Form # P 04

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

Please Read Application And Notes, If Any, Attached

E

Permit Number: 031373

epting this permit shall comply with all

tures, and of the application on file in

ences of the City of Portland regulating

This is to certify that	University Of Maine/n/a	· .			
has permission to	Temporary Use of fit-out of	nd floo			
AT 96 Falmouth St	··			114A A001001	

m or constration

ne and of the

b

provided that the person or persons, of the provisions of the Statutes of Nather construction, maintenance and uthis department.

Apply to Public Works for street line and grade if nature of work requires such information.

ication inspec n must and with permis in procute this body to thered and or of the cosed-in.

R NOTICE IS REQUIRED.

of buildings and site

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

Fire Dept. _______

OTHER REQUIRED_APPROVALS

Other ______

Appeal Board

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine 389 Congress Street, 04101	-		1 02 1272	Issue Date:	114A A0	001001	
Location of Construction:	Owner Name:	<u></u>	Owner Address:		Phone:		
96 Falmouth St	University Of	Maine	107 Maine Ave		207-780-4	751	
Business Name:	Contractor Name	•	Contractor Address:		Phone	Phone	
n/a	n/a		n/a Portland				
Lessee/Buyer's Name	Phone:		Permit Type: Alterations - Commercial			Zone:	
n/a	n/a					02	
Past Use:	Proposed Use:		Permit Fee:	Cost of Work			
Resaearch	Research / Ten	nporary Use of fit-out		\$75,000		<u> </u>	
	or second ridor		FIRE DEPT:	Approved Denied	INSPECTION: Use Group:	Туре: Д	
Proposed Project Description: Temporary Use of fit-out of so	econd floor		Signature:	VA : 1 · 1	Signature.	Conf	
			PEDESTRIAN ACT	TVITIES DISTI	RICT (P.A.D.)		
			Action: Appro	oved Appr	roved w/Conditions	Denied	
	ID 4 4 W I I I		Signature:		Date:	···-	
Permit Taken By: gg	Date Applied For: 10/31/2003		Zoning	g Approval	l /		
1. This permit application d	loes not preclude the	Special Zone or Rev	iews Zoni	ing Appeal	Historic Pres	ervation	
Applicant(s) from meetin Federal Rules.		☐ Shoreland	☐ Variano	ce	Not in Distric	et or Landmark	
2. Building permits do not is septic or electrical work.	include plumbing,	☐ Wetland	Miscell	laneous	Does Not Rec	quire Review	
3. Building permits are void if work is not started within six (6) months of the date of issuance.		☐ Flood Zone ☐ Conditional Use		Requires Rev	Requires Review		
False information may in permit and stop all work.		Subdivision	☐ Interpre	etation	Approved		
		Site Plan	☐ Approv	ved	Approved w/	Conditions	
	ı	Maj Minor Mi	Denied		Denied	\leq	
		Date: 11 13/	Date:		Date:		
		41176					
I hereby certify that I am the of I have been authorized by the of jurisdiction. In addition, if a p shall have the authority to ente	owner to make this application of the comment of th	ication as his authorized in the application is	the proposed work i ed agent and I agree issued, I certify that	to conform to the code offi	o all applicable laws cial's authorized repr	of this esentative	
such permit.							

DATE

PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: University		Square Footage of Lot	70	raimouth St.
Tax Assessor's Chart, Block & Lot Chart# 114A Block# A Lot# 1	Owner: Univers	ity of Maine Syste	m	Telephone: 780-4751
Lessee/Buyer's Name (If Applicable) N/A	telephone USM 96	name, address & Dave Schurman Falmouth Street rtland, ME 04104	W	ost Of ork: \$ 75,000 e: \$696,00
Approximately how long has it been vaca Proposed use: Research Project description: Temporary use level of fit-	int: <u>6</u>	months		
Contractor's name, address & telephone: Who should we contact when the permit is Mailing address: University of Some 96 Falmouth Street Portland, ME 0416 We will contact you by phone when the preview the requirements before starting and a \$100.00 fee if any work starts before	uthern M et 04 Permit is reac ny work, with	aine dy. You must come in and n a Plan Reviewer. Astop v	vork	order will be issued

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued. I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

	4	1 don		ΔI	Head		
Signature of applicant:		MAY	M		ululu —	Date:	

This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Pianning Department on the 4th floor of City Hall





CITY OF PORTLAND BUILDING CODE CERTIFICATE 389 Congress St., Rm 315 Portland, ME 04101

TO:

Inspector of Buildings City of Portland, Maine Department of Planning & Urban Development Division of Housing & Community Service

FROM:

SYMMES MAINI & MYLEE ASSOCIATES

RE:

Certificate of Design

DATE:

28 October 2003

These plans and/or specifications covering construction work on:

The 2nd floor of the Research Wing of the Science Complex on Falmouth Street on the USM Portland Campus.

Have been designed and drawn up by the undersigned, a Maine registered architect/engineer according to the BOCA National Building Code/1999 Fourteenth Edition; and local amendments.

(SEAL)

Thomas A.

Coffman

No. 1368

As per Maine State Law:

Signature VP

Firm Symps, Maini & Mcke Associates

Address 1000 Massachusetts Ave.

Cambridge, MA 02138

\$50,000.00 or more in new construction, repair, expansion, addition, or modification for Building or Structures, shall be prepared by a registered design Professional.

PSH 6/20/2k



CITY OF PORTLAND ACCESSIBILITY CERTIFICATE

Designer: Symbos, Maini & Mckee Associates

Address of Project 70 Falmooth St., Portland, ME

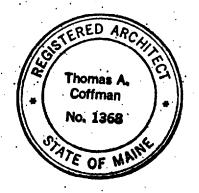
Nature of Project Provide open office area

on the 2nd flow of the Research Wing

Date 10.28.03

The technical submissions covering the proposed construction work as described above have been have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act.

(SEAL)



Signature	M	-	
Title SV.	J.P.		

Firm Symme, Maini & Mollee Associates

Address 1000 Massachusetts Ave

Cambridge, MA 02138

Telephone 617-547-5400





Certificate of Occupancy

LOCATION 96 Falmouth St

CBL 114A A001001

Issued to University Of Maine/Pizzagalli

Date of Issue 07/15/2003

This is to certify that the building, premises, or part thereof, at the above location, built — altered — changed as to use under Building Permit No. 02-0367 , has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

Bsmnt level, 1st Floor, & 2nd Floor

APPROVED OCCUPANCY

Academic Research Building BOCA 1999 Use Group B Type 2B

Limiting Conditions:

Supercedes CofO issued on4/04/2003.

Permits MUST be applied for prior to fitting up the third floor

This certificate supersedes certificate issued

Approved/ _

Inspector

ouliding or premises, and ought to be transferred from

Notice: This certificate identifies lawfal use of building or premises, and ought to be transferred from When so owner when property changes hands. Copy will be furnished to owner or lessee for one dollar



State of Maine Department of Public Safety

RECEIVED JUL 01 2003 Onstruction Permit



Reviewed for Barrier Free

13316

Sprinkled

Sprinkler Supervised

UNIV. OF SO. MAINE - PORTLAND - BIOSCIENCE INST,

Located at: 96 FALMOUTH STREET

PORTLAND

Occupancy/Use: BUSINESS

Permission is hereby given to:

DAVE EARLY

25 BEDFORD STREET PORTLAND, ME 041099300

to construct or alter the afore referenced building according to the plans hitherto filed with the Commisioner and now approved.

