

City of Portland, Maine - Building or Use Permit Application
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No. 01-0686	Issued Date 15 2001	CBL: 114A A001001
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Location of Construction: 96 Falmouth St	Owner Name: University Of Maine	Owner Address: 107 Maine Ave Bangor, Me 04401	Phone: 207-780-4751
Business Name: n/a	Contractor Name: Dean & Allyn Inc.	Contractor Address: 8 Alling Dr. Gray	Phone: 2076575646
Lessee/Buyer's Name: n/a	Phone: n/a	Permit Type: Building Miscellaneous	Zone: R-5

Past Use: School / Science Building	Proposed Use: Same: Install Sprinkler System. Upgrade Fire Alarm, Upgrade Access to Bathrooms and renovate Basement. Call Brian at 874-2323 when ready.	Permit Fee: \$4,824.00	Cost of Work: \$800,000.00	CEO District: 2
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FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: B Type: PERMIT ISSUED WITH REQUIREMENTS
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Proposed Project Description:
Install Sprinkler System, Upgrade Fire Alarm, Upgrade Access to Bathrooms and renovate basement

Signature: *[Signature]*
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)
 Action: Approved Approved w/Conditions Denied
 Signature: _____ Date: _____

Permit Taken By: cih	Date Applied For: 06/12/2001	Zoning Approval
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>[Signature]</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied <i>[Signature]</i> Date: _____
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6/14/01

PERMIT ISSUED WITH REQUIREMENTS

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT _____ ADDRESS _____ DATE _____ PHONE _____

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE _____ DATE _____ PHONE _____

THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE PERMIT IS ISSUED

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

96 Falmouth

Location/Address of Construction: *Univ. of Southern Maine Science Bldg., Falmouth St.*

Total Square Footage of Proposed Structure	<i>N/A</i>	Square Footage of Lot	<i>N/A</i>
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Tax Assessor's Chart, Block & Lot Number Chart# <i>114</i> Block# <i>AA</i> Lot# <i>001</i>	Owner: <i>Univ. of Maine System c/o Univ. of Southern Maine Facilities Management Dept. 96 Falmouth St. Portland ME 04104</i>	Telephone#: <i>780-4751</i>
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Lessee/Buyer's Name (If Applicable) <i>N/A</i>	Owner's/Purchaser/Lessee Address: <i>N/A</i>	Cost Of Work: <i>\$ 900,000</i> Fee: <i>\$ 4824.00</i>
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Current use: *Existing Science Building containing offices, classrooms and teaching labs.*

If the location is currently vacant, what was prior use:
Approximately how long has it been vacant:

Proposed use: *Same.*

Project description: *Installation of Fire Sprinkler system, upgrade of Fire Alarm system, accessibility upgrades of public restrooms and selective renovation of basement level.*

Contractor's Name, Address & Telephone: *HVAC + Plumbing: TBD
Electrical: TBD*

Fire Protection: Dean & Allen Inc., 8 Alling Dr., Gray ME 04039

Applicants Name, Address & Telephone: *(T) 207-657-8646*

Construction Manager: *Azzagalli Construction Company
100 Foden Rd West, South Portland ME 04106*

Who should we contact when the permit is ready: *Brian Holmes* *(T) 207-874-2323*

Telephone: *207-874-2323* *xx Call*

If you would like the permit mailed, what mailing address should we use:

RECEIVED

JUN 12 2001

Rec'd By: *6/12/01*
Coop

THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE PERMIT IS ISSUED

PLOT PLAN INCLUDES THE FOLLOWING:

- The shape and dimension of the lot, all existing buildings (if any), the proposed structure and the distance from the actual property lines. Structures include decks porches; a bow windows cantilever sections and roof overhangs, as well as, sheds, pools, garages and any other accessory structures.
- Scale and North arrow; Zoning District & Setbacks
- First Floor sill elevation (based on mean sea level datum);
- Location and dimensions of parking areas and driveways;
- Location and size of both existing utilities in the street and the proposed utilities serving the building;
- Location of areas on the site that will be used to dispose of surface water.
- Existing and proposed grade contours

A COMPLETE SET OF CONSTRUCTION DRAWINGS INCLUDES THE FOLLOWING:

- Cross Sections w/Framing details (including porches, decks w/ railings, and accessory structures)
 - Floor Plans & Elevations
 - Window and door schedules
 - Foundation plans with required drainage and damp proofing
- Electrical and plumbing layout. Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment (air handling) or other types of work that may require special review must be included.

SEPARATE PERMITS ARE REQUIRED FOR INTERNAL & EXTERNAL PLUMBING, HVAC AND ELECTRICAL INSTALLATIONS

- All construction must be conducted in compliance with the 1999 B.O.C.A. Building Code as amended by Section 6-Art II.
- All plumbing must be conducted in compliance with the State of Maine Plumbing Code.
- All Electrical Installation must comply with the 1999 National Electrical Code as amended by Section 6-Art III.
- HVAC (Heating, Ventilation and Air Conditioning) installation must comply with the 1993 BOCA Mechanical Code.

Minor/Minor Site Review Fee for New Single Family homes: \$300.00/Building Permit Fee: \$30.00 for the 1st \$1000.cost plus \$6.00 per \$1,000.00 construction cost thereafter.

ONE SET OF SUBMISSIONS INCLUDING CONSTRUCTION AND SITE PLAN DRAWINGS MUST BE SUBMITTED ON PAPER NO LARGER THAN 11" x 17" BEFORE ANY BUILDING PERMIT WILL BE ISSUED

Certification

I hereby certify that I am the Owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <i>Brian A. Fahnke</i>	Date: <i>6/11/01</i>
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BUILDING PERMIT REPORT

DATE: 13 June 2001 ADDRESS: 96 Falmouth ST. CBL: 114A-A-001

REASON FOR PERMIT: To Install Sprinkler Sys. / Upgrade Fire Alarm

BUILDING OWNER: U. of Me.

PERMIT APPLICANT: _____ CONTRACTOR: Dean & Allen Inc.

USE GROUP: B CONSTRUCTION TYPE: _____ CONSTRUCTION COST: \$800,000. PERMIT FEES: \$4,824.00

The City's Adopted Building Code (The BOCA National Building Code/1999 with City Amendments)
The City's Adopted Mechanical Code (The BOCA National Mechanical Code/1993)

CONDITION(S) OF APPROVAL

This permit is being issued with the understanding that the following conditions shall be met: *1, *22, *23, *24, 38, 39

- 1. This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
2. Before concrete for foundation is placed, approvals from the Development Review Coordinator and Inspection Services must be obtained.
3. Foundation drain shall be placed around the perimeter of a foundation that consists of gravel or crushed stone containing not more than 10 percent material that passes through a No. 4 sieve.
4. Foundations anchors shall be a minimum of 1/2" in diameter, 7" into the foundation wall, minimum of 12" from corners of foundation and a maximum 6' O.C. between bolts.
5. Waterproofing and dampproofing shall be done in accordance with Section 1813.0 of the building code.
6. Precaution must be taken to protect concrete and masonry.
7. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed.
8. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating.
9. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code.
10. Sound transmission control in residential building shall be done in accordance with Chapter 12, Section 1214.0 of the City's Building Code.
11. Guardrails & Handrails: A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level.
12. Headroom in habitable space is a minimum of 7'6".
13. Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 1/4" maximum rise.
14. The minimum headroom in all parts of a stairway shall not be less than 80 inches.
15. The Minimum required width of a corridor shall be determined by the most restrictive of the criteria under section 1011.3 but not less than 36".
16. Every sleeping room below the fourth story in buildings of Use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue.
17. Each apartment shall have access to two (2) separate, remote and approved means of egress.
18. All vertical openings shall be enclosed with construction having a fire rating of at least one (1) hour, including fire doors with self closure's.
19. The boiler shall be protected by enclosing with (1) hour fire rated construction including fire doors and ceiling, or by providing automatic extinguishment.

20. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's Building Code Chapter 9, Section 920.3.2 (BOCA National Building Code/1999), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following locations):
 - In the immediate vicinity of bedrooms
 - In all bedrooms
 - In each story within a dwelling unit, including basements
21. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type. (Section 921.0)
22. The Fire Alarm System shall be installed and maintained to NFPA #72 Standard.
23. The Sprinkler System shall be installed and maintained to NFPA #13 Standard.
24. All exit signs, lights and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023.0 & 1024.0 of the City's Building Code. (The BOCA National Building Code/1999)
25. Section 25 - 135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".
26. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 MRSA refers, shall obtain a certification from a design professional that the plans commencing construction of the facility, the builder shall submit the certification the Division of Inspection Services.
27. Ventilation and access shall meet the requirements of Chapter 12 Sections 1210.0 and 1211.0 of the City's Building Code. (Crawl spaces & attics).
28. All electrical, plumbing and HVAC permits must be obtained by Master Licensed holders of their trade. No closing in of walls until all electrical (min. 72 hours notice) and plumbing inspections have been done.
29. All requirements must be met before a final Certificate of Occupancy is issued.
30. All building elements shall meet the fastening schedule as per Table 2305.2 of the City's Building Code (The BOCA National Building Code/1996).
31. Ventilation of spaces within a building shall be done in accordance with the City's Mechanical code (The BOCA National Mechanical Code/1993). (Chapter M-16)
32. Please read and implement the attached Land Use Zoning report requirements.
33. Boring, cutting and notching shall be done in accordance with Sections 2305.3, 2305.3.1, 2305.4.4 and 2305.5.1 of the City's Building Code.
34. Bridging shall comply with Section 2305.16.
35. Glass and glazing shall meet the requirements of Chapter 24 of the building code. (Safety Glazing Section 2406.0)
36. All flashing shall comply with Section 1406.3.10.
37. All signage shall be done in accordance with Section 3102.0 signs of the City's Building Code, (The BOCA National Building Code/1999).

38) A Sprinkler Certification Test shall be submitted to the Portland Fire Dept.

39) See attached

[Signature]
 P. Samuel Hoffses, Building Inspector
 cc. A. McDougall, PFD
 Marge Schmuckal, Zoning Administrator
 Michael Nugent, Inspection Service Manager
[Signature]

PSH 10/1/00

****This permit is herewith issued, on the basis of plans submitted and conditions placed on these plans, any deviations shall require a separate approval.**

*****THIS PERMIT HAS BEEN ISSUED WITH THE UNDERSTANDING THAT ALL THE CONDITIONS OF THE APPROVAL SHALL BE COMPLETED. THEREFORE, BEFORE THE WORK IS COMPLETED A REVISED PLAN OR STATEMENT FROM THE PERMIT HOLDER SHALL BE SUBMITTED TO THIS OFFICE SHOWING OR EXPLAINING THAT THE CONDITIONS HAVE BEEN MET. IF THIS REQUIREMENT IS NOT RECEIVED YOUR CERTIFICATE OF OCCUPANCY SHALL BE WITHHELD. (You Shall Call for Inspections)**

******ALL PLANS THAT REQUIRE A PROFESSIONAL DESIGNER'S SEAL, (AS PER SECTION 114.0 OF THE BUILDING CODE) SHALL ALSO BE PRESENTED TO THIS DIVISION ON AUTO CAD LT. 2000, DXF FORMAT OR EQUIVALENT.**

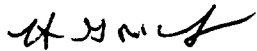
*******CERTIFICATE OF OCCUPANCY FEE \$50.00**

FIRE CODE PERMIT REPORT

DATE: 6/14/01ADDRESS: 96 Fremont StPERMIT TO: USMOWNER/CONTRACTOR: Dean + Allyn IncAPPROVED DENIED CONDITIONS OF APPROVAL/DENIAL

1. The boiler or furnace shall be protected by enclosing with one hour fire rated construction including fire doors and ceiling or by providing automatic extinguishment and smoke protected enclosure. Sprinkler piping serving not more than six sprinklers may be connected to a domestic water supply system having a capacity sufficient to provide a 0.15 gpm, per square foot of floor throughout the entire area. An indicating shut-off valve shall be installed in an accessible location between the sprinkler and the connection to the domestic water supply. Minimum pipe size shall be 3/4 inch copper or 1 inch steel. Maximum coverage area of a residential sprinkler is 144 square feet per sprinkler.
2. All required Fire Alarm Systems shall have the capability of "Zone Disconnect" via switches or key pad program provided the method is approved by the Fire Prevention Bureau.
3. All remote annunciators shall have a visible "trouble" indicator along with the Fire Alarm "Zone" indicators.
4. Any Master Box connected to the Municipal Fire Alarm System shall have a supervised Municipal Disconnect Switch.
5. All Master Box locations shall be approved by the Fire Department Director of Communications. A Master Box shall be located so that the center of the box is five feet above finished floor.
6. All Master Box locations are required to have a locked box (knobox).
7. A fire alarm acceptance report shall be submitted to the Portland Fire Department.
8. All underground tank removal(s) and/or installation(s) shall be done in accordance with the Department of Environmental Regulations (Chapter 691).
9. No cutting of tanks on site. Cutting of tanks is to be done at an approved tank disposal site.
10. Fire Dispatcher must be at least 48 hours in advance of removal and/or transportation of tanks.
11. All above ground L/P storage tanks shall be located in accordance with NFPA 53 Standards.
12. Any tank located near the path of vehicle movement shall be protected with appropriate permanent barricades.

13. All piping shall be protected from possible mechanical damage and vandalism.
14. A 4" storz fire department connection is required.
15. Any new sprinkler construction over six sprinkler heads needs to have State Fire Marshal approval.
16. Any renovations of sprinkler systems over 20 sprinkler heads needs to have State Fire Marshal approval.
17. A sprinkler performance test shall be submitted to the Portland Fire Department after completion of sprinkler work.
18. State Fire Marshal approval is required for this project.



Lt. G. McDougall
Fire Prevention Officer
City of Portland



pizzagalli

construction company
P O Box 2009, So. Burlington, VT 05407-2009

CITY OF PORTLAND

Vendor No.	Alt. Vendor	Check No.	Check Date	Total Amount
85577		609523	06/08/01	4,824.00

Invoice No.	Date	Description	Gross Amount	Deductions	Amount Paid
USM PERMIT	060602	BIO SCIENCE	4,824.00		4,824.00
			----- 4,824.00	-----	----- 4,824.00

PLEASE DETACH STATEMENT BEFORE DEPOSITING



pizzagalli

construction company
P O Box 2009, So. Burlington, VT 05407-2009

Chittenden Bank
Burlington, VT

58-6/116

Vendor No.	Alt. Vendor	Check No.	Check Date	Total Amount
85577		609523	06/08/01	\$*****4,824.00

Pay: FOUR THOUSAND EIGHT HUNDRED TWENTY FOUR AND 00/100 *****

TO THE CITY OF PORTLAND
ORDER OF: DEPT. OF URBAN DEVELOPMENT
389 CONGRESS STREET
PORTLAND ME 04101

GENERAL DISBURSEMENT ACCOUNT


AUTHORIZED SIGNATURE

⑈609523⑈ ⑆011600062⑆ ⑆01117008427006⑈

UNIV. OF SOUTHERN MAINE

PORTLAND CAMPUS
PORTLAND, MAINE

SMMA PROJECT #00013.00

THE BIOSCIENCES INSTITUTE AND
THE INFORMATIONAL SCIENCES INSTITUTE

5-11-2001

RENOVATION PACKAGE

CONSTRUCTION DOCUMENT SET

LIST OF DRAWINGS

A0.1	PARTITION/DOOR TYPES, DETAILS, SYMBOLS AND ABBREVIATIONS	M0.1	HVAC LEGEND
A0.2	DEMOLITION KEY PLAN	M0.2	HVAC SCHEDULE
A0.3	KEY PLAN	M1.0	BASEMENT PLAN
A0.4	CODE ORIENTATION PLAN	M3.1	P & ID
A0.5	CODE ORIENTATION PLAN	M5.1	HVAC DETAILS
AD1.0	BASEMENT DEMO PLAN, 1st & 5th FLOOR DEMO PART PLANS	MD1.0	BASEMENT DEMO PLAN
A1.0	BASEMENT PLAN, 1st & 5th FLOOR PART PLANS	E0.1	LEGEND AND NOTES
A5.1	DEMO AND NEW TOILET ROOM PLANS	ED.0	BASEMENT PLAN-DEMOLITION
A5.2	REFLECTED CEILING PLANS, ELEVATIONS AND DETAILS	ED.1	FIRST FLOOR PLAN-DEMOLITION
FP0.1	F.P. LEGEND AND NOTES	ED.2	SECOND FLOOR PLAN-DEMOLITION
FP1.0	FIRE PROTECTION BASEMENT PLAN	ED.3	THIRD FLOOR PLAN-DEMOLITION
FP1.1	FIRE PROTECTION FIRST FLOOR PLAN	ED.4	FOURTH FLOOR PLAN-DEMOLITION
FP1.2	FIRE PROTECTION SECOND FLOOR PLAN	ED.5	FIFTH FLOOR PLAN-DEMOLITION
FP1.3	FIRE PROTECTION THIRD FLOOR PLAN	ED.6	SIXTH FLOOR PLAN-DEMOLITION
FP1.4	FIRE PROTECTION FOURTH FLOOR PLAN	E2.0	BASEMENT PLAN-POWER/LTG
FP1.5	FIRE PROTECTION FIFTH FLOOR PLAN	E2.1	FIRST FLOOR PLAN-POWER/LTG
FP1.6	FIRE PROTECTION SIXTH FLOOR PLAN	E2.2	SECOND FLOOR PLAN-POWER/LTG
FP2.1	DETAIL SHEET	E2.3	THIRD FLOOR PLAN-POWER/LTG
FP2.2	BUILDING SECTION	E2.4	FOURTH FLOOR PLAN-POWER/LTG
P0.1	PLUMBING LEGEND AND NOTES	E2.5	FIFTH FLOOR PLAN-POWER/LTG
P0.2	SCHEDULES	E2.6	SIXTH FLOOR PLAN-POWER/LTG
P1.0	PLUMBING UNDERGROUND PLAN	E7.1	ELECTRICAL DETAILS
P1.1	PLUMBING BASEMENT PLAN		
P1.2	PLUMBING FIRST FLOOR PLAN		
P1.3	PLUMBING SECOND FLOOR PLAN		
P1.4	PLUMBING THIRD FLOOR PLAN		
P1.5	PLUMBING FOURTH FLOOR PLAN		
P1.6	PLUMBING FIFTH FLOOR PLAN		
P1.7	PLUMBING SIXTH FLOOR PLAN		
P2.1	PART PLANS		



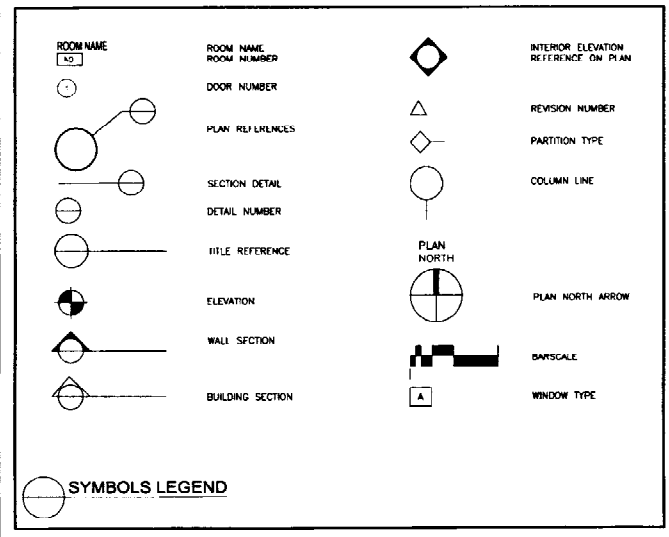
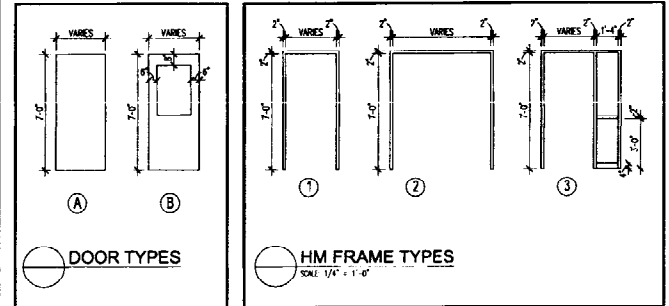
Symmes, Maini & McKee Associates
1000 Massachusetts Avenue Cambridge, Massachusetts 02138
617.547.5400 Fax 617.354.5758

