

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



CITY OF PORTLAND

BUILDING PERMIT

This is to certify that University of Maine

Located At 96 FALMOUTH ST

Job ID: 2012-10-5289-ALTCOMM

CBL: _114A- A-001-001

has permission for Interior renovations to second floor (Honors Center/ Lounge).

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

Fire Prevention Officer

Code Enforcement Officer / Plan Reviewer

11/29/2012

THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY
PENALTY FOR REMOVING THIS CARD

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
 - **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
 - **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**
1. Close In Elec/Plmb/Frame prior to insulate or gypsum
 2. Final Inspection

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



PORTLAND MAINE

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Director of Planning and Urban Development
Jeff Levine

Job ID: 2012-10-5289-ALTCOMM Located At: 96 FALMOUTH ST CBL: 114A- A-001-001

Conditions of Approval:

Building

1. Separate permits are required for any electrical: plumbing, sprinkler, fire alarm, HVAC systems, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.
2. Interior wall and ceiling finish requirements by occupancy shall comply with Table 803.9.
3. Ventilation of this space is required per ASRAE 62.2 , 2007 edition.
4. **Note: Plans indicate “20-Minute Fire Door” see the table below for “1-hour” required assembly rating minimal corridor fire door and shutter assembly ratings.**

**TABLE 715.4
FIRE DOOR AND FIRE SHUTTER FIRE PROTECTION RATINGS**

TYPE OF ASSEMBLY	REQUIRED ASSEMBLY RATING (hours)	MINIMUM FIRE DOOR AND FIRE SHUTTER ASSEMBLY RATING (hours)
Fire walls and fire barriers having a required fire-resistance rating greater than 1 hour	4	3
	3	3 ^a
	2	1½
	1½	1½
Fire barriers having a required fire-resistance rating of 1 hour: Shaft, exit enclosure and exit passageway walls Other fire barriers	1	1
	1	¾
Fire partitions: Corridor walls Other fire partitions	1	½ ^b
	0.5	½ ^b
	1	¾
	0.5	½
Exterior walls	3	1½
	2	1½
	1	¾
Smoke barriers	1	½ ^b

a. Two doors, each with a fire protection rating of 1½ hours, installed on opposite sides of the same opening in a fire wall, shall be deemed equivalent in fire protection rating to one 3-hour fire door.

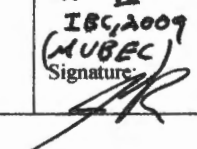
b. For testing requirements, see Section 715.4.3.

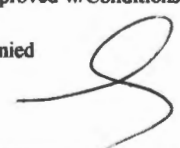
Fire

1. All construction shall comply with City Code Chapter 10.
2. This permit is being approved on the basis of the plans submitted. Any deviation from the plans would require amendments and approval.
3. All outstanding code violations shall be corrected prior to final inspection.
4. Central Station monitoring for addressable fire alarm systems shall be by point.
5. The fire alarm system shall be reviewed by a licensed contractor for code compliance. Compliance letters are required.
6. A separate Fire Alarm Permit is required for new systems; or for work effecting more than 5 fire alarm devices; replacement of a fire alarm panel with a different model; or installation of a master box. This review does not include approval of fire alarm system design or installation.
7. Fire Alarm system shall be maintained. If system is to be off line over 4 hours a fire watch shall be in place. Dispatch notification required 874-8576.
8. Fire alarm system requires a master box connection per city ordinance. Master box design and installation shall in conformance with Fire Department Regulations and approved by Fire Department Electrical Division.
9. The building requires a Knox Box per city ordinance.
10. Fire extinguishers are required per NFPA 1.
11. All means of egress to remain accessible at all times.
12. Emergency lights and exit signs are required. Emergency lights and exit signs are required to be labeled in relation to the panel and circuit and on the same circuit as the lighting for the area they serve.
13. Any cutting and welding done will require a Hot Work Permit from Fire Department.
14. Walls in structure are to be labeled according to fire resistance rating. IE; 1 hr. / 2 hr. / smoke proof.
15. A single source supplier should be used for all through penetrations.
16. Non-combustible construction of this structure requires all construction to be Non-combustible.

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: 2012-10-5289-ALTCOMM	Date Applied: 10/26/2012	CBL: 114A- A-001-001	
Location of Construction: 85 BEDFORD ST - 2ND FLOOR	Owner Name: UNIVERSITY OF SOUTHERN MAINE	Owner Address: 107 MAINE AVE BANGOR, ME 04401	Phone:
Business Name: Luther Bonney Hall	Contractor Name: TBD - contact person: Adam Thibodeau	Contractor Address: 96 Falmouth Street, Portland, ME 04104	Phone: 780-4751
Lessee/Buyer's Name:	Phone:	Permit Type: BLDG ALT	Zone: R-5 & USM overlay
Past Use: University - Luther Bonney Hall	Proposed Use: Same: University - to make alterations on the 2nd floor of Luther Bonney Hall as per plans	Cost of Work: \$75,000.00	CEO District:
		Fire Dept: 11/29/12 <input checked="" type="checkbox"/> Approved w/ conditions <input type="checkbox"/> Denied <input type="checkbox"/> N/A	Inspection: Use Group: B Type: II IBC, 2009 (MUBEC) Signature: 
Proposed Project Description: interior renovations to create department suite		Pedestrian Activities District (P.A.D.)	
Permit Taken By: Gayle		Zoning Approval	

<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building Permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False informatin may invalidate a building permit and stop all work.</p>	<p>Special Zone or Reviews</p> <p><input type="checkbox"/> Shoreland</p> <p><input type="checkbox"/> Wetlands</p> <p><input type="checkbox"/> Flood Zone</p> <p><input type="checkbox"/> Subdivision</p> <p><input type="checkbox"/> Site Plan</p> <p>— Maj — Min — MM</p> <p>Date: 10/29/12</p>	<p>Zoning Appeal</p> <p><input type="checkbox"/> Variance</p> <p><input type="checkbox"/> Miscellaneous</p> <p><input type="checkbox"/> Conditional Use</p> <p><input type="checkbox"/> Interpretation</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Denied</p> <p>Date:</p>	<p>Historic Preservation</p> <p><input checked="" type="checkbox"/> Not in Dist or Landmark</p> <p><input type="checkbox"/> Does not Require Review</p> <p><input type="checkbox"/> Requires Review</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Approved w/Conditions</p> <p><input type="checkbox"/> Denied</p> <p>Date: </p>
	CERTIFICATION		

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

12-5-12 DWM Rob 699-9030 Below grid walls OK.

Provide 1 hr construction to deck above.

12-7-12 DWM Mark Lee 784-5100 consult.

1-4-13 DWM/BKL/~~John Martell~~ John Martell Fire Gail ~~TCO OK~~

1-7-13 DWM/BKL/John Martell Rob Fire & Elec Gail TCO OK

Adam 699-9198

Entered
electronic
file

2012 10 5089



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>88 Bedford Street</u> <u>85 Bedford</u>		
Total Square Footage of Proposed Structure/Area 2,500 SF Renovation		Square Footage of Lot N/A
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# G8SW/F8NW 114A A001	Applicant * must be owner, Lessee or Buyer * Name University of Southern Maine Address c/o Adam Thibodeau City, State & Zip Portland, Maine 04104	Telephone: 207-780-4751
Lessee/DBA (If Applicable) RECEIVED OCT 26 2012	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>75,000.00</u> C of O Fee: \$ <u>75.00</u> Total Fee: \$ <u>845.00</u>
<p>Dept. of Building Inspections</p> <p>Current legal use (i.e. single family) <u>City of Portland, Maine Business (College/University) - No change of use.</u> <u>Luther Bonney Hall</u></p> <p>If vacant, what was the previous use? _____ <u>2nd floor</u></p> <p>Proposed Specific use: _____</p> <p>Is property part of a subdivision? _____ If yes, please name _____</p> <p>Project description: <u>Minor interior renovation to create department suite for the Honors Program.</u> <u>Creation of rated exit access corridor to improve occupant safety. Removal of non-load bearing wall to a create classroom from two separate rooms.</u></p>		
Contractor's name: <u>Not yet selected</u>		
Address: _____		
City, State & Zip _____		Telephone: _____
Who should we contact when the permit is ready: _____		Telephone: _____
Mailing address: _____		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Signature] Date: 10/18/12

This is not a permit; you may not commence ANY work until the permit is issue



Certificate of Design

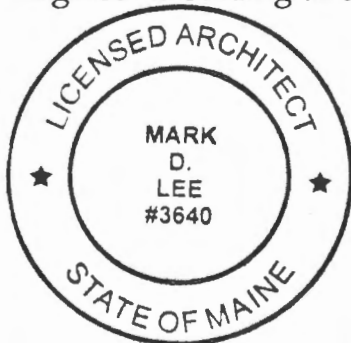
Date: October 17, 2012

From: Harriman - Mark D. Lee, AIA

These plans and / or specifications covering construction work on:

USM Luther Bonney Hall 2nd Floor Renovation

Have been designed and drawn up by the undersigned, a Maine registered Architect / Engineer according to the *2003 International Building Code* and local amendments.



(SEAL)

Signature: 

Title: Mark D. Lee, AIA

Firm: Harriman

Address: 46 Harriman Drive

Auburn, Maine 04210

Phone: 207-784-5100

For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov

**City of Portland General Building Permit Application
Fire Department Requirements***Name of Applicant:*

University of Southern Maine
Adam Thibodeau, Director of Engineering and Architectural Services
25 Bedford Street, Portland, ME 04104

Name of Architect:

Mark D. Lee, AIA
Harriman
46 Harriman Drive
Auburn, ME 04210

Name of Project

USM Luther Bonney Hall 2nd Floor Renovation
Portland, Maine

Proposed use of structure:

Business
Existing Business Occupancy (NFPA 101 Chapter 39)
Business (IEBC)

Square footage of proposed structure (total and per story):

2,500 SF interior renovation to 2nd floor of existing structure

Existing and proposed fire protection of structure:

Building is partially sprinkled. Portion of building where renovation is occurring is not sprinkled. This is separated from the sprinkled portion of the building. Renovation improves egress protection of occupants by creating a fire rated corridor to the stair exit

See included Life Safety Plan for the following items:

- Fire Resistance ratings of all Means of Egress
- Travel Distance from most remote point to exit discharge
- Location of any required fire extinguishers
- Location of emergency Lighting
- Location of Fire Alarm devices
- Location of exit signs
- NFPA 101 code summary



Certificate of Design Application

From Designer:

Harriman - Mark D. Lee, AIA

Date:

October 17, 2012

Job Name:

USM Luther Bonney Hall 2nd Floor Renovation

Address of Construction:

88 Bedford Street, Portland, Maine 04104

2003 International Building Code

Construction project was designed to the building code criteria listed below:

Building Code & Year IBC/IEBC/NFPA Use Group Classification (s) Business

Type of Construction II Unprotected (0,0,0)

Will the Structure have a Fire suppression system in Accordance with Section 903.3.1 of the 2003 IRC N/A - Not a residence

Is the Structure mixed use? No If yes, separated or non separated or non separated (section 302.3) _____

Supervisory alarm System? Yes* Geotechnical/Soils report required? (See Section 1802.2) _____

*No significant work to existing FA system. Existing duct smoke detector, pull station initiation. See drawing A02.1 for FA devices in area of work.

Structural Design Calculations

_____ Submitted for all structural members (106.1 - 106.11)

- _____ Live load reduction
- _____ Roof *live* loads (1603.1.2, 1607.11)
- _____ Roof snow loads (1603.7.3, 1608)
- _____ Ground snow load, P_g (1608.2)
- _____ If $P_g > 10$ psf, flat-roof snow load P_f
- _____ If $P_g > 10$ psf, snow exposure factor, C_e
- _____ If $P_g > 10$ psf, snow load importance factor, I_f
- _____ Roof thermal factor, C_t (1608.4)
- _____ Sloped roof snowload, P_s (1608.4)
- _____ Seismic design category (1616.3)
- _____ Basic seismic force resisting system (1617.6.2)
- _____ Response modification coefficient, R_f and deflection amplification factor, C_d (1617.6.2)
- _____ Analysis procedure (1616.6, 1617.5)
- _____ Design base shear (1617.4, 1617.5.1)

Design Loads on Construction Documents (1603)

Uniformly distributed floor live loads (7603.11, 1807)

Floor Area Use	Loads Shown
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____

Wind loads (1603.1.4, 1609)

- _____ Design option utilized (1609.1.1, 1609.6)
- _____ Basic wind speed (1809.3)
- _____ Building category and wind importance Factor, w (table 1604.5, 1609.5)
- _____ Wind exposure category (1609.4)
- _____ Internal pressure coefficient (ASCE 7)
- _____ Component and cladding pressures (1609.1.1, 1609.6.2.2)
- _____ Main force wind pressures (7603.1.1, 1609.6.2.1)

Earth design data (1603.1.5, 1614-1623)

- _____ Design option utilized (1614.1)
- _____ Seismic use group ("Category")
- _____ Spectral response coefficients, S_D s & S_D1 (1615.1)
- _____ Site class (1615.1.5)

Flood loads (1803.1.6, 1612)

- _____ Flood Hazard area (1612.3)
- _____ Elevation of structure

Other loads

- _____ Concentrated loads (1607.4)
- _____ Partition loads (1607.5)
- _____ Misc. loads (Table 1607.8, 1607.6.1, 1607.7, 1607.12, 1607.13, 1610, 1611, 2404)



PORTLAND MAINE

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Receipts Details:

Tender Information: Check , BusinessName: Harriman, Check Number: 163626

Tender Amount: 845.00

Receipt Header:

Cashier Id: gguertin

Receipt Date: 10/26/2012

Receipt Number: 49736

Receipt Details:

Referance ID:	8551	Fee Type:	BP-Constr
Receipt Number:	0	Payment Date:	
Transaction Amount:	770.00	Charge Amount:	770.00
Job ID: Job ID: 2012-10-5289-ALTCOMM - interior renovations to create department suite			
Additional Comments: Harriman			

Referance ID:	8558	Fee Type:	BP-C of O
Receipt Number:	0	Payment Date:	
Transaction Amount:	75.00	Charge Amount:	75.00
Job ID: Job ID: 2012-10-5289-ALTCOMM - interior renovations to create department suite			

HARRIMAN

Harriman | Auburn Business Park 46 Harriman Drive Auburn, Maine 04210 United States

Transmittal

ID: 00012

Date Sent: 11/13/2012

Project: USM Luther Bonney Hall Second Floor Renovation

Number: 12677

To: Jonathan Rioux
City of Portland / Planning Division
United States
874-8702 (Phone)

From: Eric Potvin
Harriman
Auburn Business Park
46 Harriman Drive
Auburn, Maine 04210
United States
207-784-5100 (Phone)
207-782-3017 (Fax)

Subject: Section Through Corridor

Via: Info Exchange

Purpose: As requested

Remarks: Please find SK01 attached. (Section through Corridor) As requested. I will call to follow up. Let us know if you need any further information.

Thank you,

CC: Mark Lee(Harriman)
Adam L. Thibodeau LEED AP(University of Southern Maine)

Description of Contents

Quantity	Title	Number	Date	Scale	Size	Revision
1	SK01-SECTION THROUGH CORRIDOR.pdf		11/13/2012			

Jonathan Rioux - 12677: USM Luther Bonney Hall Second Floor Renovation - File Transfer - Section Through Corridor

From: "Eric Potvin" <epotvin@harriman.com>
To: <JRioux@PortlandMaine.gov>
Date: 11/13/2012 10:01 AM
Subject: 12677: USM Luther Bonney Hall Second Floor Renovation - File Transfer - Section Through Corridor
Attachments: Transmittal - 00012.pdf

IMPORTANT: Click a link below to access files associated with this transmittal that came in through the Harriman Info Exchange web site. The attached file contains the transmittal details.

[Click here to download associated files](#)

Project Name: USM Luther Bonney Hall Second Floor Renovation
Project Number: 12677
From: Eric Potvin (Harriman)
To: Jonathan Rioux (City of Portland / Planning Division)
CC: Mark Lee (Harriman); Adam L. Thibodeau LEED AP (University of Southern Maine)
Subject: Section Through Corridor
Sent via: Info Exchange
Expiration Date: 11/27/2012
Remarks: Please find SK01 attached. (Section through Corridor) As requested. I will call to follow up. Let us know if you need any further information.