No departure from application form/plans shall be made without prior approval in writing. This permit is issued under the provision of Title 25, Chapter 317, Section 2448 and the provisions of Title 5, Section 4594 - F.

Nothing herein shall excuse the holder of this permit for failure to comply with local ordinances, zoning laws, or other pertinent legal restrictions. Each permit issued shall be displayed/available at the site of construction.

This permit will expire at midnight on the .01 th of Decemb 2003 ... BUSELL

Dated the 01 th day of June

A.D. 2003

Michel P. Contara

Commissioner

Copy-1 Owner

ar orangen.

in which in .

Comments:

DAVE EARLY

25 BEDFORD STREET PORTLAND, ME 041099300

Post-it® Fax Note 7671	Date pages /
To Brian Itolmes	From Davy Barbour
Co./Dept. PCC	co. USM
Phone #	Phone #
Fax #	Fax #

FYI

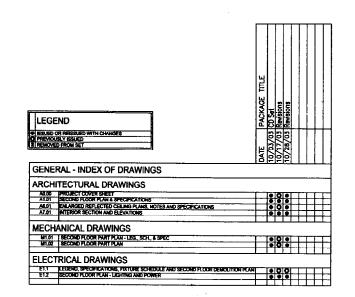
UNIVERSITY OF SOUTHERN MAINE

PORTLAND CAMPUS PORTLAND, MAINE

THE BIOSCIENCES INSTITUTE AND THE INFORMATIONAL SCIENCES INSTITUTE

SMMA PROJECT #03049.00

10/28/2003 SECOND FLOOR FIT-UP





1000 Massachusetts Avenue Cambridge, Massachusetts 02138 617.547.5400 Fax 617.354.5758

- 13. Closeout Submittals: Submit the following as a prerequisite to final
- payment.
 a. Record Drawings: 2 copies of the approved CADD-based drawings on CD
- a. Necord provings: 2 copies of the approved CADU-based growings of CU and 2 hard capies.

 b. Record specifications: One copy.

 c. Operating and Mointenance Data: Bind data, including flow-charts and diagrams and one copy of each warranty, in a 3-ring, 8-1/2" x 11" binder. Label binder with name of project; separate items with tabbed dividers.

 d. Extra stock, spare ports and similar maintenance items. Warp, label, and place in storage at location designated by Owner.
- e. Worranties: Bind executed originals into a 3-ring, 8-1/2" x 11" binder. Lobel binder with name of project; separate items with tabbed dividers.
- Local ander with nome of project, separate trains with a company of the confidence of Occupancy g. Certificates of inspection. For fire-protection, plumbing, electrical work, and for other systems if required by local authorities having jurisdiction.

- Perform selective demolition as required to prepare the existing space for new construction under this Contract. Remove structures, finishes, equipment and materials which are (1) shown to be demolished, (2) required to be removed to permit the construction of the Work, or (3) not indicated to remain and which would detract from the intended appearance of the finished work.
- 2. Refer to mechanical, plumbing, fire-protection and electrical drawings for selective demolition and salvage related to MEP equipment.
- 3. Protect from damage construction and finishes which are to remain.
- Unless materials are indicated to be reinstalled or turned over to the Owner, remove them from the site and dispose of them legally.

DIVISION 3 - CONCRETE

Not Applicable to this job.

DIVISION 4 - MASONRY

Not Applicable to this job.

DIVISION 5 - METALS

- Provide miscellaneous metal fabrications, such as hanging battens or miscellaneous supports required to support work installed under this Contract, whether or not they are shown on the Drawings.
- 2. Submittals: Shop drawings and calculations, as requested by the Architect; product data for materials such as points.
- Quality Assurance: Engineering calculations, if required, shall be prepared by, or under the supervision of, a Professional Engineer registered in Massochusetts, and shall bear the PE's seal.
- Installation: As shown and in accordance with approved shop drawings. Install to support design loads. Fit exposed work with tight joints. Comply with AWS code for field welding procedures, and grind welds smooth on exposed surfaces.

DIVISION 6 - WOOD AND PLASTICS

Blocking and Nollers: Provide wood blocking in partitions for support of wall-mounted items such as casework, counters, and window treatment, whether or not shown. Blocking: Fire-retardant treated "Utility" grade lumber.

- . Submittals: . Shop Drawings: Each Item of casework and countertops. . Samples: Plastic laminate & cobinet hardware.
- Plastic Lominate: High pressure decorative laminate (HPDL) complying with NEMA LD 3; color as scheduled; laminated to medium density (45 ib minimum) fiberboard or particleboard core; except furnish with waterproof plywood core for
- 3. Laminate Covered Cobinets: Full flush overlay style. Semi-exposed surfaces in cabinet interiors may be cobinet-liner grade HDPL or manufacturer's standard low-pressure laminate such as "melamina."

 a. Hinges: Concealed, "European" type; 1807; self-closing.

 b. Pulls: Stainless steel "stople" pulls, 5/16" diameter x 4" high.

 c. Magnetic catches.

 d. Drawer sides: Full extension type; sized for 75 lb load.

 s. Levelers: Manufacturer's standard.

- 4. Laminate Covered Tops: AWI Section 400 C "Premium Grade."
- 5. Installation of Cobinets: Level and plumb floor cabinets. Anchor to built-in blocking or to stripping attached to substrates. Scribe to flonking walls; turnish additional scribe pieces matching cabinets, if required. Complete the installation of hardware. Adjust hardware to center doors and drawers in openings and for
- 6. Countertops: Anchor cosework tops securely to casework. Anchor counters which are independent of casework securely to wall-mounted undercounter supports of type shown. Set backsplash in a bed of sonitory silicone sectiont. Scribe top edge of splash to wall.

DIVISION 7 - THERMAL AND MOISTURE-PROOFING

- Scope: All insulation in exterior walls should be covered by a vapor barrier
 applied to the inside face of studs. In many locations this is existing. Repoir
 or replace vapor retroder where it is damaged or missing, using material of the
 same type and appearance as the existing, as much of it will be expased to
- 2. Submittals: Sample; product data.
- 3. Materials: The vapor retarder shall be no less than 6 mil polyethylene, with a perm rating of 0.1 perm or less. Furnish compatible seam tape in neutral
- 4. Installation: Remove damaged portions of existing vapor retarder so that new sheets can be installed full width; do not make spot-patches. Tape seams and tape vapor retarder sheet at edges and penetrotions to make it vapor-tight. Apply tape neatly, in straight lines to the greatest extent passible.

- Field Measurements: Take field measurements before ordering or fabricating shop-fabricated items. Do not scale dimensions off drawings. Where surrounding construction will not be built in time to be measured, provide means for field adjustments at time of installation.
- Study drawings and compare the drawings and notes with each other. Report any discrepancies discovered to the Architect in writing and request clarification before proceeding with the Work.
- 3. Temporary Controls: Adjacent areas in this building will be occupied during construction. Perform work in a monner which minimizes disturbance to occupants in adjacent areas. Without limitation: a. Enclose the construction area with dust barriers. Contain construction materials and debris inside the enclosed area, or in other storage areas designated by the Owner.