ABV	ABOVE	FOM	FACE OF MASONRY	PMT(D)	PANEL (DO)
ADP	ADDITIONAL CEILING PANEL	FOS	FACE OF STEEL	PK	PIN
AD	ADDENDUM	FP	FIREPROOFING	PSF	POUNDS PER SQUARE FOOT
AF	ABOVE FINISHED FLOOR	FTG	FOOTING	PSI	POUNDS PER SQUARE INCH
AHJ	AIR HANDLING UNIT	FV	FIELD VENT	PT	POINT
ALT	ALTERNATE	CA	CHANCE	PTM	PARTITION
ALUM	ALUMINUM	CAV	CORNER/VAL	QT	QUARRY TILE
APPX	APPROXIMATE	CC	CORNER CONTRACTOR	R	RESER
ARCH	ARCHITECTURE	CL	CLASS, GLAZING	RA	RETURN AIR
BT	BATHROOM	CM	CYPRESS MILLBOARD	RNO	RINGS
BLOC	BUILDING	H/C	HANGING (PTD)	RR	RESILIENT BASE
BS	BOTTOM	H	HIGH	RD	ROOF DRAIN
BRK	BRICK	HWR	HARDWARE	REMF	REINFORCED/REINFORCING
BSMT	BASEMENT	HM	HOLLOW METAL	REF	REFERENCE
BSR	BUILT UP ROOF	HOR	HORIZONTAL	RESO	RESOURED
CFM	COLD-FORMED	HT	HEIGHT	RES	RESILIENT
	METAL FRAMING	MAC	HEATING, VENTILATING, AND AIR CONDITIONING	RET	RETURN
CF	CONTROL JOINT			REV	REVISION
CLG	CEILING	D	DOOR DIMENSION	RN	ROOM
CLOS	CLOSING	INCL	INCLUDE(D), INCLUDING	RO	ROUGH OPENING
CMU	CONCRETE MASONRY UNIT	INFO	INFORMATION	RR	RIBBED RUBBER
COL	COLUMN	INS	INSULATE, INSULATION	RT	RUBBER TILE
CONC	CONCRETE	INT	INTERIOR	SCH	SCHEDULE
CONF	CONFIDENT	JC	JANITOR'S CLOSET	SECT	SECTION
CONET	CONSTRUCTION	JI	JOINT	SF	SQUARE FOOT
CONT	CONTINUOUS	KT	KITCHEN	SFF	SPECIAL FLOOR FINISH
CONTR	CONTRACTOR	L	LEACH/LEAK	SHR	SHOWER
COOR	CORRIDOR	LAB	LABORATORY	SH	SHOWER
CPT	CAPIT	LAM	LAMINATE(D)	SPEC(D)	SPECIFICATIONS(S)
CKS	COURSES	LAV	LAVATORY	SQ	SQUARE
CT	CERAMIC TILE	LF	LINEAR FOOT	SIC	SOUND TRANSMISSION CLASS
DET	DETAIL	LWC	LIQUID WATER WALL COVERING	STD	STANDARD
DF	DRAINING FOUNTAIN	MAX	MAXIMUM	ST	STEEL
DIM	DIMENSION	MC	MCP CABINET	STOR	STORAGE
DM	DIMENSION	MD	MEDIUM DENSITY OVERLAY	STR	STRUCTURAL
DR	DOOR	MCH	MECHANICAL	SV	SHIRT VANE
ENC	ENCLOSURE	ME	MEDIUM	SWC	SPECIAL WALL COVERING
EFS	EXTERIOR INSULATION	MEF	METAL	SW	SYNTHETICAL
	FINISH SYSTEM	MFG	MANUFACTURING	SYS	SYSTEM
EL/ELEV	ELEVATION	MFR	MANUFACTURER	T	TREAD
EXP	EXPANSION JOINT	MN	MINIMUM	TAC	TACKLE AND CHROME
EL/ELEV	ELEVATION	MSC	MISCELLANEOUS	TA	TAPET ACCESSORIES
ELEC	ELECTRICAL	MO	MASONRY OPENING	TLL	TELEPHONE
ELEV	ELEVATION	MR	MOP RECEPTOR	TEMP	TEMPORARY
EMER	EMERGENCY	MTO	MOUNTING (L/S)	THK	THICKNESS
EQ	EQUIP	MTC	MOUNTING	TOP	TOP OF MASONRY
EQPT	EQUIPMENT	MC	NOT IN CONTRACT	TOS	TOP OF STEEL
ERM	EXISTING TO REMAIN	NO	NOT OPERABLE	TPFN	TILE PARTITION
ENC	ELECTRIC WATER COOLER	NOM	NOMINAL	TSL	TOP OF SLAB
EXG	EXISTING	NTS	NOT TO SCALE	TO	TOP OF WALL
EXP	EXPANDED	OR	OVERALL	TRP	TYPICAL
EXN	EXPANSION	OC	ON CENTER	UC	UNDERCUT
EXT	EXTERIOR	OD	OUTSIDE DIMENSION	UN	UNLESS OTHERWISE NOTED
FA	FIRE ALARM	OFD	OTHER FINISHED	VT	VENT COMPOSITE TILE
FBO	FINISHED BY OTHERS/OWNER	OFC	OWNER FINISHED EQUIPMENT	VERT	VERTICAL
FD	FLOOR DRAIN	OH	OVERHEAD	VBS	VENTED WALL BRG
FE	FIRE EXTINGUISHER	OPNC	OPENING	VWC	VINYL WALL COVERING
FEC	FIRE EXTINGUISHER CABINET	OPP	OPPOSITE	W/	WITH
FIN	FINISHED	PLB	PLUMBING	W/O	WITHOUT
FBT	FIXTURE	PLT	PLATE	WO	WOOD
FLR	FLOOR	PLY	PLYWOOD	WPT	WORKING POINT
FRM	FRAMING/FINISH	PM	PRESSED METAL		
FCC	FACE OF CONCRETE	PMU	PORCELAIN MASONRY UNIT		

ABBREVIATIONS (FOR ARCHITECTURAL DRAWINGS ONLY)

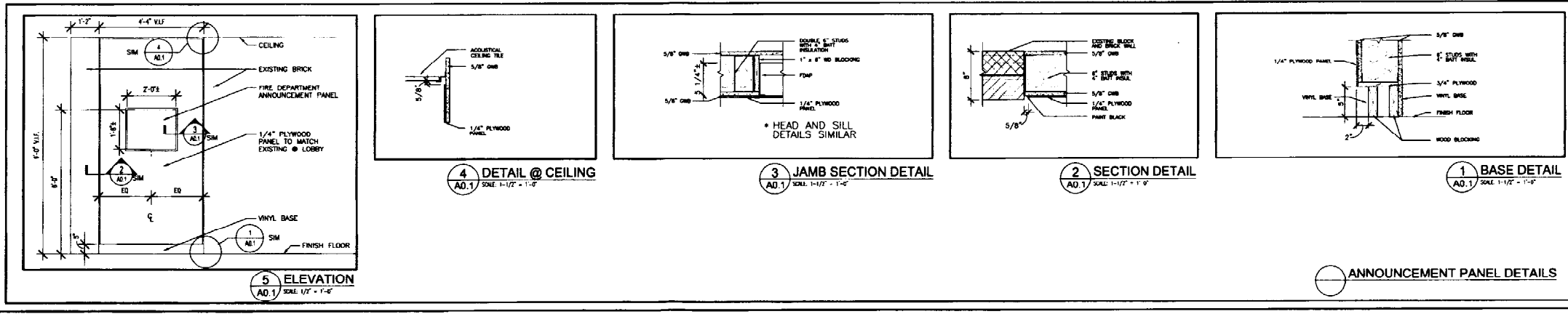
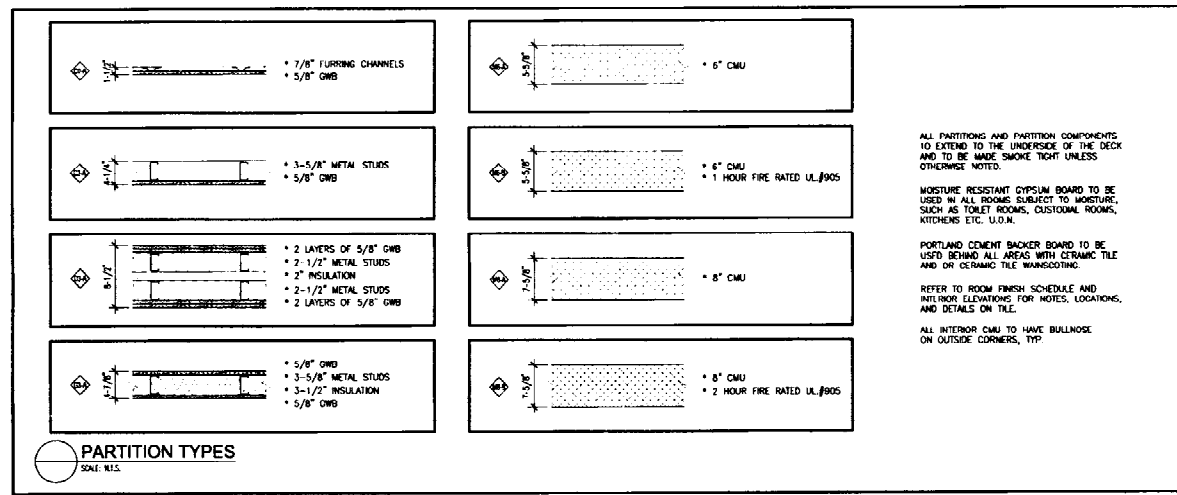
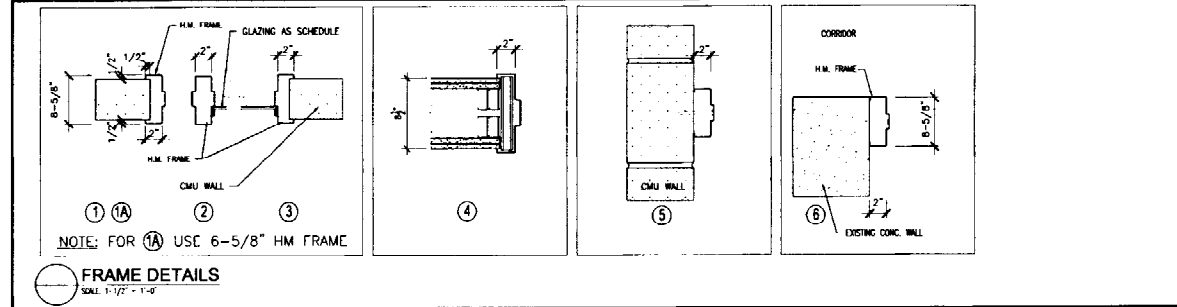
	CONCRETE		WOOD BLOCKING
	CONCRETE MASONRY UNIT		BRICK
	GYPSUM BOARD		BATT INSULATION
	ALUMINUM		RIGID INSULATION
	STEEL		FINISHED WOOD
	ACOUSTIC TILE CEILING		

MATERIAL LEGEND



DOOR SCHEDULE

DOOR #	LOCATION	DOOR		FRAME		GLAZING	DETAILS	REMARKS
		SIZE	MATERIAL	TYPE	LABEL			
BASEMENT								
02	MEN	ROOM #02	3'-0"x7'-0"	WOOD	A			USE EXISTING FRAME. 1" UNDERCUT
7A	IMMUNOLOGY RM.	ROOM #7	3'-0"x7'-0"	WOOD	A			PROVIDE GASKETS ALL AROUND DOOR OPENING
7B	IMMUNOLOGY RM.	ROOM #7	3'-0"x7'-0"	WOOD	A			PROVIDE GASKETS ALL AROUND DOOR OPENING
8A	DATA CL.	ROOM #8	3'-0"x7'-0"	WOOD	A			
8B	DATA CL.	ROOM #8	3'-0"x7'-0"	WOOD	A			
8C	DATA CL.	ROOM #8	3'-0"x7'-0"	WOOD	A			
8A	OFFICES	ROOM #8	3'-0"x7'-0"	WOOD	B			1, 2, 3
9B	OFFICES	ROOM #9	3'-0"x7'-0"	WOOD	B			1, 2, 3
19	MEN	ROOM #19	3'-0"x7'-0"	WOOD	A			1" UNDERCUT
20	WOMEN	ROOM #20	3'-0"x7'-0"	WOOD	A			USE EX. FRAME, REVERSE HINGE SIDE. 1" UNDERCUT
61	FIRE PUMP	ROOM #61	3'-0"x7'-0"	HM	A	B		90 MINUTES
60A	NEW ELECT. RM.	ROOM #60	3'-0"x7'-0"	HM	A	B		90 MINUTES
60B	NEW ELECT. RM.	ROOM #60	3'-0"x7'-0"	HM	A	B		90 MINUTES
72B	TISSUE CULTURE	ROOM #72B	3'-0"x7'-0"	HM	A	B		90 MINUTES
72C	HAZARDOUS WASTE	ROOM #72C	3'-0"x7'-0"	HM	A	B		90 MINUTES
FIRST FLOOR								
	102	WOMEN	ROOM #102	3'-0"x7'-0"	WOOD	A		1" UNDERCUT
SECOND FLOOR								
	202	WOMEN	ROOM #202	3'-0"x7'-0"	WOOD	A		1" UNDERCUT
	204	JAN	ROOM #204	3'-0"x7'-0"	WOOD	A		1A
	216	UNISEX	ROOM #216	3'-0"x7'-0"	WOOD	A		USE EXISTING FRAME. 1" UNDERCUT
	216A	STORAGE	ROOM #216A	3'-0"x7'-0"	WOOD	A		1A 60 MINUTES
THIRD FLOOR								
	302	MEN	ROOM #302	3'-0"x7'-0"	WOOD	A		1" UNDERCUT
FOURTH FLOOR								
	402	WOMEN	ROOM #402	3'-0"x7'-0"	WOOD	A		1" UNDERCUT
FIFTH FLOOR								
	502	MEN	ROOM #502	3'-0"x7'-0"	WOOD	A		1" UNDERCUT



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Partitions/Door Types
Details, Symbols
and Abbreviations

SCALE AS NOTED
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CHECKED BY LG
PROJ. ARCH / ENGR. LG
PROJ. MGR. JMS
JOB NO. 00013.00
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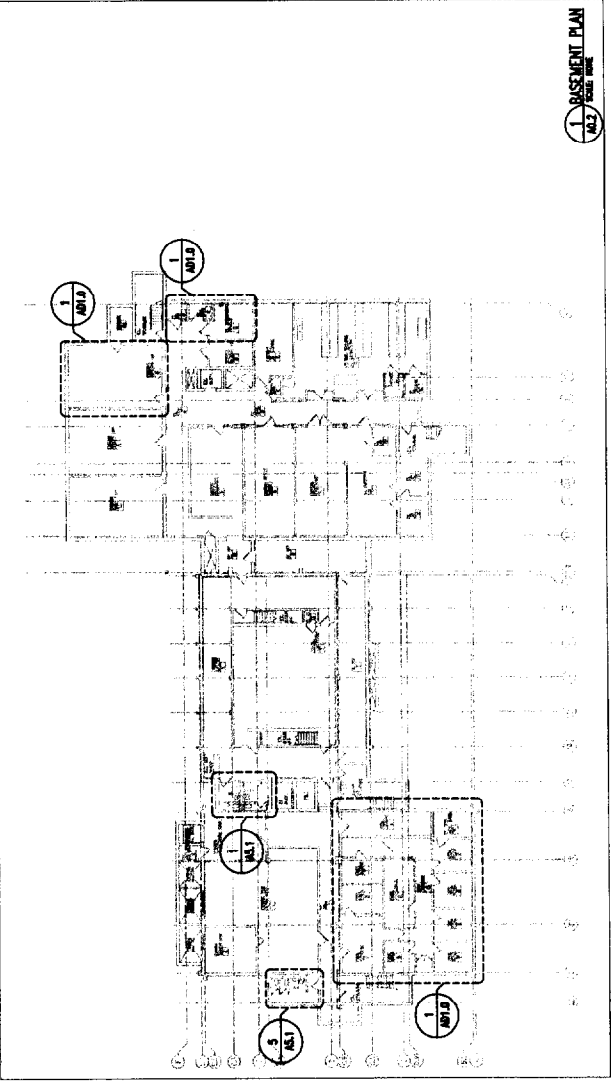
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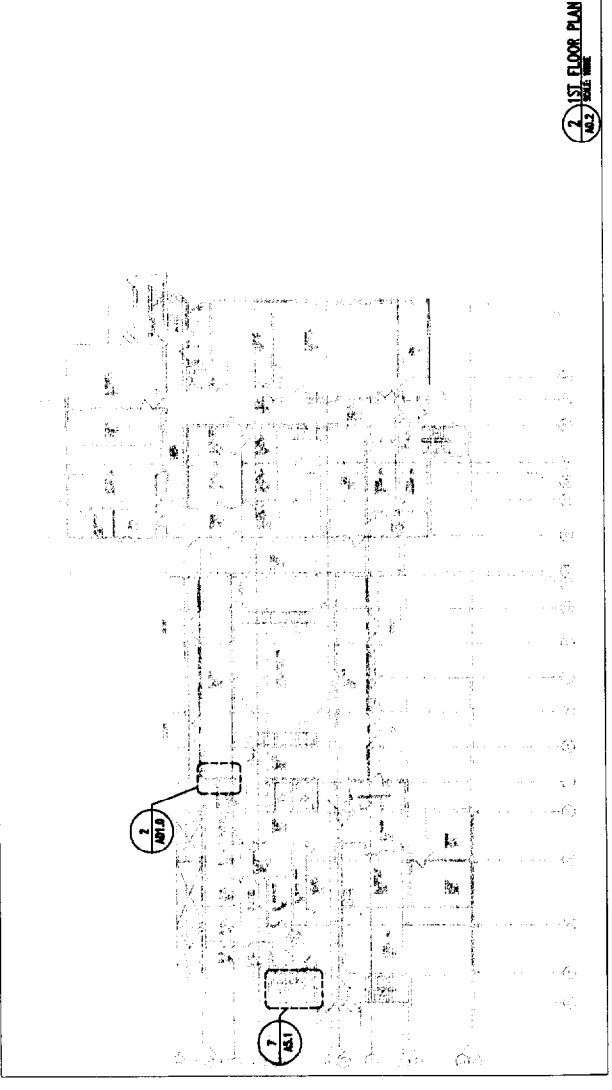
**DEMOLITION
 KEY PLAN**

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 PROJECT NO. 205
 DATE: 10/11/10
 ENGINEER AND ASSOCIATES P.C. INC.

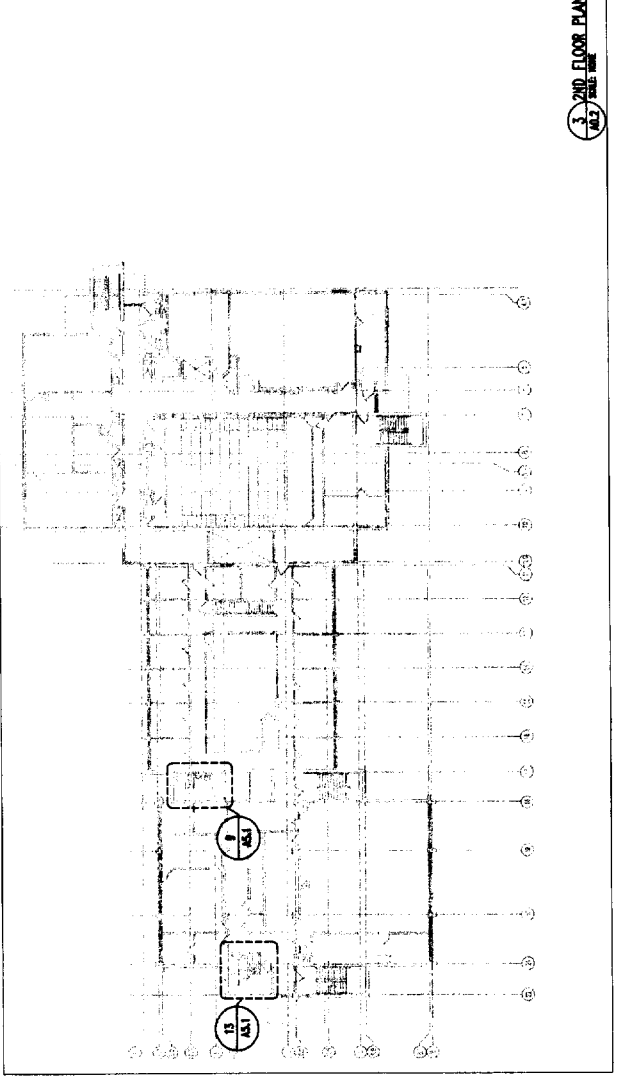
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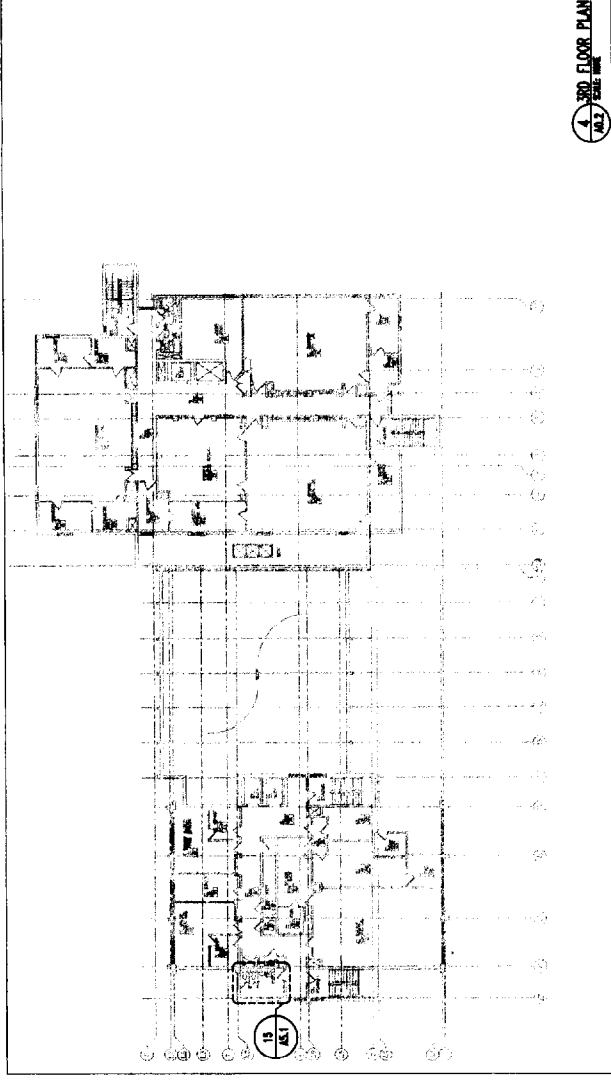
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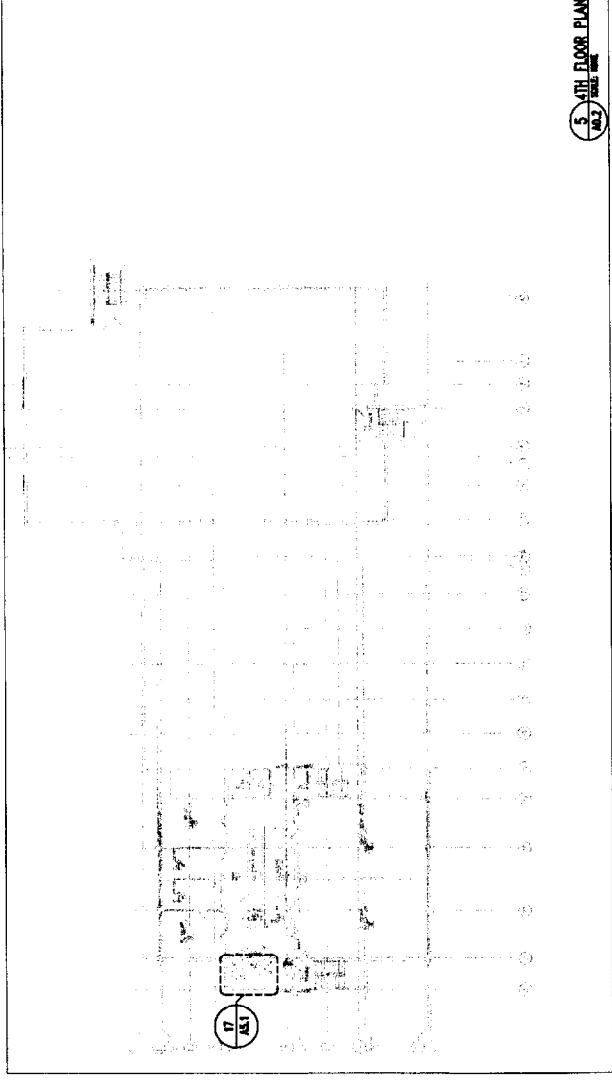
**2. 1ST FLOOR PLAN
 A0.2 SCALE**