Thank you,

Transferred Files

Name	Type	Date	Time	Size
SK01-SECTION THROUGH CORRIDOR.pdf	PDF File	11/13/2012	9:53 AM	25 KB

To share and learn more about Newforma Info Exchange visit www.newformant.com



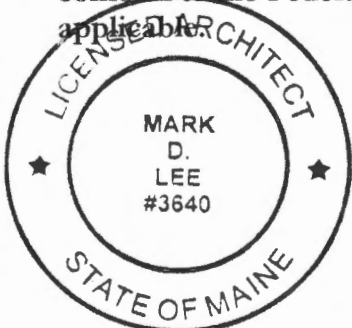
Accessibility Building Code Certificate

Designer: Harriman - Mark D. Lee, AIA

Address of Project: 88 Bedford Street, Portland Maine (USM Luther Bonney Hall 2nd Floor)

Nature of Project: Minor interior renovation to create department suite for the Honors Program.
Creation of rated exit access corridor to improve occupant safety. Removal of non-load bearing wall to a create classroom from two separate rooms.

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act. Residential Buildings with 4 units or more must conform to the Federal Fair Housing Accessibility Standards. Please provide proof of compliance if applicable.



(SEAL)

Signature: 

Title: Mark D. Lee, AIA

Firm: Harriman

Address: 46 Harriman Drive

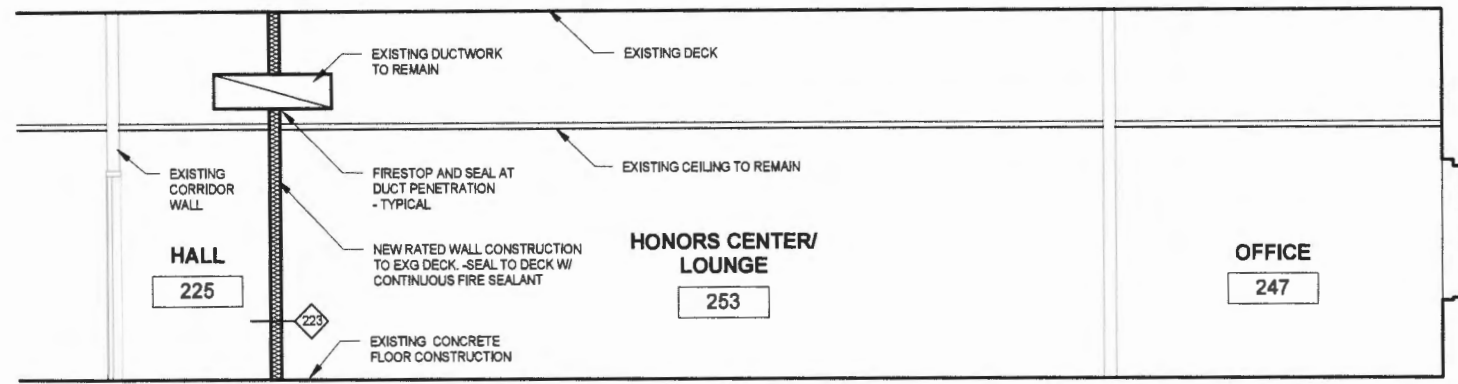
Auburn, Maine 04210

Phone: 207-784-5100

For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov

HARRIMAN
 Architects + Engineers
 Auburn, ME 207.784.5100 tel
 Portland, ME 207.775.0053 tel
 Manchester, NH 603.626.1242 tel
 www.harriman.com © 2012

Project Title
USM LUTHER BONNEY HALL 2ND FLOOR RENOVATION
 Portland, Maine
 HA Project No. 12677



11/13/12	ISSUED W/ BUILDING PERMIT APPLICATION

Date	11/13/12
Scale	1/4" = 1'-0"

Drawing Title
SECTION THROUGH CORRIDOR
 Drawing Number
SK01

1 SECTION THROUGH CORRIDOR
 SCALE: 1/4" = 1'-0"

RECEIVED
 NOV 13 2012
 Dept. of Building Inspections
 City of Portland Maine



Certificate of Occupancy

CITY OF PORTLAND, MAINE

Department of Planning and Urban Development
Building Inspections Division



Location: 96 FALMOUTH ST

CBL: 114A A001001

Issued To: University Of Maine /Landry/French Construction Corp

Issued Date: 01/07/2013

This is to certify that the building, premises, or part thereof, at the above location, built-altered-changed as to use under Building Permit No. 201249721 has had a final inspection, has been found to conform substantially to the requirements of the Building Code and the Land Use Code of the City of Portland, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

LUTHER BONNEY HALL
SECOND FLOOR HONORS
CENTER/LOUNGE #253, CLASSROOM
#237, AND TESTING/ SUPPLIES ROOMS
#242C, #242D, & #242E

APPROVED OCCUPANCY

USE GROUP B
TYPE 11-B
UNIVERSITY
IBC 2009 (MUBEC)

LIMITING CONDITIONS: LIMITING CONDITIONS: THIS IS A TEMPORARY CERTIFICATE OF OCCUPANCY AND IT EXPIRES ON MARCH 7, 2013, PENDING:
THE ENTIRE FIRE SYSTEM MUST PASS INSPECTION AND BE STICKERED;
THE BUILDING REQUIRES A WIRELESS MASTER BOX.

Approved:

Inspector

Inspection Division Director

Notice: This certificate identifies the legal use of the building or premises, and ought to be transferred from owner to owner upon the sale of the property.

114A ACC1

HARRIMAN

Harriman | Auburn Business Park 46 Harriman Drive Auburn, Maine 04210 United States

Transmittal

ID: 00029
Date Sent: 12/10/2012

Project: USM Luther Bonney Hall Second Floor Renovation
Number: 12677

To: Don McPherson
City of Portland / Planning Division
389 Congress Street
4th Floor
Portland, ME 04101
United States

From: Mark Lee
Harriman
Auburn Business Park
46 Harriman Drive
Auburn, Maine 04210
United States
207-784-5100 (Phone)
207-782-3017 (Fax)

Subject: Corridor Wall Continuity
Via: Email

Purpose: For your information

Remarks: Don,

USM LUTHER BONNEY HALL 2ND FLOOR RENOVATION

Portland, Maine

ISSUED FOR BID

10-15-12

HARRIMAN

Architects • Engineers

46 Harriman Drive
Auburn, ME 04210
207.754.5100 tel

123 McCall Street
Portland, ME 04101
207.775.6633 tel

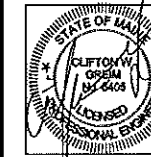
One Franklin Road
Manchester, NH 03103
603.636.1242 tel

www.harriman.com
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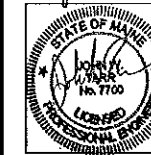
LIST OF DRAWINGS



ARCHITECTURAL DRAWINGS
- COVER
A01.1 ABBREVIATIONS
A02.1 CODE PLAN
A10.1 SECOND FLOOR DEMO PLAN AND SECOND FLOOR PLAN
A10.2 MATERIALS PLAN, REFLECTED CEILING PLAN AND SCHEDULES
A50.1 SCHEDULES, DETAILS AND SECTIONS
A81.1 INTERIOR ELEVATIONS



MECHANICAL DRAWINGS
M05.1 SECOND FLOOR DUCTWORK DEMOLITION
M09.1 SECOND FLOOR DUCT PLAN
M30.1 DETAILS, SCHEDULES AND NOTES



ELECTRICAL DRAWINGS
E00.1 ELECTRICAL LEGEND & LIGHTING FIXTURE SCHEDULE
E05.1 ELECTRICAL EXISTING CONDITIONS PART PLAN
E10.1 LIGHTING PART PLAN
E20.1 FIRST FLOOR PLAN POWER

RECEIVED

NOV 19 2012

Dept. of Building Inspections
City of Portland Maine

SYMBOLS USED AS ABBREVIATIONS

- L --- ANGLE
- C --- CENTER LINE
- F --- FLUTE
- Ø --- DIAMETER
- --- CHANNEL
- --- SQUARE

ABBREVIATIONS

- ABT ABOUT
- ACB ABOVE CEILING BELOW
- AF ABOVE FINISH FLOOR
- AFG ABOVE FINISH GRADE
- AD ACCESS DOOR
- AP ACCESS PANEL
- AC ACOUSTICAL
- AL ACOUSTICAL LINING
- ACT ACOUSTICAL TILE
- ADJ ADJUSTABLE
- ASC AIR CONDITIONING
- ALT ALTERNATE
- AL ALUMINUM
- AB ANCHOR BOLT
- APX APPROXIMATE
- ARCH ARCHITECT (ORAL)

- BDD BACKDRAFT DAMPER
- BJ BAR JOIST
- BSP BASEMENT
- BSP BASE PLATE
- BP BEARING PLATE
- BM BENCH MARK
- BIT BITUMINOUS
- BLG BLOCKING
- BO BOARD
- BOT BOTTOM
- BOF BOTTOM OF FOOTING
- BW BOTTOM OF WALL
- BTU BRITISH THERMAL UNIT
- BUD BUILDING

- CAB CABINET
- CUH CABINET UNIT HEATER
- OPT CASE (ED)
- CI CAST IRON
- CS CATHODIC
- CLG CEILING
- CD CEILING DIFFUSER
- CG CELLING GRILLE
- CHT CEILING HEIGHT
- CMZ CEMENT (TILES)
- CU CENT. METER (S)
- CER CERAMIC
- CTI CERAMIC TILE
- CHD CHALKBOARD
- CHWS CHILLED WATER SUPPLY
- CL COLD WATER
- CLY COLUMN
- CONG CONCRETE
- CONJ CONCRETE MASONRY UNIT
- CR CONDENSATE RETURN
- CONCT CONCRETE
- CONST CONSTRUCTION
- CONT CONTINUE (OUS)
- CONTR CONTRACT (OS)
- CONTR CONTROL JOINT
- CU CONTROL UNIT
- COOR CORRUGATED
- CMP CORRUGATED METAL PIPE
- CFM CUBIC FEET PER MIN.
- CF CUBIC FEET
- CV CUBIC YARD
- CULV CULVERT

- DL DEAD LOAD
- DNT DEMOUNTABLE
- DTL DETAIL
- DAG DIAGONAL
- DA DIAMETER
- DM DIMENSION
- DV DIVISION
- DG DOOR GRILLE
- DJ DOUBLE HUNG
- DF DOUBLE GLASS FR.
- DH DOWN
- DWG DRAWING
- DF DRINKING FOUNTAIN
- DW DUCT WRAP

- ES EACH SIDE
- E EAST
- EFS EXTERIOR INSULATED FINISH SYSTEM
- ELEC ELECTRIC (ALL)
- EW ELECTRIC W/ MANHOLE
- EP ELECTRIC PANEL
- EWCO ELECTRIC WATER COOLER
- EL ELEVATION (S)
- EQ EQUAL
- EST ESTIMATE
- EF EXHAUST FAN
- ER EXHAUST REGISTER
- EKG EXISTING
- EB EXPANSION BOLT
- EXP EXPANSION
- EJ EXPANSION JOINT
- EXT EXTERIOR

- FOC FACE OF CONCRETE
- FOS FACE OF STUD
- FS FAN SIDE
- FA FINISH (ED)
- FL FINISH LENGTH
- FA FIRE ALARM
- FD FIRE DAMPER
- FE FIRE EXTINGUISHER
- FHS FIRE HOSE STATION
- FLG FLASHING
- FC FLEXIBLE CONNECTION
- FLR FLOOR (ING)
- FCD FLOOR CLEANOUT
- FD FLOOR DRAIN
- FRR FLOOR RETURN REGISTER
- FTG FOOTING
- FD FOUNDATION DRAIN
- FAI FRESH AIR INTAKE
- FY MINIMUM YIELD STRESS (KS)

- GA GAGE
- GPM GALLONS PER MINUTE
- GALV GALVANIZED
- GV GATE VALVE
- GC GENERAL CONTRACT (OR)
- G GLASS
- GS GRAB BAR
- G-DW GYPSUM DRY WALL

- H HARDENER
- HTG HEATING
- HVAC HEATING-VENTILATING-AIR CONDITIONING
- HT HEAT
- HPS HIGH PRESSURE STEAM
- HM HOLLOW METAL
- HORIZ HORIZONTAL
- HB HOSE BIB
- HD HURDLE
- HTW HOT TEMPERATURE WATER
- HW HOT WATER
- HTORANT

- ID INSIDE DIAMETER
- INS INSULATE (D) (ON)
- INT INTERIOR
- INV INVERT
- IPS IRON PIPE SIZE

- JC JANITORS O.C. SET
- JT JOINT

- K KIPS
- KSI KIPS PER SQUARE INCH
- KIT KITCHEN

- LAB LABORATORY
- LAM LAMINATE (D)
- LAV LAVATORY
- LF LAWN FAUCET
- LD LIGHTING
- LD LINEAR DIFFUSER
- LD LINE DUCT
- LF LINEAL FEET
- LTEL LITEL
- LL LINE LOAD
- LPW LOW PRESSURE STEAM
- LW LOW TEMPERATURE STEAM
- LW LIMIT OF WORK
- LB(S) POUNDS

- MH MANHOLE
- MD MANUAL DAMPER
- MFR MANUFACTURE (R)
- MAS MASONRY
- MO MASONRY OPENING
- MAX MAXIMUM
- MECH MECHANICAL
- MED MEDICAL
- MET METAL
- MT METAL THRESHOLD
- M METER (S)
- MM MILLIMETER (S)
- MN MINIMUM
- MISO MISCELLANEOUS
- MR MOP RECEPTOR
- MTO MOUNTING
- MTR MOTORISED DAMPER
- MSH 1000 BRITISH THERMAL UNIT

- NS NEARS OF
- NC NORMALLY CLOSED
- NO NORMALLY OPEN
- N NORTH
- NA NOT APPLICABLE
- NJ NOT IN CONTRACT
- NTS NOT TO SCALE
- NO NUMBER

- OFF OFFICE
- OC ON CENTER (S)
- OD OPEN END DUCT
- OPG OPENING
- OPG OFFERING
- OPH OPPOSITE HAND
- OD OUTSIDE DIAMETER
- OH OVER-HEAD

- PNT PAINT (ED)
- PNL PANEL
- PAR PARALLEL
- PTN PARTITION
- PLM PLASTIC LAMINATE
- P PLATE
- PLY PLYWOOD
- PWD POINT
- PT POINT TO POINT
- PWG POLISHED WIRE GLASS
- PC POLYVINYL CHLORIDE
- PSF POUNDS PER SQUARE FOOT
- PSI POUNDS PER SQUARE INCH
- PN PRE-FINISHED
- PL PROPERTY LINE
- P PUMP

- QT QUARRY TILE
- RAD RADIATION
- RAD RADIUS
- REF REFERENCE
- REF REFERENCE
- REFR REFERENCE
- RA RETURN AIR
- RA RETURN AIR
- RR RETURN REGISTER
- REV REVISION (S)
- REV RIGHT OF WAY
- R R-SER
- RD ROOF DRAIN
- RL ROOF LEADER
- RM ROOM
- RU ROUGH OPENING
- RB RUBBER BASE

- S SANITARY
- SEC SECTION
- SSK SERVICE SINK
- SHT SHEET
- SIM SIMILAR
- SK SINK
- SKD SMOKE DAMPER
- S SOL
- SMD SOLID MASONRY UNIT
- SOUTH
- SPF SPRUCE PINE FIR
- SPFC SPECIFICATION (S)
- SQ SQUARE
- SS STAINLESS STEEL
- STD STANDARD
- S STEAM
- STL STEEL
- STOR STORAGE
- SD STORM DRAIN
- SMH STORM DRAIN MANHOLE
- SA SUPPLY AIR
- SG SUPPLY G
- SG SUPPLY GRILLE
- SR SUPPLY REGISTER
- SYM SYMMETRY (CAL)
- SYS SYSTEM

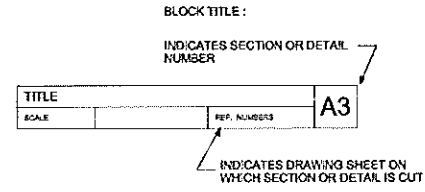
- TAB TACKBOARD
- TEL TELEPHONE
- TV TELEVISION
- TEST TEST BORING
- TEST TEST PIT
- THERM THERMOSTAT
- THICK THICKNESS
- THRN TOILET PARTITION
- T&G TONGUE & GROOVE
- TO TOP OF CONCRETE
- TOF TOP OF FOOTING
- TOF TOP OF STEEL
- TOT TOTAL (ED)
- TD TRANSFER DUCT
- TRG TRANSFER GRILLE
- T TREAD
- TD TRENCH DRAIN
- TYP TYPICAL

- UD UNDERDRAIN
- UGD UNDERGROUND DUCTWORK
- UH UNIT HEATER
- UNO UNLESS NOTED OTHERWISE
- UN UNIT
- UV UNIT VENTILATOR

- VAV VARIABLE AIR VOLUME
- V VENT
- VTR VENT TRU ROOF
- VERT VERTICAL
- VBL VENT BASE
- VCT VINYL COMPOSITION TILE
- VF VINYL FABRIC
- VD VOLUME DAMPER