- materials and debris inside the enclosed area, or in other storage areas designated by the Owner.

 b. Do not expose occupants to hazardous or offensive materials.

 c. Do not interrupt building services, including but not limited to plumbing, heat, ventilation, electricity, data, communications, to areas which remain in use, without prior written authorization from the Owner. Give at least 48 hours notice to Owner before interrupting such services.

 d. Do not shut-off or disable fire detection and fire suppression systems without prior written approved by fire marshol. If temporary shut-off is permitted, give adequate prior notice to the Owner, keep down—time brief, and provide adequate temporary protection of type acceptable to the outhorities having jurisdiction.
- . Cubmittale
- 4. Submittods: a. Coordinate and review submittods from subcontractors before transmitting to the Architect. Verify materials, field dimensions, adjacent construction, feasibility, coordination with other work, and conformace with the Contract Documents. Stomp with Contractor's approval stomp, and sign. b. Attach a transmittal form which shows the project name, submitted date, and the name of the Contractor and subcontractor, supplier or manufacturer; identifies the item and calls out deviations from the Contract documents, if any.
- only.

 c. Shop Drawings: Prepare drawings specific to this Project; do not submit monufacturer's pre-printed standard details. Draw at a scale appropriate to the work. Show field dimensions and adjacent construction.

 d. Samples: Provide samples of adequate size to permit proper evaluation of material. Attach Identifying tog.
- 5. Products and Substitutions: a. Furnish products specified or scheduled, or formally request substitutions in
- b. When requesting a substitution, provide sufficient information about both the named product and the substitution to permit the Architect to judge the merits of the proposed substitution.

 Inform the Architect of changes which with have to be made to other work to accommodate the substitution. Make these changes at no additional cost to
- decommodate the substitution. Make these changes at no adminish coat the Owner.

 d. For items exposed to view, furnish item with custom color or finish if necessary to match specified color or finish.
- 6. Protect materials stored on site from damage. Leave protective wroppings on materials until the time of installation.
- 7. Temporary Heat and Ventilation: Put in place and maintain temporary heat and ventilation inside the work are as required for proper installation, drying and curing of materials. Coordinate with Owner, Owner will poy costs of power and fuels consumed. Contractor may use the existing unit heaters until permanent radiant heat is installed and in operation. Do not operate permanent of distribution and return systems without filters.
- 8. Installation, Ceneral: As a minimum, comply with generally accepted industry standards and with product manufacturer's printed installation instructions and additional recommendations for best performance and appearance. In addition, comply with more stringent requirements described in these notes. Where codes and regulations govern installation for example fire-rated assemblies and electrical work install work in strict compliance with these codes.
- 9. Cutting and Patching:

 a. Cut, fit and patch new and existing work as required to complete the Work and to make its several parts fit together properly. General Contractor shall be responsible for cutting and patching structural components, such as beams and bearing walls; mechanical and electrical subcontractors shall be responsible for routine coring for ploing and electrical conduit.
 b. Before cutting any structural member obtain written approval from the Architect. Provide temporary support as necessary until the structure is resoired.

- 6. Seriore acting any structures memoer bottom writen approves from the Architect. Provide temporary support as necessary until the structure is repaired.

 C. Cutting: Select methods which will not damage other work and which will leave remaining construction in proper condition to receive repairs. Protect adjacent work by appropriate methods.

 d. Patching: Select materials and methods so that the completed Work complies with the requirements of these Contract Documents. Use the same materials used for the original work. If possible, employ the original installer. Patch items and surfaces exposed to view so that patch is not visible. Fit work airtight to pipes, sleeves, ducts, conduit and other penetrations through surfaces.

 e. Within the limit of work line there is no sprayed—on fireproofing. However, should it be necessary to perform work outside the delineated work area, to tie in to existing services or for any other reason, which disturbs existing fireproofing, potch fireproofing to restore to original fire-resistance rating.

 f. If penetrations are made through, or removed from, an existing wall, partition, or floor which is fire-rated or designated as a smoke-borrier, firestop the penetrations and unused openings to mointain the fire-resistance or smoke-borrier performance of the wall, floor or portition, or Refinishing: Refinish continuous surfaces to nearest intersection; for an assembly, refinish the entire unit. Provide on even finish matching adjacent surfaces of the some type.
- 10. Routine Cleaning: At the end of each days' work, and more frequently in accessory, clean up the construction area. Remove and dispose of packing materials, excess construction materials, trash and debris.
- 11. Final Cleaning: Clean Work thoroughly just before inspection.
 a. Employ skilled workers. Employ cleaning materials and methode recommended by manufacturer for specific item to be cleaned. Do not use azardous solvents or abrasive cleaners.
- Remove grease, mastic, adhesive, dust, dirt, stains, fingerprints, labels from surfaces exposed to view. . Vacuum floors and dust other surfaces. Dust light fixtures and clean lenses
- and baffles. A. Wash the interior of the existing windows.

 e. Clean exposed surfaces of ductwork, piping, conduit and similar systems, so that no construction dust is left behind in the space.

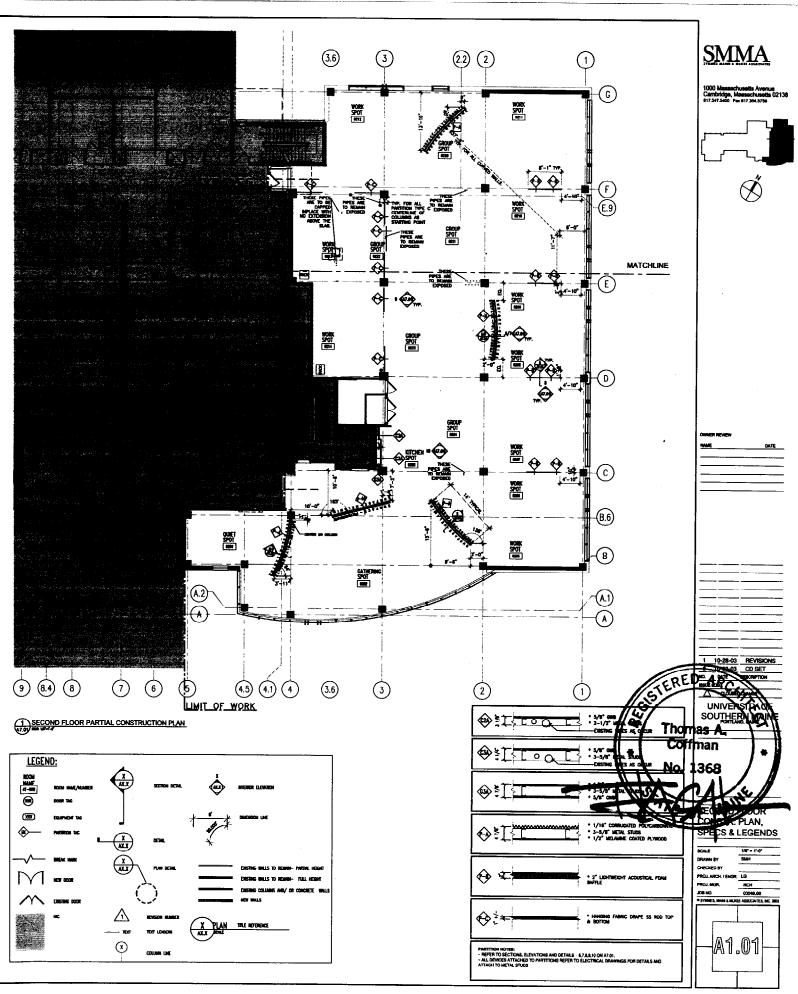
 f. Ventlating Systems: If units were operated during construction, clean or replace the filters.
- 12. Record Documents:

 a. Maintain at the site one copy of the Drawings and one copy of the Specifications and mark these up to indicate actual products and installations which deviate from the work as originally shown. Give particular attention to conceded work which would be difficult to measure and record at a later date. b. Note related change—order numbers where applicable.

 b. Note related change—order numbers where applicable.

 c. Drawings: At completion of the construction work, prepare CADD-based "as-built" drawings. The Architect will provide a copy of the Construction Documents in AutoCADD 2000 format. Employ experienced CADD drafters to transfer record information from the morked-up prints to the electronic drawings. Deliver hard copy to the Architect for review; make changes requested by the Architect.

