	P1	P1	P1	
242D	TESTING 2	CPT1	RB1	P1	P1	P1	P1	
242E	TESTING 1	CPT1	RB1	P1	P1	P1	P1	
246	OFFICE	EXG	EXG	EXG	EXG	EXG	EXG	
247	OFFICE	EXG	EXG	EXG	EXG	P3	EXG	
248	OFFICE	EXG	EXG	EXG	EXG	P3	EXG	
249	OFFICE	EXG	EXG	EXG	EXG	P3	EXG	
250	OFFICE	EXG	EXG	EXG	P3	EXG	EXG	
251	OFFICE	EXG	EXG	EXG	P3	EXG	EXG	
252	OFFICE	EXG	EXG	EXG	P3	EXG	EXG	
253	HONORS CENTER/ LOUNGE	CPT	RB1	VARIES	VARIES	VARIES	VARIES	SEE INTERIOR ELEVATION FOR PAINT COLORS
288	STAIR 8	EXG	EXG	EXG	EXG	EXG	EXG	

MATERIAL LEGEND			
Material	Key Name	Manufacturer	Color/Finish
CARPET TILE	CPT1	J & J INVISION	EVOLVE 7881 TRANSPIRE 1479
CARPET TILE	CPT2	J & J INVISION	PULP 7607 APPLIQUE 450
CARPET TILE	CPT3	J & J INVISION	PULP 7607 GRASSCLOTH 445
RUBBER BASE	RB1	JOHNSONITE	63- BURNT UMBER
PLASTIC LAMINATE	PLAM1	PIONITE	SABLE-AG021
	PLAM2	PIONITE	FIRST AND MAIN- AG031
PAINT	P1	SHERWIN WILLIAMS	CACHET CREAM SW6365
	P2	SHERWIN WILLIAMS	HARVEST GOLD SW2858
	P3	SHERWIN WILLIAMS	RURAL GREEN SW6418
	P4	SHERWIN WILLIAMS	UNDERSEAS SW6218
	P5	SHERWIN WILLIAMS	PEPPERCORN SW7674
	P6	SHERWIN WILLIAMS	SUMMIT GRAY SW7669
ACOUSTIC TILE	ACT1	TO MATCH EXISTING	MODIFY EXISTING AS REQUIRED FOR NEW WORK

**GENERAL NOTES:**

1. PAINT ALL GPDW CEILINGS AND ALL SOFFITS- SIDES AND UNDERNEATH P1, UNLESS NOTED OTHERWISE.
2. WHERE ROOMS ARE NOTED AS HAVING EXPOSED STRUCTURE, PAINT ALL EXPOSED STRUCTURAL ELEMENTS, DUCTWORK, CONDUIT, PIPING, ETC. P1 UNLESS NOTED OTHERWISE.
3. REFER TO A50.1 FOR FLOOR TRANSITION DETAILS.
4. HOLLOW METAL FRAMES, NEW AND EXISTING- PAINT P5.
5. IF PAINT SCHEDULE DOES NOT SPECIFICALLY CALL OUT AN ITEM OR SURFACE, PAINT THE SAME COLOR AS ADJACENT MATERIALS OR SURFACES WHETHER OR NOT SCHEDULE INDICATES COLORS.

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Project Title  
**USM LUTHER BONNEY HALL 2ND FLOOR RENOVATION**  
Portland, Maine

Harriman Project No. 12677

Key Plan

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Drawing Scales	
1/8" = 1'-0"	

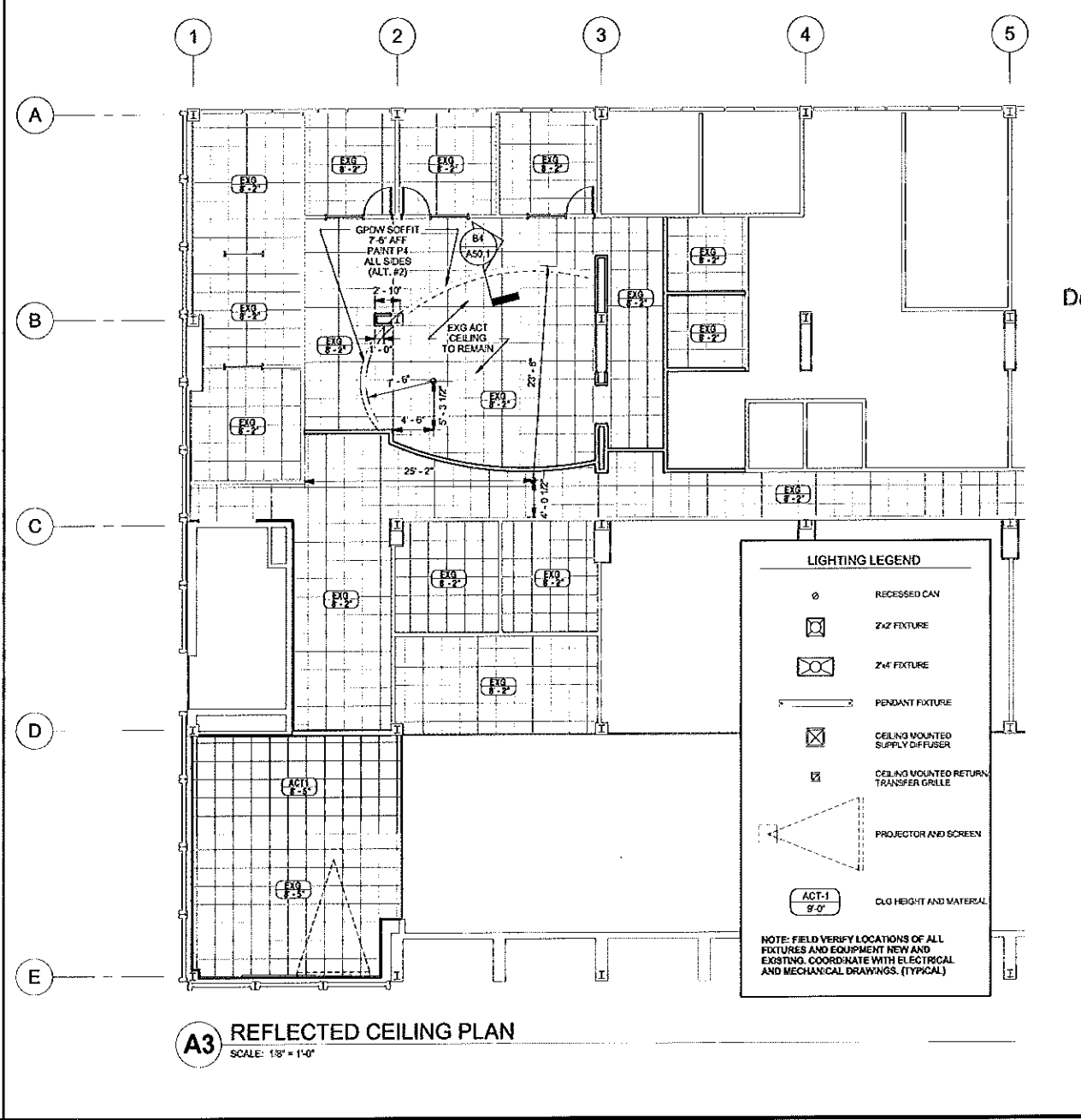
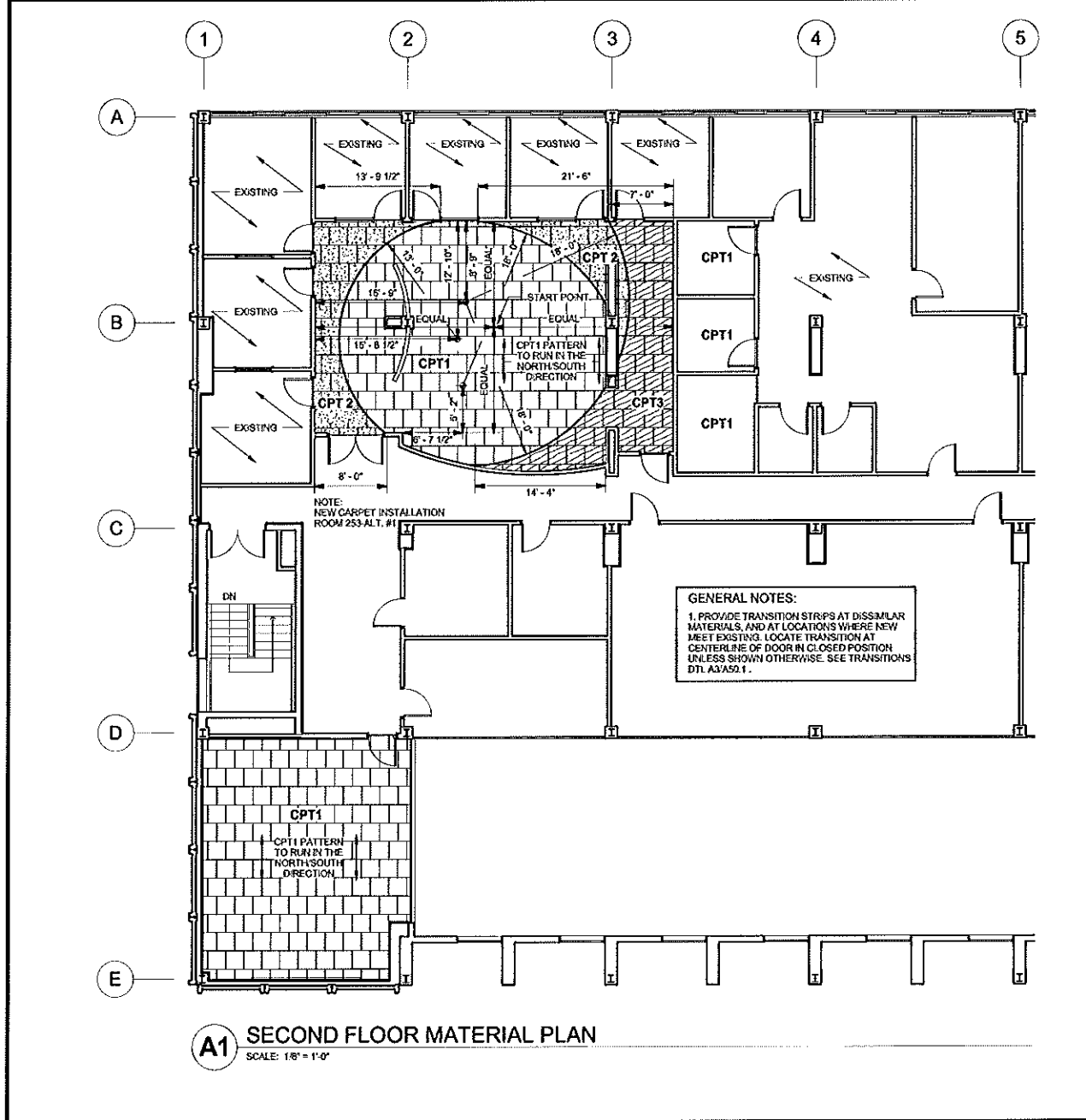
Mark	Date	Description
10-15-12		ISSUED FOR B.D
10-10-12		80% REVIEW
10-02-12		75% REVIEW