- W WALL CLEANOUT
- WG WALL GRILLE
- WH WALL HEND
- WR WALL REGISTER
- WC WATER CLOSET
- WC WATER CLOSET HANDICAP
- WCF WELDED WIRE FABRIC
- W WEST, WITH, WIDE
- W WINDOW
- W WITH
- W WITHOUT
- W WOOD
- WP WORKING POINT

PLAN - SECTION



- BUILDING SECTION
- WALL SECTION
- ELEVATION
- DETAIL
- INDICATES SECTION OR DETAIL NUMBER
- INDICATES DRAWING SHEET ON WHICH SECTION OR DETAIL IS SHOWN
- COLUMN REFERENCE GRID
- PARTITION TYPE TAG - NON-RATED
- PARTITION TYPE TAG - FIRE-RATED 1 HOUR OR LESS
- PARTITION TYPE TAG - FIRE-RATED 2 HOURS OR MORE
- INTERIOR ELEVATION MARKER
- ROOM-SPACE NUMBER
- EQUIPMENT NUMBER
- DOOR OR BORROW LIGHT NUMBER
- WINDOW TYPE
- LEVEL LINE
- REVISION
- PROJECT NORTH (MAGNETIC NORTH ARROW USED ON PLOT SITE PLAN ONLY)

PLAN - SECTION

- EARTH
- POROUS FILL (STONE OR GRAVEL, ETC)
- ROCK
- LIGHTWEIGHT CONCRETE (OR CONCRETE FILL)
- STRUCTURAL CONCRETE (CAST-IN-PLACE, PRECAST, ETC)
- BRICK (COMMON OR FACE)
- CONCRETE MASONRY UNITS
- METAL (LARGE SCALE)
- PLYWOOD (LARGE SCALE)
- WOOD, FINISHED
- WOOD, ROUGH
- INSULATION (LOOSE OR BATT)
- INSULATION (RIGID)
- GLASS (LARGE SCALE)
- CERAMIC TILE
- GYPSUM WALL BOARD (FIBERBOARD, ETC.)
- PLASTER, SAND, CEMENT, GROUT
- ACOUSTICAL TILE
- RESILIENT FLOORING
- METAL (SMALL SCALE)

ELEVATIONS

- CONCRETE, PLASTER
- SHEET METAL
- GLAZING
- BRICK

SPECIAL INDICATIONS
PARTITION CONSTRUCTION-PLAN

- STEEL STUD
- EXISTING TO REMAIN
- WOOD STUD
- EXISTING TO BE REMOVED

GENERAL NOTES:

1. CONTRACTOR TO VERIFY ALL FIELD CONDITIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION. FIELD CONDITIONS NOT AGREEING WITH CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE OWNER'S ARCHITECT'S ATTENTION PRIOR TO BEGINNING WORK. CHANGE ORDER EXTRAS FOR WORK DONE, WHICH IS EITHER NOT SHOWN ON THE DRAWINGS, OR AS DESCRIBED IN THE SPECIFICATIONS, OR AT VARIANCE BECAUSE OF FIELD CONDITIONS, MUST RECEIVE PRIOR APPROVAL.
2. CONTRACTOR SHALL NOT SCALE DRAWINGS. DISCREPANCIES BETWEEN EXISTING CONDITIONS AND DRAWINGS SHALL BE REPORTED TO THE ARCHITECT FOR CLARIFICATION PRIOR TO COMMENCEMENT OF CONSTRUCTION. NOTED DIMENSIONS TAKE PRECEDENCE OVER SCALE.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR THE INCLUSION OF ALL WORK NECESSARY FOR A COMPLETE INSTALLATION WHETHER SUCH WORK IS OR IS NOT INDICATED OF THE DRAWINGS OR SPECIFICATIONS.
4. ALL SURFACES DAMAGED BY CONSTRUCTION SHALL BE REPAIRED, PATCHED OR REFINISHED TO MATCH THEIR ADJACENT MATERIALS, AND/OR REPLACED EQUAL TO ORIGINAL STATE PRIOR TO COMMENCEMENT OF WORK UNLESS OTHERWISE INDICATED ON DRAWINGS.
5. THE CONTRACTORS WORK SHALL NOT INTERFERE WITH SAFE EGRESS FROM ANY PART OF THE BUILDING.
6. THE CONTRACTOR SHALL NOT DISCONNECT OR DISRUPT ANY UTILITIES REQUIRED FOR SERVICE TO THE OWNERS OCCUPIED AREAS OF THE BUILDING. FIRE ALARM, ELECTRIC, PHONE, CABLE, TV, COMPUTER NETWORK WIRING, EMERGENCY DEVICES, HEATING LINES, AND OTHER UTILITIES MUST BE MAINTAINED TO ALL OWNER OCCUPIED AREAS OF THE BUILDING.
7. ALL DIMENSIONS ARE TO FACE OF GPW UNLESS NOTED OTHERWISE.

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Project Title
**USM LUTHER BONNEY
HALL 2ND FLOOR
RENOVATION**
Portland, Maine

Harriman Project No: 12677

Key Plan

Drawing Scale	1/8" = 1'-0"
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Mark	Date	Description
---	10-15-12	ISSUED FOR B/D
---	10-10-12	50% REVIEW
---	10-02-12	75% REVIEW

Drawing Status	
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Drawing Title
ABBREVIATIONS

PA/PE: MDL Drawn By: ERP

Drawing Number
A01.1

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CONTRACT DRAWING ABBREVIATIONS

NO SCALE REF: NA

A3

GRAPHIC SYMBOLS LEGEND

NO SCALE REF: NA

A4

MATERIALS LEGEND

NO SCALE REF: NA

A5

Project Title
USM LUTHER BONNEY HALL 2ND FLOOR RENOVATION
Portland, Maine

Harriman Project No. 12677

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Drawing Status
1/8" = 1'-0"

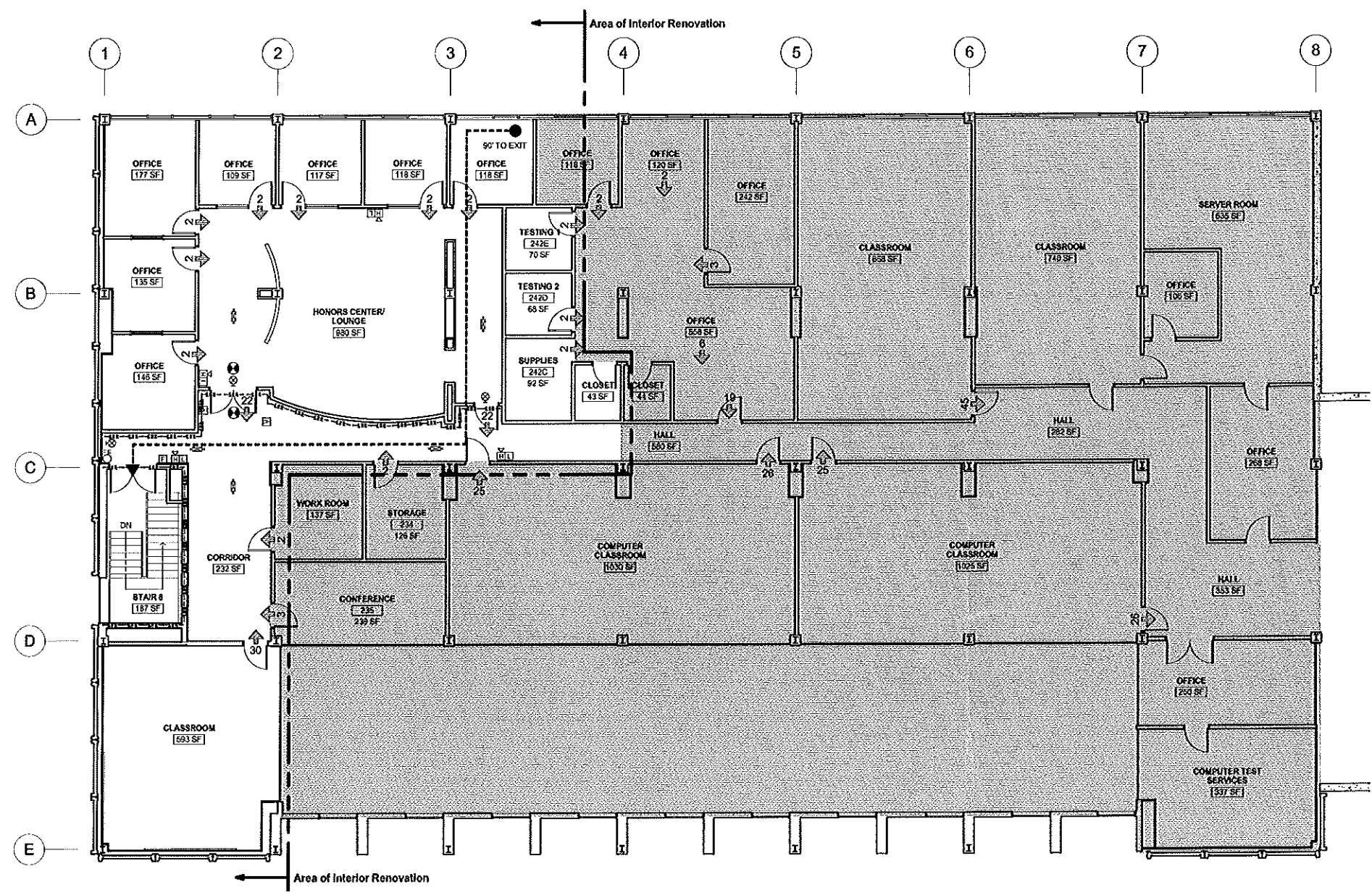
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10-15-12	ISSUED FOR B/D	
10-19-12	50% REVIEW	
10-02-12	75% REVIEW	

Drawing Status

Drawing Title
CODE PLAN

PA/PE MDL Drawn By: ERP

Drawing Number
A02.1



CODE PLAN LEGEND:

- ⊗ EXIT SIGN
- ☒ HORN / STROBE
- ☐ STROBE
- ☞ EMERGENCY LIGHT
- ☒ KNOX BOX
- ☒ FIRE ALARM CONTROL PANEL
- ☒ SMOKE DETECTOR
- ☒ FIRE ALARM PULL STATION
- ☒ ELECTROMAGNETIC DOOR HOLDER
- ☒ MASTER FIRE BOX
- ☒ FIRE DEPT HOSE CONNECTION
- ☒ FIRE EXTINGUISHER
- ⊗ OCCUPANT LOAD

BUILDING DESIGN CODES:

- AMERICANS WITH DISABILITIES ACT (ADA 2010)
- NFPA 101 LIFE SAFETY CODE (2000)
- INTERNATIONAL BUILDING CODE (2009)
- INTERNATIONAL EXISTING BUILDING CODE (2009)
- INTERNATIONAL MECHANICAL CODE (2009)
- ASHRAE /IES STANDARD 60.1 - 2004
- NFPA 70 NATIONAL ELECTRIC CODE (2008)
- NFPA 13

OCCUPANCY CLASSIFICATION:

- NFPA: BUSINESS
- IBC: BUSINESS

CONSTRUCTION TYPE:

- NFPA: TYPE II (500)
- IBC: TYPE IIB

AREA:

BASEMENT:	5,656 SF
FIRST:	26,017 SF
SECOND:	24,692 SF
THIRD:	10,093 SF
FOURTH:	8,138 SF
FIFTH:	6,126 SF
TOTAL:	82,692 SF
AREA OF RENOVATION:	
SECOND:	4,000 SF

FIRE SUPPRESSION:

NOTE: PROJECT AREA - UNSPRINKLED

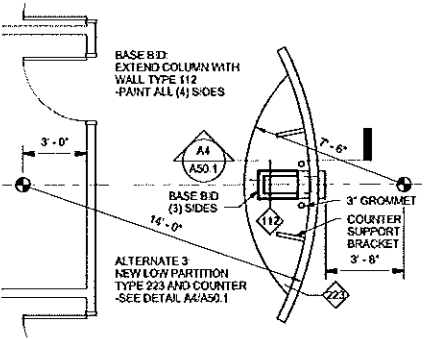
OCCUPANT LOADS:

OFFICE:	100 SF GROSS
MECHANICAL:	300 SF GROSS
STORAGE:	300 SF GROSS
CLASSROOM:	20 SF NET
ASSEMBLY (SEATING):	15 SF NET

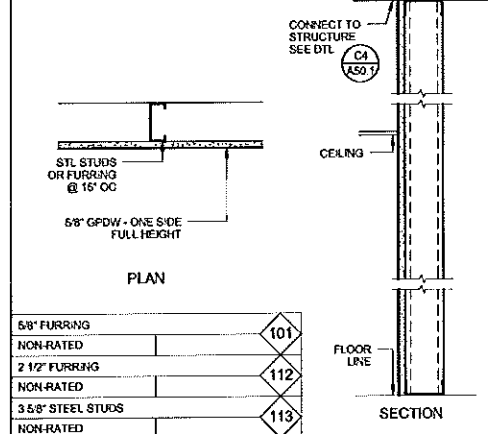
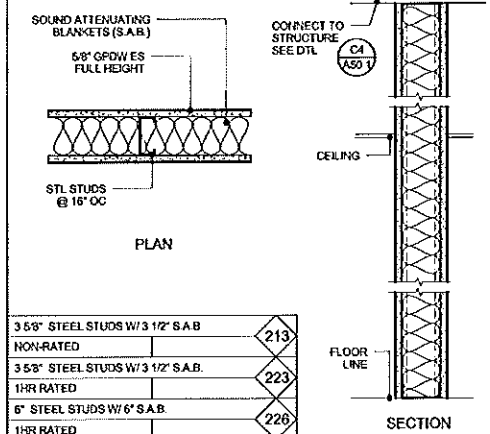
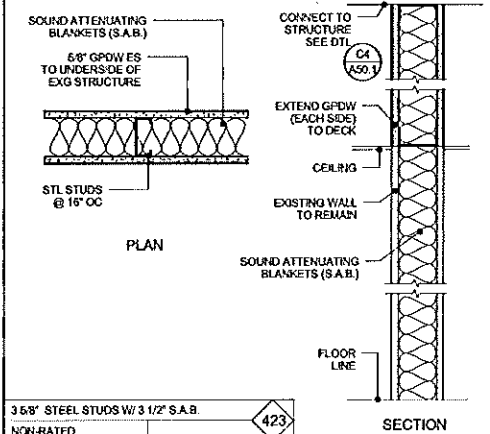
MEANS OF EGRESS:

MAX TRAVEL DISTANCE:	200 FT (NFPA)
DEAD END CORRIDOR:	20 FT
COMMON PATH OF TRAVEL:	75 FT OL < 50
	20 FT OL > 50
	44 IN OL > 50
MIN CORRIDOR WIDTH:	3'-OCCUPANT (VERTICAL)
EXIT CAPACITY:	2'-OCCUPANT (HORIZ)