 Specifications: Transfer mark—up information neatly onto a clean copy of the Specifications.



DIVISION 10 - SPECIALTIES

Fire Extingulahers: 5 lb. 2A-10BC multi-purpose dry chemical extingulahers. Furnish brackets to hold extingulahers. Furnish 4, to be installed at locations designated by the Architect.

DIVISION 11 - EQUIPMENT

11139 - Audio-Vieuel Equipmer

Scope: Install one monual projection screen furnished by the Owner. Provide blocking or miscelloneous metal supports as required to hang screen at the location indicated.

- 1. Scope: Furnish and install appliances at the kitchen spot.
- 2. Submittals: Illustrated product data; installation instructions; warranties
- 3. Monufacturer: GE. Hotpoint, Whirlpool or equal

- a. Products:

 Refrigerator: 21.7 cu. ft. capacity, top freezer, Energy Star rating, GE Model

 GCH122SSNBS or equal.

 Dishwasher: GE Monogram Model #PDW8060GSS or equal; Energy Star rated
 or qualified for rating.

 Microwo
- 5. Finish: Stainless steel

DIVISION 12 - FURNISHINGS

12479 - Fabric Screens

- 1. Scope: Install hanging fabric panels at locations shown on Drawings.
- 2. Submittals: Samples of fabric and hardware for verification.
- 3. Fobric: 100% fire-retardant-treated polyester; see 9/A7.01 for manufacturer, product and color. Furnish in 72" widths, so there will be no
- 4. Hardware: Naminal $3/4^\circ$ diameter nickel-plated steel rads or tubes with 4' long cylindrical and caps. Furnish cable and fittings required to hang from concrete slab above.

12498 - Window Treatment

- 1. Vertical Blinds: To match Building standard.
- 2 Extra Stock: 2 complete blind units.

09200 - Special Partition Assemblies

- Scope: Stud-framed partitions faced with materials other than gypsum board. Drawing A7.01 for details.

- Moterials
 Metal Froming: As specified in 09250.
 Decorporate Polycorbonate Poneix: Lightweight, Impact resistant, formed polycorbonate panels; Modesters-Corr product number 85785K35, Wave pattern, product number 85785K35, Wave pattern, product number 85785K35. polycorbandte panels; McMasters-Carr product number 85795K35, Wave pattern, 6' x 42" sheets, opcaue without.

 6' x 42" sheets, opcaue without.

 72" thick flexible plywood with one white
- Stud Froming: As specified for gypsum board partitions in 09250. Install to smooth curve of diameter indicated on the Drawings.
- 4. Facing Panels: Refer to Pion A1.01 to see where to install each type of facing material. Bend facing panels to amooth curve to fit the stud framing. Hondle, out and drill facing panels in accordance with panel manufacturer's instructions. Pre-drill svenly spaced holes in panels and fasten panels to studs with exposed Phillips head screws and washers.
- 09800 Acoustical Treatment
- 1. Scope: Acoustical foam hanging baffles and ceiling mounted panels.
- 2. Submittals: Product data; samples; shop drawings for installation of hanging
- 3. Products:
- o. Brifles: Melamine acoustical foam baffles, "Sonexvaluline" as furnished by Acoustical Surfaces, Inc.; 2' x 4' panels 2" thick; painted finish; Architect will sectify point calor.
- specify point color.

 b. Ceiling Panels: Open ceil polyurethone sound-absorbing foam panels, "Foom S.T.O.P Soundwove" as furnished by Acoustical Surfaces, Inc. Furnish 4' x 4'
- S.T.O.P. Soundware us instruction ponels, 2" thick, beige color: c. Accessories: Furnish honging and installation hardware of types indicated on a companies of type recommended by panel manufacturer.
- Honging Boffle installation: See detail on Drawings. Size and install anchors with sufficient margin of safety so that they will not pull out when panels are impacted under anticipated conditions of use. Calling Ponel Application: Glue to the concrete deck. Prepore concrete surfaces as recommended by the adhesive manufacturer. Arrange in pattern shown and butt panels enugly. Provide temporary support for panels until the adhesive cures.

09900 - Paint

- Submittals:
 Monufacturer's technical data sheets and application instructions for each type of primer and point.
 Color samples: On 12" x 12" piece of masonits.
- 3. Acceptable Manufacturers: Benjamin Moore, Sherwin-Williams, PPG.
- 4. Paint Systems: Best professional grade paints; Moore's "SuperSpec," PPG "Speedhide," or Sherwin-Williams "ProMar 200." Furnish primer of same quality and compatible with the top-coat specified, per top-coat manufacturer's technical data sheets.
- technical data sheets.

 a. Steel: Rust inhibiting alkyd primer and two top coats of low-ador alkyd enamel semigloses; Moore "SuperSpec Alkyd Semi-Glass 271"; PPG "Speechide 6-1110," or S-W "ProMar 200" B34W/200 Series.

 b. Gypsum Board: PVA primer secler and two top coats of latex point, eggehell sheen; equal to Moore "SuperSpec Latex Eggshell Enamel 274," PPG "Speechide Eggshell Latex Enamel 6-411," or S-W "Promor 200 B20W200 Series.
- Colors: Architect will indicate colors by reference to one monufacturer's color naming system; match colors selected. Mix custom colors if color selected by architect is not standard with the approved paint manufacturer.
- 8. Preparation:
 a. Remove wall plates, surface mounted hardware, and similar items which are not being planted. Mosk items which cannot be removed.
 b. Lay drop cloths to protect floors, furnishings and equipment which cannot be
- 7. Application: Apply with brush or roller of fiber type recommended by point manufacturer; no spray, except for application of points and primers on steel doors and formes. Achieve smooth, even appearance with even color and sheen. No skips, drips, holidays, suction spots or areas where previous coats
- or prime coat shows through.

 Gypsum board: One prime coat and two top coats. Top coats may be d. dysaum busic. One preme coil did two top could not yet condition on surfaces which are going to be covered with casework.

 b. Shop-primed steel doors and frames: Remove rust. Spot prime bare steel; opply two top coats.
- 8. Clean-up: Remove point spatters and overspray. Comply with regulations governing disposal of hazardous wastes; do not wash paints down drain.