Drawing Status	

Drawing Title  
**MATERIALS PLAN, REFLECTED CEILING PLAN AND SCHEDULES**

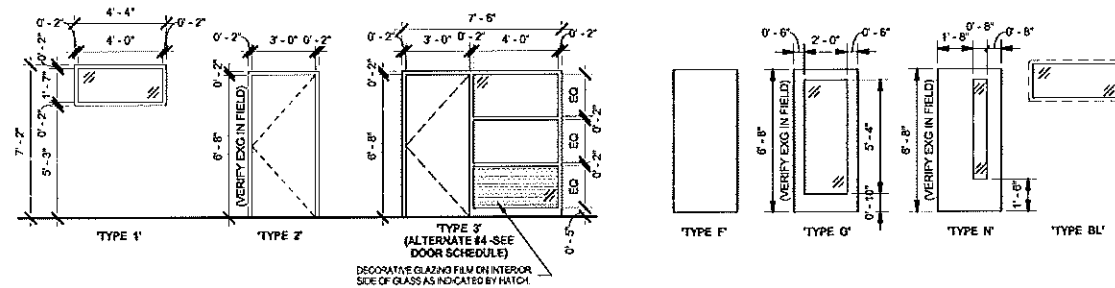
PA/PE MDL Drawn By: KSA

Drawing Number  
**A10.2**

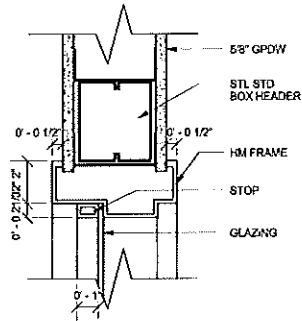


DOOR SCHEDULE												
DOOR	DOOR					FRAME			Fire Rating	Comments		
	WIDTH	HEIGHT	MATL	Glass	TYPE	MATL	TYPE	DETAILS HEAD			JAMB	
237	3'-0"	6'-8"	WD	FR	G	HM	2	A1/A50.1	A2/A50.1	20 Min		
242B	3'-0"	6'-8"	WD	-	N	HM	2	A1/A50.1	A2/A50.1	-	RELOCATED EXISTING DOOR AND FRAME	
242D	3'-0"	6'-8"	WD	-	F	HM	2	A1/A50.1	A2/A50.1	-	EXISTING DOOR - NO WORK	
242E	3'-0"	6'-8"	WD	-	F	EXG	2	A1/A50.1	A2/A50.1	-	RELOCATED EXISTING DOOR AND FRAME	
246	3'-0"	6'-8"	WD	-	F	EXG	2	A1/A50.1	A2/A50.1	-	EXISTING DOOR - NO WORK	
247	3'-0"	6'-8"	WD	TEMP	G	AL	3	A1/A50.1	A2/A50.1	-	EXISTING DOOR IN NEW FRAME (ALT #4), NEW LIGHT IN EXG DOOR (BASE BID)	
248	3'-0"	6'-8"	WD	TEMP	G	AL	3	A1/A50.1	A2/A50.1	-	EXISTING DOOR IN NEW FRAME (ALT #4), NEW LIGHT IN EXG DOOR (BASE BID)	
249	3'-0"	6'-8"	WD	TEMP	G	AL	3	A1/A50.1	A2/A50.1	-	EXISTING DOOR IN NEW FRAME (ALT #4), NEW LIGHT IN EXG DOOR (BASE BID)	
250	3'-0"	6'-8"	WD	TEMP	F	EXG	2	A1/A50.1	A2/A50.1	-	NEW LIGHT IN EXG DOOR	
251	3'-0"	6'-8"	WD	TEMP	F	EXG	2	A1/A50.1	A2/A50.1	-	NEW LIGHT IN EXG DOOR	
252	3'-0"	6'-8"	WD	TEMP	F	EXG	2	A1/A50.1	A2/A50.1	-	NEW LIGHT IN EXG DOOR	
253A	6'-0"	6'-8"	WD	FR	N	HM	2	A1/A50.1	A2/A50.1	20 Min	FIRE RATED GLASS BY DOOR MFG	
253B	3'-0"	6'-8"	WD	FR	N	HM	2	A1/A50.1	A2/A50.1	20 Min	FIRE RATED GLASS BY DOOR MFG	

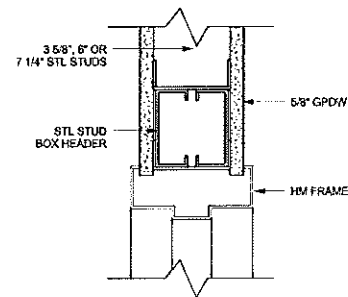
BORROWED LIGHT SCHEDULE												
DOOR	BORROWED LIGHT					FRAME			Fire Rating	Comments		
	WIDTH	HEIGHT	GLASS	TYPE	MATL	TYPE	DETAILS HEAD	JAMB				
BL60	4'-0"	7'-0"	TEMP	BL	HM	1	B1/A50.1	A2/A50.1	-			
BL51	4'-0"	7'-0"	TEMP	BL	HM	1	B1/A50.1	A2/A50.1	-			