1 CODE PLAN
SCALE: 1/8" = 1'-0"

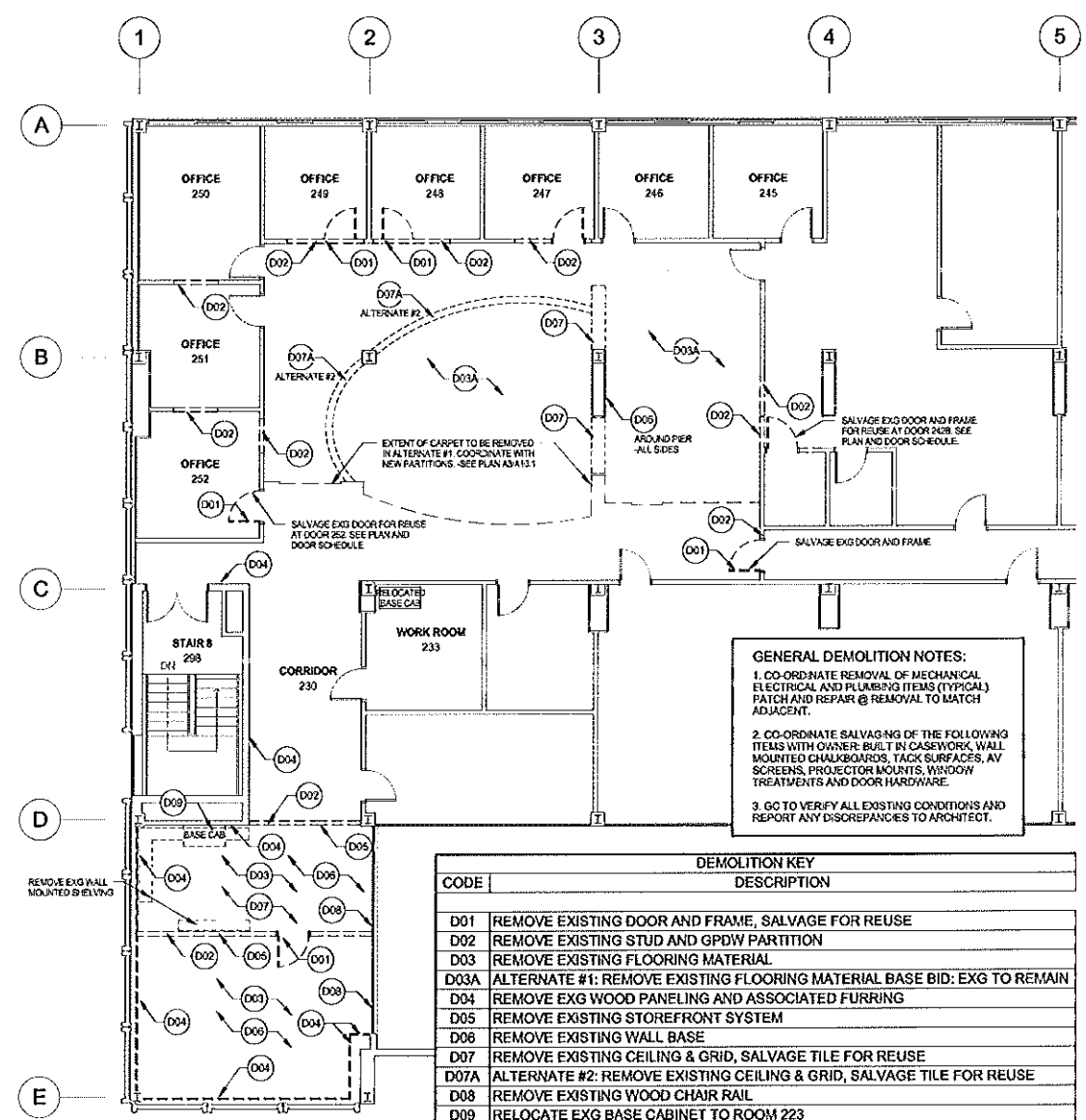


B1 LOW PARTITION (ALTERNATE #3)
SCALE: 1/4" = 1'-0"



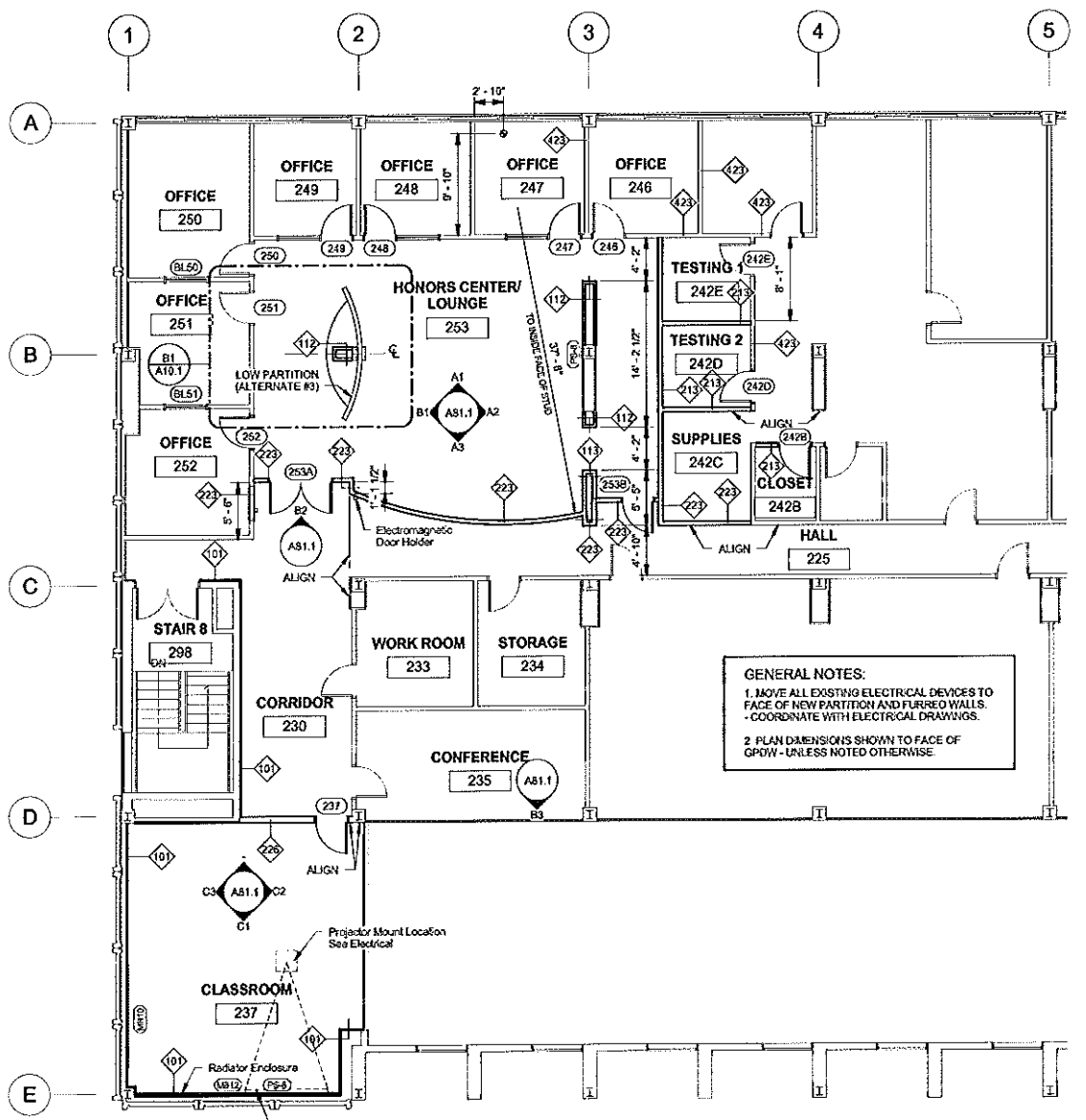
- GENERAL NOTES**
- ALL 1 HR OR 2 HR FIRE RATED WALLS SHALL BE STENCILED ON THE WALL SURFACE JUST ABOVE THE CEILING LINE INDICATING THE WALL'S FIRE RATING: "1 HR", "2 HR", ETC. IN RED OR ORANGE PAINT ON EACH SIDE OF THE PARTITION.
 - WHERE BATT INSULATION IS SHOWN FILL STUD CAVITY FULL.
 - ALL DIMENSIONS SHOWN TO FACE OF GPDW (TYP.) UNLESS NOTED OTHERWISE

STUD OR CAU SIZE	PARTITION OR WALL TAG No.
3 5/8" STEEL STUDS 1 HR FIRE-RATED	010
U.L. No. U455	
FIRE-RATING	U.L. DESIGN No. IF APPLICABLE



CODE	DESCRIPTION
D01	REMOVE EXISTING DOOR AND FRAME, SALVAGE FOR REUSE
D02	REMOVE EXISTING STUD AND GPDW PARTITION
D03	REMOVE EXISTING FLOORING MATERIAL
D03A	ALTERNATE #1: REMOVE EXISTING FLOORING MATERIAL BASE BID: EXG TO REMAIN
D04	REMOVE EXG WOOD PANELING AND ASSOCIATED FURRING
D05	REMOVE EXISTING STOREFRONT SYSTEM
D06	REMOVE EXISTING WALL BASE
D07	REMOVE EXISTING CEILING & GRID, SALVAGE TILE FOR REUSE
D07A	ALTERNATE #2: REMOVE EXISTING CEILING & GRID, SALVAGE TILE FOR REUSE
D08	REMOVE EXISTING WOOD CHAIR RAIL
D09	RELOCATE EXG BASE CABINET TO ROOM 223

A1 SECOND FLOOR DEMO PLAN
SCALE: 1/8" = 1'-0"



A3 SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"

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Project Title
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HALL 2ND FLOOR
RENOVATION**
Portland, Maine

Harriman Project No. 12677

Key Plan

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City of Portland Maine

Drawing Status	As Indicated

Issue Dates	Description
10-15-12	ISSUED FOR B.D.
10-10-12	80% REVIEW
10-02-12	75% REVIEW

Drawing Status

Drawing Title
**SECOND FLOOR DEMO
PLAN AND SECOND
FLOOR PLAN**

PA/FE: MDL
Drawn By: ERP

Drawing Number
A10.1

ROOM NUMBER	ROOM NAME	FLOOR FINISH	BASE FINISH	WALL FINISH				COMMENTS
				NORTH WALL	EAST WALL	SOUTH WALL	WEST WALL	
225	HALL	EXG	EXG	VARIES	EXG	EXG	EXG	SEE INTERIOR ELEVATION FOR PAINT COLORS
230	CORRIDOR	EXG	RB1	EXG	EXG	P1	P1	
233	WORK ROOM	EXG	EXG	EXG	EXG	EXG	EXG	
234	STORAGE	EXG	EXG	EXG	EXG	EXG	EXG	
235	CONFERENCE	EXG	EXG	EXG	EXG	EXG	EXG	GLAZING FILM- SEE INTERIOR ELEVATION
237	CLASSROOM	CPT1	RB1	P1	P1	P4	P1	GLAZING FILM- SEE INTERIOR ELEVATION
242C	SUPPLIES	CPT1	RB1	P1	P1	P1	P1	
242D	TESTING 2	CPT1	RB1	P1	P1	P1	P1	
242E	TESTING 1	CPT1	RB1	P1	P1	P1	P1	
246	OFFICE	EXG	EXG	EXG	EXG	EXG	EXG	
247	OFFICE	EXG	EXG	EXG	EXG	P3	EXG	
248	OFFICE	EXG	EXG	EXG	EXG	P3	EXG	
249	OFFICE	EXG	EXG	EXG	EXG	P3	EXG	
250	OFFICE	EXG	EXG	EXG	P3	EXG	EXG	
251	OFFICE	EXG	EXG	EXG	P3	EXG	EXG	
252	OFFICE	EXG	EXG	EXG	P3	EXG	EXG	
253	HONORS CENTER/ LOUNGE	CPT	RB1	VARIES	VARIES	VARIES	VARIES	SEE INTERIOR ELEVATION FOR PAINT COLORS
288	STAIR 8	EXG	EXG	EXG	EXG	EXG	EXG	

MATERIAL LEGEND			
Material	Key Name	Manufacturer	Color/Finish
CARPET TILE	CPT1	J & J INVISION	EVOLVE 7881 TRANSPIRE 1479
CARPET TILE	CPT2	J & J INVISION	PULP 7607 APPLIQUE 450
CARPET TILE	CPT3	J & J INVISION	PULP 7607 GRASSCLOTH 445
RUBBER BASE	RB1	JOHNSONITE	63- BURNT UMBER
PLASTIC LAMINATE	PLAM1	PIONITE	SABLE-AG021
	PLAM2	PIONITE	FIRST AND MAIN- AG031
PAINT	P1	SHERWIN WILLIAMS	CACHET CREAM SW6365
	P2	SHERWIN WILLIAMS	HARVEST GOLD SW2858
	P3	SHERWIN WILLIAMS	RURAL GREEN SW6418
	P4	SHERWIN WILLIAMS	UNDERSEAS SW6218
	P5	SHERWIN WILLIAMS	PEPPERCORN SW7674
	P6	SHERWIN WILLIAMS	SUMMIT GRAY SW7669
ACOUSTIC TILE	ACT1	TO MATCH EXISTING	MODIFY EXISTING AS REQUIRED FOR NEW WORK

GENERAL NOTES:

1. PAINT ALL GPDW CEILINGS AND ALL SOFFITS- SIDES AND UNDERNEATH P1, UNLESS NOTED OTHERWISE.
2. WHERE ROOMS ARE NOTED AS HAVING EXPOSED STRUCTURE, PAINT ALL EXPOSED STRUCTURAL ELEMENTS, DUCTWORK, CONDUIT, PIPING, ETC. P1 UNLESS NOTED OTHERWISE.
3. REFER TO A50.1 FOR FLOOR TRANSITION DETAILS.
4. HOLLOW METAL FRAMES, NEW AND EXISTING- PAINT P5.
5. IF PAINT SCHEDULE DOES NOT SPECIFICALLY CALL OUT AN ITEM OR SURFACE, PAINT THE SAME COLOR AS ADJACENT MATERIALS OR SURFACES WHETHER OR NOT SCHEDULE INDICATES COLORS.

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Drawing Scales	
1/8" = 1'-0"	

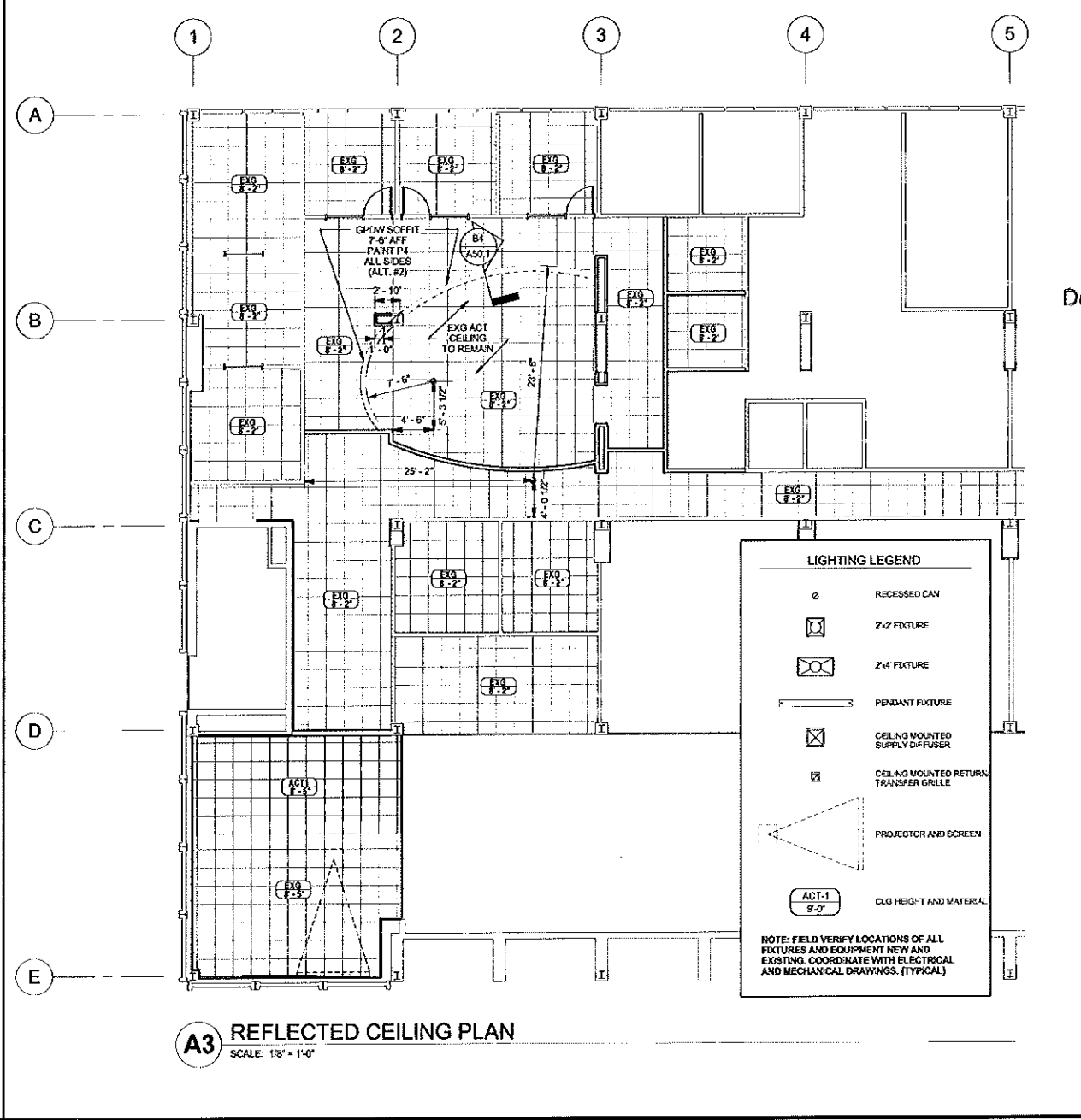
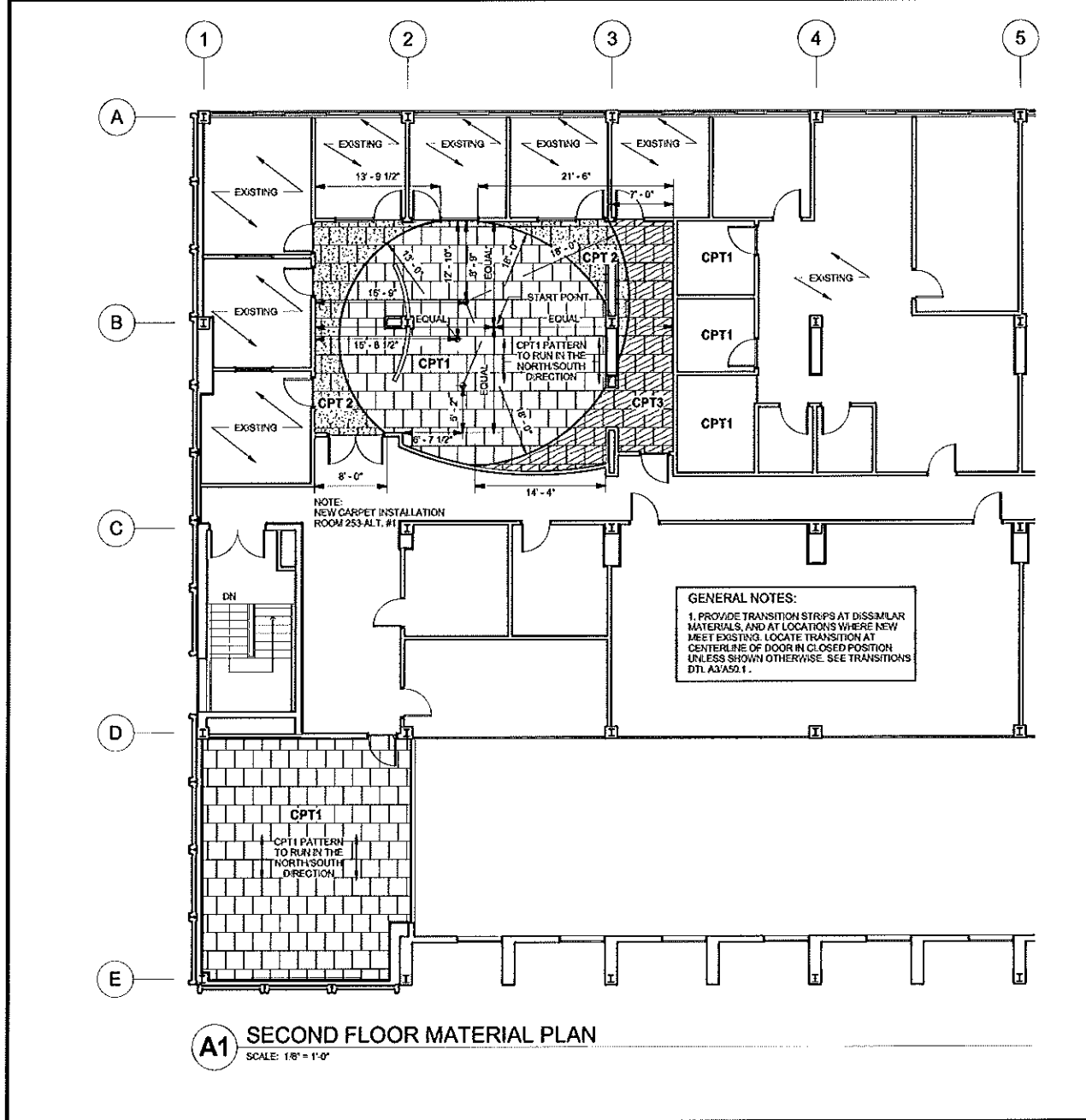
Mark	Date	Description
10-15-12		ISSUED FOR B.D
10-10-12		80% REVIEW
10-02-12		75% REVIEW