09930 - Concrete Stain

- Scope: Stain and seal concrete floor in accordance with pattern and color schedule on Drawing A7.01.
- Manufacturer's specifications and application instructions.
 Color Samples: For selection, submit chips or color cards. For verification of colors selected, submit samples on actual 27 x 12" pieces of concrets.
- 3. Stain: Penetrating, reactive stain that combines chemically with cured concrete to produce permanent variegated and translucent color; L. M. Scofield ca. "Lithochrome Chemistlen," in four colors; to be selected by the Architect from full range of Scofield's standard colors, or a blend of standard colors.
- 4. Examination and Preparation:
- 4. Examination and Preparation:

 Verify that concrete surface conforms to manufacturer's requirements for successful application of stain. Pretreat and fill crocks and voids and remove profusions as recommended by stain monufacturer.
 Clean floor to remove dust, grosse, incompatible sealers, and other materials which will interfere with penetration of the stain.
 Before applying stain, mask adjacent floor areas to maintain as sharp a boundary as possible between areas of different colors.
- Job-Site Sample: Apply selected stains in a limited area designated by the Architect, using some motorials which will be used in the finished work, to demonstrate finished effect and quality of workmonship. Modify colors or application as directed by Architect.
- Application of Stoin: Prepare surface and mix and apply stain in accordance with manufacturer's instructions, Scofield Tech-Data Bulletin A-414, using the recommended minimum coverage rate, and at least two applications, to match the appearance of the approved job-site samples.

- Submittals:
 Product Data: Manufacturer's technical specifications and installation instructions; color selections for exposed materials.
 U.L. Designs: For each different through-penstration firestopping condition include schematic illustration, design designation number, and list of approved. c. Shop drawings, where actual conditions vary from the specifics of the tester
- Products: Furnish firestopping fill materials manufactured 3M, Hitti, IPC, STI, Rectorsed, or an equal established manufacturer who can offer a fully—tested Rectorsecs, or on equal escuments manufactured in the frestopping product line.

 a. Furnish accessory materials, such as forming and domming materials, which have been tested and approved by U.L. for the specific design conditions.

 b. Colors: Furnish exposed materials in color selected by the Architect.
- 3. Install firestop systems in accordance with published U.L. designs, approved

97926 - Joint Sealants

- a. Product data.

 b. Samples for selection and verification of color.

shop drawings, and manufacturer's instructions

- Project Conditions:
 Coordinate product selection with joint widths and anticipated joint movement.

 b. Install seciants only when environmental conditions are within ranges
- Products:
 Sonitory Silicone Seciont: Single-component, mildew resistant sonitory silicone section complying with ASTM 0920, Type S, Grade NS, Class 25; Dow Corning "786 Middew Resistant," GE Silicones, "Sonitary SCS1700," Tremco Tremsil 200 Whita."
- b. Latex Sectiont: ASTM C 834, Type P (pigmented), Grade NF, pointable latex sectiont; Pecora Corp. "AC-20+", Sonneborne Div. of ChemRex, Inc. "Sololoc"; Tremco "Tremflex 834." c. Accessories: Furnish backings, band breaker tape, substrate primers,
- C. Accessories: Furnish backings, bond breaker tape, substrate primers, masking tape and cleaners recommended by the sectiont manufacturer to suit oroject conditions.
- 4. Preparation: Clean joint surfaces; remove loose material, grease, and other contaminants that can interfere with bond. Prime joint surfaces where recommended by joint sealant manufacturer, or where testing indicates priming is required. Mask adjoining surfaces to protect them from staining.
- 5. Installation: install scalant backings and scalant in accordance with ASTM (1193. Comply with scalant manufacturer's printed installation instructions applicable to products and applications indicated. Maintain correct scalant depth to joint width ratio for optimum performance. Tool immediately after application to slightly concave profile in order to eliminate oir pockets and ensure contact and adhesion of scalant with sides of joint.
- Field Quality Control: Install sectors in a limited area designated by the Architect. Test for adhesion after installation by hand pull method recommended in ASTM C 1193. If sectors fals, modify substrate preparation techniques, or change to another acceptable section, and ratest.
- 7. Schedule:

 a. Install sanitary silicone sector at joint between countertops and wall, to make them water—and dust—tight.
 b. Install latex scalant to seal gaps between different materials, such as gypsum wall board and abutting surfaces or penetrations, in preparation for pointing.

DIVISION 8 - DOORS AND WINDOWS

- Not Applicable to this ich.
- See Section 09900 for painting existing doors and frames. DIVISION 9 - FINISHES
- Finishes, General Requirements

1. Field measure for quantities; do not scale drawings.

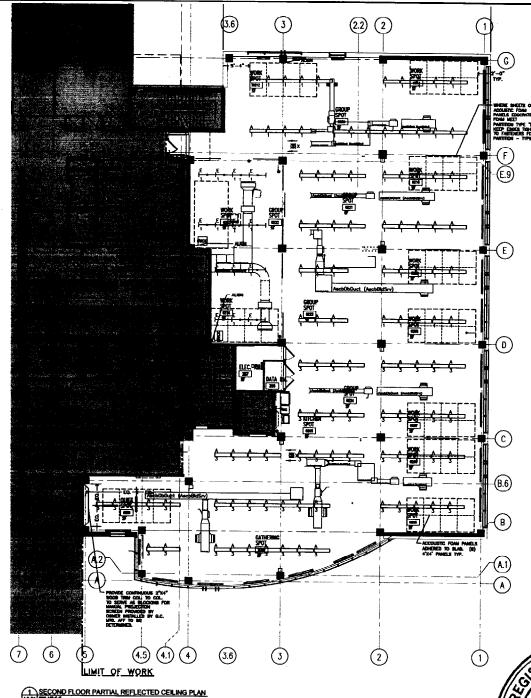
Furnish finish materials in patterns and colors indicated in these notes or on the Drawings. If not indicated, they will be selected by the Architect from the monufacturer's standard patterns and colors.

99250 - Gypsum Soard Systems

- Scope: Instell drywell stud freming and furring for support of gypsum board and speciel facing materials specified in Section 099020. Instell gypsum board, trim, and tape and finish joints ready for application of pointed finish.
- Motor Froming: Furnish steel stude, runnera, furring channels, furring brackets and related components complying with ASTM C 645, manufactured from cold-rolled steel, ASTM A 558 or AS52 with 660 zinc coating.
 Minimum metal thickness 0.0329 inch (20 gauge) before application of
- **Minimum metal thickness 0.0329 in hot 20 gauge) before opplication of protective coating.

 Sypsum Board: ASTM C 36, with long edges topered for joint finishing. Furnish foll-faced gypsum board where indicated for installation on exterior wolls behind fin-tube radiation.

 C. Fasteners: ASTM C1002 bugle-shaped, Phillips head, drywall screws, Type
- 5-12° for 20 gauge studs.
 d. Drywall Trim: Golvanized steel with perforated flanges.
 e. Johnt finishing materials: ASTM C475. Perforated tops. Chemical-hardening joint compound for bedding and filling: vinyt-base compound—type for topping.
- 3. Install steel stud framing in accordance with ASTM C-754 and details. Space studs 16" o.c. unless otherwise shown. Anchor tracks securely to concrete floor slabs above and below, unless otherwise indicated.
- 4. Install gypsum board in accordance with ASTM C-840. Unless otherwise indicated, install boards vertically, full height of wall. Tape joints and finish with three coats of joint compound over joints, fastener heads and flanges of metal trim. Sand joints smooth and flush with face of drywall; leave ready for
- 5. Gypsum Board Installation Tolerances
- a. Plumb, Level, and Flat: Do not exceed a variation of 3/18" in 8'-0", and 1/8" in 4'-0" (dil directions). b. Joints between panels: Do not exceed 1/15" offset of planes.