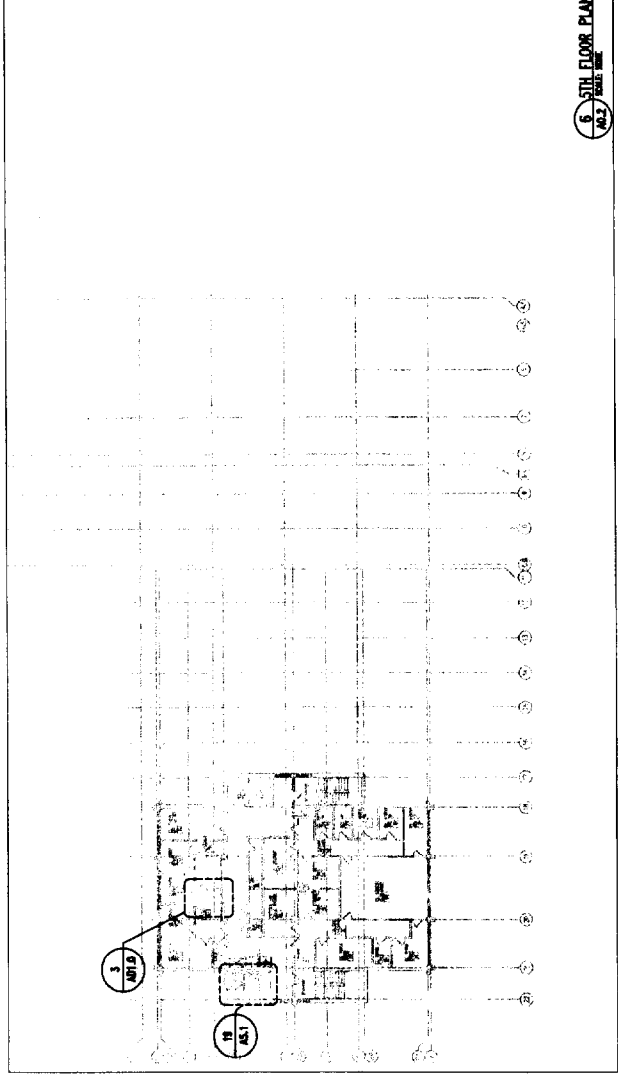
**3. 2ND FLOOR PLAN
 A0.2 SCALE**



**4. 3RD FLOOR PLAN
 A0.2 SCALE**



**5. 5TH FLOOR PLAN
 A0.2 SCALE**



**6. 6TH FLOOR PLAN
 A0.2 SCALE**

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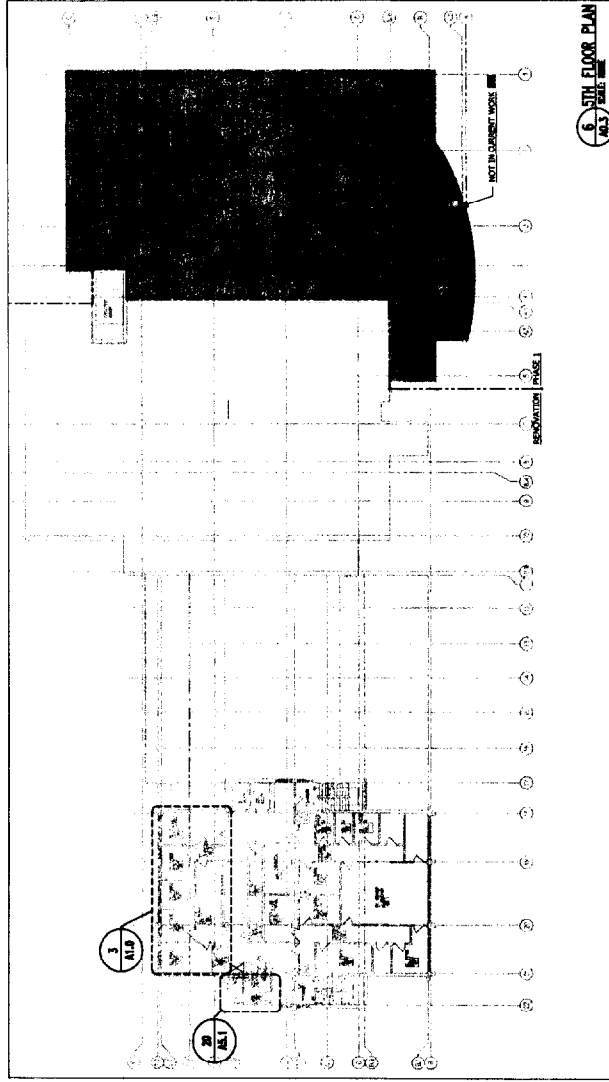
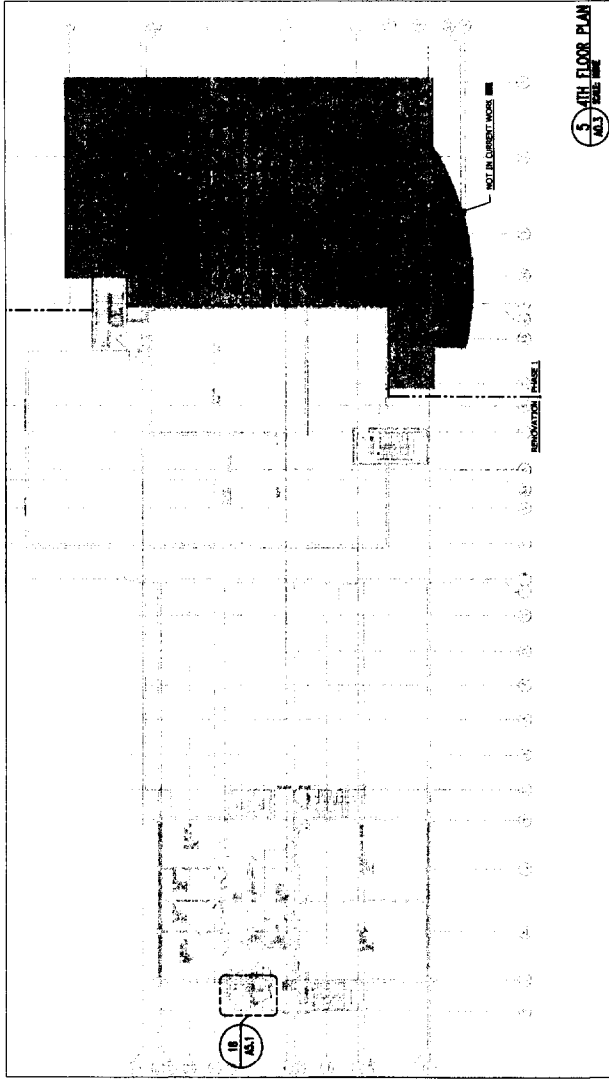
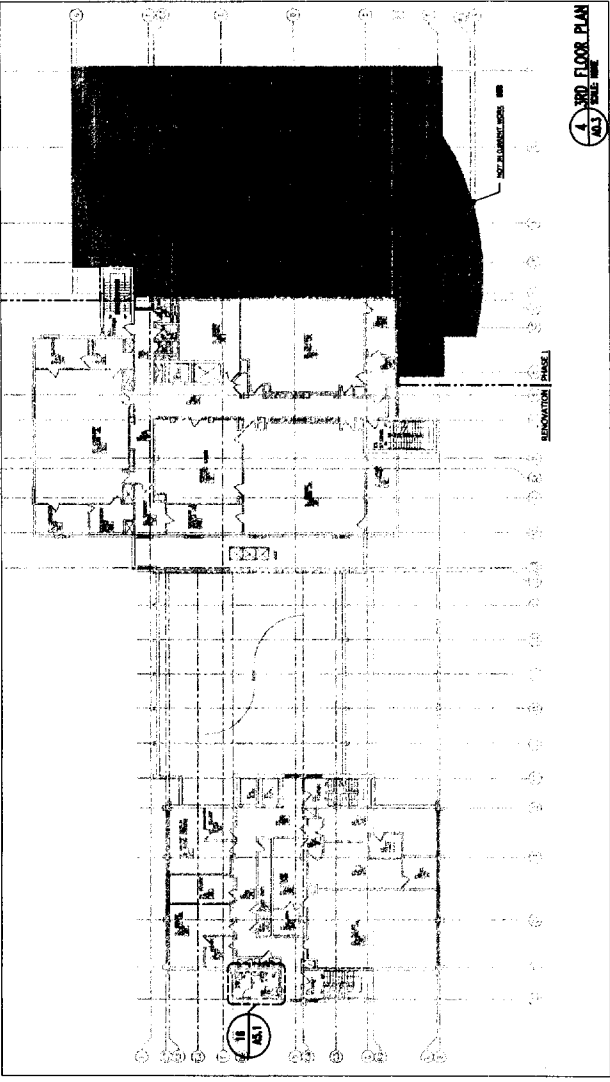
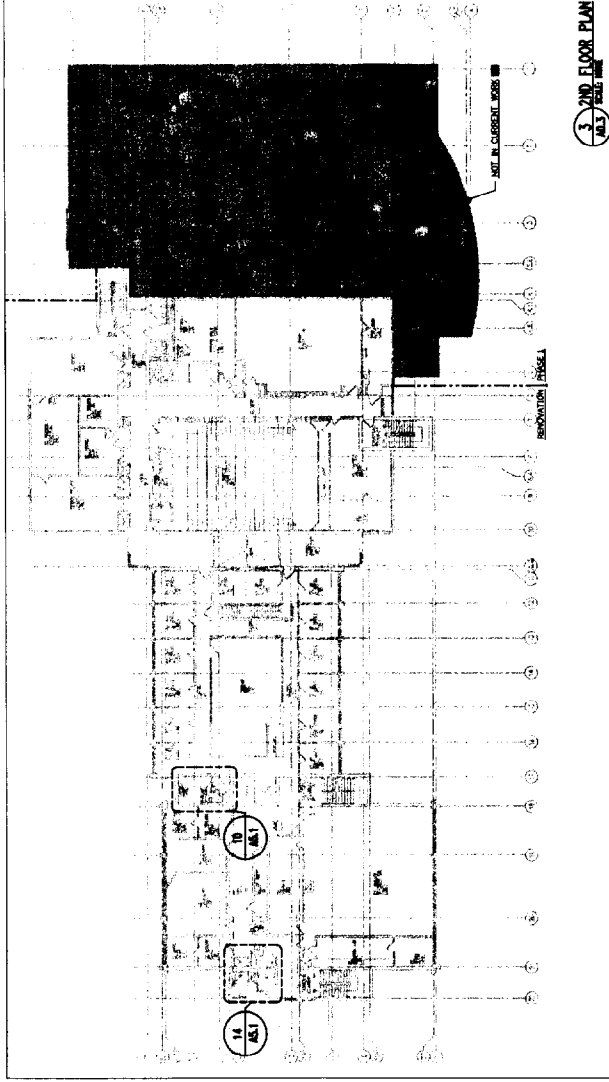
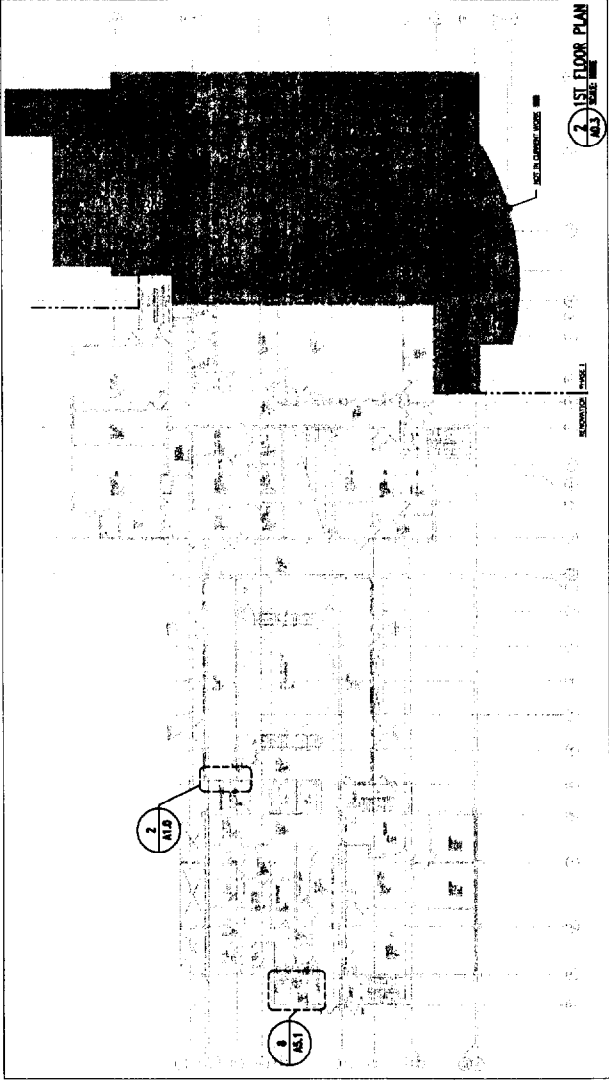
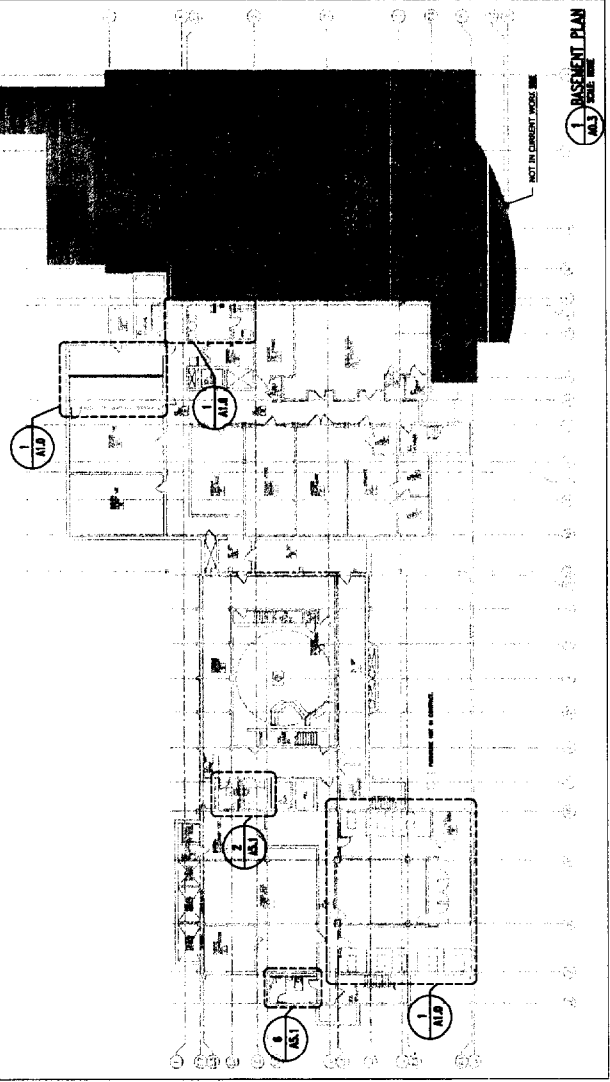
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NO. DATE DESCRIPTION

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KEY PLAN

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A0.3



SMMA Symmes Main & McKee Associates
CODE ANALYSIS

Project Name: University of Southern Maine Renovation Package Project No: 13/20
 Prepared By: Les Stucka Date: 01/11/2001
 Project Location: Portland, Maine

Applicable Building Codes
 The BOCA National Building Code 1999 (BOCA)
 ADA Accessibility Guidelines
 NFPA 101 The Life Safety Code 1997 Edition
 All code section references are to be BOCA unless noted otherwise

A. USE GROUP CLASSIFICATION Occupancy 1

1. BUILDING USE: Business
 2. USE GROUP: B
 3. OCCUPANCY SEPARATION between Use Groups (BOCA 313) 2 hrs
 (BOCA table 313.1.2) hrs w/ Sprinkler

B. CONSTRUCTION CLASSIFICATION (PROPOSED)

1. TYPE OF CONSTRUCTION
 (a) New Construction
 (b) Existing to remain: 2B

2. FIRE SEPARATION

(a) New Construction
 Occupancy 1
 Occupancy 2

Fire Resistance Ratings as follows: (Hours Separation)
 (BOCA table 602)

1. Exterior Wall, with fire separation, Non-load-bearing (Table 705.2) - see Paragraph C, below
 0.5 feet w/ sprinklers _____ hrs
 greater than 5 ft to 10 ft w/ sprinklers _____ hrs
 greater than 10 feet w/ sprinklers _____ hrs
 b. Fire Wall _____ hrs
 c. Fire Separation Assemblies (Table 707.1) _____ hrs
 d. Shafts (Table 710.3) _____ hrs
 e. Elevator Hostways _____ hrs
 f. Exits _____ hrs
 g. Exit Stairways (1014.11) _____ hrs
 h. Exit Access Corridors (Table 1011.4) _____ hrs
 i. Smoke Barriers _____ hrs
 j. Non-Bearing Partitions _____ hrs
 k. Floor Construction (including beams) _____ hrs
 l. Roof Construction _____ hrs

(b) Existing Construction
 2B

Fire Resistance Ratings as follows: (Hours Separation)
 (BOCA table 602)

1. Exterior Wall, with fire separation, Non-load-bearing (Table 705.2) - see Paragraph C, below
 0.5 feet w/ sprinklers _____ 2 hrs
 greater than 5 ft to 10 ft w/ sprinklers _____ 1 hr
 greater than 10 feet w/ sprinklers _____ 0 hrs
 b. Fire Wall _____ 2 hrs
 c. Fire Separation Assemblies (Table 707.1) _____ 2 hrs
 d. Shafts (Table 710.3) _____ 2 hrs
 e. Elevator Hostways _____ 2 hrs
 f. Exits _____ 0 hrs
 g. Exit Stairways (1014.11) _____ 2 hrs
 h. Exit Access Corridors (Table 1011.4) _____ 1 hr
 i. Smoke Barriers _____ 1 hr
 j. Non-Bearing Partitions _____ 0 hrs
 k. Floor Construction (including beams) _____ 1 hr
 l. Roof Construction _____ 1 hr

3. SPECIAL USES AND OCCUPANCIES - SECTION (401)
 a _____ hrs
 b _____ hrs
 c _____ hrs
 d _____ hrs

4. BUILDING LIMITATIONS -- (TABLE 503)

(a) New Construction

Occurrence	Occurrence 1	
	Story	Foot
a. Height Criteria		
i. Table 503		
ii. 504.2		
(Increase - automatic fire suppression)		
iii. TOTAL		
b. Floor Area Criteria:		
i. Table 503 Base Area		
ii. 504.4 Reduction		
iii. 504.3 Increase for sprinklers		
iv. 505.2, Street Frontage		
(1% area increase for each 1% perimeter over 25% open perimeter with fire lane access and 30 feet minimum width)		
v. Maximum Allowable Area: per floor per fire zone		
Base		
504.4 Reduction		
504.3 Increase (sprink)		
504.2 Increase (St. Front)		
Total		

(b) Existing Construction

Occurrence	Occurrence 1	
	Story	Foot
a. Height Criteria		
i. Table 503	5	65
ii. 504.2	1	20
(Increase - automatic fire suppression)	1	20
iii. TOTAL	7	105
b. Floor Area Criteria:		
i. Table 503 Base Area	22,500	sq
ii. 504.4 Reduction	40	%
iii. 504.3 Increase for sprinklers	100	%
iv. 505.2, Street Frontage	80	%
(2% area increase for each 1% perimeter over 25% open perimeter with fire lane access and 30 feet minimum width)		
v. Maximum Allowable Area: per floor per fire zone		
Base	22,500	sq
504.4 Reduction	9,000	sq
504.3 Increase (sprink)	22,500	sq
504.2 Increase (St. Front)	24,750	sq
Total	74,750	sq

Actual Floor Area

Basement	18,521	sq
Ground floor	18,521	sq
2nd floor	18,521	sq
3rd floor	5,910	sq
4th floor	5,910	sq
5th floor	5,910	sq
6th floor	2,955	sq
Total	74,727	sq