Drawing Status	

Drawing Title
MATERIALS PLAN, REFLECTED CEILING PLAN AND SCHEDULES

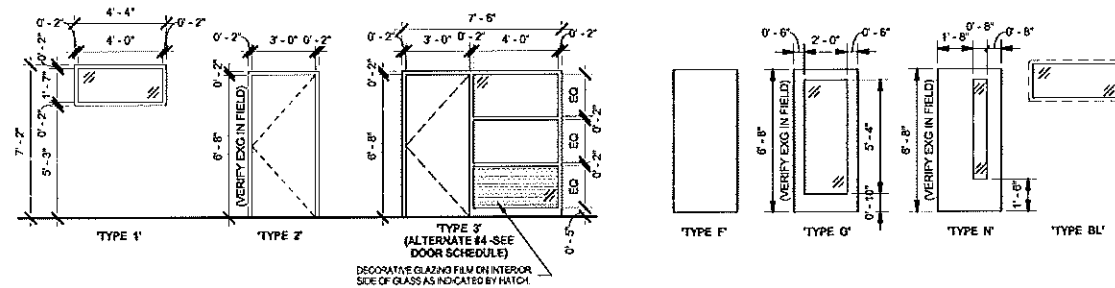
PA/PE MDL Drawn By: KSA

Drawing Number
A10.2

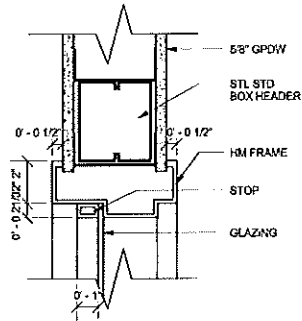


DOOR SCHEDULE												
DOOR	DOOR					FRAME			Fire Rating	Comments		
	WIDTH	HEIGHT	MATL	Glass	TYPE	MATL	TYPE	DETAILS HEAD			JAMB	
237	3'-0"	6'-8"	WD	FR	G	HM	2	A1/A50.1	A2/A50.1	20 Min		
242B	3'-0"	6'-8"	WD	-	N	HM	2	A1/A50.1	A2/A50.1	-	RELOCATED EXISTING DOOR AND FRAME	
242D	3'-0"	6'-8"	WD	-	F	HM	2	A1/A50.1	A2/A50.1	-	EXISTING DOOR - NO WORK	
242E	3'-0"	6'-8"	WD	-	F	EXG	2	A1/A50.1	A2/A50.1	-	RELOCATED EXISTING DOOR AND FRAME	
246	3'-0"	6'-8"	WD	-	F	EXG	2	A1/A50.1	A2/A50.1	-	EXISTING DOOR - NO WORK	
247	3'-0"	6'-8"	WD	TEMP	G	AL	3	A1/A50.1	A2/A50.1	-	EXISTING DOOR IN NEW FRAME (ALT #4), NEW LIGHT IN EXG DOOR (BASE BID)	
248	3'-0"	6'-8"	WD	TEMP	G	AL	3	A1/A50.1	A2/A50.1	-	EXISTING DOOR IN NEW FRAME (ALT #4), NEW LIGHT IN EXG DOOR (BASE BID)	
249	3'-0"	6'-8"	WD	TEMP	G	AL	3	A1/A50.1	A2/A50.1	-	EXISTING DOOR IN NEW FRAME (ALT #4), NEW LIGHT IN EXG DOOR (BASE BID)	
250	3'-0"	6'-8"	WD	TEMP	F	EXG	2	A1/A50.1	A2/A50.1	-	NEW LIGHT IN EXG DOOR	
251	3'-0"	6'-8"	WD	TEMP	F	EXG	2	A1/A50.1	A2/A50.1	-	NEW LIGHT IN EXG DOOR	
252	3'-0"	6'-8"	WD	TEMP	F	EXG	2	A1/A50.1	A2/A50.1	-	NEW LIGHT IN EXG DOOR	
253A	6'-0"	6'-8"	WD	FR	N	HM	2	A1/A50.1	A2/A50.1	20 Min	FIRE RATED GLASS BY DOOR MFG	
253B	3'-0"	6'-8"	WD	FR	N	HM	2	A1/A50.1	A2/A50.1	20 Min	FIRE RATED GLASS BY DOOR MFG	

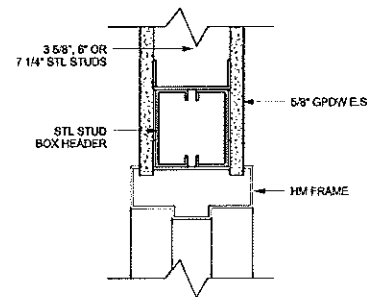
BORROWED LIGHT SCHEDULE												
DOOR	BORROWED LIGHT				FRAME			Fire Rating	Comments			
	WIDTH	HEIGHT	GLASS	TYPE	MATL	TYPE	DETAILS HEAD			JAMB		
BL60	4'-0"	7'-0"	TEMP	BL	HM	1	B1/A50.1	A2/A50.1	-			
BL51	4'-0"	7'-0"	TEMP	BL	HM	1	B1/A50.1	A2/A50.1	-			



FRAME LEGEND
SCALE: 1/4" = 1'-0"

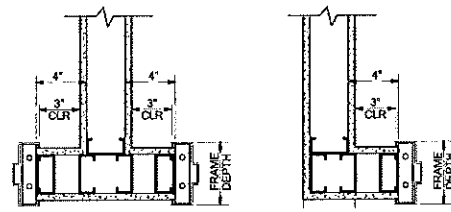


B1 INTERIOR HOLLOW METAL HEAD
SCALE: 3" = 1'-0"

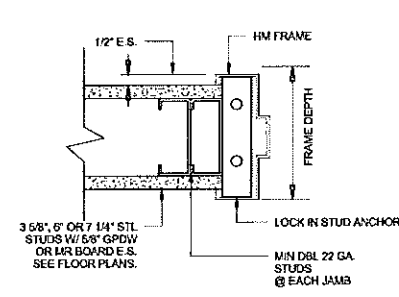


A1 HEAD DETAIL @ STEEL STUD
SCALE: 3" = 1'-0"

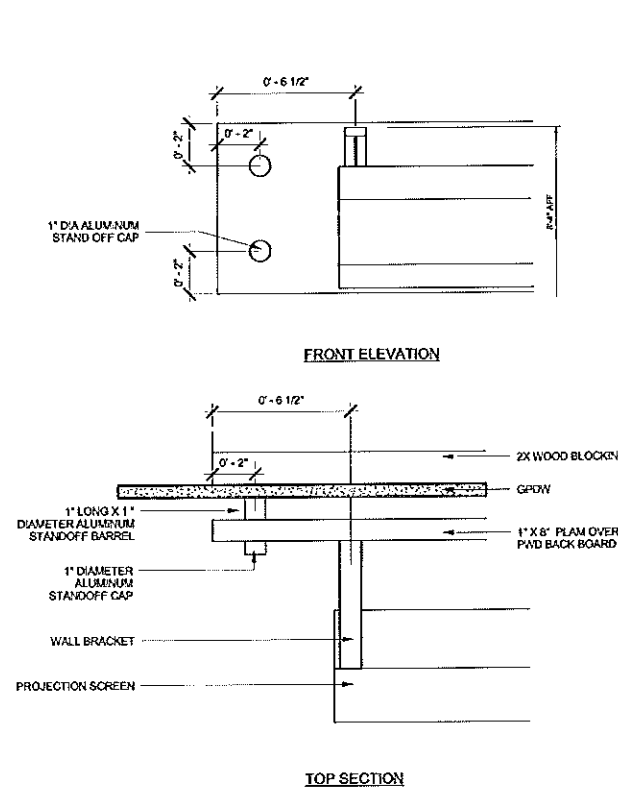
DOOR TYPES
SCALE: 1/4" = 1'-0"



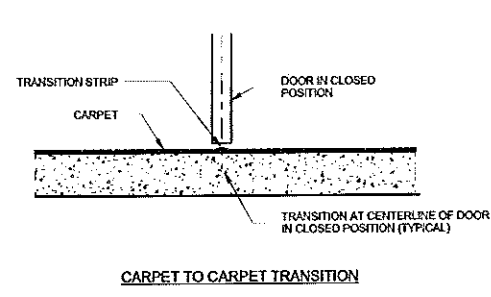
B2 DOOR FRAME INSTALLATION DETAIL
SCALE: 1 1/2" = 1'-0"



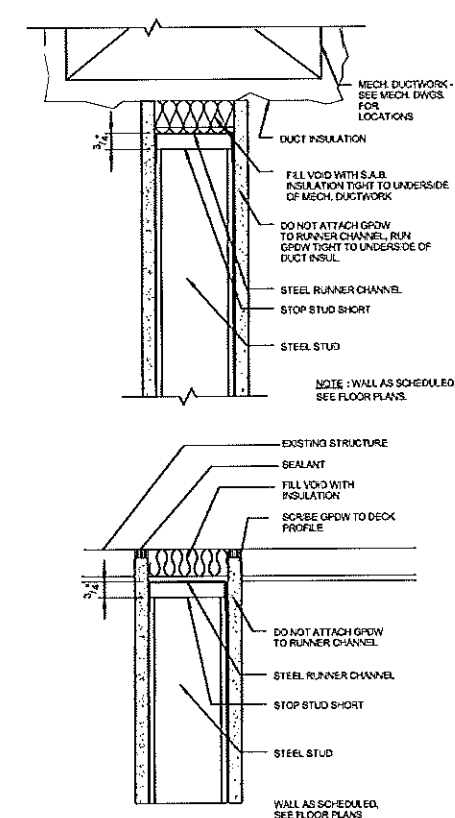
A2 JAMB DETAIL @ STEEL STUD
SCALE: 3" = 1'-0"



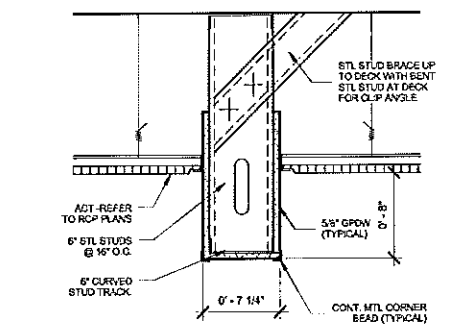
B3 PROJECTION SCREEN MOUNT
SCALE: 3" = 1'-0"



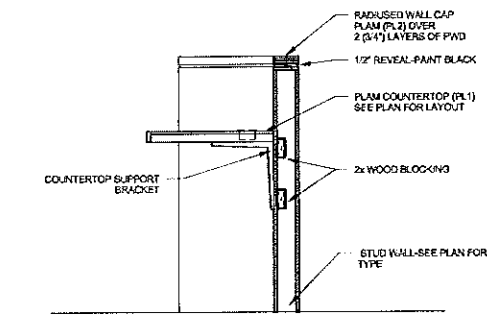
A3 FLOOR MATERIAL TRANSITIONS
SCALE: 1 1/2" = 1'-0"



C4 CONNECTION TO EXG STRUCTURE
SCALE: 1 1/2" = 1'-0"



B4 DETAIL AT SOFFIT (ALT #2)
SCALE: 1 1/2" = 1'-0"



A4 SECTION AT COUNTER (ALT #3)
SCALE: 3/4" = 1'-0"

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LICENSED ARCHITECT
STATE OF MAINE

Project Title
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Portland, Maine

Harriman Project No 12677

Key Plan

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Drawing Scales	As indicated
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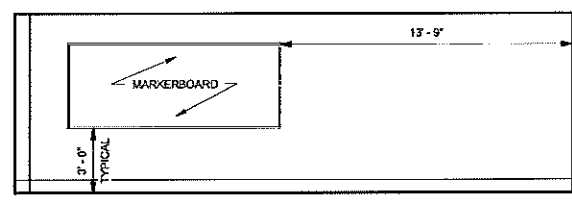
Issue Dates		
10-15-12	ISSUED FOR BID	
10-10-12	80% REVIEW	
10-02-12	75% REVIEW	
Mark	Date	Description

Drawing Status	
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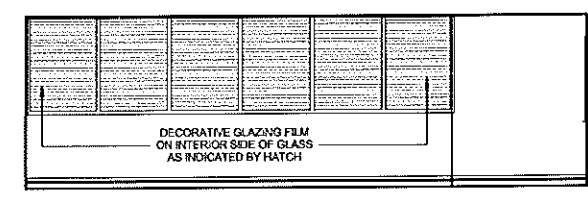
Drawing Title
SCHEDULES, DETAILS AND SECTIONS

PA/PE MDL Drawn By ERP

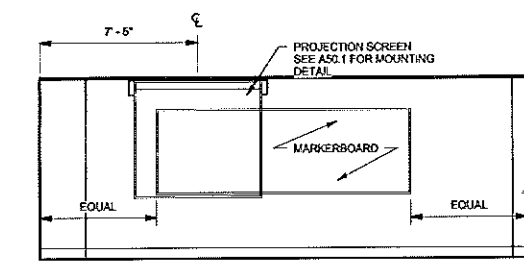
Drawing Number
A50.1



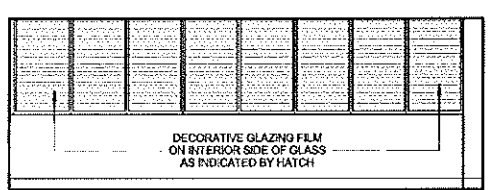
C3 CLASSROOM 237 WEST
SCALE: 1/4" = 1'-0"