SECOND FLOOR PARTIAL REFLECTED CEILING PLAN

GENERAL CELING PLANS MOTES:
- SEE ELECTRICAL AND MECHANICAL DRAWINGS FOR EXACT LOCATIONS OF ALL DEVICES/FOTURES.
- CUT AROUND ACOUSTICAL FORM TO FIT TIGHT TO ALL SLAS HUNG EQUIPMENT PROVIDE BLOCKING FOR WINDOW TREATMENT FOR ALL PERIMETER WINDOWS

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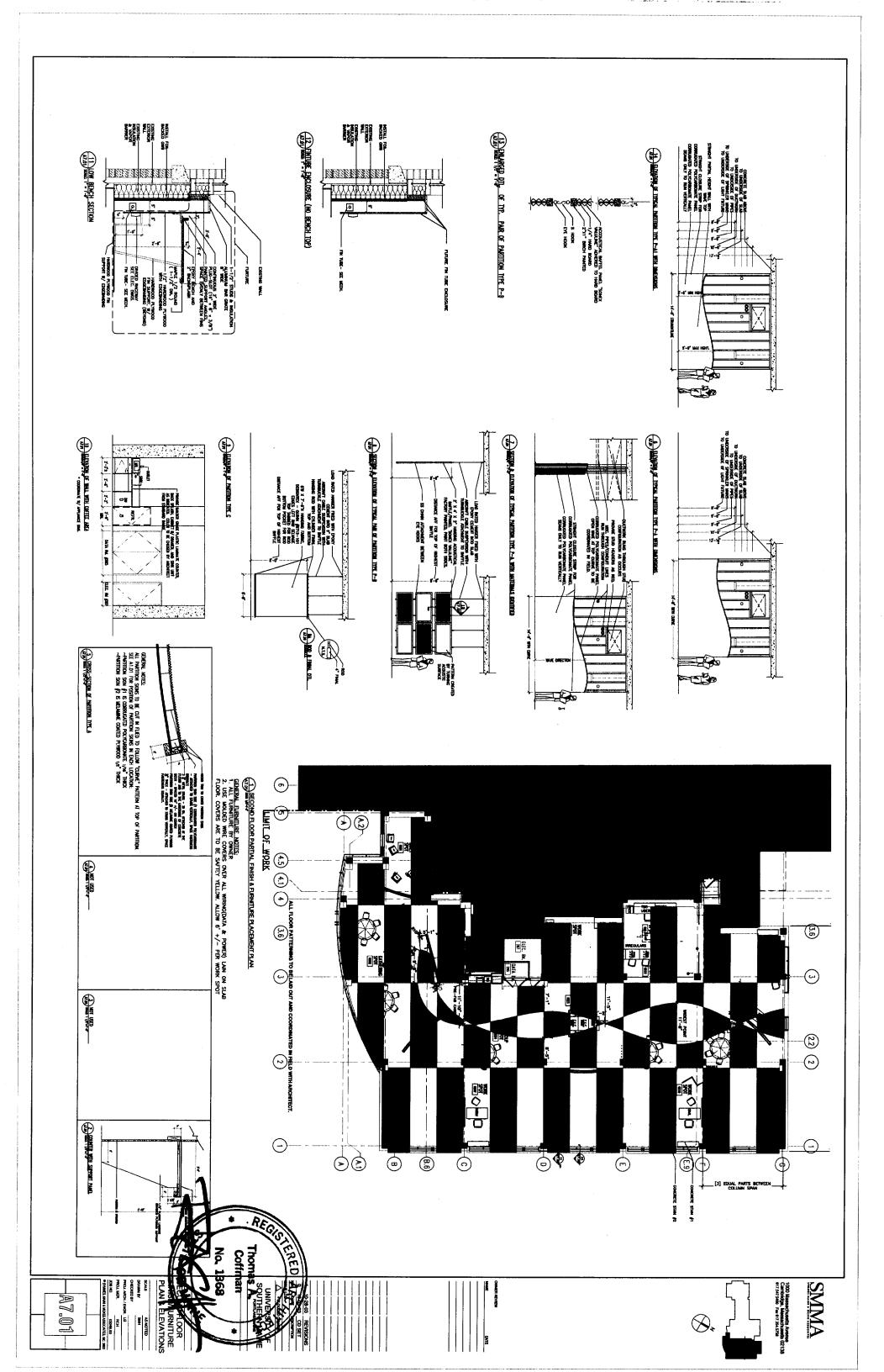
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DRAWN BY PROJ. ARCH. / ENGR. LO P SYMMES, MAIN & MCKEF ASSOCIATES, INC. 26

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1. Comply with provisions in A SIAER Bill berion, "Code for Pressers Papers," . Such Support Welding. Quild's procuses and operator according to AWS DLI, "Structural ling Code-Stand." side Operation and Maintenance (OdAO) Minasain and complete parts links for each heat of talked after apparents of shorp drawnings in such quantity as directed by the Googeti nter: Provide a writes garrates for all materials and equipment fermithed and installed. And he for one (1) year from the date of acceptance of the halding by the Owner. Mandoor: Coerfitate all work installed wader this specification with that of all other l ter ad tradien presere sket netal a abrea. I single doct sir terminal units with but welet cols und usectated ductrock and spa, releva. Mitaga and machitisa. s at laker, materials and equipment required to provide all HVAC and by described in other trades complete, in place, as shown on the drawings very fer a proper suitableion. or and existing work before, during and other installation may to install, complete and mady for continuous ming systems, and phombing appearant and equipment for versity or Southern Meines in South Partians, Maine, ficates of impections from all ing

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out-off Reck, but resistant construction with standard
diag requirements of NIPA SUA and UL181;

-EXECUTION
Provide Alby functioning HVAC systems

Cold water and hat water shall be Type "L" copper tabing with syrought copper or cast to style fisting. All joints shall be made up with coldared connections.

Solder shall be least-free, 95-5 or other approved lead free solder made for joins in puzzlo

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3.02 Imperior. All work shall be adject to the imperiors of the Owner, the Architect and such other impactors bening primitation. A properly consisted entitle ste of imperiors shall be provided.

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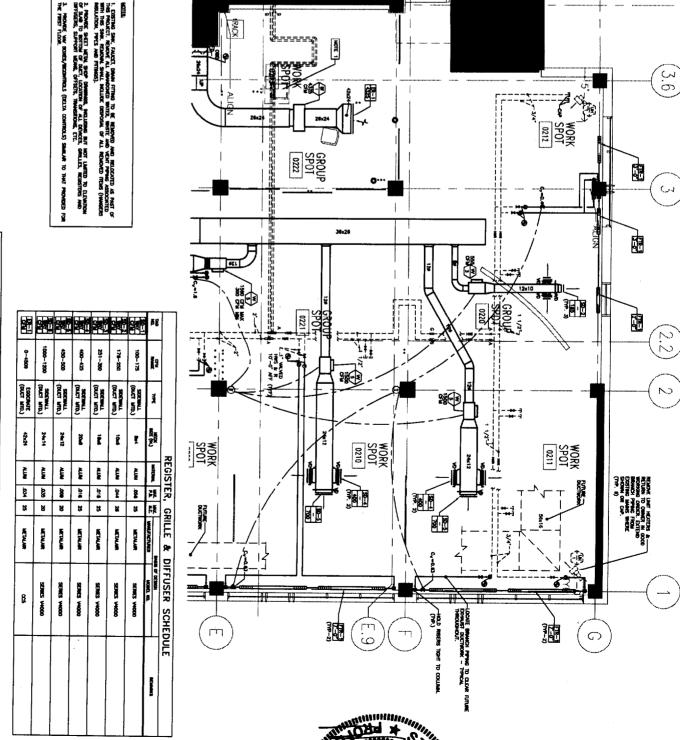
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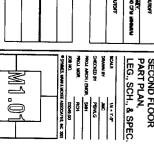
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SHIBIT METAL