**FRAME LEGEND**  
SCALE: 1/4" = 1'-0"

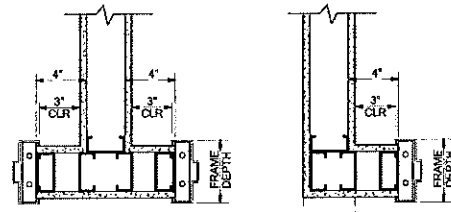


**B1 INTERIOR HOLLOW METAL HEAD**  
SCALE: 3\"/>

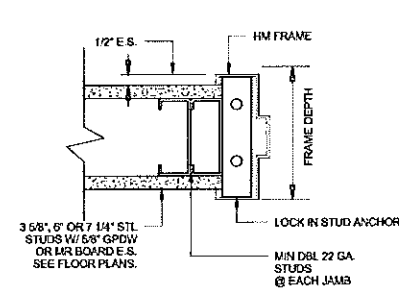


**A1 HEAD DETAIL @ STEEL STUD**  
SCALE: 3\"/>

**DOOR TYPES**  
SCALE: 1/4\"/>

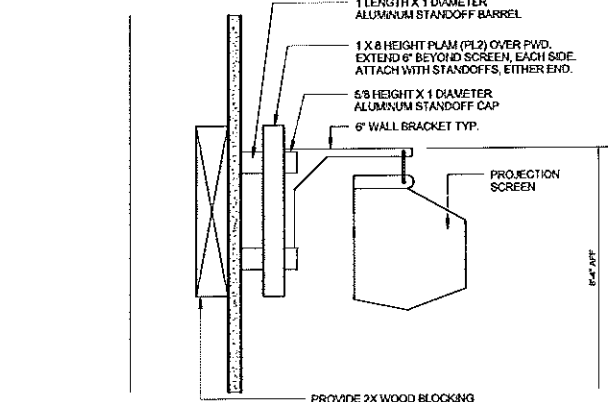


**B2 DOOR FRAME INSTALLATION DETAIL**  
SCALE: 1 1/2\"/>

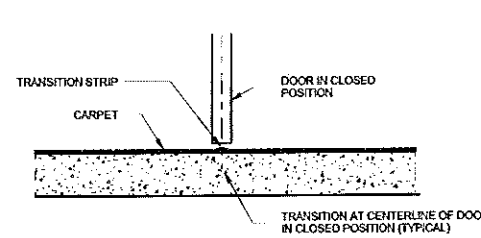


**A2 JAMB DETAIL @ STEEL STUD**  
SCALE: 3\"/>

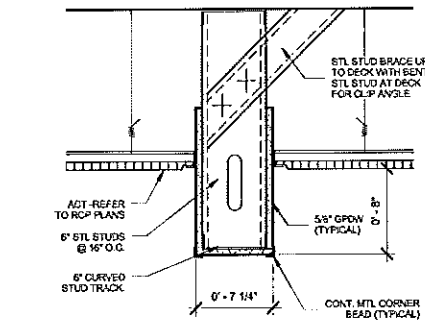
**B3 PROJECTION SCREEN MOUNT**  
SCALE: 3\"/>



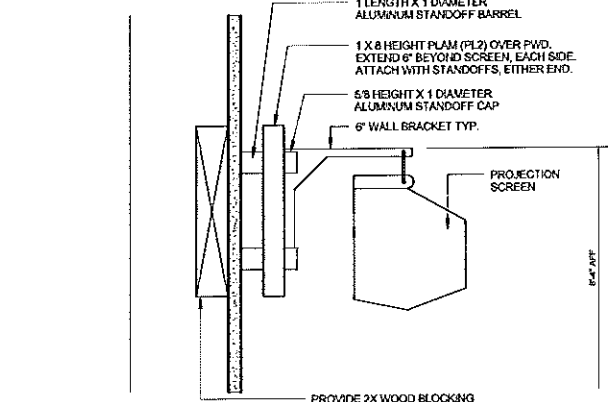
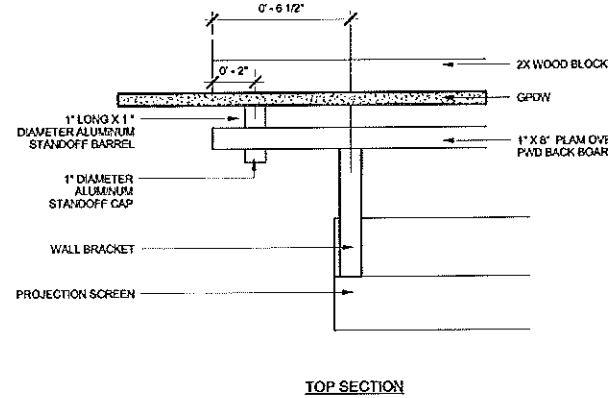
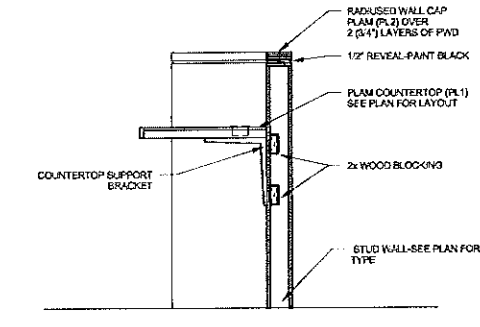
**A3 FLOOR MATERIAL TRANSITIONS**  
SCALE: 1 1/2\"/>



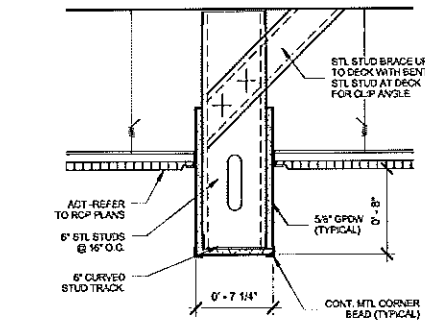
**B4 DETAIL AT SOFFIT (ALT #2)**  
SCALE: 1 1/2\"/>



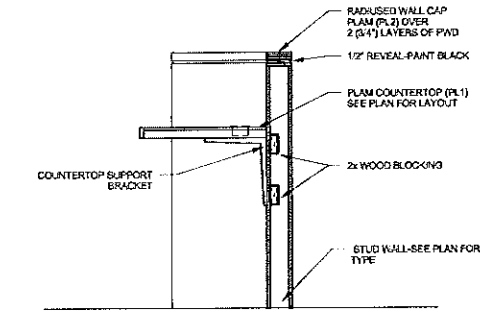
**A4 SECTION AT COUNTER (ALT #3)**  
SCALE: 3\"/>



**C4 CONNECTION TO EXG STRUCTURE**  
SCALE: 1 1/2\"/>



**B4 DETAIL AT SOFFIT (ALT #2)**  
SCALE: 1 1/2\"/>



**A4 SECTION AT COUNTER (ALT #3)**  
SCALE: 3\"/>

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Project Title  
**USM LUTHER BONNEY HALL 2ND FLOOR RENOVATION**  
Portland, Maine  
Harriman Project No 12677  
Key Plan

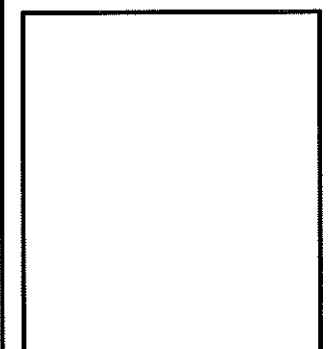
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Drawing Scales	As indicated
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Mark	Date	Description
-	10-15-12	ISSUED FOR BID
-	10-10-12	80% REVIEW
-	10-02-12	75% REVIEW

Drawing Status	
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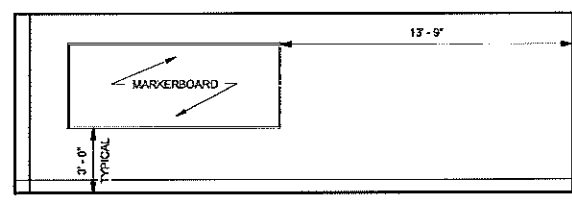
Drawing Title  
**SCHEDULES, DETAILS AND SECTIONS**  
FA/PE MDL Drawn By ERP  
Drawing Number  
**A50.1**