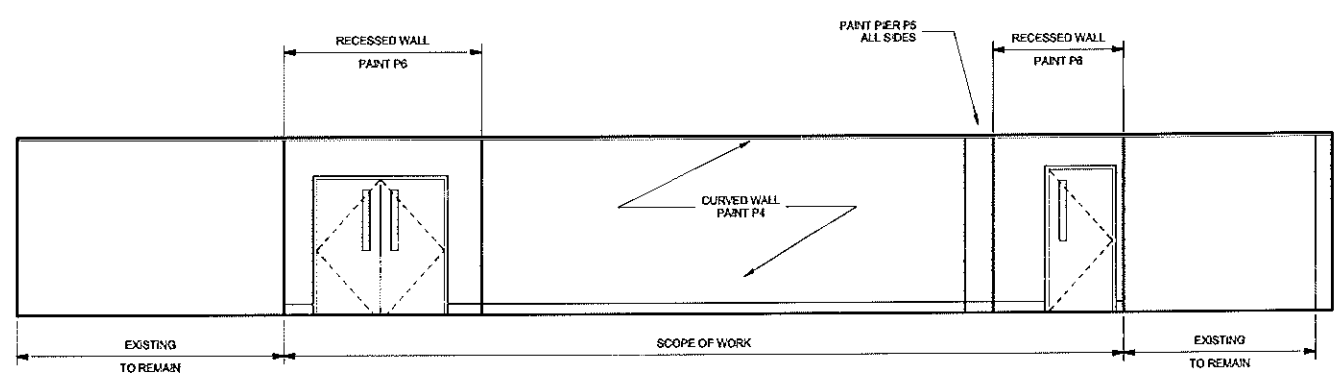
C2 CLASSROOM 237 EAST
SCALE: 1/4" = 1'-0"



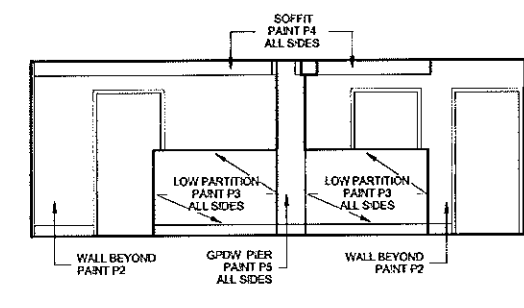
C1 CLASSROOM 237 SOUTH
SCALE: 1/4" = 1'-0"



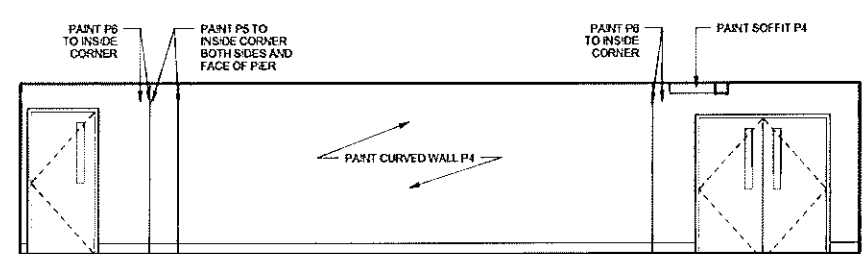
B3 CONFERENCE 235 SOUTH
SCALE: 1/4" = 1'-0"



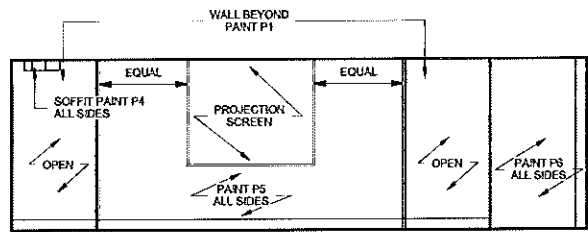
B2 HALL 225 NORTH
SCALE: 1/4" = 1'-0"



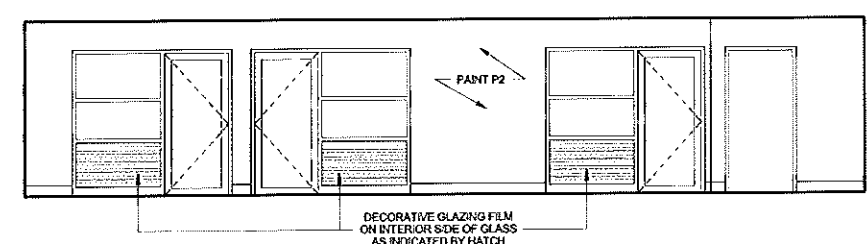
B1 HONORS CENTER WEST
SCALE: 1/4" = 1'-0"



A3 HONORS CENTER SOUTH
SCALE: 1/4" = 1'-0"



A2 HONORS CENTER EAST
SCALE: 1/4" = 1'-0"



A1 HONORS CENTER NORTH
SCALE: 1/4" = 1'-0"

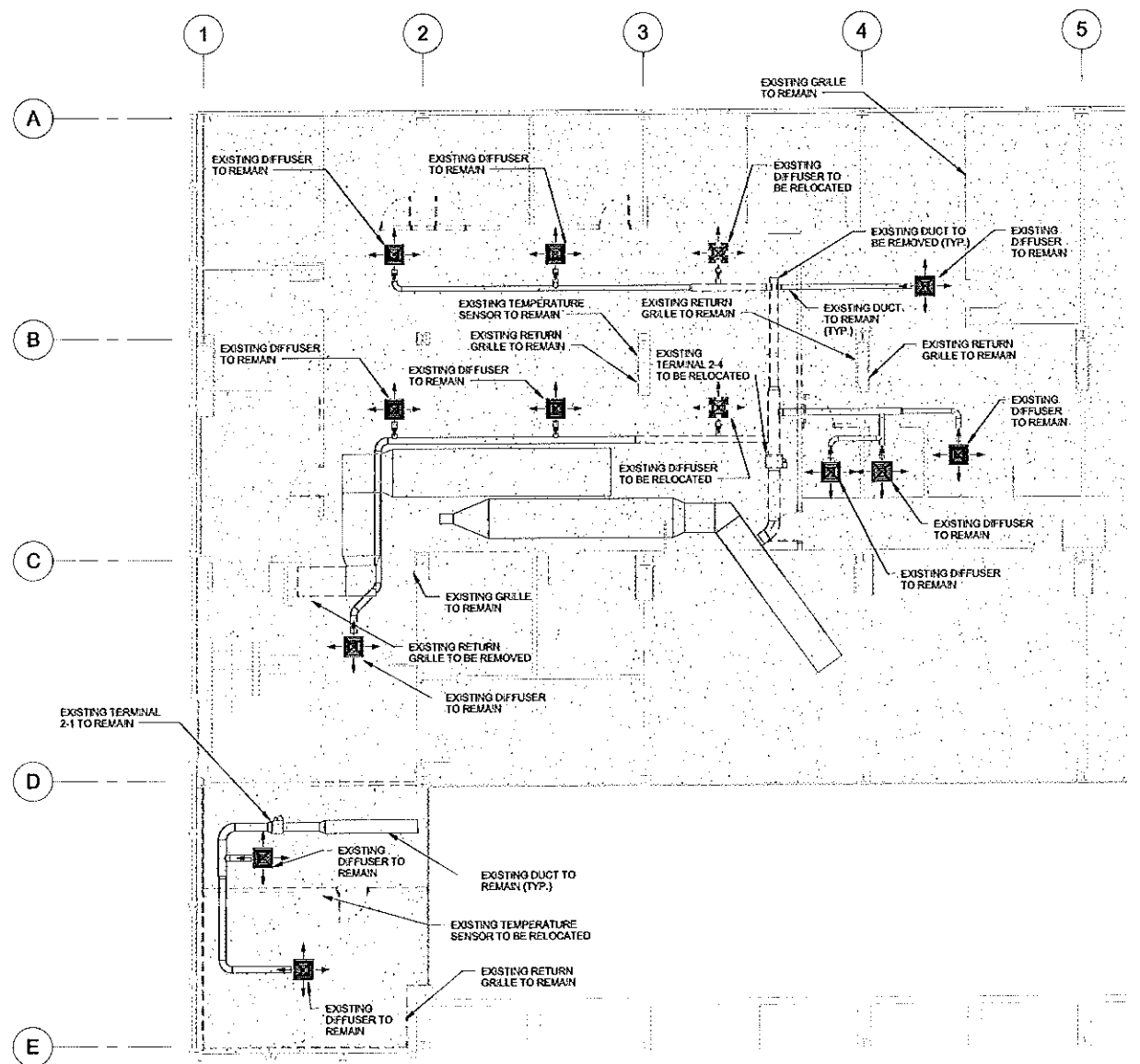
Drawing Scales

1/4" = 1'-0"	
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Mark	Date	Description
10-15-12		ISSUED FOR B/D
10-10-12		90% REVIEW
10-02-12		175% REVIEW

Drawing Status

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1 M05-2 Demolition Ductwork Level 2
SCALE: 1/8" = 1'-0"

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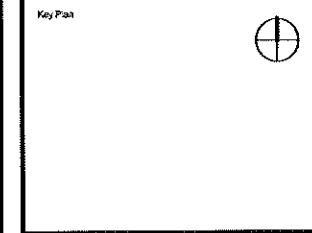
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**USM LUTHER BONNEY
HALL 2ND FLOOR
RENOVATION**
Portland, Maine

Harriman Project No **12677**



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---	10-10-12	80% REVIEW
-	10-02-12	75% REVIEW

Issue Dates

Drawing Status

Drawing Title
**SECOND FLOOR
DUCTWORK DEMOLITION**

RAI/PE: CG Drawn By: JSL

Drawing Number
M05.1

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Harriman Project No. 12677

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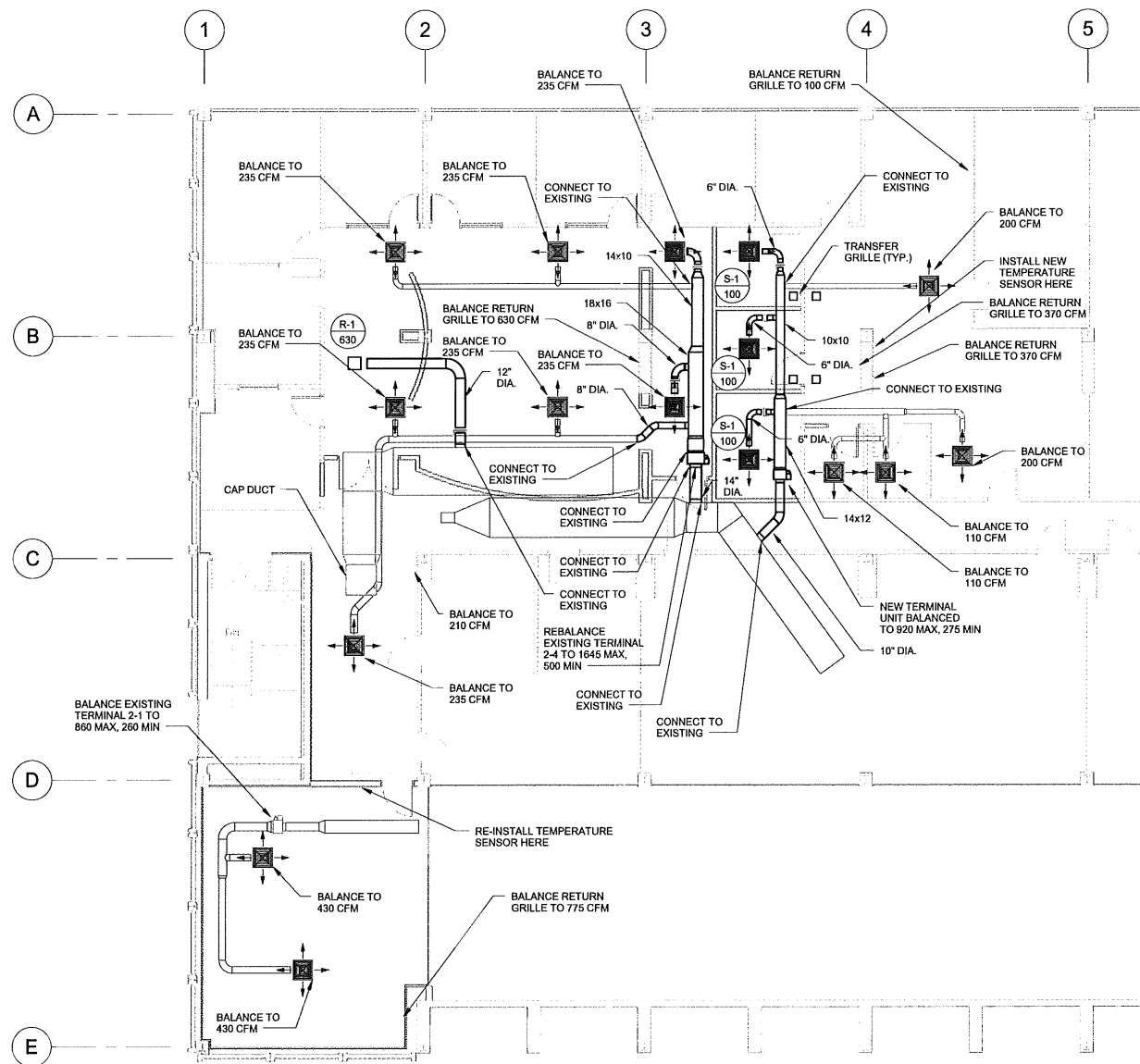
Mark	Date	Description
-	10-15-12	ISSUED FOR BID
-	10-10-12	90% REVIEW
-	10-02-12	75% REVIEW

Drawing Status

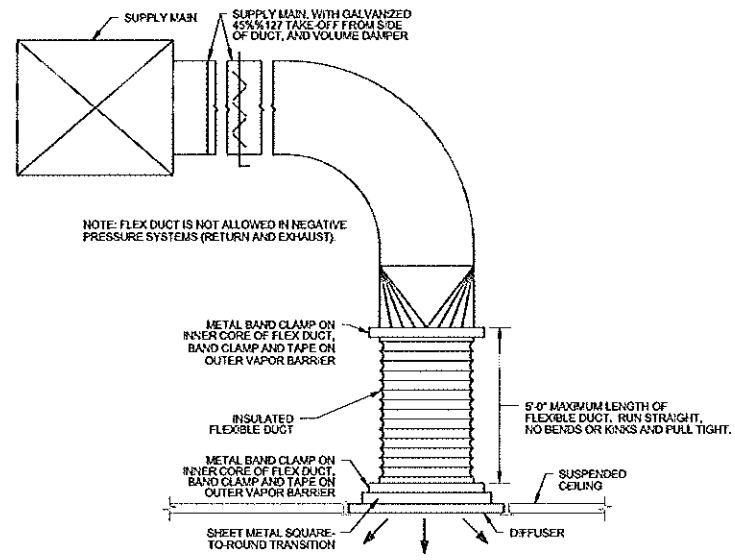
Drawing Title
SECOND FLOOR DUCT PLAN

PA/PE: CG Drawn By: JSL

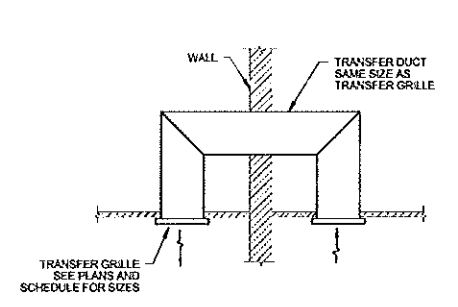
Drawing Number
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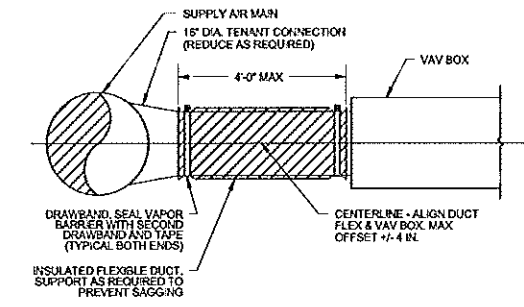
1 M10-2 Ductwork Level 2
SCALE: 1/8" = 1'-0"



1 FLEXIBLE CONNECTION
NO SCALE



2 TRANSFER DUCT
NO SCALE



3 TYPICAL VAV BOX CONNECTION
NO SCALE

REGISTERS, GRILLES, AND DIFFUSERS

TAG	MANUFACTURER	MODEL	TYPE	NECK SIZE (IN.)	DIRECTION OF BLOW	NC	SP (IN.WG)	THROW (FT)	TYPE	DAMPER	FINISH	BORDER	NOTES
S-1	TITUS	TDC	CEILING DIFFUSER	6x6	SEE PLANS	23	0.16	7 - 11		NONE	BAKED ENAMEL WHITE	TYPE 3 (24" X 24" LAY-IN)	
TRANSFER GRILLE	TITUS	50F	TRANSFER GRILLE	6x6	---	20	0.09	---	GRID CORE	NONE	BAKED ENAMEL WHITE	TYPE 1 (SURFACE MOUNT)	1/2" X 1/2" X 1/2" GRID
R-1	TITUS	50F	RETURN GRILLE	14x14	---	20	0.09	---	GRID CORE	NONE	BAKED ENAMEL WHITE	TYPE 1 (SURFACE MOUNT)	1/2" X 1/2" X 1/2" GRID

VAV BOXES

TAG	MANUFACTURER	MODEL	SERVICE	INLET (IN.)	COOLING AIRFLOW (CFM)	MINIMUM AIRFLOW (CFM)	APD (IN. WG)	DISCHARGE NC	RADIATED NC
VAV00-01	METALAIRE	TH-500	242 SUITE	10	920	275	0.08	27	25

- GENERAL NOTES**
- VISIT THE BUILDING SITE PRIOR TO BIDDING TO BECOME FAMILIAR WITH EXISTING CONDITIONS, AND TO TAKE MEASUREMENTS AS NECESSARY FOR COMPLETION OF THE WORK ASSOCIATED WITH THE DESIGN INTENT OF THESE CONTRACT DOCUMENTS.
 - COORDINATE WORK OF MECHANICAL SUBCONTRACTOR WITH WORK OF OTHER TRADES.
 - EQUIPMENT AND DUCTWORK ARE DIAGRAMATIC. FIELD VERIFY LOCATIONS.
 - DDC BUILDING CONTROLS SHALL BE DELTA PROVIDED AND INSTALLED BY IB CONTROLS, 3 POPE ROAD, WINDHAM, ME. NO OTHER SUBSTITUTIONS WILL BE PERMITTED.
 - IB CONTROLS SHALL PROVIDE A MINIMUM OF CAT 6 FOR ALL DATA CABLE.
 - IB CONTROLS SHALL INCLUDE ALL PROGRAMMING AND CHANGES TO THE EXISTING GRAPHIC INTERFACE AS NECESSARY TO ACCOMMODATE THE CHANGES AS NOTED ON THE DRAWINGS.
 - CONTROL SEQUENCE FOR THE NEW TERMINAL UNIT SHALL BE THE SAME AS THE EXISTING TERMINAL UNITS.
 - MOUNT TEMPERATURE SENSORS 48" AFF TO CENTERLINE OF ITEM.