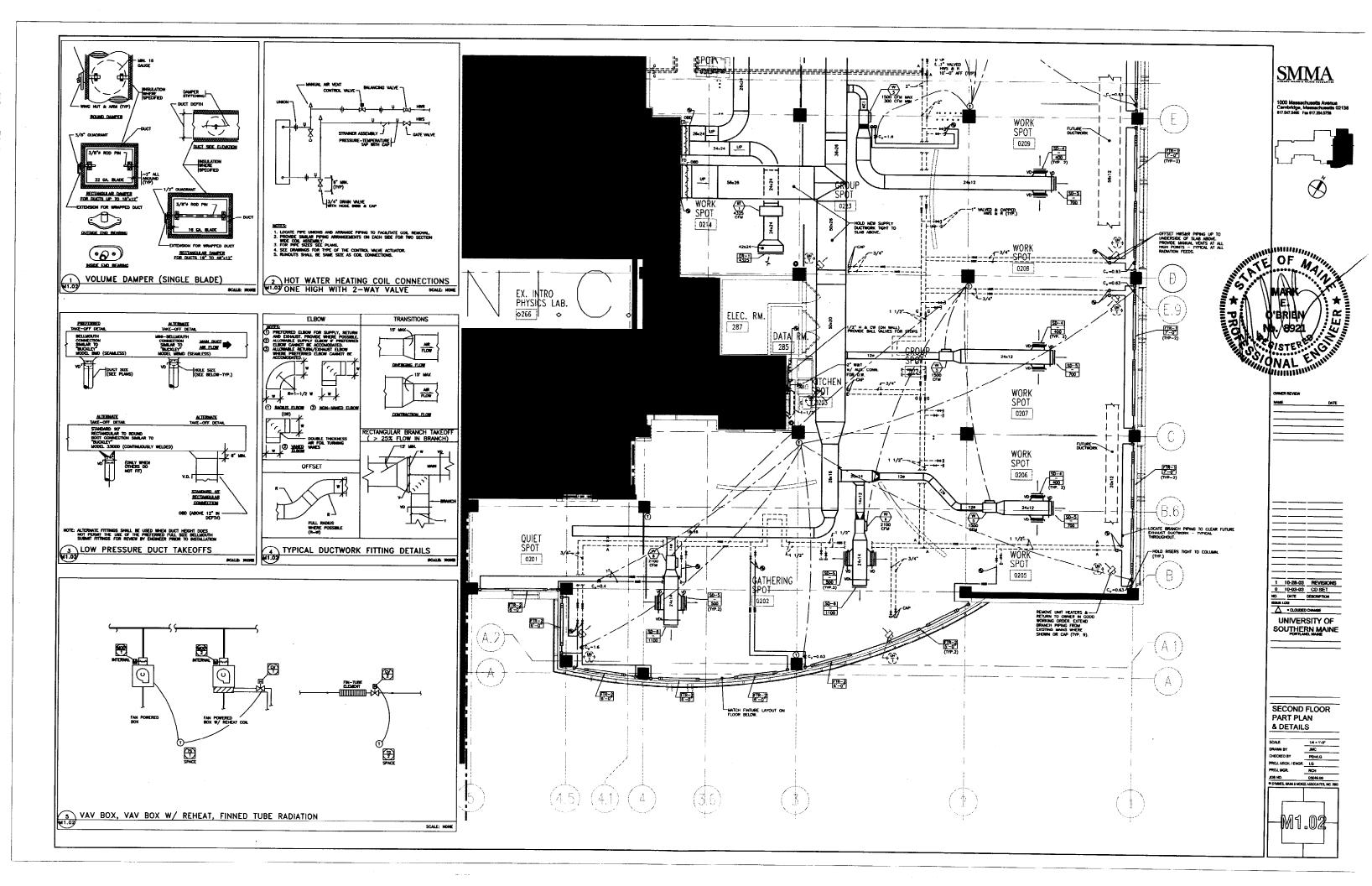


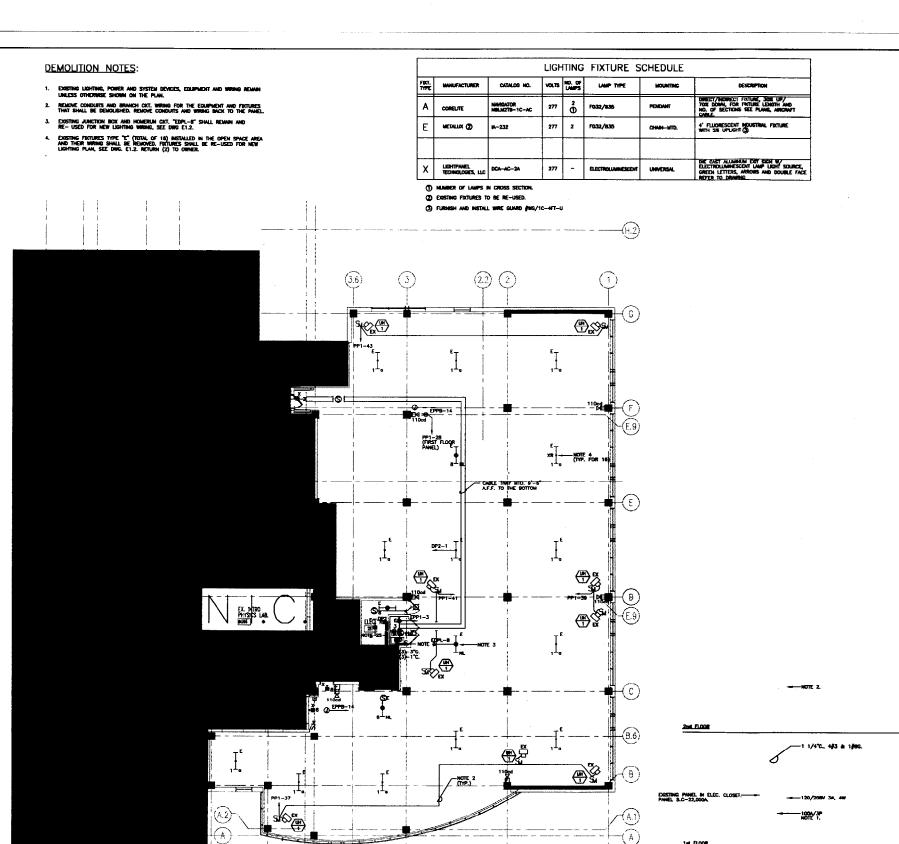
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SECOND FLOOR PART PLAN, LEG., SCH., & SPEC.





NOTES:

- PANEL 100A MLO, 120/2084, 34, 4W, SURFACE MTD. (24) 20A/1P CHICUIT BREAKER, TOTAL 42 POLES, S.C.-10,000A.