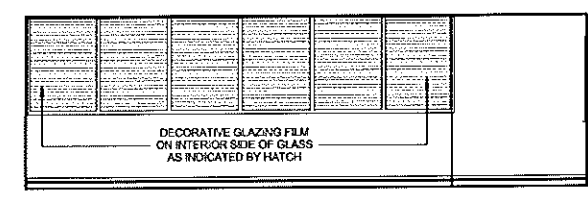
Drawing Scale	1/4" = 1'-0"

Mark	Date	Description

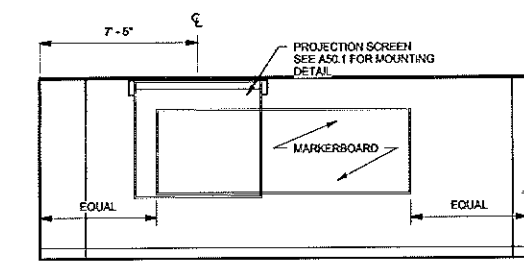
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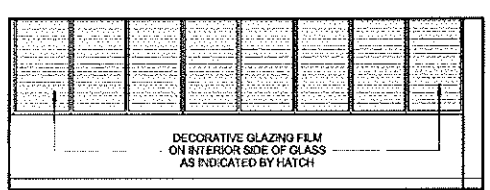
**C3 CLASSROOM 237 WEST**  
SCALE: 1/4" = 1'-0"



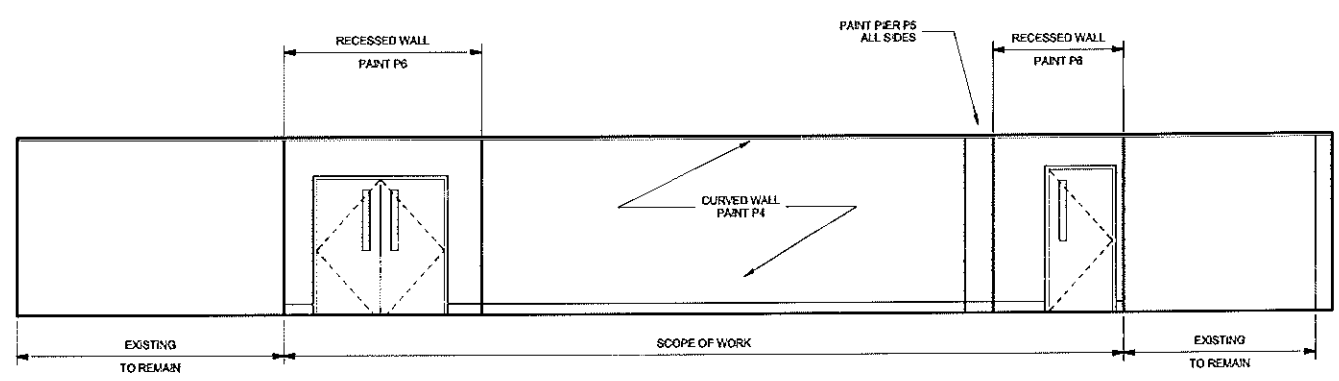
**C2 CLASSROOM 237 EAST**  
SCALE: 1/4" = 1'-0"



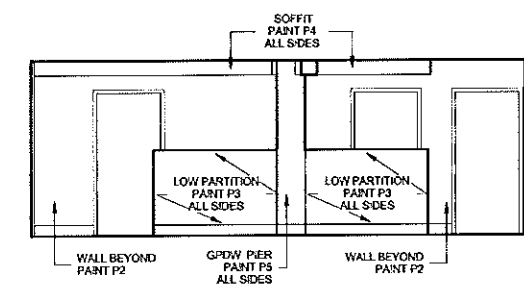
**C1 CLASSROOM 237 SOUTH**  
SCALE: 1/4" = 1'-0"



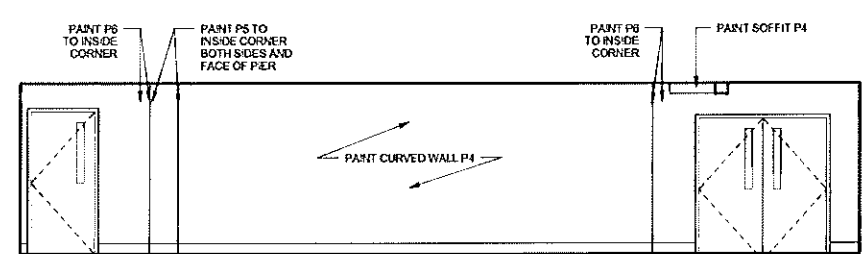
**B3 CONFERENCE 235 SOUTH**  
SCALE: 1/4" = 1'-0"



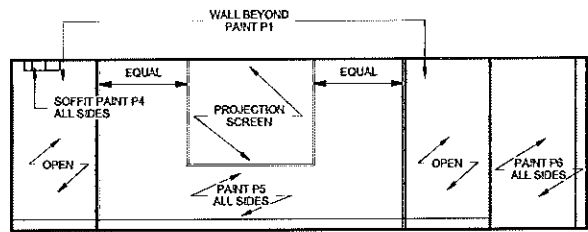
**B2 HALL 225 NORTH**  
SCALE: 1/4" = 1'-0"



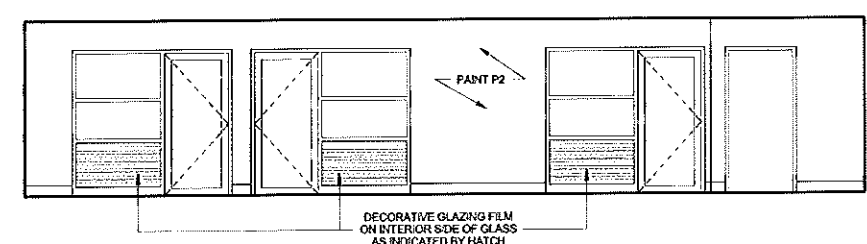
**B1 HONORS CENTER WEST**  
SCALE: 1/4" = 1'-0"



**A3 HONORS CENTER SOUTH**  
SCALE: 1/4" = 1'-0"



**A2 HONORS CENTER EAST**  
SCALE: 1/4" = 1'-0"



**A1 HONORS CENTER NORTH**  
SCALE: 1/4" = 1'-0"

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STATE OF MAINE  
CLAYTON W. GREGG  
1988-9405  
LICENSED PROFESSIONAL ENGINEER

Project Title  
**USM LUTHER BONNEY HALL 2ND FLOOR RENOVATION**  
Portland, Maine

Harriman Project No 12677

Key Plan

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City of Portland Maine

Drawing Scale	1/8" = 1'-0"

Mark	Date	Description
---	10-15-12	ISSUED FOR B/D
---	10-10-12	80% REVIEW
-	10-02-12	75% REVIEW