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Project Title
USM LUTHER BONNEY HALL 2ND FLOOR RENOVATION
Portland, Maine
Harriman Project No. 12677
Key Plan

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Mark	Date	Description
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Drawing Status	
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Drawing Title
DETAILS, SCHEDULES AND NOTES

PA/PE: CG Drawn By: JSL
Drawing Number
M30.1

ELECTRICAL LEGEND

- LP-1,2 ← HH → HOMERUN TO PANEL - ARROWS INDICATE NUMBER OF CIRCUITS. CROSS LINES INDICATE NUMBER OF CONDUCTORS OTHER THAN TWO (PROVIDE NUMBER OF WIRES REQUIRED TO ALLOW SWITCHING SHOWN - E10 SERIES LIGHTING DRAWINGS)
- CIRCUIT NUMBER(S)
- PANEL DESIGNATION
- WIRING CONCEALED IN WALL OR CEILING
- WIRING IN RACEWAY CONCEALED UNDER FLOOR
- UG - WIRING IN RACEWAY CONCEALED UNDERGROUND
- E - EXISTING WIRING
- LIGHTING
- RECESSED 2' X 4'
- RECESSED 2' X 2'
- RECESSED 2' X 2' LIFE SAFETY
- RECESSED DOWN LIGHTING
- RECESSED DOWN LIGHTING LIFE SAFETY
- SURFACE MOUNTED 1' X 6'
- SURFACE MOUNTED 1' X 6' LIFE SAFETY
- S1 SINGLE POLE SWITCH - MOUNTED C/L UP 48" UNLESS NOTED OTHERWISE - SUBLETTER INDICATES SWITCH CONTROL - SEE DETAIL THIS DRAWING
- S3 THREE WAY SWITCH
- S4 FOUR-WAY SWITCH
- WALL MOUNTED OCCUPANCY SENSOR SWITCH
- CEILING MOUNTED OCCUPANCY SENSOR SWITCH - SEE OCCUPANCY SENSOR CONTROL DIAGRAM THIS DRAWING
- POWER
- POWERPOLE
- JUNCTION BOX
- VOICE & DATA OUTLET - WALL BOX WITH TWO 1" C TO ABOVE AN ACCESSIBLE CEILING - MOUNTED C/L UP 48" UNLESS NOTED OTHERWISE
- DUPLEX CONVENIENCE RECEPTACLE - MOUNTED C/L UP 24" UNLESS NOTED OTHERWISE
- DOUBLE DUPLEX CONVENIENCE RECEPTACLE - MOUNTED C/L UP 24" UNLESS NOTED OTHERWISE
- GFCI DUPLEX CONVENIENCE RECEPTACLE - MOUNTED C/L UP 48" UNLESS NOTED OTHERWISE
- PUSH BUTTON
- LIFE SAFETY
- FIRE ALARM MANUAL PULL STATION - MOUNTED C/L UP 48"
- FIRE ALARM HORN/LIGHT UNIT, CANDLE POWER (CP) PER NFPA 72 AND AS NOTED - 15/75 WHERE NOT OTHERWISE INDICATED ON PLANS - MOUNTED BOTTOM OF STROBE UP 60" ON WALL
- FIRE ALARM STROBE LIGHT UNIT, CANDLE POWER (CP) PER NFPA 72 AND AS NOTED - 15/75 WHERE NOT OTHERWISE INDICATED ON PLANS - MOUNTED BOTTOM OF STROBE UP 60" ON WALL
- FIRE ALARM HORN UNIT
- FIRE ALARM SMOKE DETECTOR
- FIRE ALARM MANUAL PULL STATION
- CEILING MOUNTED EXIT SIGN - DOUBLE FACE
- WALL MOUNTED EXIT SIGN - SINGLE FACE
- CEILING RECESSED EMERGENCY BATTERY REMOTE LIGHT
- GENERAL
- KEYNOTE TAG

DEMOLITION NOTES

1. ELECTRICAL INDICATED IS AS GENERALLY FOUND (JULY 2012). THE INTENT OF THE DEMOLITION PLANS ARE TO DOCUMENT SPECIFIC EXISTING CONDITIONS. HOWEVER, NOT ALL ELECTRICAL DEVICES ARE INDICATED ON THE DRAWINGS. CONTRACTOR SHALL FIELD VERIFY AND ADJUST WORK TO SUIT ALL FOUND.
2. REFER TO NON-DEMO PLANS TO DETERMINE EXTENT OF WORK IN EACH AREA, INCLUDING WHETHER DEVICES ARE TO REMAIN, BE REMOVED, REPLACED, ETC... EXCEPT AS NOTED, GENERALLY THE INTENT IS THAT IF EXISTING DEVICES ARE SHOWN ON THE EXISTING CONDITIONS PLANS AND NEW DEVICES ARE SHOWN ON THE NON-DEMO PLANS THEN EXISTING DEVICES ARE TO BE REMOVED OR REPLACED. IF EXISTING DEVICES ARE SHOWN ON BOTH THEN THE DEVICES ARE TO REMAIN.
3. ALL EXISTING ITEMS INTENDED FOR REMOVAL SHALL BE REMOVED WITH ALL ASSOCIATED HARDWARE INCLUDING, BUT NOT LIMITED TO, CONDUIT, BOXES, WIRING, CABLES, HANGERS, ETC...
4. SEE MECHANICAL DRAWINGS FOR MECHANICAL EQUIPMENT TO BE REMOVED. COMPLETELY REMOVE ALL ASSOCIATED CONDUIT, BOXES, WIRING, ETC...
5. CONDUIT IN GOOD CONDITION AND PROPERLY LOCATED MAY BE REUSED WHERE APPLICABLE. UNLESS NOTED OTHERWISE.
6. THE CONTRACTOR SHALL ARRANGE TO EXECUTE ALL WORK AT SUCH TIMES AND IN SUCH LOCATIONS TO PROVIDE UNINTERRUPTED SERVICES FOR THE EXISTING BUILDING OR ANY OF ITS SECTIONS. IF NECESSARY, TEMPORARY WORK SHALL BE INSTALLED TO PROVIDE FOR THIS CONDITION. AUTHORIZATION FOR INTERRUPTING THE SERVICE SHALL BE OBTAINED IN WRITING FROM THE OWNER.

EXISTING EQUIPMENT LEGEND

DASHED INDICATES EXISTING ELECTRICAL DEVICE / APPLIANCE ETC (REFER TO LEGEND FOR TYPE)

ELECTRICAL NOTES

C1

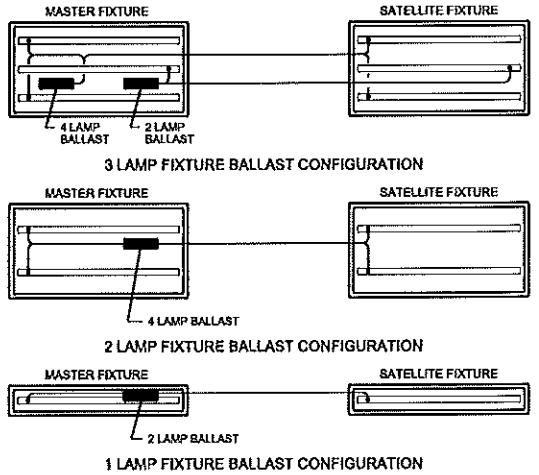
LIGHTING FIXTURE SCHEDULE

ALL FIXTURES SHALL BE FURNISHED COMPLETE WITH ALL HARDWARE LAMPS, HANGERS, FITTINGS, ETC. FOR A COMPLETE AND PROPER INSTALLATION

TYPE	MANUFACTURER	CATALOG NO.	MTG.	VOLT	LAMPS			REMARKS/BALLAST INFORMATION
					NO.	WATT	TYPE	
A	4' SURFACE WRAP COLUMBIA APPROVED EQUAL	WC4-232-EU	S	UNV	2	32	TS	
B	1X4 SURFACE MOUNT INDIRECT COLUMBIA LITHONIA	STP14-232-MPO-ST-E-U AVSM-232-MDR-DLS-MVOLT-BE810IS	S	UNV	2	32	TS	
D	NOT USED							
DT	NOT USED							
DZ	NOT USED							

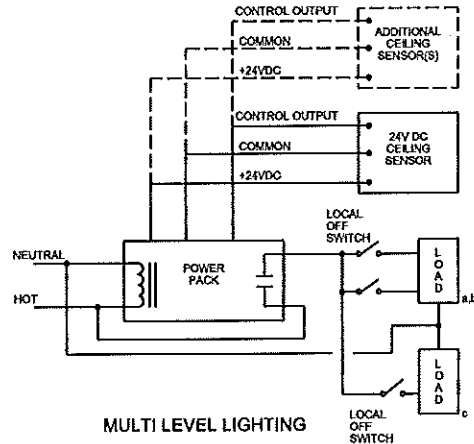
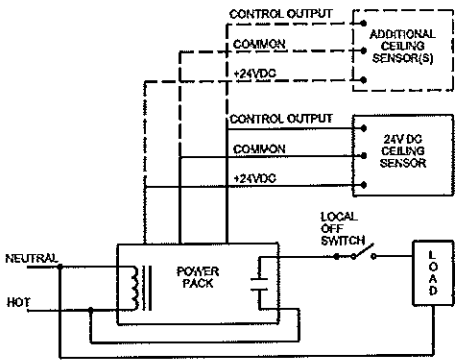
LIGHTING FIXTURE SCHEDULE

B1



BALLAST CONFIGURATION DETAILS:

1. IT IS THE INTENT OF THE DESIGN TO MAXIMIZE THE USE OF MULTI-LAMP BALLASTS TO DRIVE THE FIXTURE LAMPS WHERE FIXTURES RUN END TO END OR ARE WITHIN THE STANDARD 11 FOOT BALLAST WHEN LENGTH, FIXTURES SHALL BE CONFIGURED IN BALLASTED PAIRS. IN ALL CASES, BALLASTS SHALL BE INSTALLED TO DRIVE THE EXACT NUMBER OF LAMPS THEY ARE DESIGNED TO SERVE. SEVERAL OF THE MORE TYPICAL LAMP CONFIGURATIONS ARE SHOWN ABOVE.
2. THE CONTRACTOR SHALL COORDINATE SPECIAL BALLAST CONFIGURATIONS TO SERVE LAMPS SERVED BY AN EMERGENCY GENERATOR. ODD QUANTITIES OF FIXTURES RESULTING IN UNEVEN FIXTURE PAIRS AND SPECIAL SWITCHING REQUIREMENTS. CONFIGURE BALLASTS TO MEET MULTI LEVEL SWITCHING REQUIREMENTS. IN GENERAL, SPECIAL BALLAST CONFIGURATIONS ARE NOT IDENTIFIED ON A FIXTURE BY FIXTURE BASIS ON THE DOCUMENTS. IT IS THE CONTRACTORS RESPONSIBILITY TO COORDINATE THESE REQUIREMENTS. A MINIMUM NUMBER OF SINGLE LAMP BALLASTS MAY BE USE AS REQUIRED TO MEET THESE NEEDS.



NOTE: QUANTITY, AND LOCATION OF OFF SWITCHES AS SHOWN ON FLOOR PLAN DRAWINGS.

WIRE POWER PACK TO CIRCUIT INDICATED ON FLOOR PLANS.

LEGEND

A3

TYPICAL FIXTURE BALLAST CONFIGURATIONS

A2

OCCUPANCY SENSOR CONTROL DIAGRAM

A1

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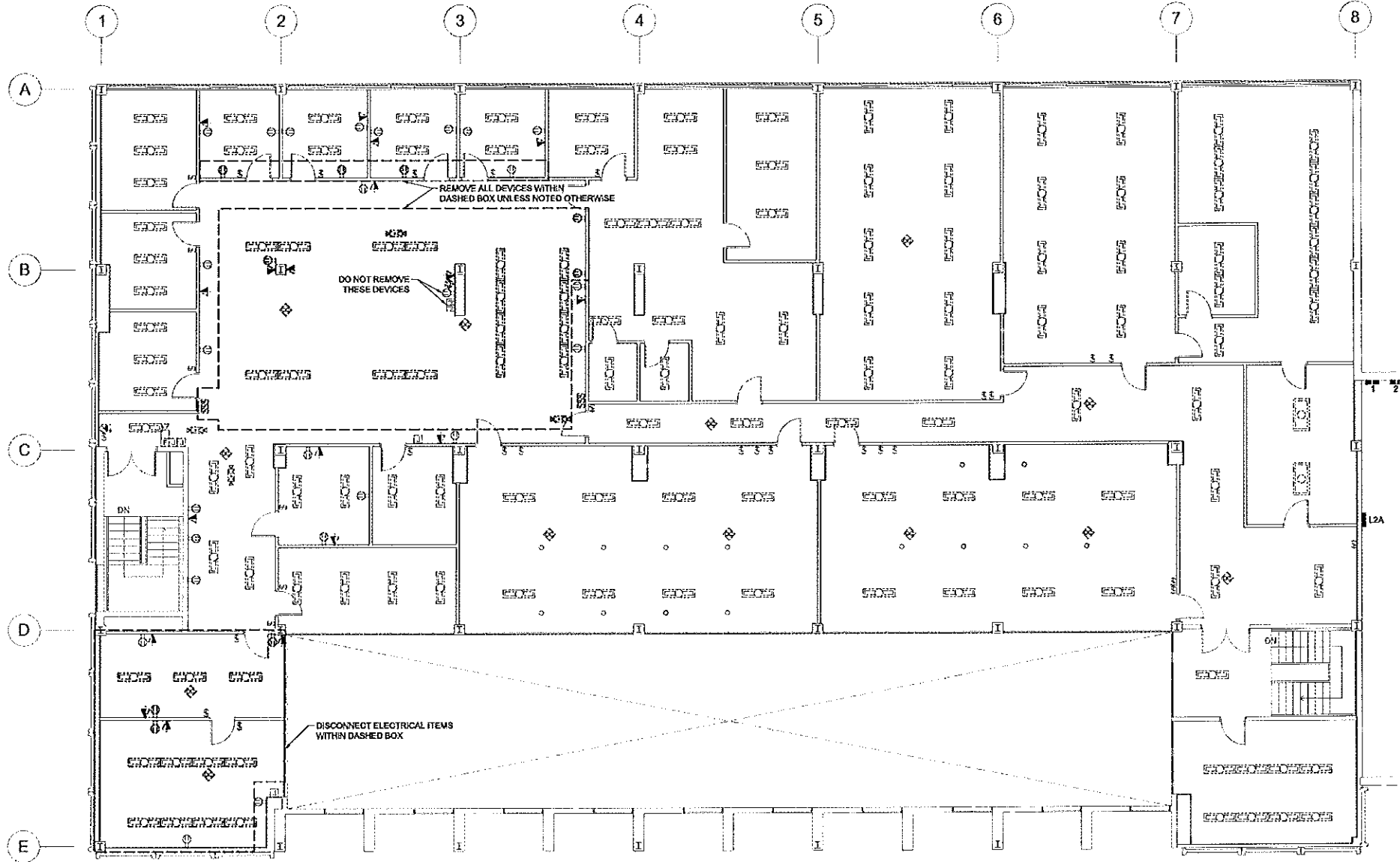
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Issue Date	Description