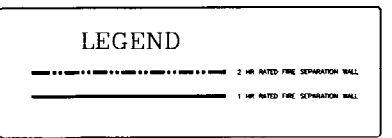
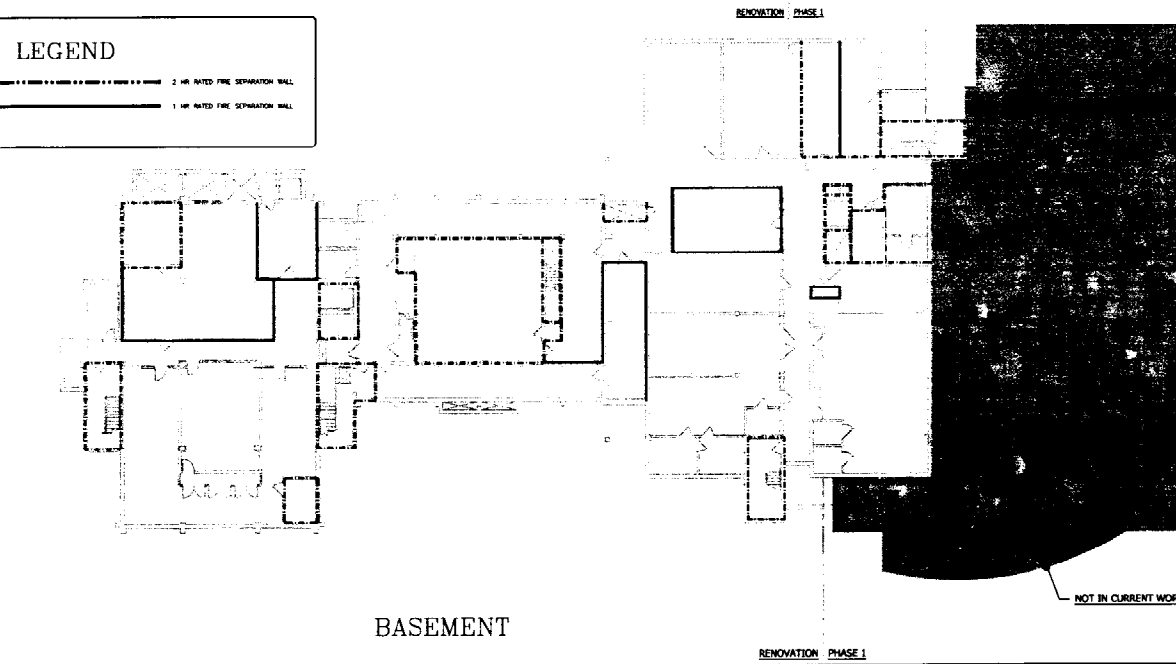
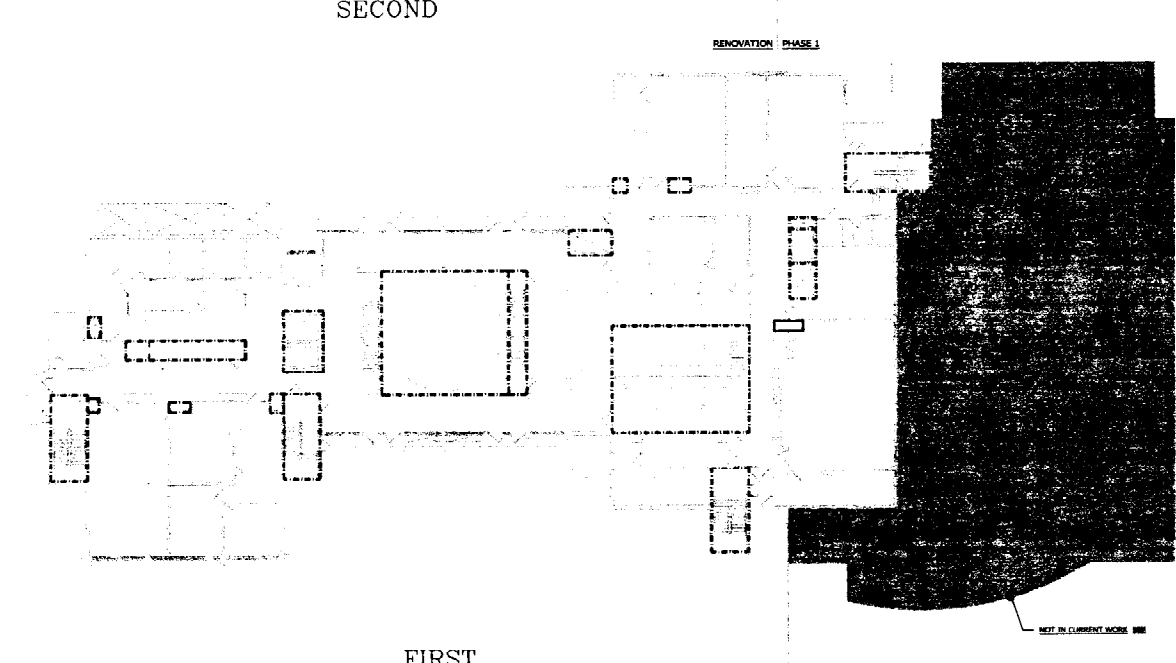
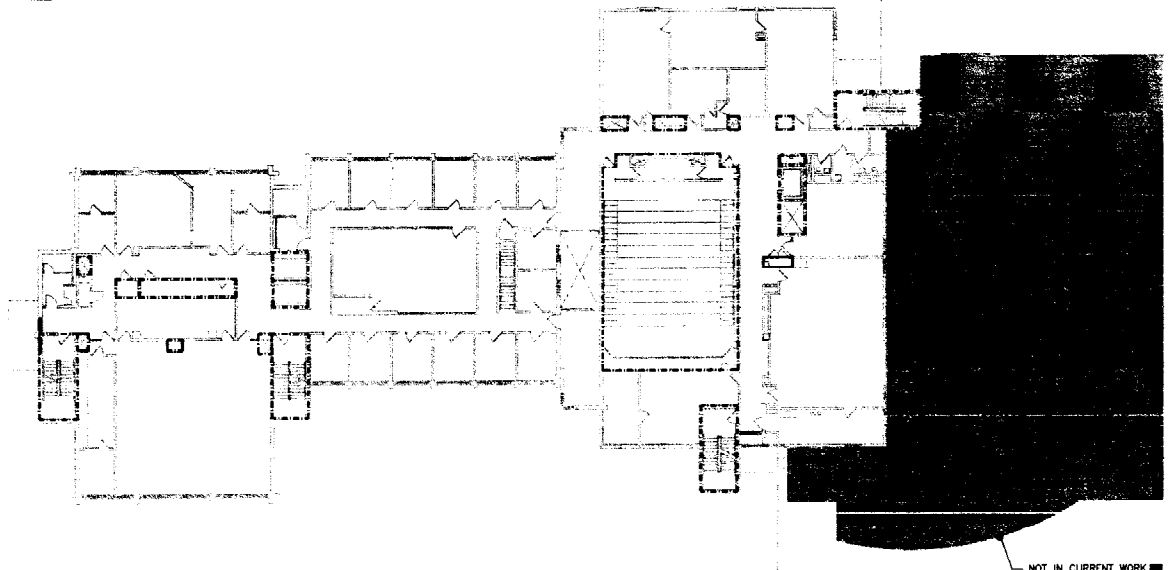
C. EXTERIOR WALL FIRE RESISTANCE RATINGS (TABLE 705.2)

	Hours
1. OCCUPANCY RATING	
a. Fire separation distance 0 to 5 feet	2
b. Fire separation distance 5 to 10 feet	1
c. Fire separation distance 10 to 15 feet	0
2. Fire resistance rating of non-loadbearing exterior walls may be reduced by _____ hour(s) when building is equipped with an automatic sprinkler system throughout (where the separation distance is 5 feet or less, rating shall not be reduced to less than 1 hour)	

D. FIRE RESISTANCE RATINGS OF STRUCTURAL ELEMENTS (TABLE 602)

715.1 Requirements: The fire-resistance rating of structural members and assemblies shall not be less than the rating required for the assemblies supported.

715.2 Protection of Structural Members: Columns, beams or other structural members which are required to have a fire-resistance rating and support more than two floors shall be individually protected on all sides for the full length and height with materials having the required fire-resistance rating. All other structural members shall be protected by individual encasement, or by membranes or ceiling protection.



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E. EGRESS REQUIREMENTS:

1. OCCUPANCY CALCULATIONS

	Occupancy 1	
	Actual	Calculated
a. Maximum sq. ft. per Occupant (Table 1008.1)		100
b. Maximum number of Occupant		
Basement	185	
Ground Floor	185	
2nd floor	185	
3rd floor	53	
4th floor	53	
5th floor	53	
6th floor	32	

2. EGRESS WIDTH

Egress width per occupant: 0.2 inches at stairways
When Sprinklered (BOCA Table 1009.2): 0.15 inches at doors, ramps and corridors

EGRESS WIDTH (for stairs)

	Occupancy 1	
	Total	Egr. Width required
Basement		in.
1st floor		in.
2nd floor		in.

EGRESS WIDTH (for doors)

	Egr. Width required	
	Total	Egr. Width required
Basement		in.
1st floor		in.
2nd floor		in.
3rd floor		in.
4th floor		in.

3. NUMBER OF EXITS REQUIRED (BOCA Table 1010.2)

Occupancy	Occupancy Load	Minimum No. Exits
Business	50 or less	1
	51 to 500	2
	501-1000	3
	Over 1000	4

b. Maximum Length of Exit Access Travel (BOCA Table 1006.5)

250 ft. when sprinklered
(NFPA 102.5-5) 8 ft. to exit, when sprinklered

c. Minimum Exit Separation Distance (BOCA 1006.4.1) Minimum one-fourth of the maximum overall diagonal dimension of area served, when sprinklered

4. DEAD END CORRIDOR
Maximum Dead-End Corridor Length (1011.2) = 50 ft.
No corridors greater than 50 ft.

5. EGRESS PASSAGEWAY
Minimum Egress Passage/Corridor Width (1011.3)

Occupancy	Separation	Width (in.)
Business	50 or more	44

6. EXIT PASSAGEWAYS (1011.3) 44 Minimum Width in inches

7. EXIT DOORS

a. Door leaf: Minimum Width: 32" (34" clear), Maximum Width: 48"
All doors to be min. 36" wide
Doors to have out swinging doors.

b. Door swing in direction of travel for occupant load of 50 or more (819.1).
Doors to have out swinging doors.

c. Panic hardware: Required for doors serving area with occupant load of 100 or more.
Corridor doors, and doors at exit to have panic hardware.

8. STAIRWAYS (1014.0)

a. Minimum egress width: 44 inches
All stairs > 44"

b. Minimum landing width: Not less than required stair width, need not exceed 4'-0" when stairs are straight run.

c. Headroom: 5'-0" minimum

d. Vertical rise per run: 12'-0" maximum

e. Rise height: 7" maximum

f. Tread depth: 11" minimum

g. Dimensional variation: 3/4" maximum between adjacent treads/stairs
3/8" maximum in flight of stairs
See Section 3 & 10 Below

h. Handrails and guards: See Section 3 & 10 Below

i. Egress doors: 32" min. governs per ADA, BOCA requires 32"
48" maximum door leaf width
Not to encroach egress width more than one-half when opening
7" maximum projection into egress width when fully open

j. Roof access stair (1017) Required in buildings greater than 3 stories in height

9. HANDRAILS (1022.0)

a. Maximum Handrail Projection: 3/8 inches

b. Handrail Height: 34"

c. Handrail Length at Landing: 12" horizontally beyond top riser
continue to slope for depth of one tread beyond bottom riser

d. Stairway Handrail Gap: 1 1/2" diameter minimum
2" diameter maximum

10. GUARDRAILS (1021.0)

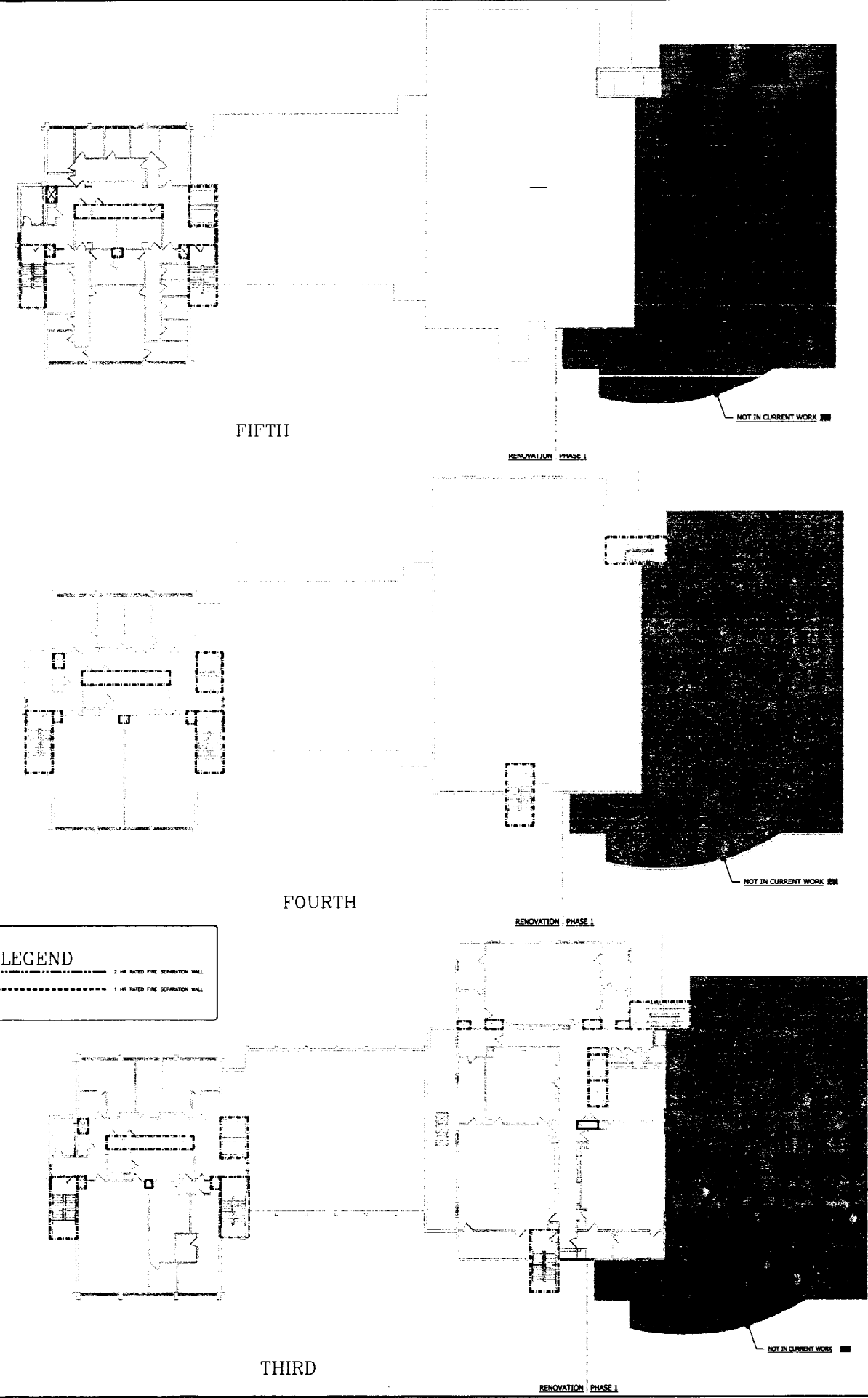
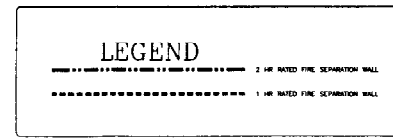
a. Height: 42" minimum to top of rail

b. Opening Limits: 4" spheres not to pass thru any opening (BOCA)
6" spheres not to pass thru triangular opening at stair riser, tread and bottom rail (BOCA)

F. PLUMBING FIXTURES
Table P-1204.1

Minimum Fixtures	Occupancy 1
	Business
Wet Closets - Male	1 per 25
Wet Closets - Female	1 per 25
Urinals (Male)	1 per 25
Lavatories	1 per 40
Drinking Fountains	1 per 100

2. Occupant load shall be 50 percent of each sex.



OWNER REVIEW

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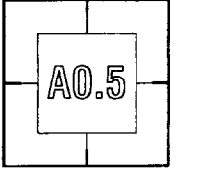
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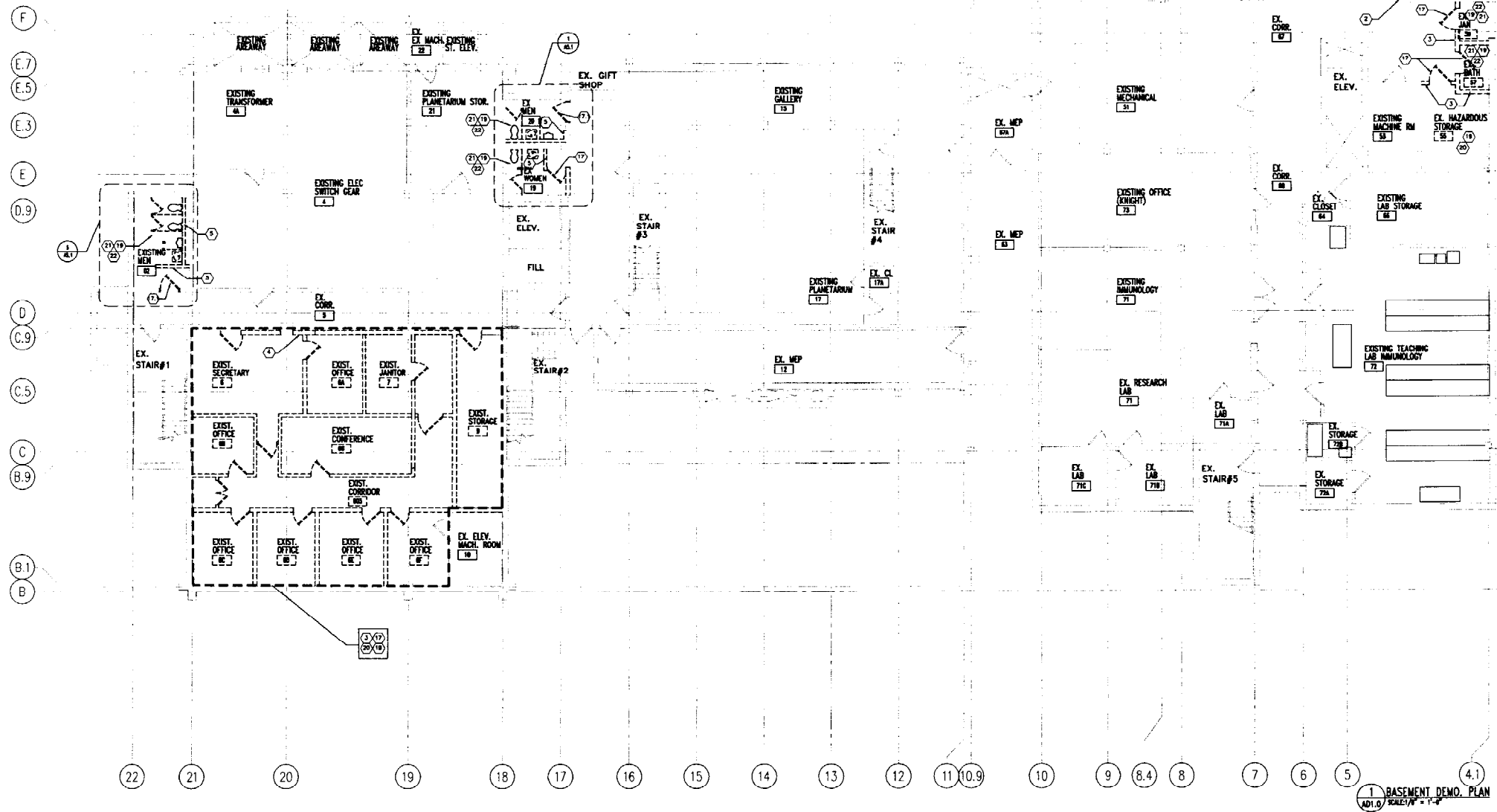
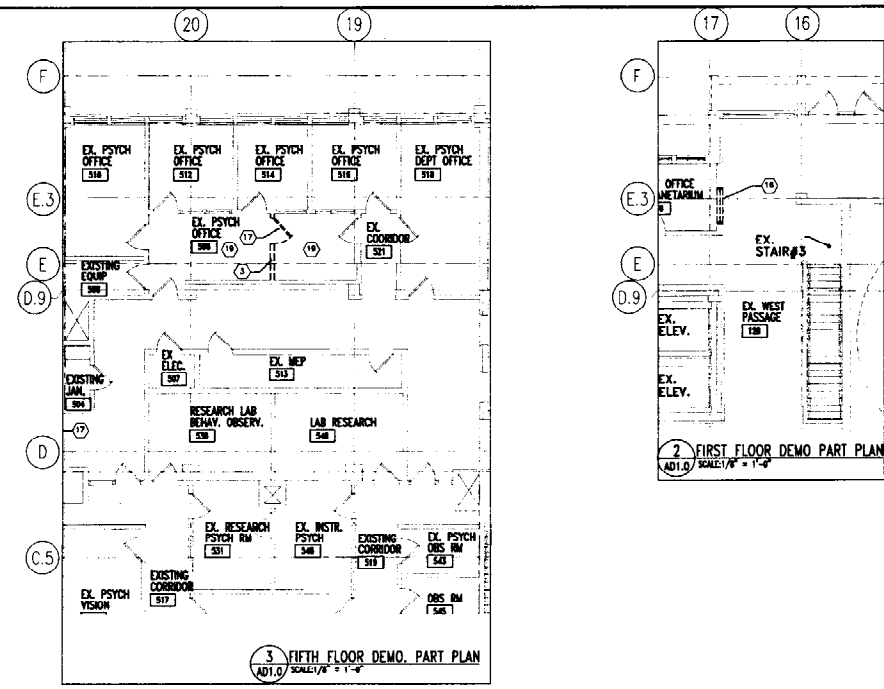
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CODE ORIENTATION PLAN