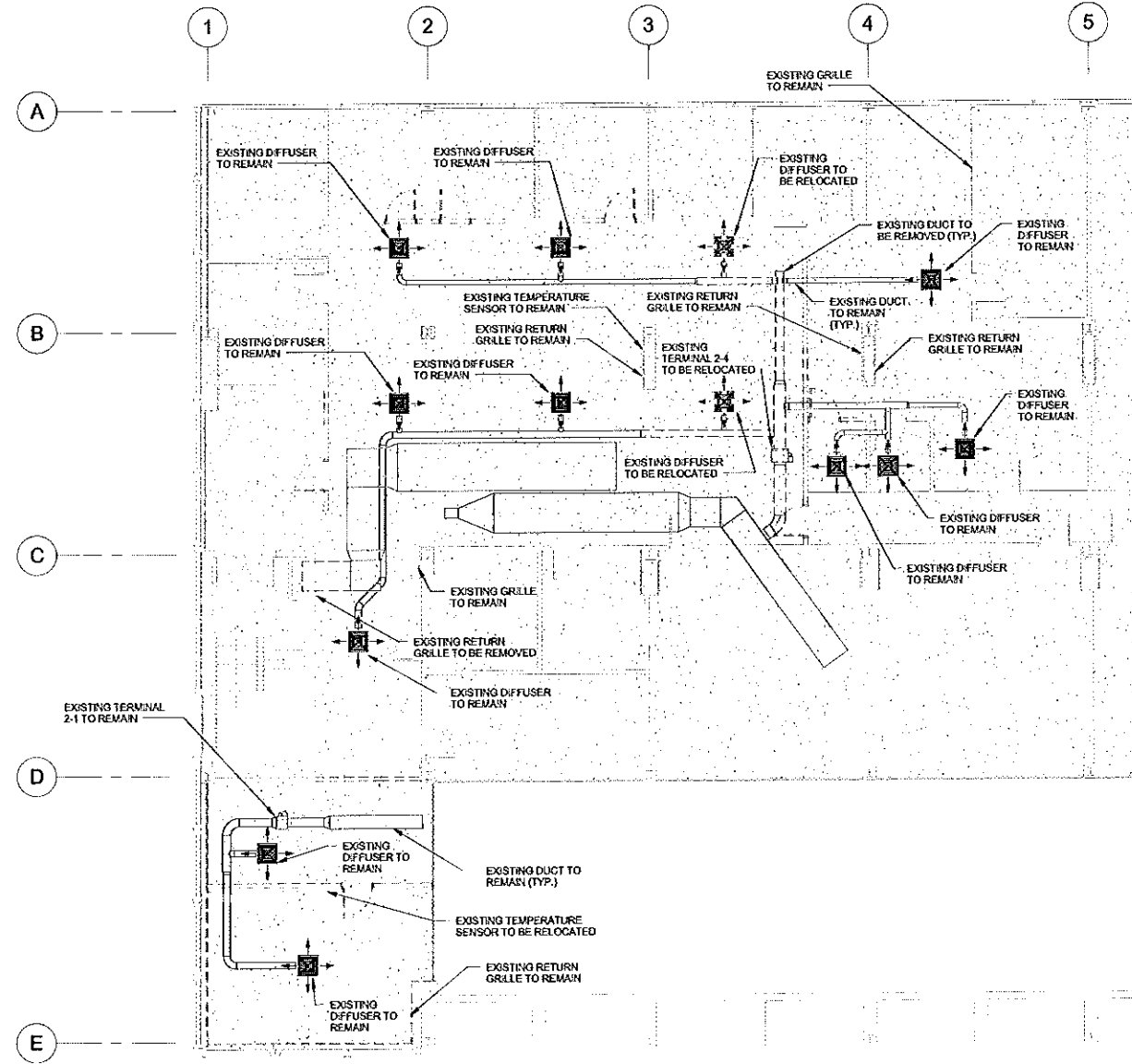
Issue Dates

Drawing Status

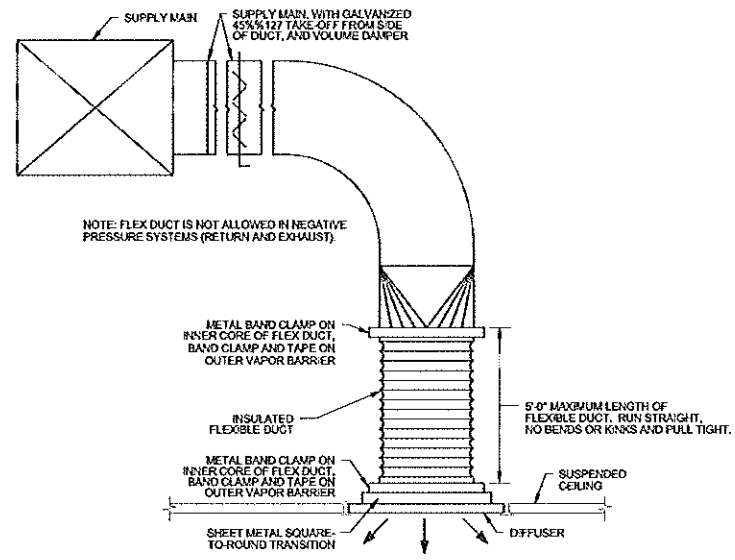
Drawing Title  
**SECOND FLOOR DUCTWORK DEMOLITION**

RA/PE: CG Drawn By: JSL

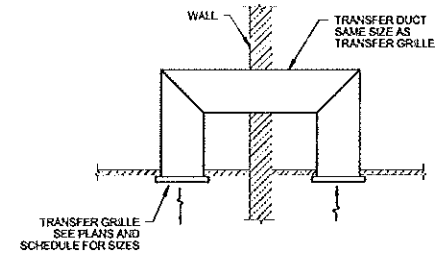
Drawing Number  
**M05.1**



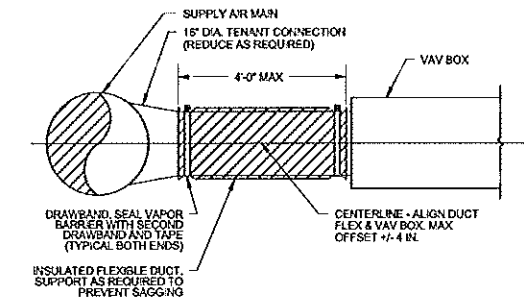
**1** M05-2 Demolition Ductwork Level 2  
SCALE: 1/8" = 1'-0"



1 FLEXIBLE CONNECTION  
NO SCALE



2 TRANSFER DUCT  
NO SCALE



3 TYPICAL VAV BOX CONNECTION  
NO SCALE

REGISTERS, GRILLES, AND DIFFUSERS

TAG	MANUFACTURER	MODEL	TYPE	NECK SIZE (IN.)	DIRECTION OF BLOW	NC	SP (IN.WG)	THROW (FT)	TYPE	DAMPER	FINISH	BORDER	NOTES
S-1	TITUS	TDC	CEILING DIFFUSER	6x6	SEE PLANS	23	0.16	7 - 11		NONE	BAKED ENAMEL WHITE	TYPE 3 (24" X 24" LAY-IN)	
TRANSFER GRILLE	TITUS	50F	TRANSFER GRILLE	6x6	---	20	0.09	---	GRID CORE	NONE	BAKED ENAMEL WHITE	TYPE 1 (SURFACE MOUNT)	1/2" X 1/2" X 1/2" GRID
R-1	TITUS	50F	RETURN GRILLE	14x14	---	20	0.09	---	GRID CORE	NONE	BAKED ENAMEL WHITE	TYPE 1 (SURFACE MOUNT)	1/2" X 1/2" X 1/2" GRID

VAV BOXES

TAG	MANUFACTURER	MODEL	SERVICE	INLET (IN.)	COOLING AIRFLOW (CFM)	MINIMUM AIRFLOW (CFM)	APD (IN. WG)	DISCHARGE NC	RADIATED NC
VAV00-01	METALAIRE	TH-500	242 SUITE	10	920	275	0.08	27	25

- GENERAL NOTES**
- VISIT THE BUILDING SITE PRIOR TO BIDDING TO BECOME FAMILIAR WITH EXISTING CONDITIONS, AND TO TAKE MEASUREMENTS AS NECESSARY FOR COMPLETION OF THE WORK ASSOCIATED WITH THE DESIGN INTENT OF THESE CONTRACT DOCUMENTS.
  - COORDINATE WORK OF MECHANICAL SUBCONTRACTOR WITH WORK OF OTHER TRADES.
  - EQUIPMENT AND DUCTWORK ARE DIAGRAMATIC. FIELD VERIFY LOCATIONS.
  - DDC BUILDING CONTROLS SHALL BE DELTA PROVIDED AND INSTALLED BY IB CONTROLS, 3 POPE ROAD, WINDHAM, ME. NO OTHER SUBSTITUTIONS WILL BE PERMITTED.
  - IB CONTROLS SHALL PROVIDE A MINIMUM OF CAT 6 FOR ALL DATA CABLE.
  - IB CONTROLS SHALL INCLUDE ALL PROGRAMMING AND CHANGES TO THE EXISTING GRAPHIC INTERFACE AS NECESSARY TO ACCOMMODATE THE CHANGES AS NOTED ON THE DRAWINGS.
  - CONTROL SEQUENCE FOR THE NEW TERMINAL UNIT SHALL BE THE SAME AS THE EXISTING TERMINAL UNITS.
  - MOUNT TEMPERATURE SENSORS 48" AFF TO CENTERLINE OF ITEM.