Project Title
ELECTRICAL LEGEND & LIGHTING FIXTURE SCHEDULE
PA/PE: JMT Drawn By: DSH
Drawing Number
E00.1



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NOV 13 2012

Dept of Building Inspections
City of Portland Maine

Drawing Scale
1/8" = 1'-0"

Issue Date	Mark	Date	Description
		10-15-12	ISSUED FOR BID
		11-15-12	90% REVIEW
		12-02-12	75% REVIEW

Drawing Title

Drawing Title
ELECTRICAL EXISTING CONDITIONS PART PLAN

PA/PE: JNT Drawn By: DSH

Drawing Number
E05.1

HARRIMAN
Architects + Engineers

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207.784.3100 tel

123 Middle Street
Portland, ME 04101
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Manchester, NH 03103
603.826.1242 tel

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Project Title
USM LUTHER BONNEY HALL 2ND FLOOR RENOVATION
Portland, Maine

Harriman Project No. 12677

Key Plan

RECEIVED

MAY 10 2012

Dept. of Building Inspections
City of Portland Maine

Drawing Scale
1/8" = 1'-0"

Rev.	Date	Description
10-15-12		ISSUED FOR BID
11-13-12		50% REVIEW
10-02-12		75% REVIEW

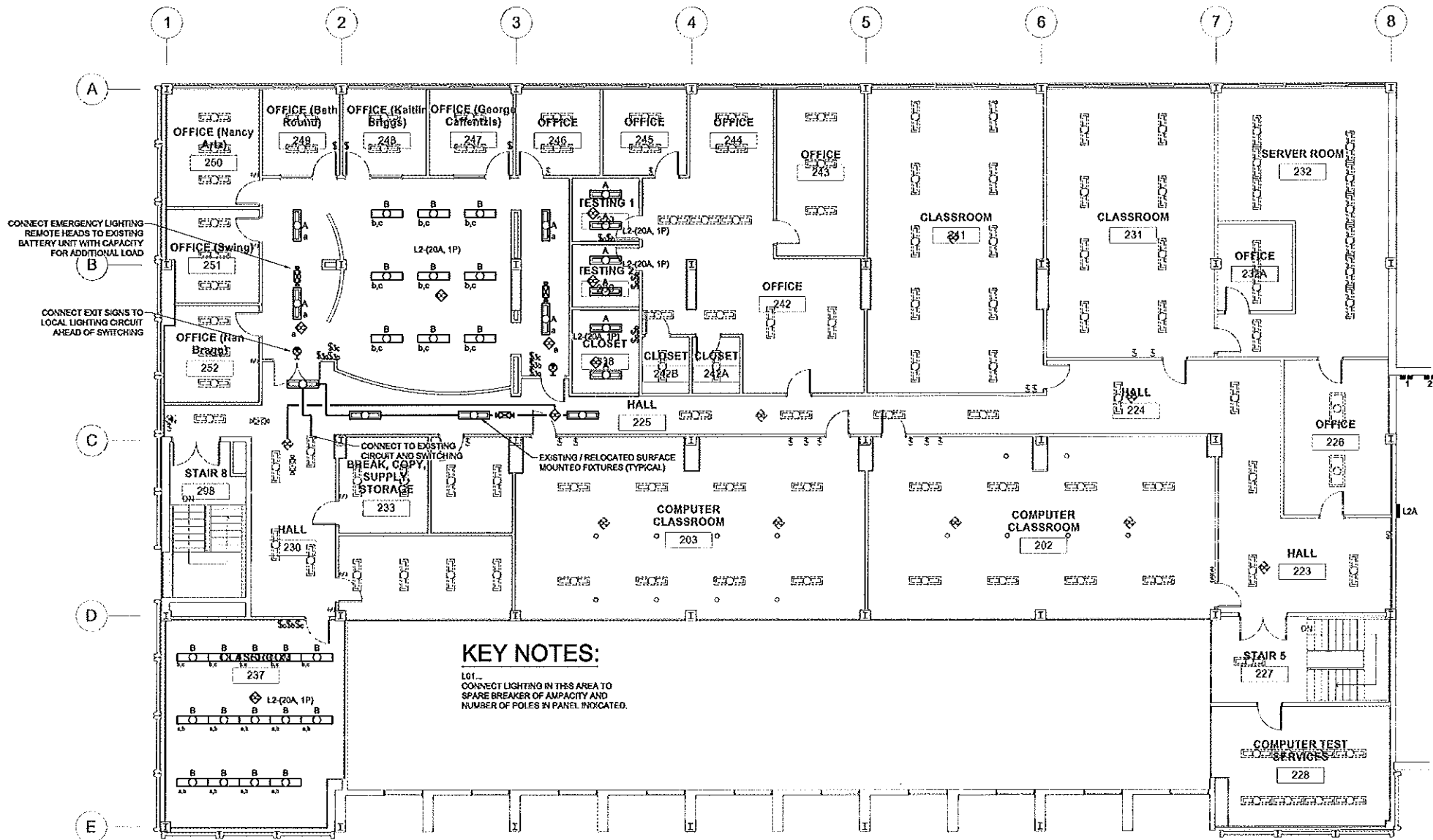
Issue Dates

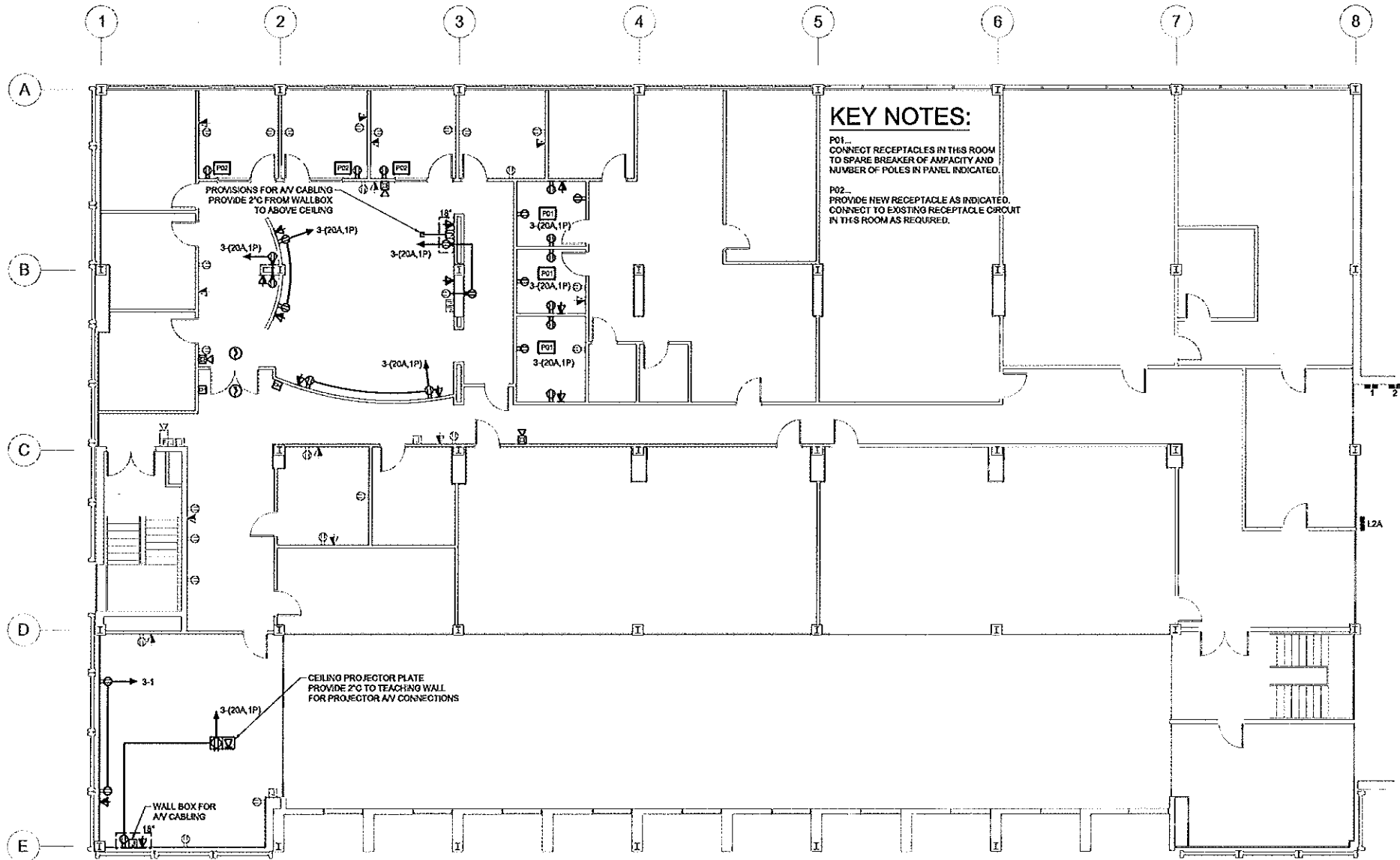
Drawing Status

Drawing Title
LIGHTING PART PLAN

PA/PE: JNT Drawn By: JNT

Drawing Number
E10.1





HARRIMAN
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Project Title
USM LUTHER BONNEY HALL 2ND FLOOR RENOVATION
Portland, Maine

Harriman Project No. 12677

Key Plan

RECEIVED

7/13/2012

Dept. of Building Inspections
City of Portland Maine

Drawing Scale
1/8" = 1'-0"

Mark	Date	Description
	12-15-12	ISSUED FOR BID
	12-15-12	90% REVIEW
	12-03-12	75% REVIEW

Drawing Status

Drawing Title
FIRST FLOOR PLAN POWER

PA/PE: JMT Drawn By: JMT

Drawing Number
E20.1

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Project Title
**USM LUTHER BONNEY
 HALL 2ND FLOOR
 RENOVATION**
 Portland, Maine
 HA Project No. 12677

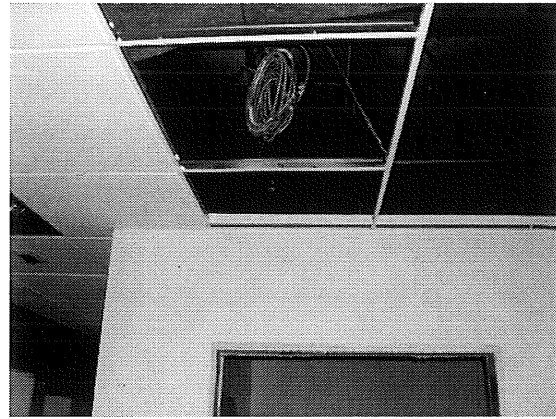


IMAGE 'A'



IMAGE 'B'

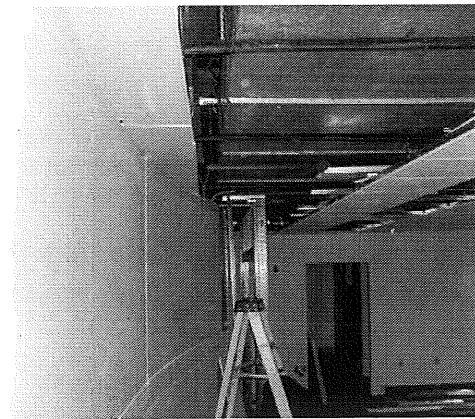


IMAGE 'C'

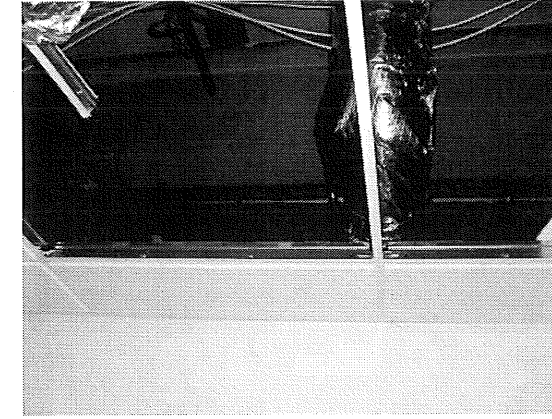
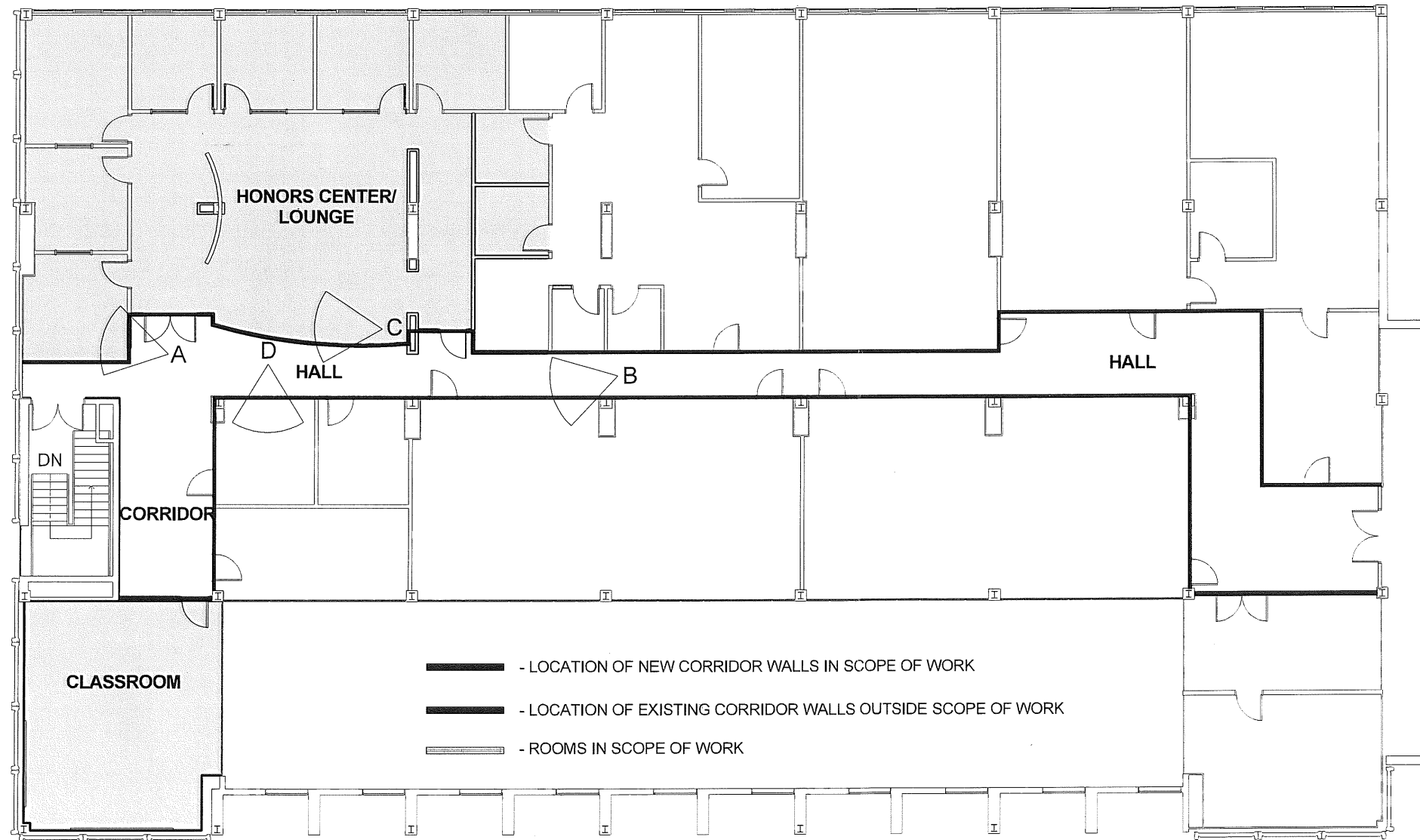


IMAGE 'D'



A1 **USM LUTHER BONNEY HALL**
 SCALE: 1/16" = 1'-0"

Date	12/07/12
Scale	1/16" = 1'-0"

Drawing Title
**LUTHER BONNEY
 CORRIDOR WALL
 INVENTORY**

Drawing Number
2ND FL