SCALE	AS NOTED
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PRJ. MGR.	JAS
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ARCHITECTURAL DEMOLITION NOTES:

- 1) NOT USED
- 2) PROVIDE OPENING IN 12" CONC. WALL FOR NEW DOOR OPENING.
- 3) REMOVE 8" CMU PARTITION FROM FLOOR TO UNDERSIDE OF STRUCTURE.
- 4) PROVIDE OPENING IN 8" CMU WALL FOR NEW DOOR OPENING.
- 5) REMOVE 6" CMU PARTITION FROM FLOOR TO UNDERSIDE OF STRUCTURE.
- 6) NOT USED
- 7) NOT USED
- 8) NOT USED
- 9) NOT USED
- 10) NOT USED
- 11) NOT USED
- 12) NOT USED
- 13) NOT USED
- 14) NOT USED
- 15) NOT USED
- 16) REMOVE ALUM. FRAME WINDOW.
- 17) REMOVE DOOR AND FRAME.
- 18) REMOVE DOOR
- 19) NOT USED
- 20) REMOVE ACOUSTICAL TILE CEILING.
- 21) REMOVE VCT FLOOR TILES.
- 22) REMOVE CERAMIC FLOOR TILES.
- 23) REMOVE TOILET FIXTURES, PARTITIONS AND ACCESSORIES.
- 24) REMOVE DOOR WITH SIDE PANEL.
- 25) NOT USED
- 26) NOT USED
- 27) NOT USED
- 28) NOT USED
- 29) NOT USED
- 30) NOT USED
- 31) NOT USED
- 32) NOT USED

ARCHITECTURAL LEGEND:

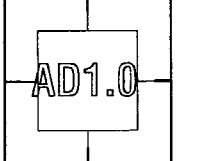
- EXISTING WALLS TO REMAIN
- EXISTING DOORS TO REMAIN
- DEMOLISH WALLS
- DEMOLISH DOORS & FRAMES

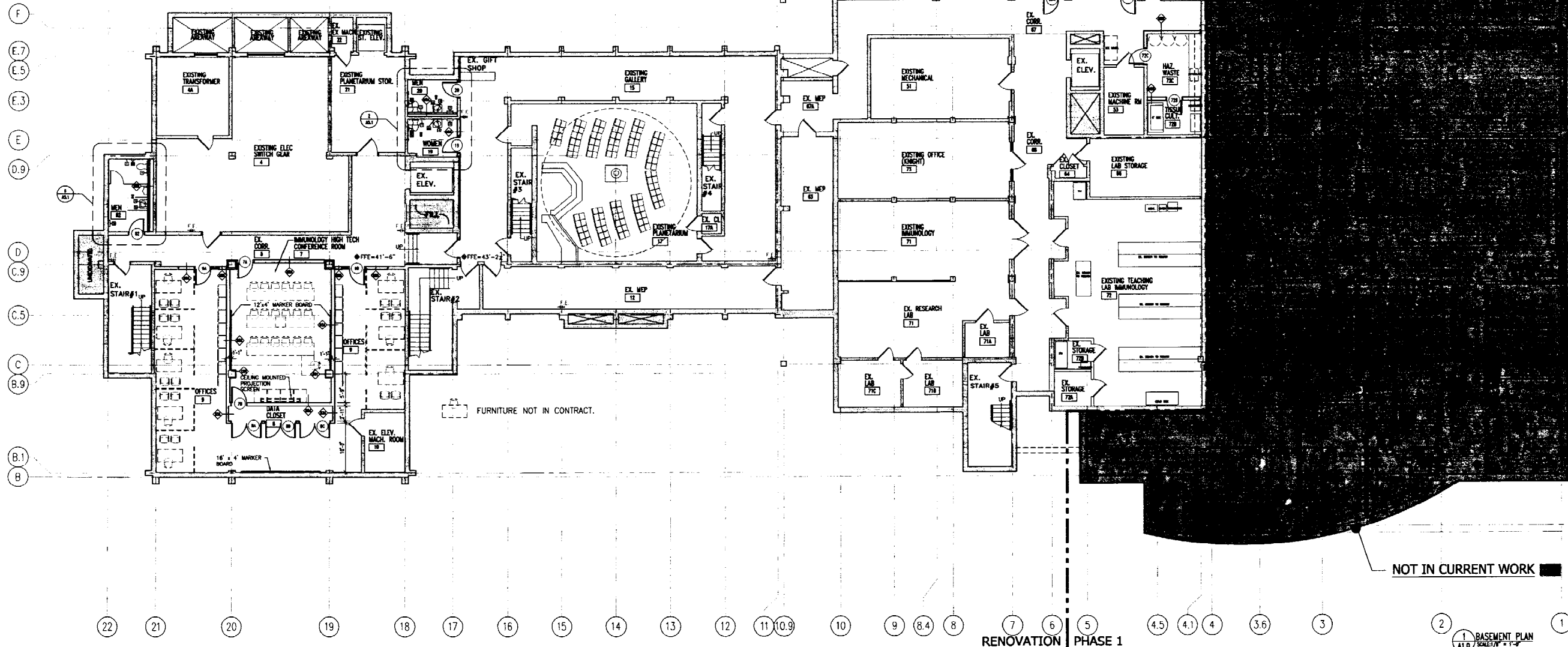
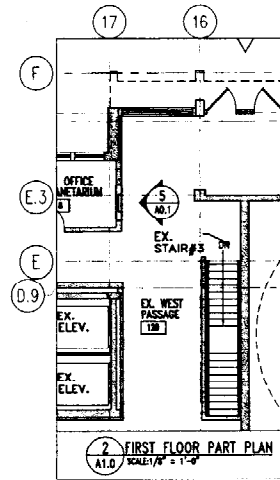
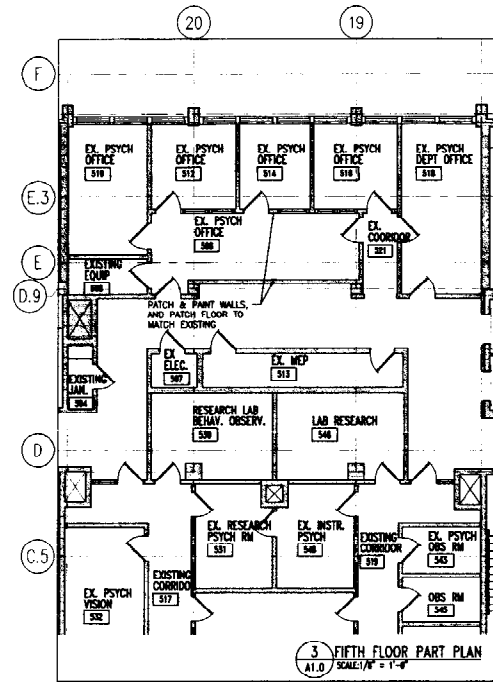
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BASEMENT DEMO PLAN, 1st & 5th FLR. DEMO PART PLANS

SCALE: 1/4" = 1'-0"
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CHECKED BY:
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PROJ. WORK: JMS
JOB NO.: 00013.00
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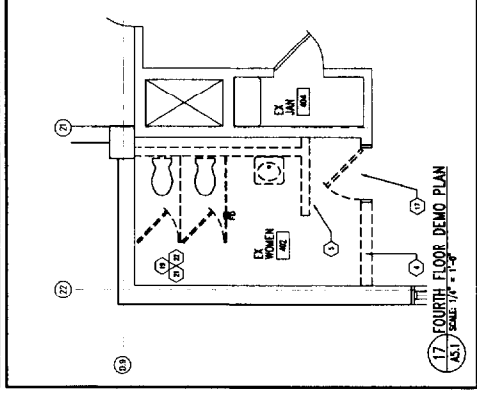
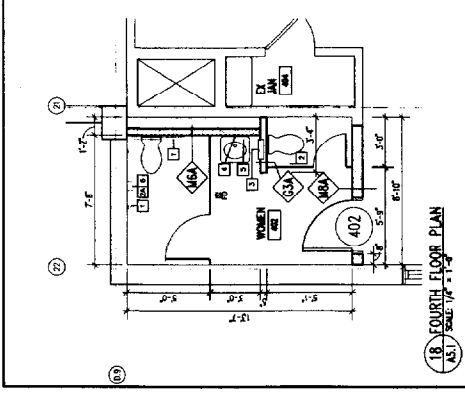
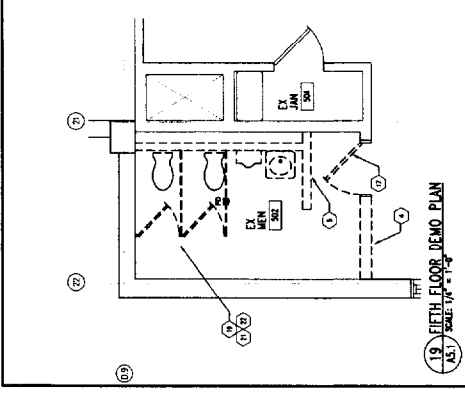
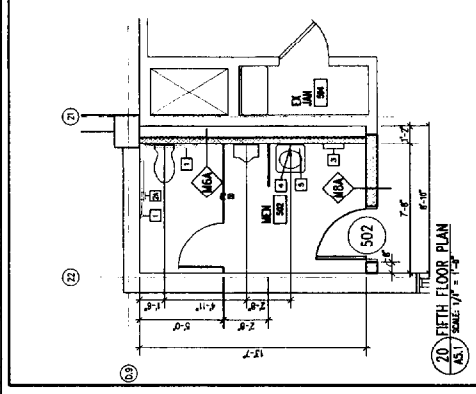
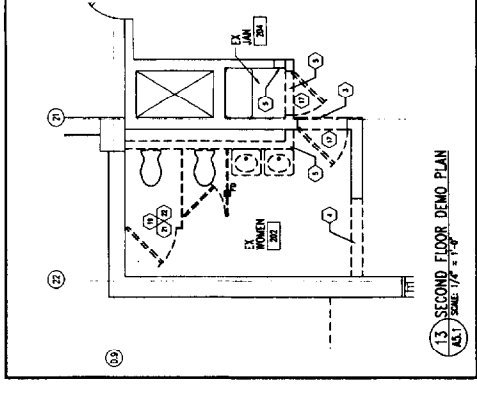
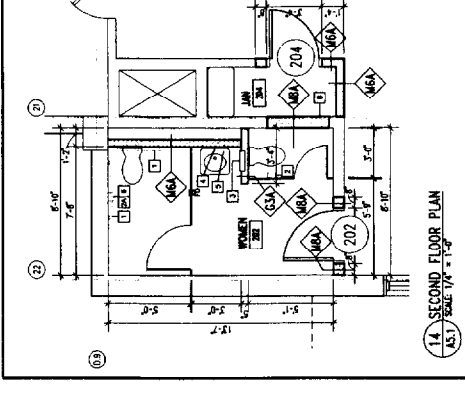
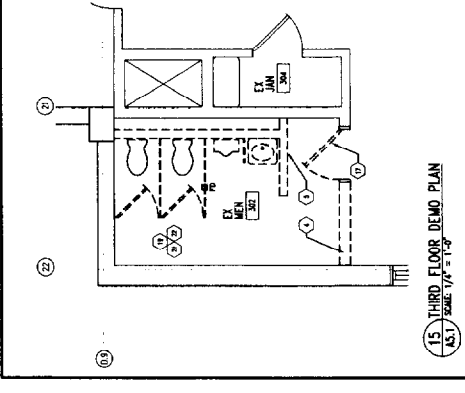
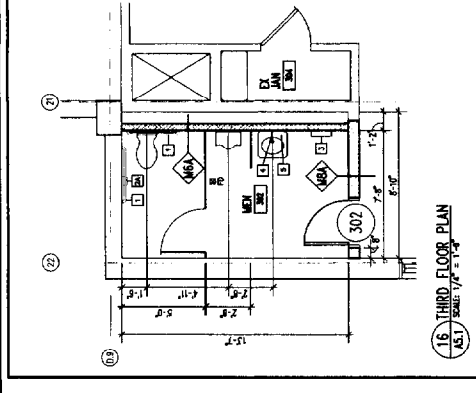
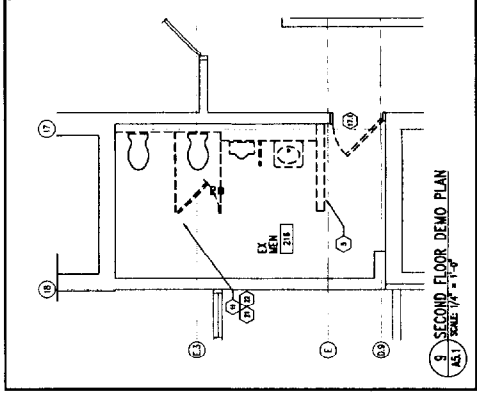
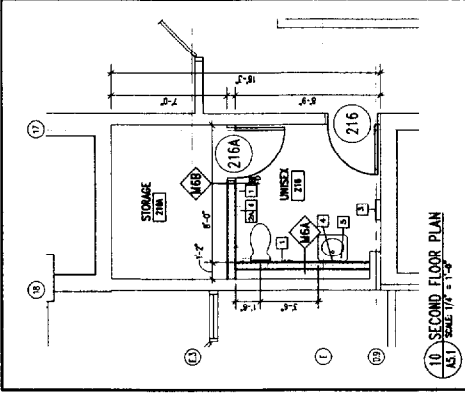
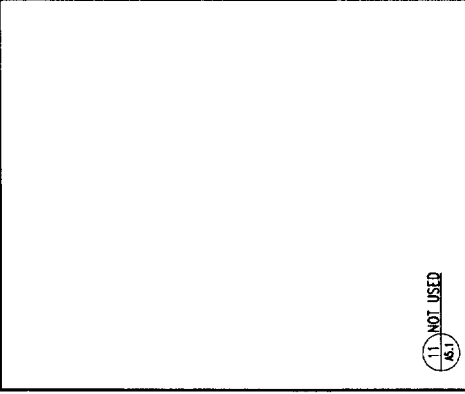
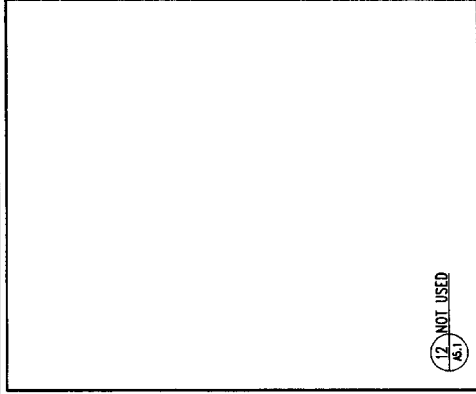
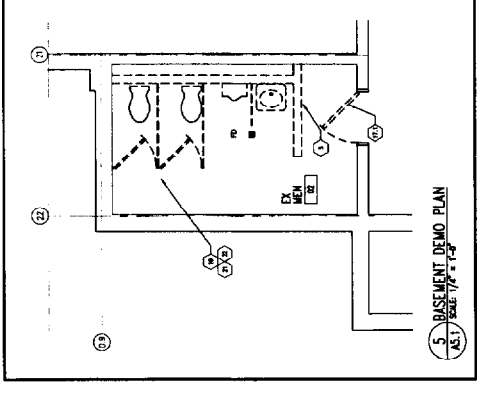
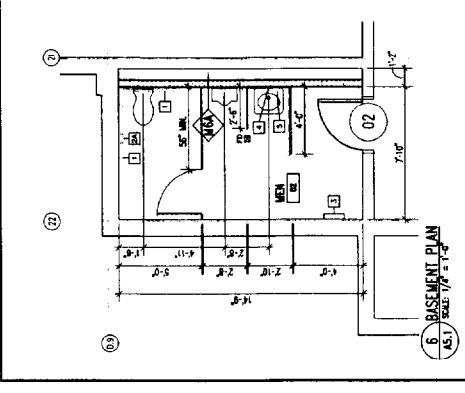
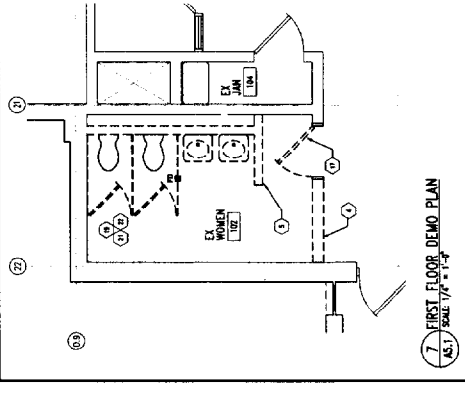
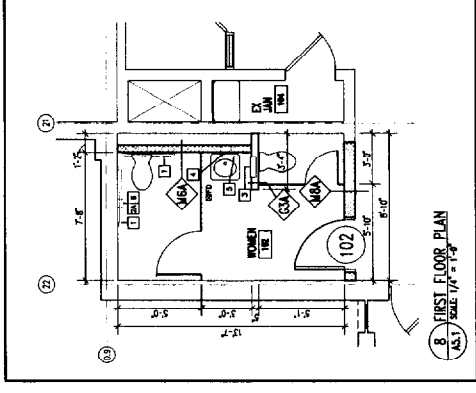
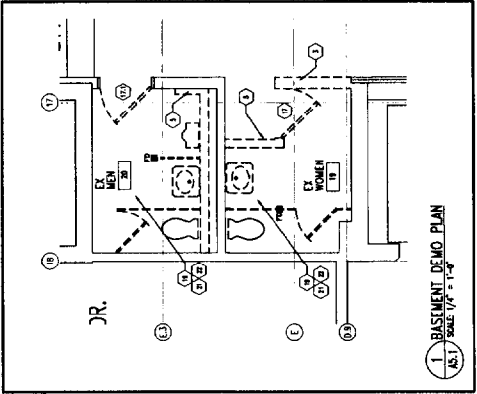
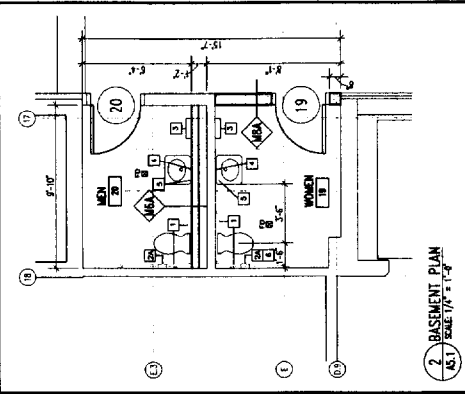
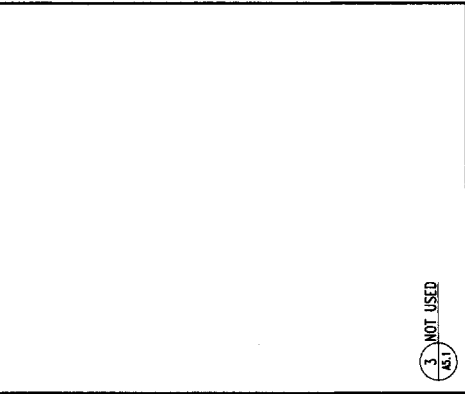
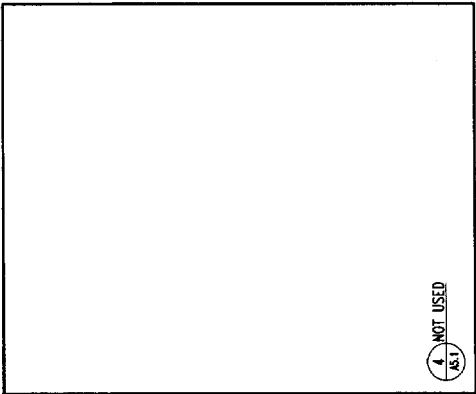
BASEMENT PLAN, FIRST & FIFTH FLR. PART PLANS

SCALE: 1/8" = 1'-0"
DRAWN BY: SN
CHECKED BY: L.G.
PROJ. ARCH / ENGR: L.G.
PROJ. MGR: JAS
JOB NO: 00013.00
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A1.0

RENOVATION PHASE 1

1 BASEMENT PLAN A1.0 SCALE: 1/8" = 1'-0"



NOTE: VERIFY ALL EXISTING DIMENSIONS IN FIELD.