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Project Title  
**USM LUTHER BONNEY HALL 2ND FLOOR RENOVATION**  
Portland, Maine

Harriman Project No. 12677

Key Plan

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Drawing Scale	
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Mark	Date	Description
-	10-15-12	ISSUED FOR BIDDING

Drawing Status

Drawing Title  
**DETAILS, SCHEDULES AND NOTES**

PA/PE: CG Drawn By: JSL

Drawing Number  
**M30.1**

# ELECTRICAL LEGEND

- LP-1,2 <---> HOMERUN TO PANEL - ARROWS INDICATE NUMBER OF CIRCUITS. CROSS LINES INDICATE NUMBER OF CONDUCTORS OTHER THAN TWO (PROVIDE NUMBER OF WIRES REQUIRED TO ALLOW SWITCHING SHOWN - E10 SERIES LIGHTING DRAWINGS)
- CIRCUIT NUMBER(S)
- PANEL DESIGNATION
- WIRING CONCEALED IN WALL OR CEILING
- WIRING IN RACEWAY CONCEALED UNDER FLOOR
- UG - WIRING IN RACEWAY CONCEALED UNDERGROUND
- E - EXISTING WIRING
- LIGHTING
- RECESSED 2' X 4'
- RECESSED 2' X 2'
- RECESSED 2' X 2' LIFE SAFETY
- RECESSED DOWN LIGHTING
- RECESSED DOWN LIGHTING LIFE SAFETY
- SURFACE MOUNTED 1' X 6'
- SURFACE MOUNTED 1' X 8' LIFE SAFETY
- S<sub>1</sub> SINGLE POLE SWITCH - MOUNTED C/L UP 48" UNLESS NOTED OTHERWISE - SUBLETTER INDICATES SWITCH CONTROL - SEE DETAIL THIS DRAWING
- S<sub>3</sub> THREE WAY SWITCH
- S<sub>4</sub> FOUR-WAY SWITCH
- ◇ WALL MOUNTED OCCUPANCY SENSOR SWITCH
- ◇ CEILING MOUNTED OCCUPANCY SENSOR SWITCH - SEE OCCUPANCY SENSOR CONTROL DIAGRAM THIS DRAWING
- POWER
- POWERPOLE
- JUNCTION BOX
- VOICE & DATA OUTLET - WALL BOX WITH TWO 1" C TO ABOVE AN ACCESSIBLE CEILING - MOUNTED C/L UP 48" UNLESS NOTED OTHERWISE
- DUPLEX CONVENIENCE RECEPTACLE - MOUNTED C/L UP 24" UNLESS NOTED OTHERWISE
- DOUBLE DUPLEX CONVENIENCE RECEPTACLE - MOUNTED C/L UP 24" UNLESS NOTED OTHERWISE
- GFCI DUPLEX CONVENIENCE RECEPTACLE - MOUNTED C/L UP 48" UNLESS NOTED OTHERWISE
- PUSH BUTTON
- LIFE SAFETY
- FIRE ALARM MANUAL PULL STATION - MOUNTED C/L UP 48"
- FIRE ALARM HORN/LIGHT UNIT. CANDLE POWER (CP) PER NFPA 72 AND AS NOTED - 15/75 WHERE NOT OTHERWISE INDICATED ON PLANS - MOUNTED BOTTOM OF STROBE UP 60" ON WALL
- FIRE ALARM STROBE LIGHT UNIT. CANDLE POWER (CP) PER NFPA 72 AND AS NOTED - 15/75 WHERE NOT OTHERWISE INDICATED ON PLANS - MOUNTED BOTTOM OF STROBE UP 60" ON WALL
- FIRE ALARM HORN UNIT
- FIRE ALARM SMOKE DETECTOR
- FIRE ALARM MANUAL PULL STATION
- CEILING MOUNTED EXIT SIGN - DOUBLE FACE
- WALL MOUNTED EXIT SIGN - SINGLE FACE
- CEILING RECESSED EMERGENCY BATTERY REMOTE LIGHT
- GENERAL
- KEYNOTE TAG

# DEMOLITION NOTES

- ELECTRICAL INDICATED IS AS GENERALLY FOUND (JULY 2012). THE INTENT OF THE DEMOLITION PLANS ARE TO DOCUMENT SPECIFIC EXISTING CONDITIONS. HOWEVER, NOT ALL ELECTRICAL DEVICES ARE INDICATED ON THE DRAWINGS. CONTRACTOR SHALL FIELD VERIFY AND ADJUST WORK TO SUIT ALL FOUND.
- REFER TO NON-DEMO PLANS TO DETERMINE EXTENT OF WORK IN EACH AREA, INCLUDING WHETHER DEVICES ARE TO REMAIN, BE REMOVED, REPLACED, ETC... EXCEPT AS NOTED, GENERALLY THE INTENT IS THAT IF EXISTING DEVICES ARE SHOWN ON THE EXISTING CONDITIONS PLANS AND NEW DEVICES ARE SHOWN ON THE NON-DEMO PLANS THEN EXISTING DEVICES ARE TO BE REMOVED OR REPLACED. IF EXISTING DEVICES ARE SHOWN ON BOTH THEN THE DEVICES ARE TO REMAIN.
- ALL EXISTING ITEMS INTENDED FOR REMOVAL SHALL BE REMOVED WITH ALL ASSOCIATED HARDWARE INCLUDING, BUT NOT LIMITED TO, CONDUIT, BOXES, WIRING, CABLES, HANGERS, ETC...
- SEE MECHANICAL DRAWINGS FOR MECHANICAL EQUIPMENT TO BE REMOVED. COMPLETELY REMOVE ALL ASSOCIATED CONDUIT, BOXES, WIRING, ETC...
- CONDUIT IN GOOD CONDITION AND PROPERLY LOCATED MAY BE REUSED WHERE APPLICABLE. UNLESS NOTED OTHERWISE.
- THE CONTRACTOR SHALL ARRANGE TO EXECUTE ALL WORK AT SUCH TIMES AND IN SUCH LOCATIONS TO PROVIDE UNINTERRUPTED SERVICES FOR THE EXISTING BUILDING OR ANY OF ITS SECTIONS. IF NECESSARY, TEMPORARY WORK SHALL BE INSTALLED TO PROVIDE FOR THIS CONDITION. AUTHORIZATION FOR INTERRUPTING THE SERVICE SHALL BE OBTAINED IN WRITING FROM THE OWNER.

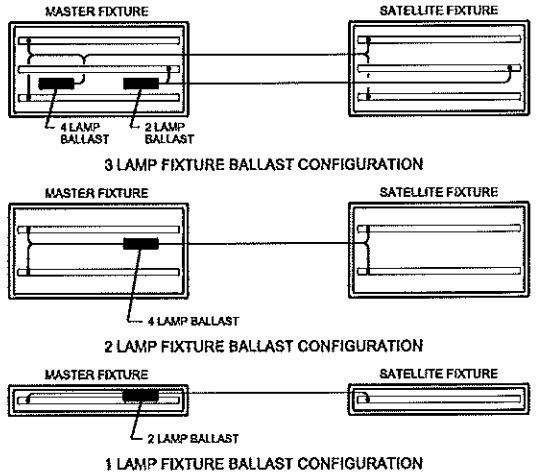
# EXISTING EQUIPMENT LEGEND

DASHED INDICATES EXISTING ELECTRICAL DEVICE / APPLIANCE ETC (REFER TO LEGEND FOR TYPE)

ELECTRICAL NOTES		C1
	REF:	

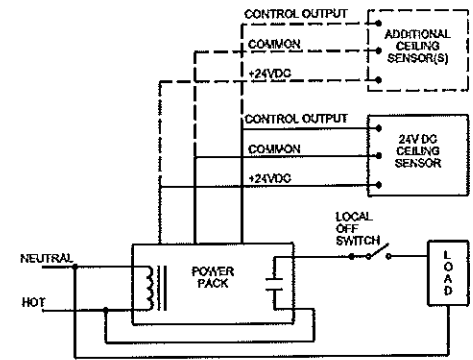
LIGHTING FIXTURE SCHEDULE								
ALL FIXTURES SHALL BE FURNISHED COMPLETE WITH ALL HARDWARE LAMPS, HANGERS, FITTINGS, ETC. FOR A COMPLETE AND PROPER INSTALLATION								
TYPE	MANUFACTURER	CATALOG NO.	MTG.	VOLT	LAMPS			REMARKS/BALLAST INFORMATION
					NO.	WATT	TYPE	
A	4' SURFACE WRAP							
	COLUMBIA APPROVED EQUAL	WC4-232-EU	S	UNV	2	32	TS	
B	1X4 SURFACE MOUNT INDIRECT							
	COLUMBIA LITHONIA	STP14-232-MPO-ST-E-U AVSM-232-MDR-DLS-MVOLT-BE810IS	S	UNV	2	32	TS	
D	NOT USED							
DT	NOT USED							
DZ	NOT USED							