ELECTRICAL SPECIFICATION:

- A. ELECTRICAL WORK INCLUDES BUT IS NOT NECESSARRY LIMITED TO THE EVILORIBLE
- 1. CROUNDING.
- 2. POWER PANEL
- 3. SAFETY SMITCHES AND CIRCUIT RREAKERS
- 4. PANEL FEEDER WRING AND CONDUIT.
- 8. RECEPTACLES, SWITCHES AND OTHER DEVICES.
- 7. OUTLET BOXES, RECEPTACLES, SWITCHES AND OTHER DEVICES.
- 8. EMERGENCY LIGHTING SYSTEM.
- 8. LIGHTING FOCTURES COMPLETE WITH LAMPS, RALLASTS AND BELATED WIREAC
- 10. TESTING.
- B. WORK BY OWNER OR SEPARATE CONTRACTOR:
- TELEPHONE AND DATA EQUIPMENT, TRUNK CABLES TO THE TELEPHONE CLOSETS, OUTLETS WRING AND RELATED ITEMS.
- 1. THE WORK SHALL BE EXECUTED IN STRICT CONFORMITY WITH NATIONAL ELECTRICAL CODE, ALL LOCAL REGULATIONS THAT MAY APPLY AND THE
- THIS CONTRACTOR SHALL SECURE ALL PERMITS, PAY FEES, PERFORM ALL TASKS AND ARRANGE FOR INSPECTIONS REQUIRED FOR THE WORK SPECIFIED LINDER THIS SECURITY.

D. SURMITTALS

- 1. PRODUCT DATA: FOR ALL SPECIFIED PRODUCTS AND MATERIALS
- A. CONDUIT.
- B. WIRE AND CABLE.
- DISCONNECT SWITCHES.
- D. WRING DEVICES AND PLATES.

- A. POWER AND LIGHTING PANELS

- 1. FEEDER AND BRANCH CIRCUIT EQUIPMENT GROUNDING CONDUCTORS SHALL HAVE GREEN BASILATION

- I. FITTINGS FOR ELECTRICAL METALLIC TURNIC SHALL BE STEEL SET SCREW TYPE.

- ALL WIRING DEVICES SHALL HAVE FACES AND SWITCH HANDLES OF MYLON, DEVICE COLOR AND TACE PLATE SHALL MAYON DUSTING.
- 3. DUPLEX CONVENENCE DUTLETS SHALL BE RATED 20 AMP, 120-VOLTS GROUNDING TYPE, EDUM. TO HUMBELL \$5362.

- 3. LAMPS SHALL BE ENERGY SAVING TYPE, CRI FOR FLUORESCENT LAMPS SHALL BE NOT LESS THAN JR2 ALL AS LISTED ON FOTURE SCHEDURF

- 3. TIN-PLATED ALUMINUM PHASE AND NEUTRAL BUS, COPPER EQUIPMENT GROUND BAR.

- PANELBOARD SHALL BE IDENTIFIED WITH ITS MAKE ENGRAVED ON A SCREW FASTISHED, BANELITE TYPE MAKEPLATE.

- . INSPECTION AND TESTS:
 - . ALL WORK SHALL BE SUBJECT TO THE INSPECTION OF THE OWNER, THE ARCHTECT AND SUICH OTHER INSPECTORS AS HAVE JURISDICTION. A PROPERLY EXECUTED CERTIFICATION OF INSPECTION SHALL BE PROVIDED.

CONDUIT AND WINE:

HOMERUN TO PANELBOARD "PP21", CRCUIT NOS. 1,3,5. DIAGONAL LINES RIDICATE MUNIER OF PHASE AND MEUTRAL WINES, NO DIAGONAL LINES RIDICATES 1/2"C. - 2/12 & 1/12 GHD., LINLESS OTHERWISE HOFED.

RACEMAY CONCEALED IN COLING OR WALLS, OR EXPOSED IN UNFINISHED

CELLING OR WALL, SURFACE OR RECESSED MOUNTED FLUORESCENT LIGHTING FORTURE; "A" DENDIES TYPE (REFER TO PRITURE SCHEDLLE), MALERAL DENDIES FROILET NUMBER, "B" DENDIES FRÜNE CONTROLLED BY SWITCH "b".

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SINGLE POLE SWITCH MOUNTED 4'-0" A.F.F.

- TWO POLE SWITCH MOUNTED 4"-0" A.F.F.
- THREE WAY SWITCH MOUNTED 4'-0" A.F.F.
- FOUR WAY SWITCH MOUNTED 4"+0" A.F.F.

COMBINATION DATA/TELEPHONE CUTLET: MOUNTED 18" A.F.F. "W" MIDICATES MOUNTED 54" A.F.F. 4" SQUARE BOX WITH SWICLE GANG PLASTER RING, 3/4" COMBUT UP TO THE STRUCTURAL CELLING WITH 90 " ELBOW, TERMINATE WITH PLASTER BEHAVIOR.

- AROVE FINISHED FLOOR
- EXPLOSION PROOF.
- NOT TO SCALE.
- FXISTING DEVICE SHALL DELAN
- EXISTING DEVICE SHALL BE RELOCATED AS SHOWN ON PLANS.

LARM PULL STATION MOUNT BOTTOM OF DEVICE AT 4'-0" A.F.F. FIRE ALARM HORN /STROBE COMBINATION MOUNT BOTTOM OF DEVICE AT 6"-1" A.F.F. OR 6" BELOW CELLING, WHICHEVER IS LOWER, "11004" DENOTES STROBE CAMBELA NATION, NO "6" WALLE NOBLOATES PROMOTE "TS.O." STROBE

FIRE ALARM STRONE ONLY MOUNT BOTTOM OF DEACE AT 6"-8" A.F.F. OR 6" BELOW CREINE, WHICHEVER IS LOWER, "1100" DENOTES STRONE CAMPILE BATTOM IN "6" WHILE INDUSTRY BECAUSE "TWO TO THANK

FIRE ALARM HEAT DETECTOR, FIXED TEMPERATURE TYPE. "135" INDICATES TEMPERATURE SETTING.

FIRE ALARM HEAT DETECTOR, COMMINATION NATE OF RESE/FRED

FIRE ALARM DUCT TYPE SMOKE DETECTOR

MAGNETIC BOOK HOLDER

(FS) FLOW SWITCH

REMOTE (LED) INDICATOR LIGHT

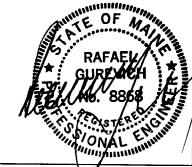
MOTOR, NUMERAL INDICATES HORSEPOWER.

NON-FUSED DISCONNECT SWITCH, 3 POLE, 30 AMP, UNLESS OTHERWISE MOTED. FUSED 3 POLE DISCONNECT SWITCH. "30A" DENOTES SWITCH SIZE, "20A" DENOTES FUSE SIZE.

MAGNETIC MOTOR STARTER.

SURFACE MOUNTED 120/208 VOLT PANELBOARD 6'-6" A.F.F. TO TOP. (FLUSH

SURFACE MOUNTED 277/480 VOLT PANELBOARD 6"-6" A.F.F. TO TOP. (FLUSH MOUNTE) DRY TYPE TRANSFORMER, RATING AS INDICATED ON SCHEMATIC RISER



SMMA



0 10-03-03 CO SET 10. DATE DESCRIPTION UNIVERSITY OF SOUTHERN MAINE

LEGEND, SPECIFICATIONS, FIXTURE SCHEDULE, ONE-LINE DIAGRAM AND DEMOLITION PLAN

EXPANSION OF THE MOSCIENCES MISTITUTE & THE INFORMATIONAL SCIENCES MISTITUTE

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(4.5) (4.1)

(7) (8)

SECOND FLOOR PLAN - DEMOLITION

ONE-LINE DIAGRAM