- ARCHITECTURAL DEMOLITION NOTES:**
- 1. REMOVE DOOR AND FRAME
 - 2. REMOVE DOOR
 - 3. REMOVE FLOOR FINISH
 - 4. REMOVE FLOOR FINISH TO UNDERLAYER OF STRUCTURE
 - 5. REMOVE FLOOR FINISH TO UNDERLAYER OF STRUCTURE
 - 6. REMOVE FLOOR FINISH TO UNDERLAYER OF STRUCTURE
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 - 17. REMOVE FLOOR FINISH TO UNDERLAYER OF STRUCTURE
 - 18. REMOVE FLOOR FINISH TO UNDERLAYER OF STRUCTURE
 - 19. REMOVE FLOOR FINISH TO UNDERLAYER OF STRUCTURE
 - 20. REMOVE FLOOR FINISH TO UNDERLAYER OF STRUCTURE

21. DEMOLITION NOTES

PLUMBING, FUTURE AND TOILET ACCESSORIES MOUNTING HEIGHT SCHEDULE

SYMBOL	FEATURE / ACCESSORY	REQUIRED TO	MOUNTING HEIGHTS
A	WATERCLOSET	TOP OF CEILING	11'-0"
B	WATERCLOSET ACCESSIBLE	TOP OF CEILING	(MIN) 11'-0"
C	WATERCLOSET ACCESSIBLE	TOP OF CEILING	(MAX) 11'-0"
D	WATERCLOSET ACCESSIBLE	TOP OF CEILING	(MIN) 11'-0"
E	WATERCLOSET ACCESSIBLE	TOP OF CEILING	(MAX) 11'-0"
F	WATERCLOSET ACCESSIBLE	TOP OF CEILING	(MIN) 11'-0"
G	WATERCLOSET ACCESSIBLE	TOP OF CEILING	(MAX) 11'-0"
H	WATERCLOSET ACCESSIBLE	TOP OF CEILING	(MIN) 11'-0"
I	WATERCLOSET ACCESSIBLE	TOP OF CEILING	(MAX) 11'-0"
J	WATERCLOSET ACCESSIBLE	TOP OF CEILING	(MIN) 11'-0"
K	WATERCLOSET ACCESSIBLE	TOP OF CEILING	(MAX) 11'-0"
L	WATERCLOSET ACCESSIBLE	TOP OF CEILING	(MIN) 11'-0"
M	WATERCLOSET ACCESSIBLE	TOP OF CEILING	(MAX) 11'-0"
N	WATERCLOSET ACCESSIBLE	TOP OF CEILING	(MIN) 11'-0"
O	WATERCLOSET ACCESSIBLE	TOP OF CEILING	(MAX) 11'-0"
P	WATERCLOSET ACCESSIBLE	TOP OF CEILING	(MIN) 11'-0"
Q	WATERCLOSET ACCESSIBLE	TOP OF CEILING	(MAX) 11'-0"
R	WATERCLOSET ACCESSIBLE	TOP OF CEILING	(MIN) 11'-0"
S	WATERCLOSET ACCESSIBLE	TOP OF CEILING	(MAX) 11'-0"
T	WATERCLOSET ACCESSIBLE	TOP OF CEILING	(MIN) 11'-0"
U	WATERCLOSET ACCESSIBLE	TOP OF CEILING	(MAX) 11'-0"
V	WATERCLOSET ACCESSIBLE	TOP OF CEILING	(MIN) 11'-0"
W	WATERCLOSET ACCESSIBLE	TOP OF CEILING	(MAX) 11'-0"
X	WATERCLOSET ACCESSIBLE	TOP OF CEILING	(MIN) 11'-0"
Y	WATERCLOSET ACCESSIBLE	TOP OF CEILING	(MAX) 11'-0"
Z	WATERCLOSET ACCESSIBLE	TOP OF CEILING	(MIN) 11'-0"

22. DEMOLITION NOTES

1. UNLOADING SHOWN IN RED DASHES MUST BE IN COMPLIANCE WITH ADE.
2. MEASURING AND INSTALLATIONS TO BE IN COMPLIANCE WITH ADE.
3. TOP OF FLOOR FINISH TO BE 1.1 INCHES BELOW THE BOTTOM OF THE CHASE RIM AT ACCESSIBLE TOILETS.
4. FLOOR FINISH OPERATOR TO BE LOCATED ON THE INSIDE OF THE ACCESSIBLE STALL.
5. FLOOR FINISH OPERATOR TO BE LOCATED NO HIGHER THAN 30" AT ACCESSIBLE OPERATOR CHAIRS.

21. LEGEND AND GENERAL NOTES

- 1. ACCESSORIES PROVIDED BY OWNER AND INSTALLED BY CONTRACTOR.

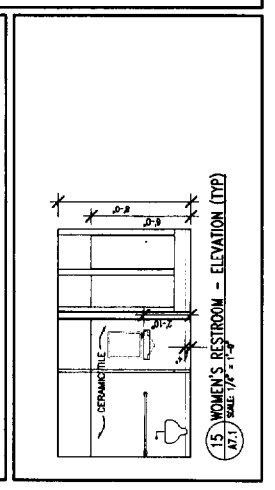
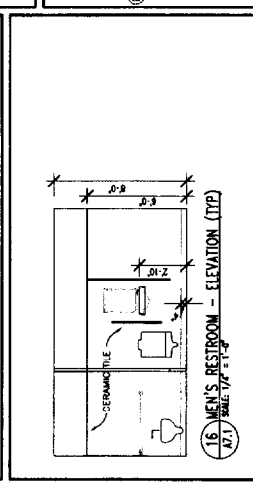
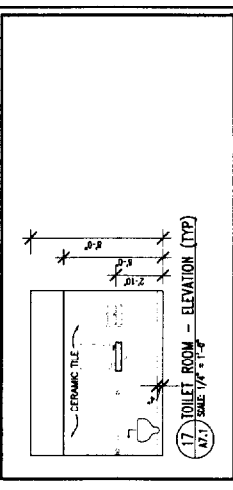
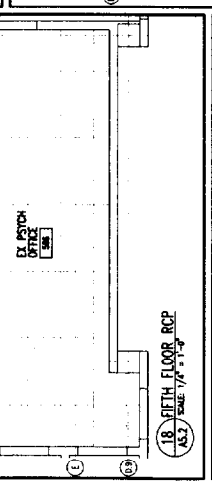
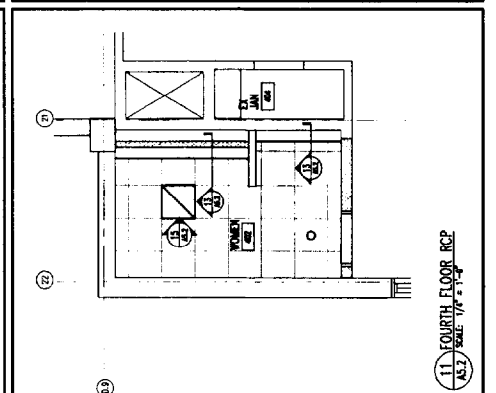
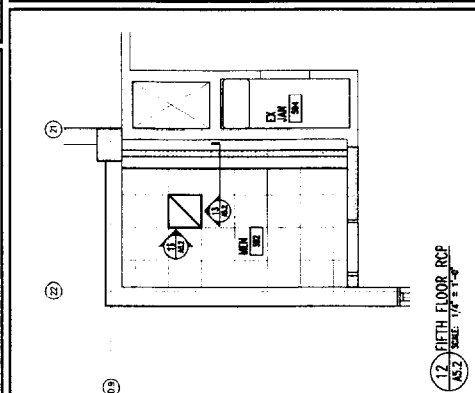
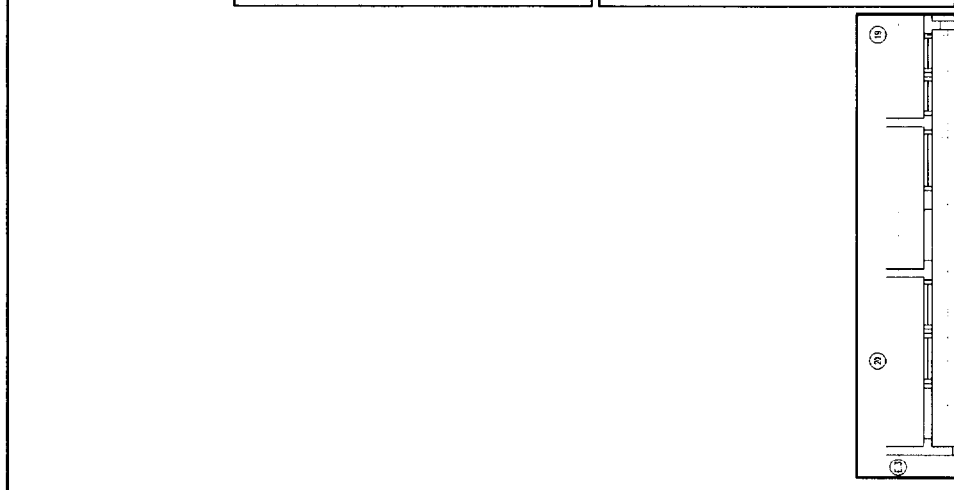
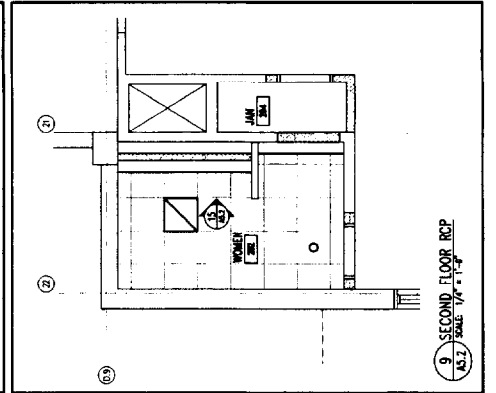
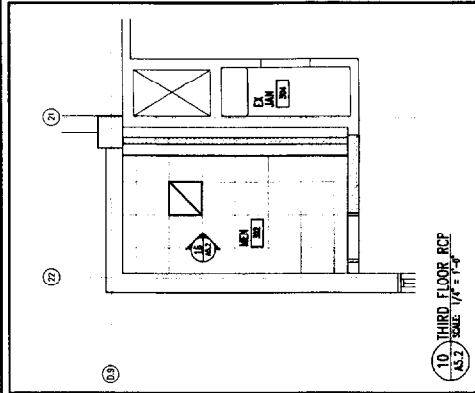
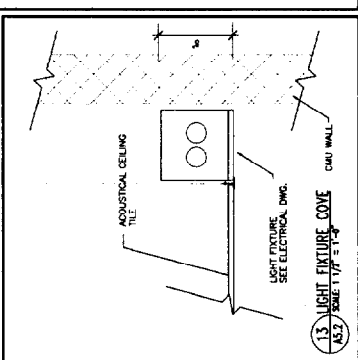
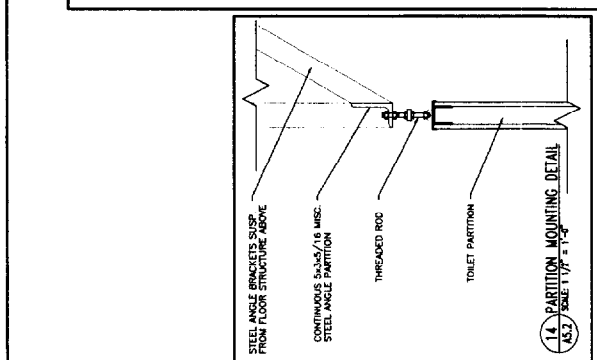
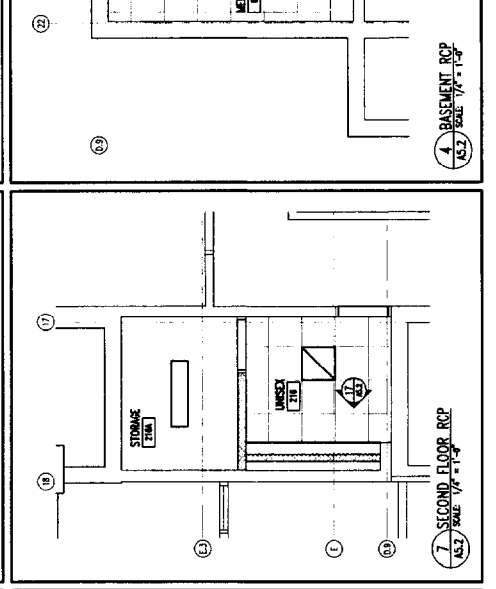
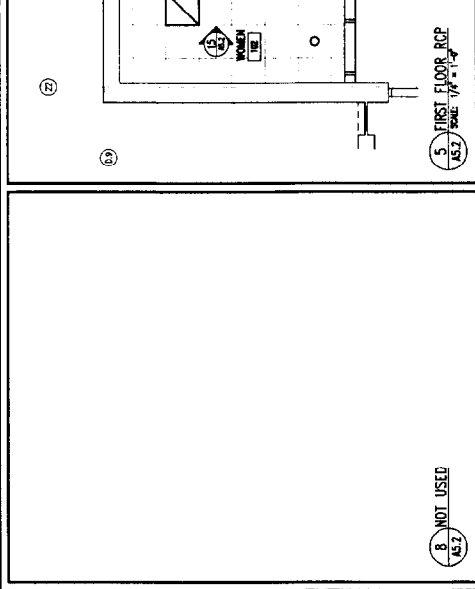
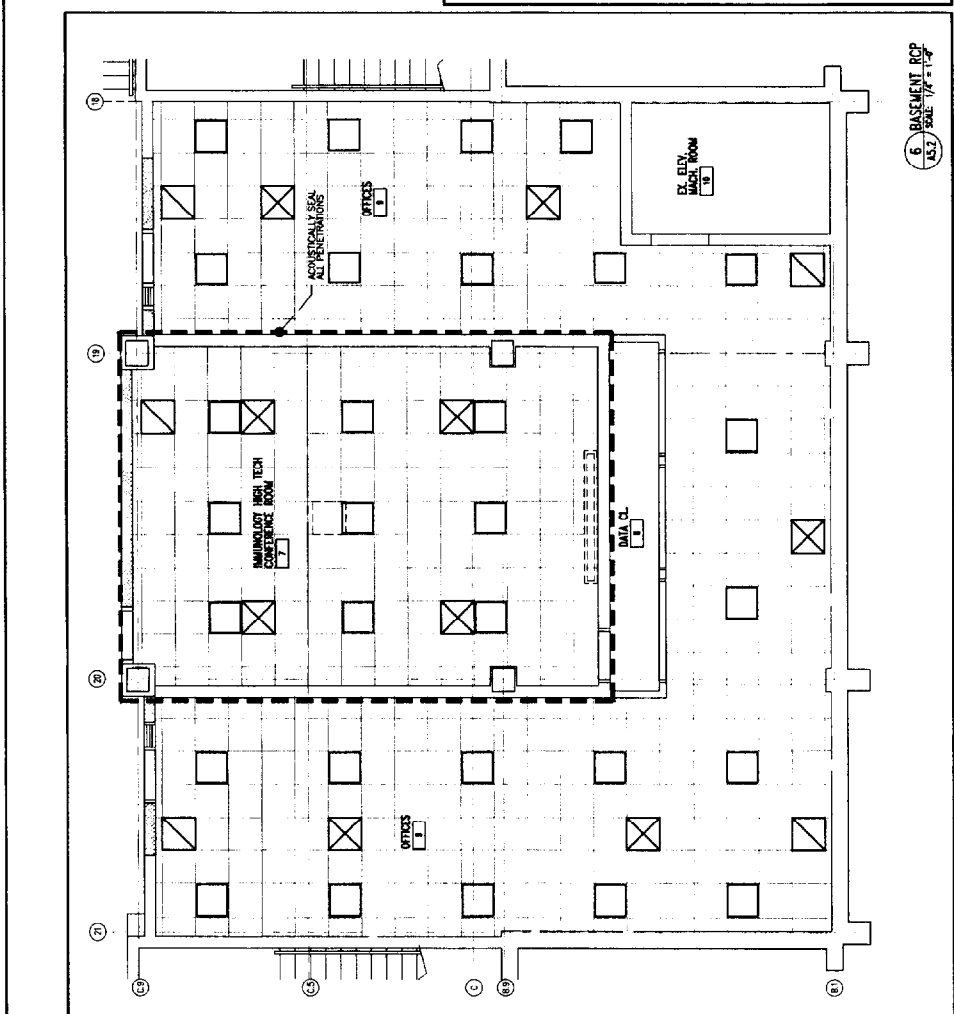
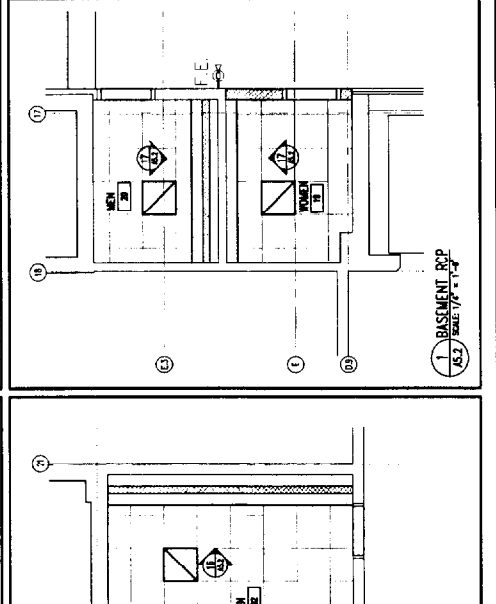
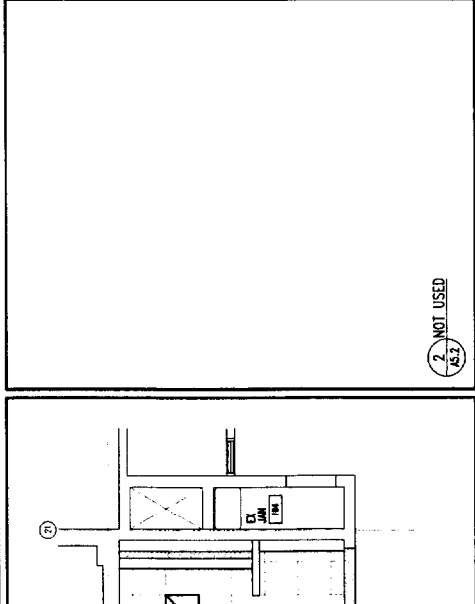
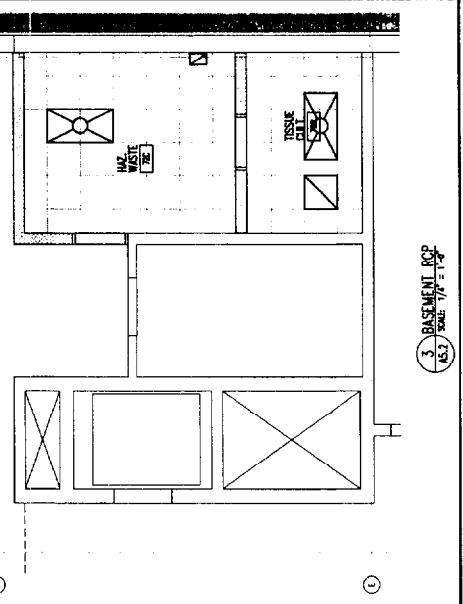
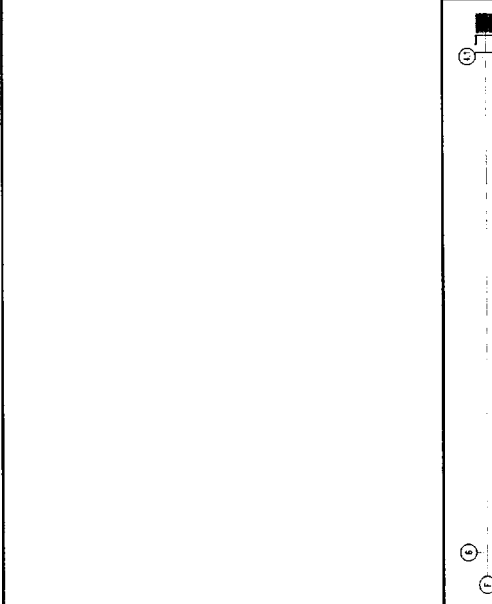
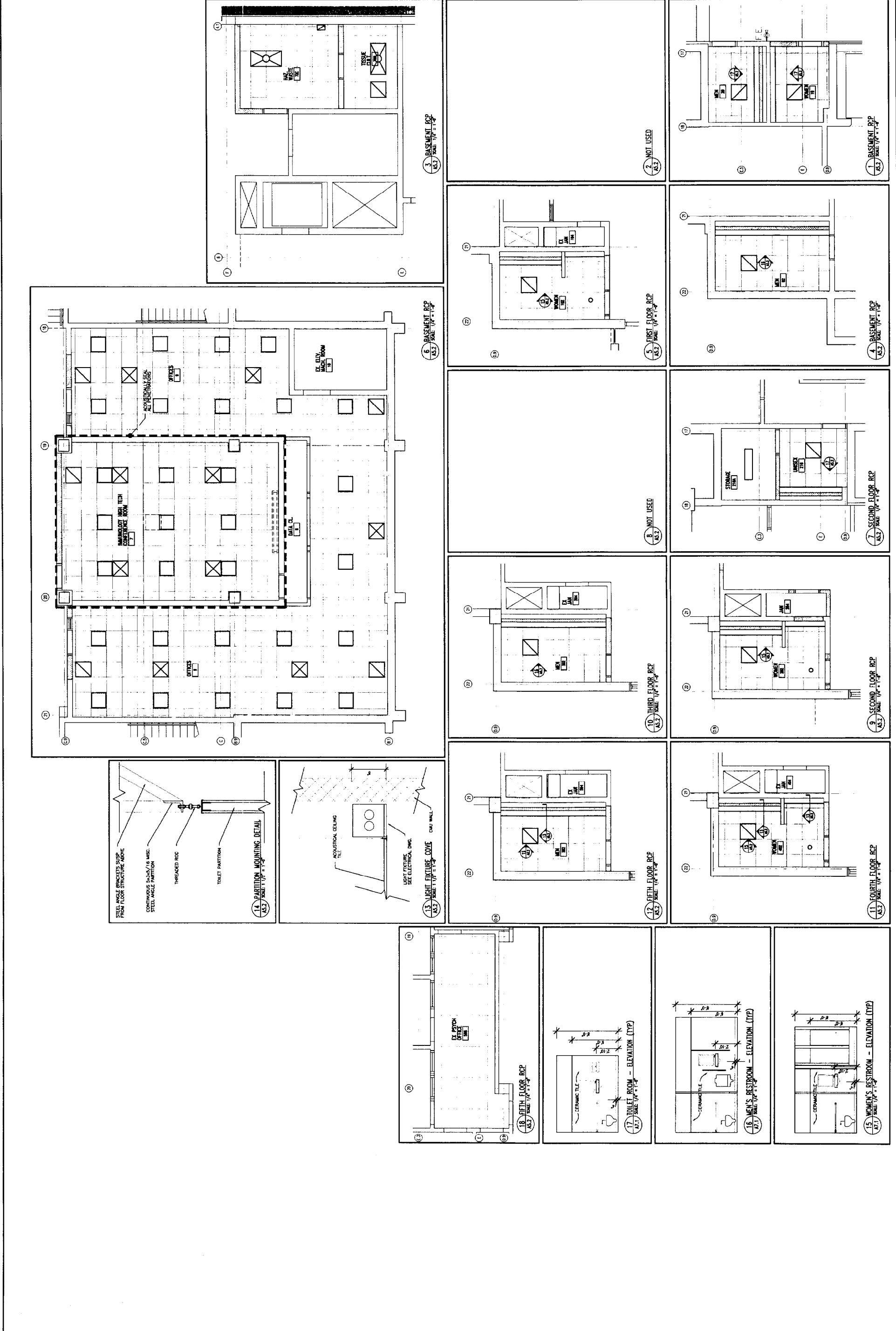
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UNIVERSITY OF SOUTHERN MAINE
PORTLAND CAMPUS
RENOVATION PROJECT

A5.2

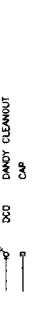
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CHECKED BY: JLS
PROJECT NO.: 17-001
JOB NO.: 17-001-00
DATE: 09/16/17
BY: SYMMES, MERRILL & MCKEE ASSOCIATES, INC.