LIGHTING FIXTURE SCHEDULE		B1
	REF:	

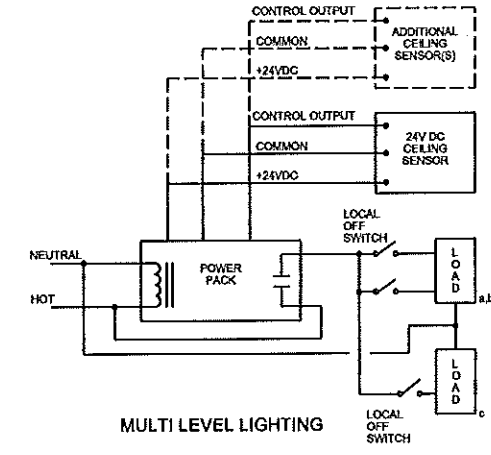


### BALLAST CONFIGURATION DETAILS:

- IT IS THE INTENT OF THE DESIGN TO MAXIMIZE THE USE OF MULTI-LAMP BALLASTS TO DRIVE THE FIXTURE LAMPS WHERE FIXTURES RUN END TO END OR ARE WITHIN THE STANDARD 11 FOOT BALLAST WHEN LENGTH, FIXTURES SHALL BE CONFIGURED IN BALLASTED PAIRS. IN ALL CASES, BALLASTS SHALL BE INSTALLED TO DRIVE THE EXACT NUMBER OF LAMPS THEY ARE DESIGNED TO SERVE. SEVERAL OF THE MORE TYPICAL LAMP CONFIGURATIONS ARE SHOWN ABOVE.
- THE CONTRACTOR SHALL COORDINATE SPECIAL BALLAST CONFIGURATIONS TO SERVE LAMPS SERVED BY AN EMERGENCY GENERATOR. ODD QUANTITIES OF FIXTURES RESULTING IN UNEVEN FIXTURE PAIRS AND SPECIAL SWITCHING REQUIREMENTS. CONFIGURE BALLASTS TO MEET MULTI LEVEL SWITCHING REQUIREMENTS. IN GENERAL, SPECIAL BALLAST CONFIGURATIONS ARE NOT IDENTIFIED ON A FIXTURE BY FIXTURE BASIS ON THE DOCUMENTS. IT IS THE CONTRACTORS RESPONSIBILITY TO COORDINATE THESE REQUIREMENTS. A MINIMUM NUMBER OF SINGLE LAMP BALLASTS MAY BE USE AS REQUIRED TO MEET THESE NEEDS.



NOTE: QUANTITY, AND LOCATION OF OFF SWITCHES AS SHOWN ON FLOOR PLAN DRAWINGS.



### MULTI LEVEL LIGHTING

WIRE POWER PACK TO CIRCUIT INDICATED ON FLOOR PLANS.

LEGEND		A3
	REF:	

TYPICAL FIXTURE BALLAST CONFIGURATIONS		A2
NO SCALE	REF: -	

OCCUPANCY SENSOR CONTROL DIAGRAM		A1
NO SCALE	REF: -	

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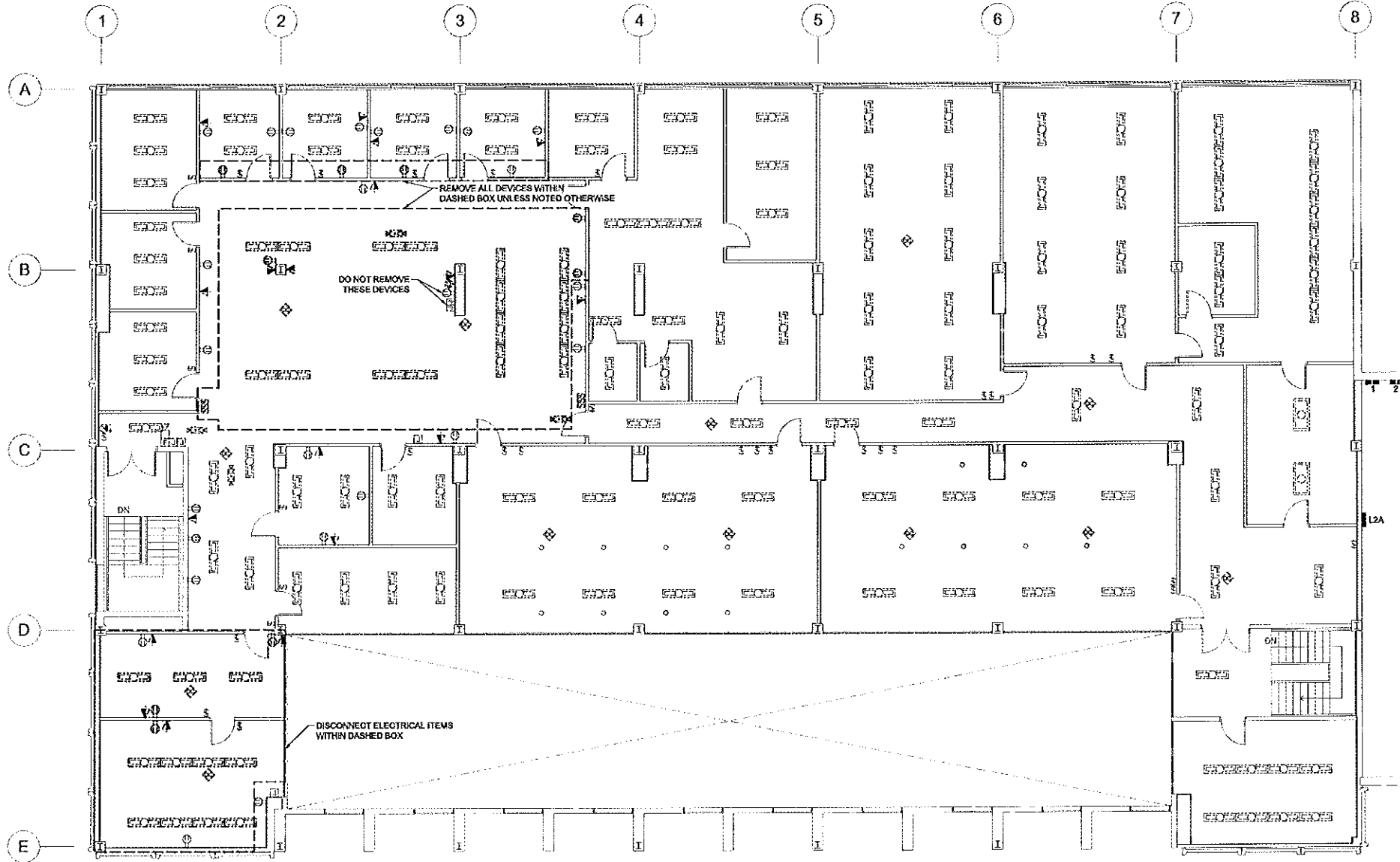
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Date	By	Description
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12-15-12	90% REVIEW	
10-02-12	75% REVIEW	

Drawing Status	

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**ELECTRICAL LEGEND & LIGHTING FIXTURE SCHEDULE**  
PA/PE: JMT Drawn By: DSH  
Drawing Number  
**E00.1**





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Drawing Title

Drawing Title  
**ELECTRICAL EXISTING CONDITIONS PART PLAN**

PA/PE: JNT      Drawn By: DSH

Drawing Number  
**E05.1**

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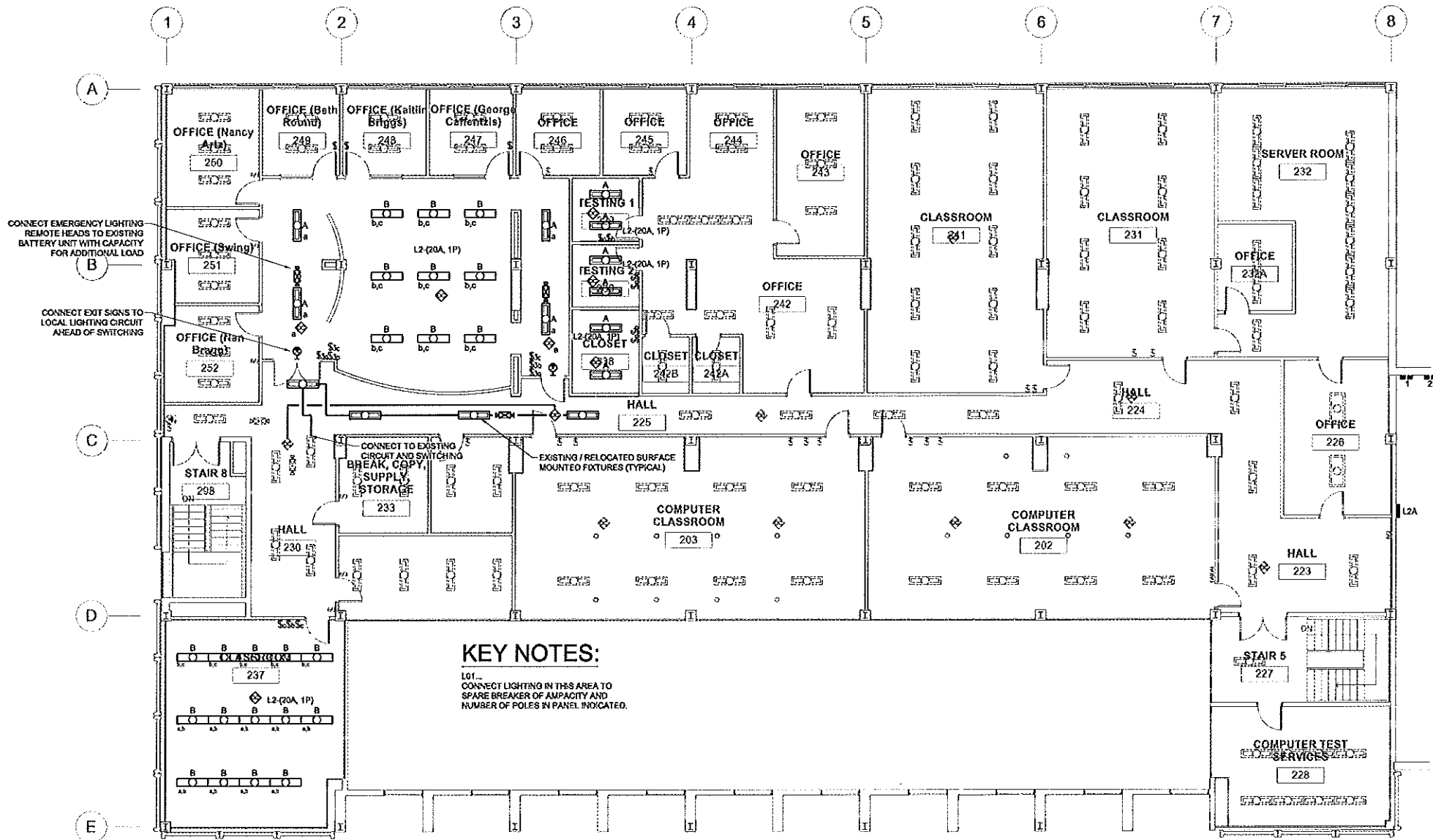
Issue Dates

Drawing Status

Drawing Title  
**LIGHTING PART PLAN**

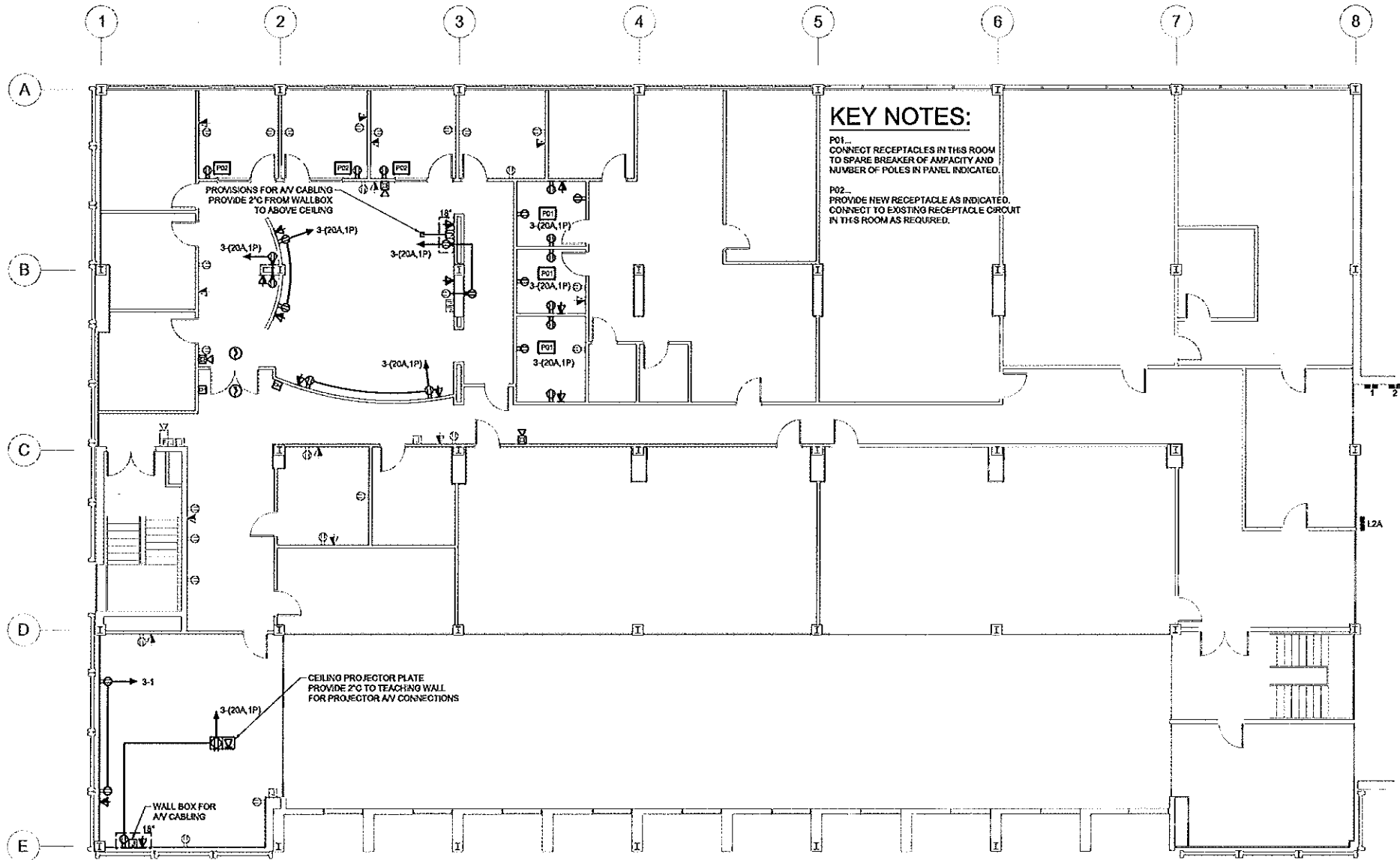
PA/PE: JNT Drawn By: JNT

Drawing Number  
**E10.1**



**KEY NOTES:**

L01...  
CONNECT LIGHTING IN THIS AREA TO SPARE BREAKER OF AMPACITY AND NUMBER OF POLES IN PANEL INDICATED.



**KEY NOTES:**

P01 - CONNECT RECEPTACLES IN THIS ROOM TO SPARE BREAKER OF AMPACITY AND NUMBER OF POLES IN PANEL INDICATED.

P02 - PROVIDE NEW RECEPTACLE AS INDICATED. CONNECT TO EXISTING RECEPTACLE CIRCUIT IN THIS ROOM AS REQUIRED.

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	12-03-12	75% REVIEW

Drawing Status

Drawing Title  
**FIRST FLOOR PLAN POWER**

PA / PE: **JWT** Drawn By: **JWT**

Drawing Number  
**E20.1**