GENERAL PIPING SYMBOLS:

Symbol	Abbrev.	Description
	DN	PIPE DOWN THROUGH FLOOR
	DU	PIPE UP THROUGH FLOOR ABOVE
	DD	PIPE DROP
	DR	PIPE DROP & RUN
	DL	PIPE DROP & TURN
	BR	BRANCH RISE
	BRD	BRANCH DROP
	EL	ELBOW (pressure piping)
	TE	TEE (pressure piping)
	BRN	BRANCH CONNECTION (gravity piping)
	CL	CLEANOUT
	FO	FLOOR CLEANOUT
	DGD	DANDY CLEANOUT
	CP	CAP
	PB	PIPE BREAK
	EC	ECCENTRIC REDUCER
	SR	SCREENED UNION
	FL	FLANGED UNION
	FC	FLEXIBLE CONNECTOR
	ST	STRAINER
	SG	SLEEVE/GUIDE
	TH	THERMOMETER
	PG	PRESSURE GAUGE
	SO	SHUT-OFF VALVE (TYPE PER SPECS)
	BA	BALANCING VALVE
	OS	OS&Y VALVE
	LV	VALVE WITH LOCKED HANDLE
	VV	VALVE IN VERTICAL
	RV	RELIEF VALVE
	PR	PRESSURE REGULATING VALVE
	BV	BALL VALVE
	BT	BUTTERFLY VALVE
	3W	3 WAY VALVE
	SA	SOLENOID ACTUATOR
	EA	PNEUMATIC or ELECTRIC ACTUATOR
	CV	CHECK VALVE
	DV	DIAPHRAGM VALVE
	FA	FLOW ARROW
	M	METER
	PI	PIPE SLOPE INDICATOR
	PS	PIPE SERVICE AND SIZE LABEL
	EL	EXPANSION LOOP
	V	VALVE TAG



GENERAL PIPING ABBREVIATIONS:

AT	ABOVE FINISHED FLOOR
AFG	ABOVE FINISHED GRADE
AP	ACCESS PANEL
BPP	BACKFLOW PREVENTER
BRP	BOTTOM OF PIPE
BTU	BTU PER HOUR
CU	CUBIC FEET PER MINUTE
CI	CAST IRON
CO	CENTRAL UTILITY CONNECTION
COA	CENTRAL UTILITY PLUMBING ASSEMBLY
CC	CENTER TO CENTER
CCP	CENTRAL UTILITY PLUMBING
DN	DRAWN
DN	DOWN
DW	DOWN
DV	DRAIN VALVE
ELEV	ELEVATION
ETB	EXISTING TO BE REMOVED
ETR	EXISTING TO REMAIN
ETR	EXISTING TO BE REMOVED
GAL	GALLONS
GPM	GALLONS PER MINUTE
HP	HORSEPOWER
HV	HEATING
MW	MECHANICAL WORK
IN	INCHES
MAX	MAXIMUM
MBH	THOUSAND BTU PER HOUR
NC	NORMALLY CLOSED
NC	NOT IN CONTRACT
NO.	NUMBER
OC	ON CENTER
PRV	PRESSURE REDUCING VALVE
RFD	REFLECTOR
RQ	ROD
RO	ROD
SS	STAINLESS STEEL
ST	STEEL
TP	TYPICAL
WT	WEIGHT
W/S	WATER TIGHT SEAL

FIRE PROTECTION ABBREVIATIONS:

DR	DRAIN PIPING
IP	INTEGRATED FIRE PROTECTION
FCM	FLOOR CONTROL VALVE ASSEMBLY
FCVA	FLOOR CONTROL VALVE ASSEMBLY
SPK	SPRINKLER
FC	FUMPER CONNECTION

FIRE PROTECTION GENERAL NOTES:

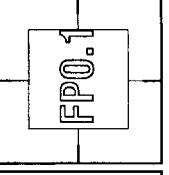
- THE FIRE PROTECTION CONTRACTOR SHALL BE FAMILIAR WITH ALL CONTRACT DOCUMENTS FOR ALL TRADES AND COORDINATE WITH OTHER CONTRACTORS.
- DRAWINGS ARE DIMENSIONED ONLY FROM ROUTING OF PIPING AND OTHER OFFSETS, ELBOWS, ETC., SHALL BE PROVIDED AND INSTALLED WITHOUT ADDITIONAL COST TO THE OWNER.
- THE FIRE PROTECTION CONTRACTOR SHALL COORDINATE ALL ELECTRICAL PLUMBING REQUIREMENTS WITH THE ELECTRICAL, PLUMBING AND HVAC CONTRACTORS.
- ALL OTHER TRADES SHALL VERIFY ALL EXISTING SUSPENDED CEILING AREAS MUST BE VERIFIED IN FIELD AND COORDINATED WITH OTHER TRADES.
- SPRINKLER HEAD LOCATIONS IN EXISTING MECHANICAL ROOMS SHALL BE COORDINATED WITH EXISTING EQUIPMENT AND DUCT WORK.

FIRE PROTECTION SYMBOLS:

Symbol	Abbrev.	Description
	DVA	DOUBLE CHECK VALVE ASSEMBLY
	WG	WATER MOTOR GONG
	EB	ELECTRIC BELL
	FS	FLOW SWITCH
	TS	TAMPER (SUPERSENSOR) SWITCH
	PS	PRESSURE SWITCH
	FDC	FIRE DEPARTMENT CONNECTION
	FDV	FIRE DEPARTMENT VALVE
	FHC	FIRE HOSE CABINET
	RS	RECESSED SPRINKLER HEAD
	US	UPRIGHT SPRINKLER HEAD
	CS	CONCEALED SPRINKLER HEAD
	DS	DRY SIDEWALL SPRINKLER
	WS	WET SIDEWALL SPRINKLER
	HRP	HYDRAULIC REFERENCE POINT

LEGEND AND NOTES

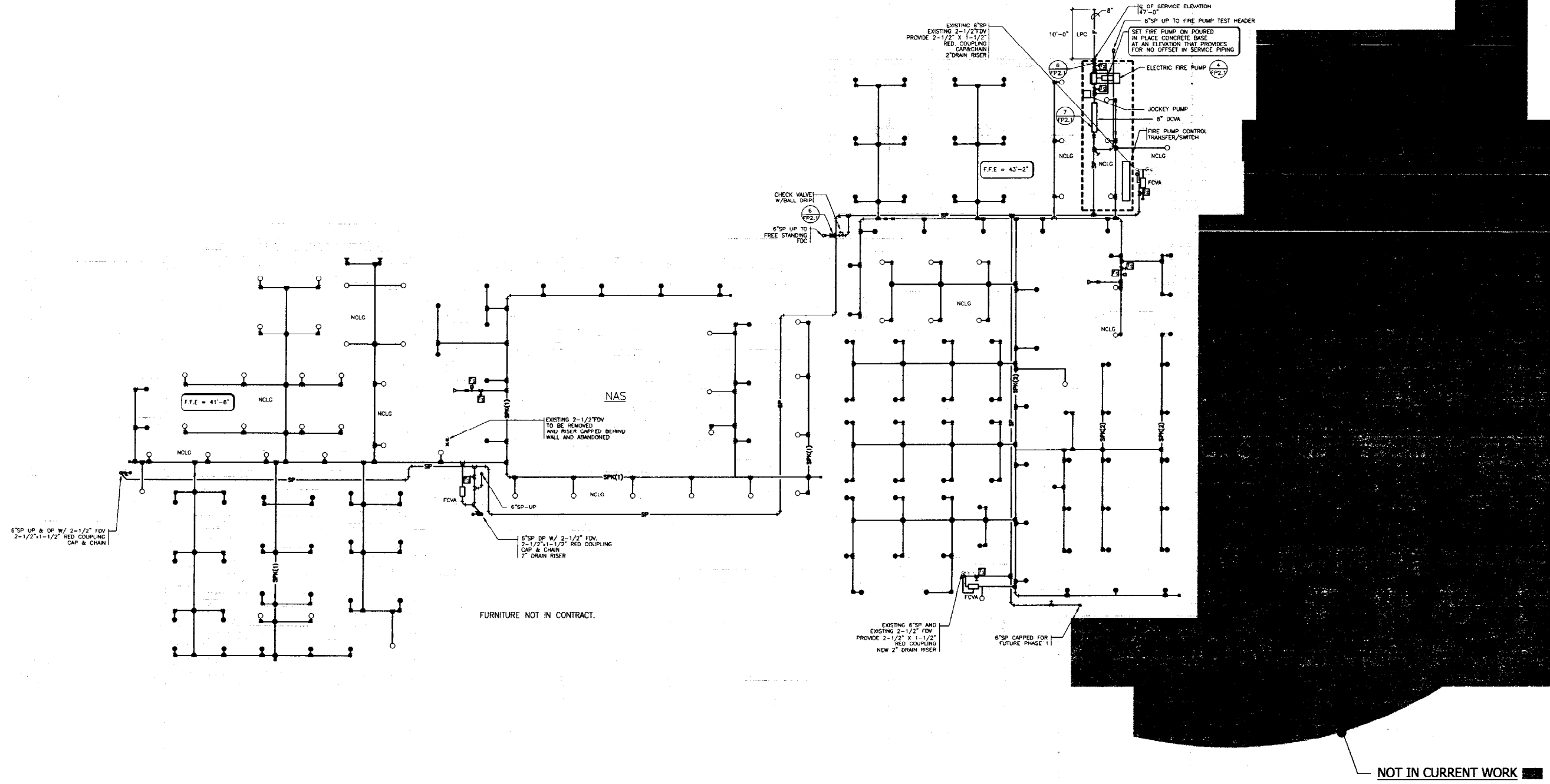
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JOB NO.	00131X
DATE	08/13/08



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DATE	_____

ISSUE LOG	
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UNIVERSITY OF SOUTHERN MAINE
RENOVATION PACKAGE



RENOVATION PHASE 1

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NAME _____ DATE _____

CONSTRUCTION DOCUMENT SET

NO.	DATE	DESCRIPTION

ISSUE LOG

△ = CLOUDED CHANGE

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PORTLAND, MAINE
RENOVATION PACKAGE

FIRE PROTECTION BASEMENT PLAN

SCALE 1/8" = 1'-0"

DRAWN BY _____

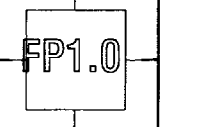
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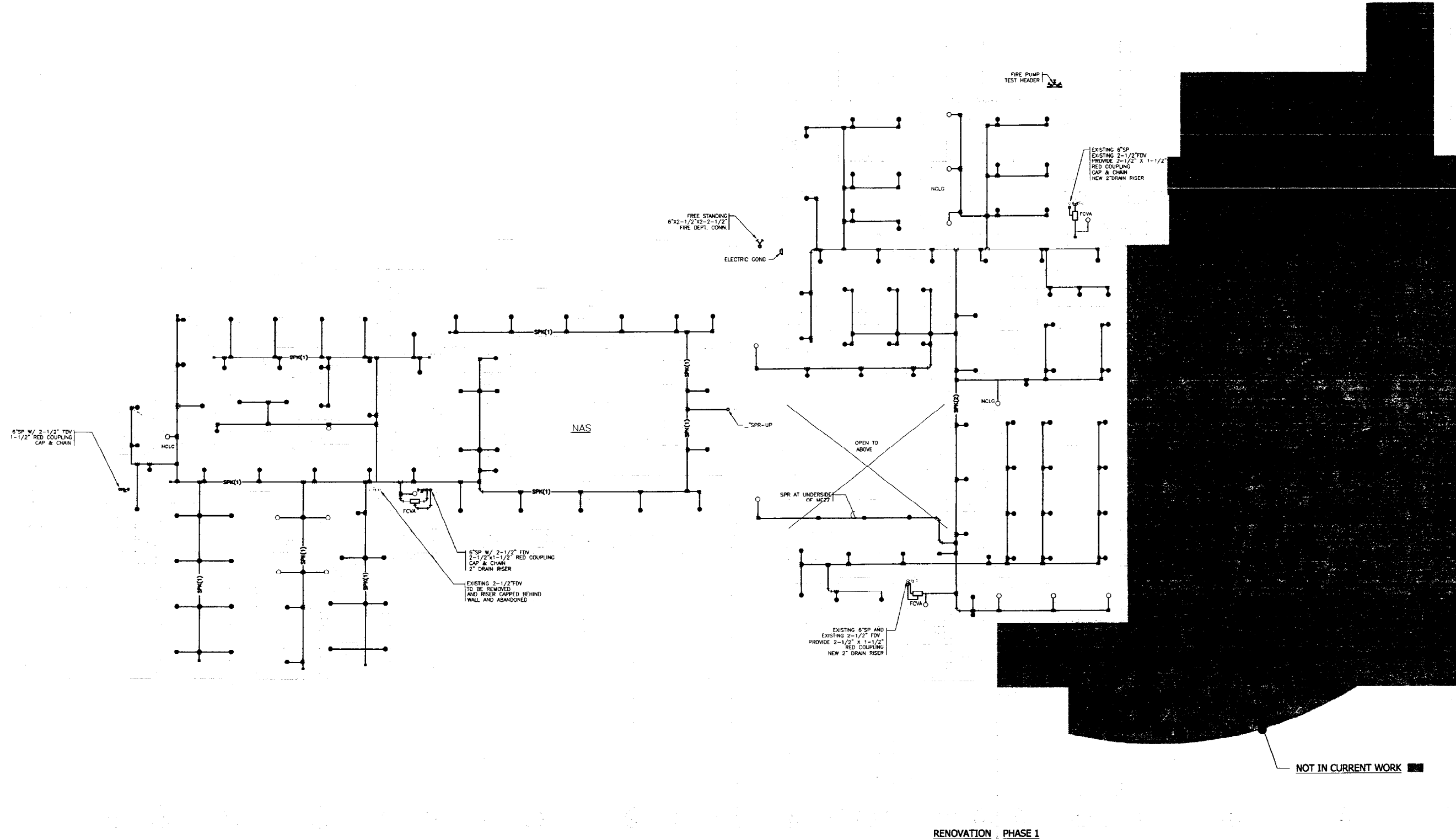
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PROJ. MGR JAS _____

JOB NO. 00013.00

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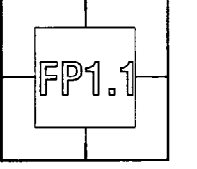
OWNER REVIEW

NAME	DATE

NO.	DATE	DESCRIPTION

FIRE PROTECTION
FIRST FLOOR
PLAN

SCALE 1/8" = 1'-0"
 DRAWN BY _____
 CHECKED BY _____
 PROJ. ARCH / ENGR. L.G.
 PROJ. MGR. JAS
 JOB NO. 00013.00
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RENOVATION PHASE 1

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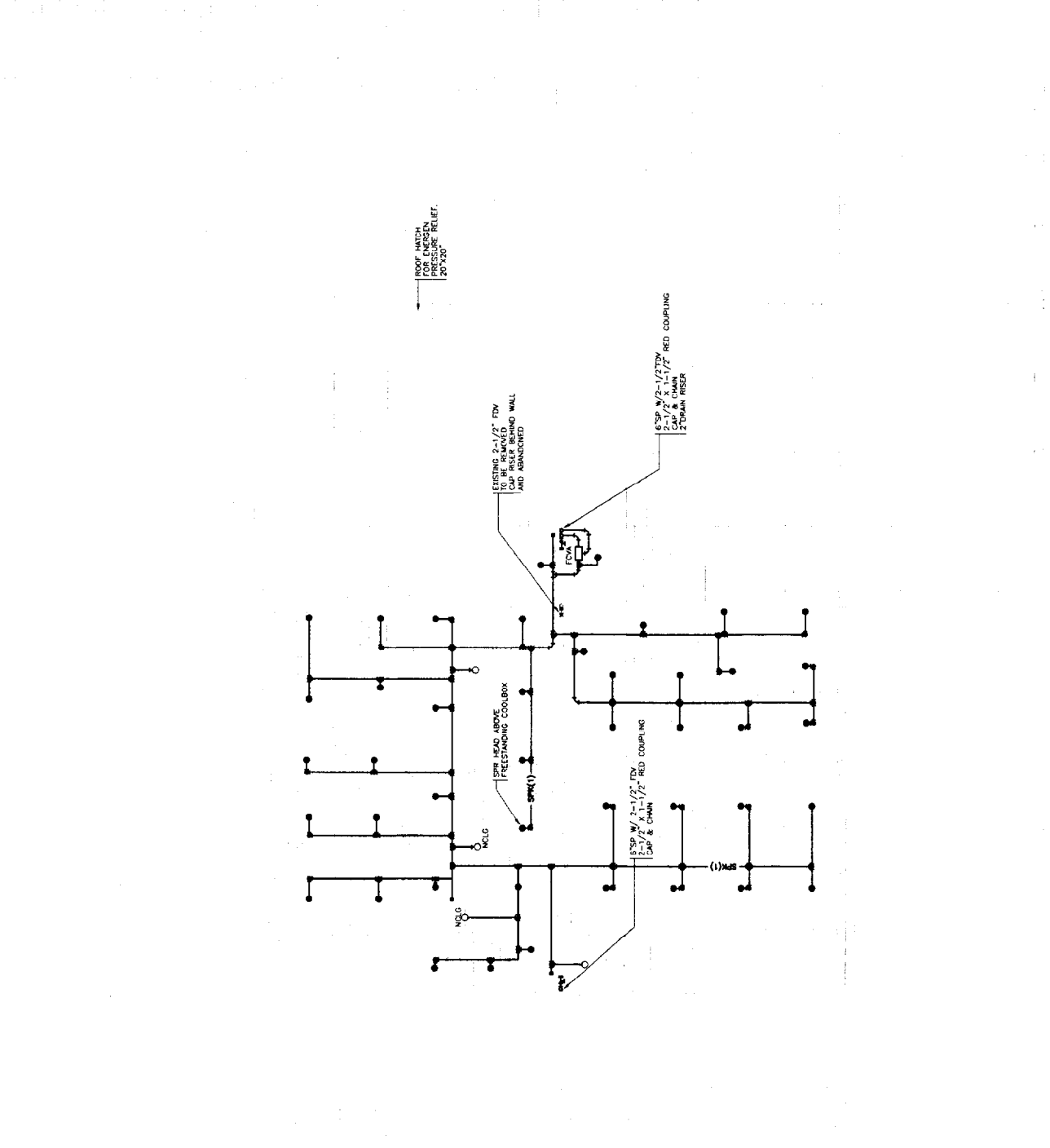
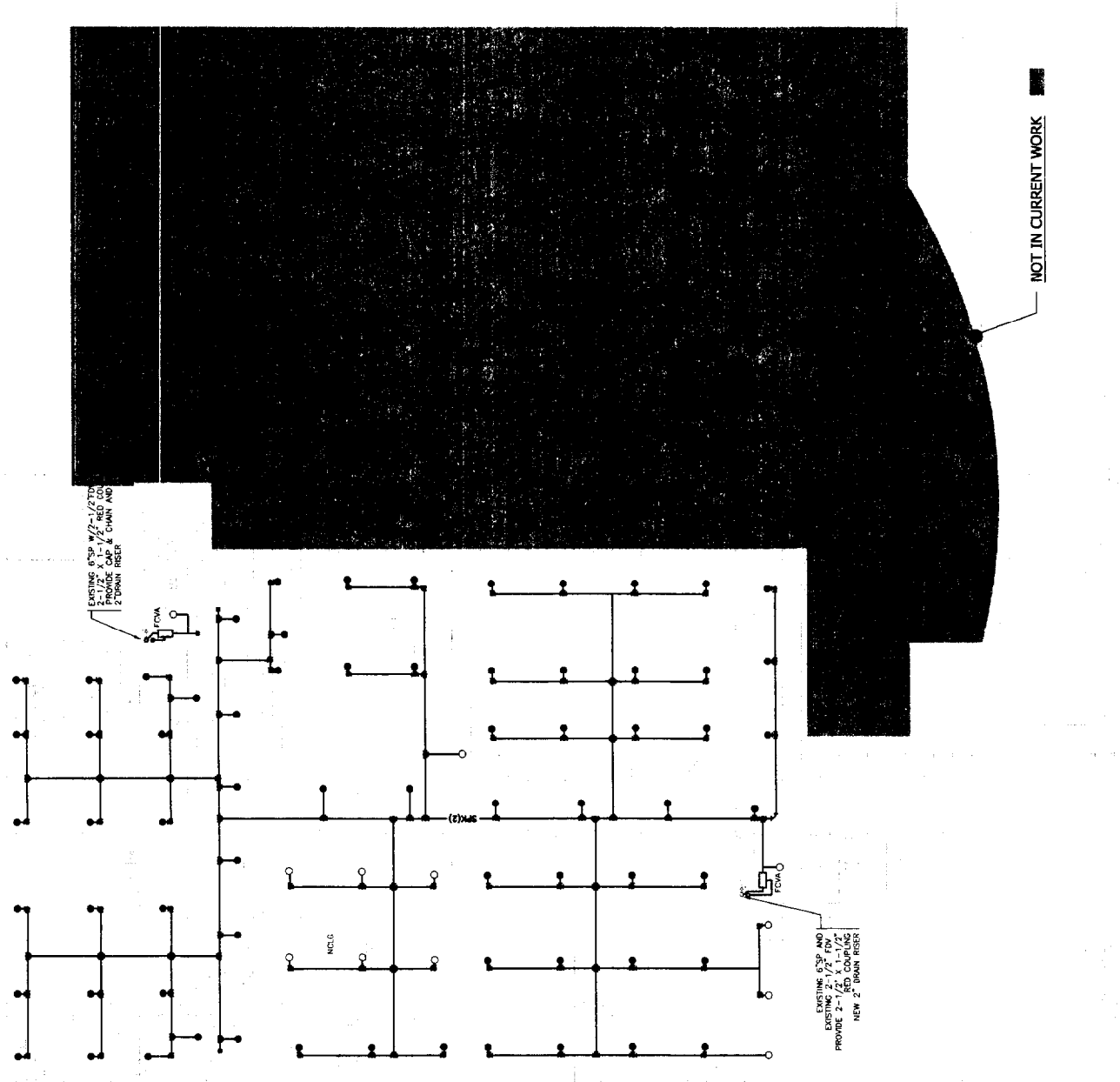
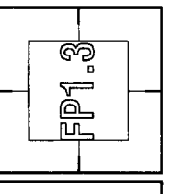
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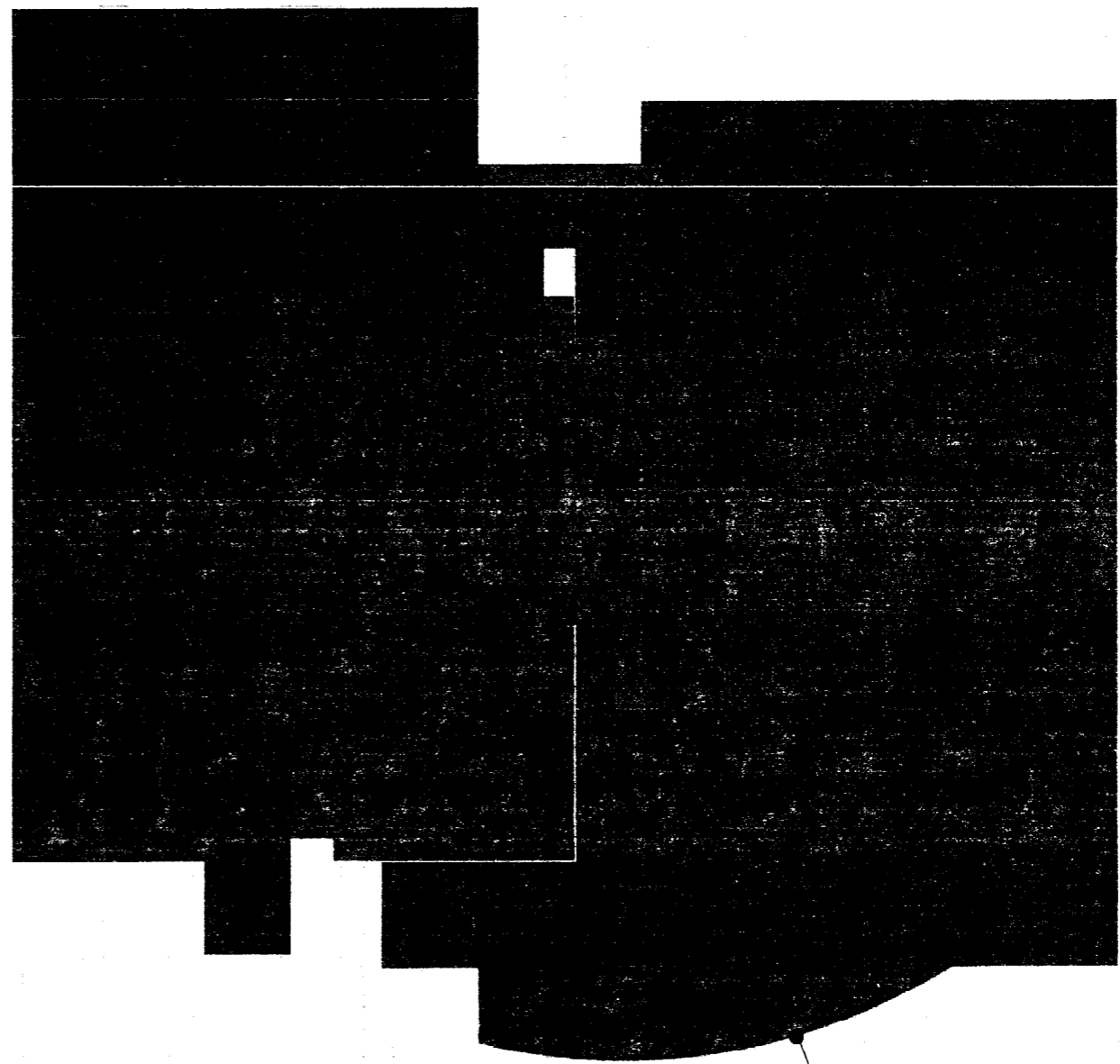
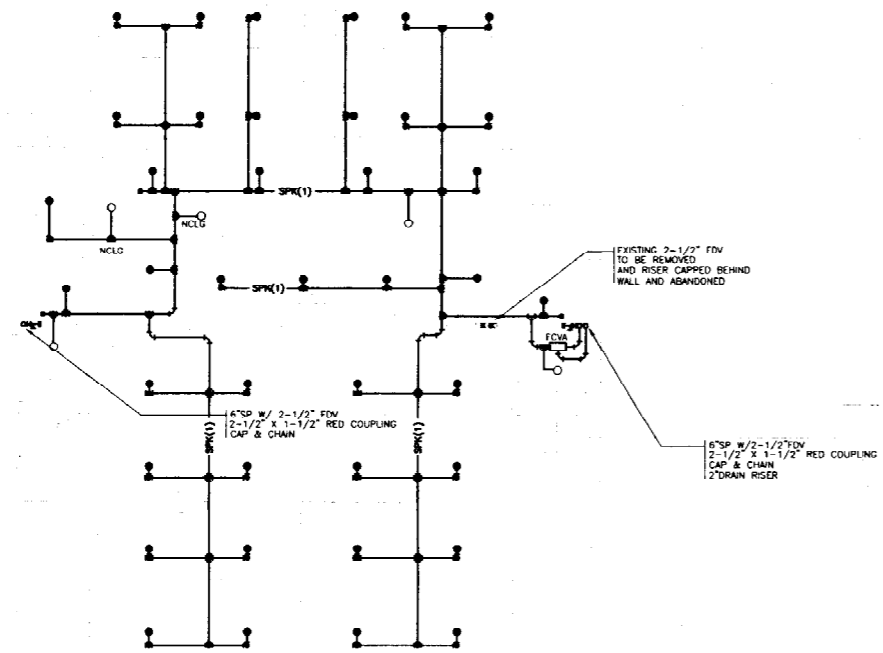
UNIVERSITY OF SOUTHERN MAINE
RENOVATION PHASE I

FIRE PROTECTION THIRD FLOOR PLAN

SCALE: 1/8" = 1'-0"
DRAWN BY: [Redacted]
CHECKED BY: [Redacted]
PROJ. ARCH/ENGR. LC: [Redacted]
PROJ. MGR.: JMS
JOB NO.: 00013.00
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RENOVATION PHASE I



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RENOVATION PHASE 1

OWNER REVIEW

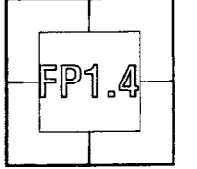
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 PORTLAND, MAINE
 RENOVATION PACKAGE

**FIRE PROTECTION
 FOURTH FLOOR
 AND PENTHOUSE**

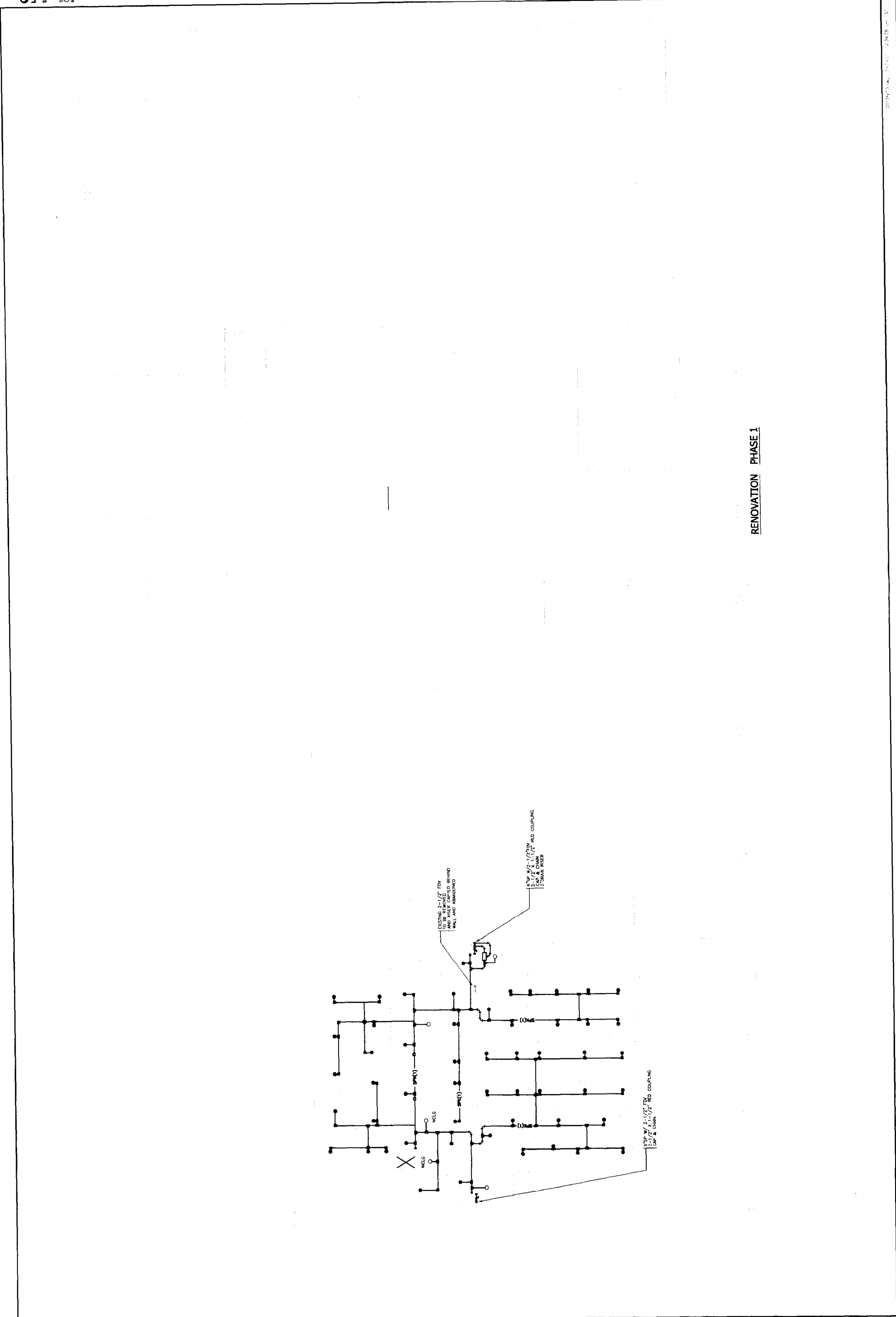
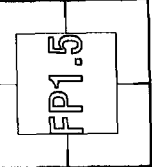
SCALE 1/8" = 1'-0"
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NO.	DATE	DESCRIPTION
0	06/11/01	CONSTRUCTION DOCUMENT SET
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**FIRE PROTECTION
 FIFTH FLOOR
 PLAN**

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RENOVATION PHASE 1

OWNER REVIEW	NAME	DATE

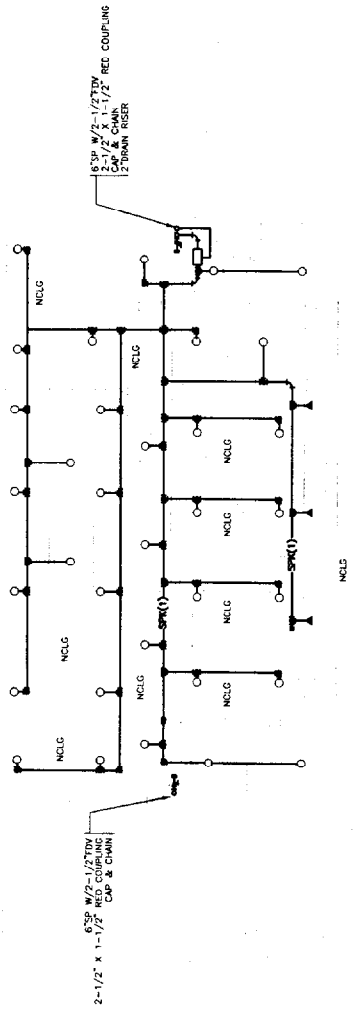
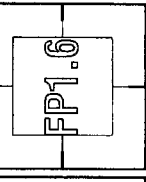
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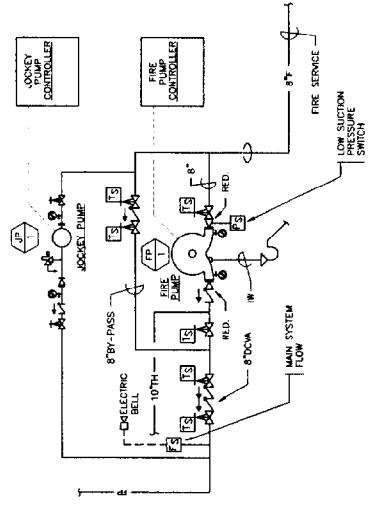
NO.	DATE	DESCRIPTION

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**FIRE PROTECTION
 SIXTH FLOOR
 PLAN**

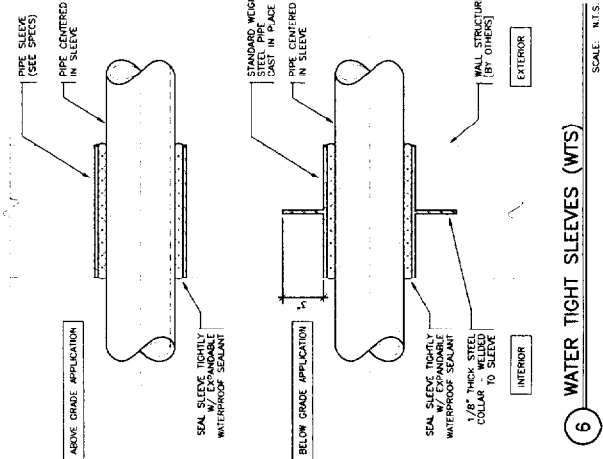
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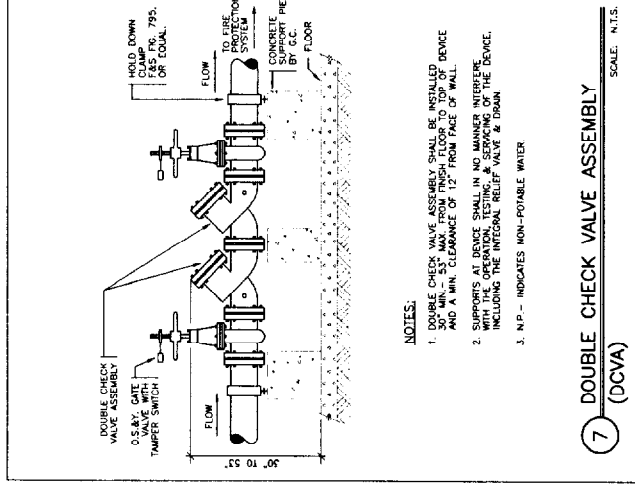


PUMP	CAPACITY (GPM)	PRESSURE (PSI)	CHARACTERISTICS	MOTOR (HP)	REMARKS
FIRE PUMP	1500	90	480V, 3W, 60HZ	100	HORIZONTAL SPLIT CASE
JOCKEY PUMP	10	100	480V, 3W, 60HZ	1-1/2	ELECTRIC TURBINE

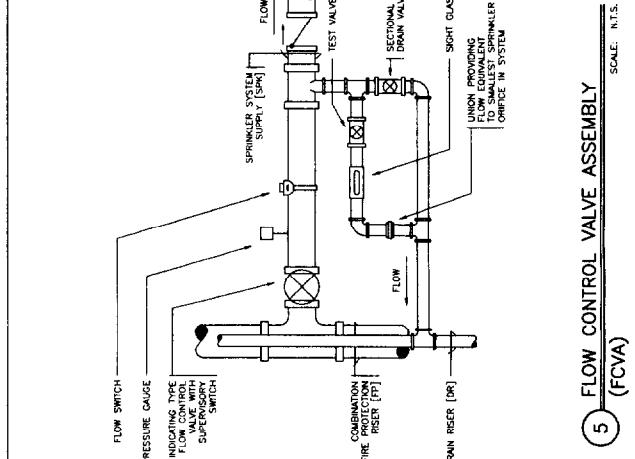
4 FIRE PUMP SCHEMATIC SCALE: N.T.S.



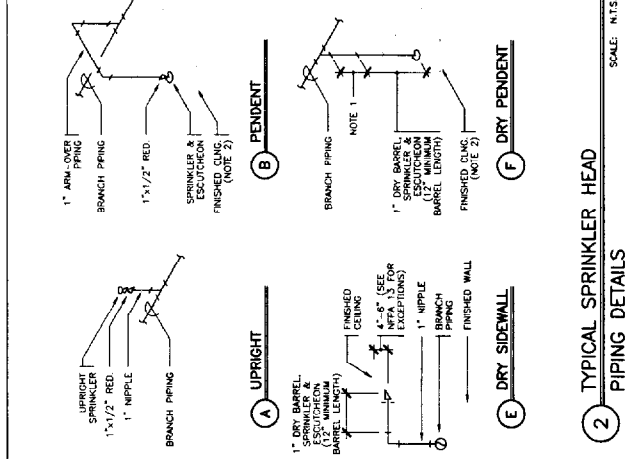
6 WATER TIGHT SLEEVES (WTS) SCALE: N.T.S.



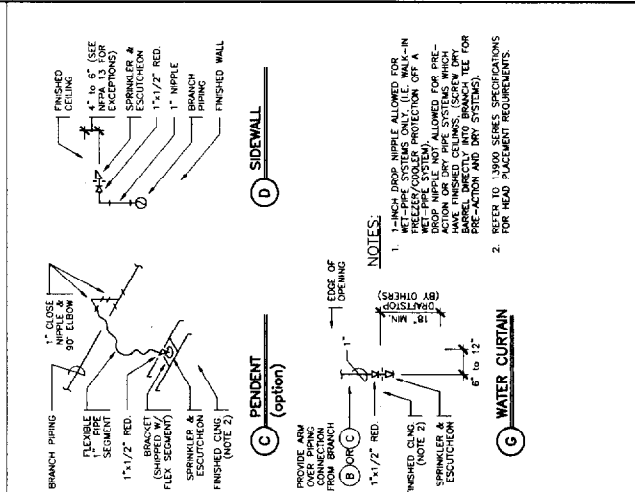
7 DOUBLE CHECK VALVE ASSEMBLY SCALE: N.T.S.



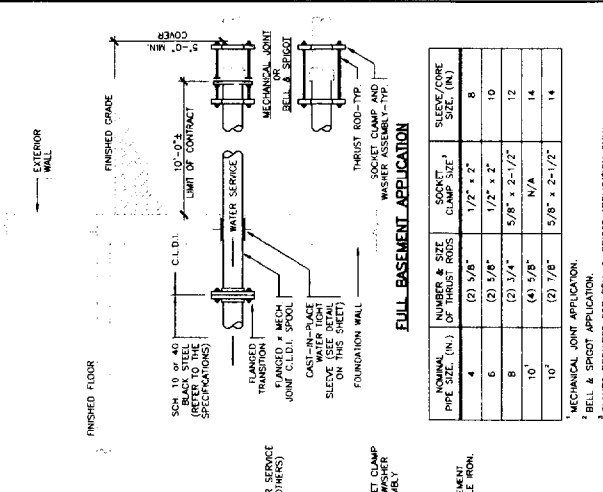
5 FLOW CONTROL VALVE ASSEMBLY (FCVA) SCALE: N.T.S.



2 TYPICAL SPRINKLER HEAD PIPING DETAILS SCALE: N.T.S.

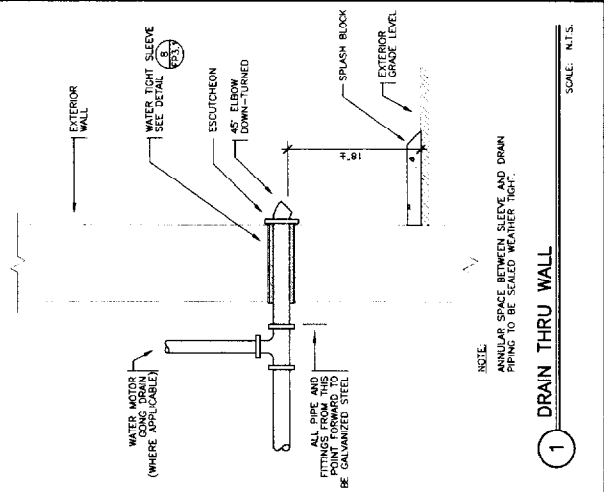


3 WATER SERVICE ENTRANCE SCALE: N.T.S.



FULL BASEMENT APPLICATION

PIPE SIZE (IN.)	NUMBER OF UNITS	MINIMUM CLEARANCE (IN.)	MINIMUM CLEARANCE (IN.)	MINIMUM CLEARANCE (IN.)
4	(2)	5/8"	1/2" x 2"	8
6	(2)	5/8"	1/2" x 2"	10
8	(2)	3/4"	5/8" x 2-1/2"	12
10"	(4)	3/8"	N/A	14
10"	(2)	7/8"	5/8" x 2-1/2"	14



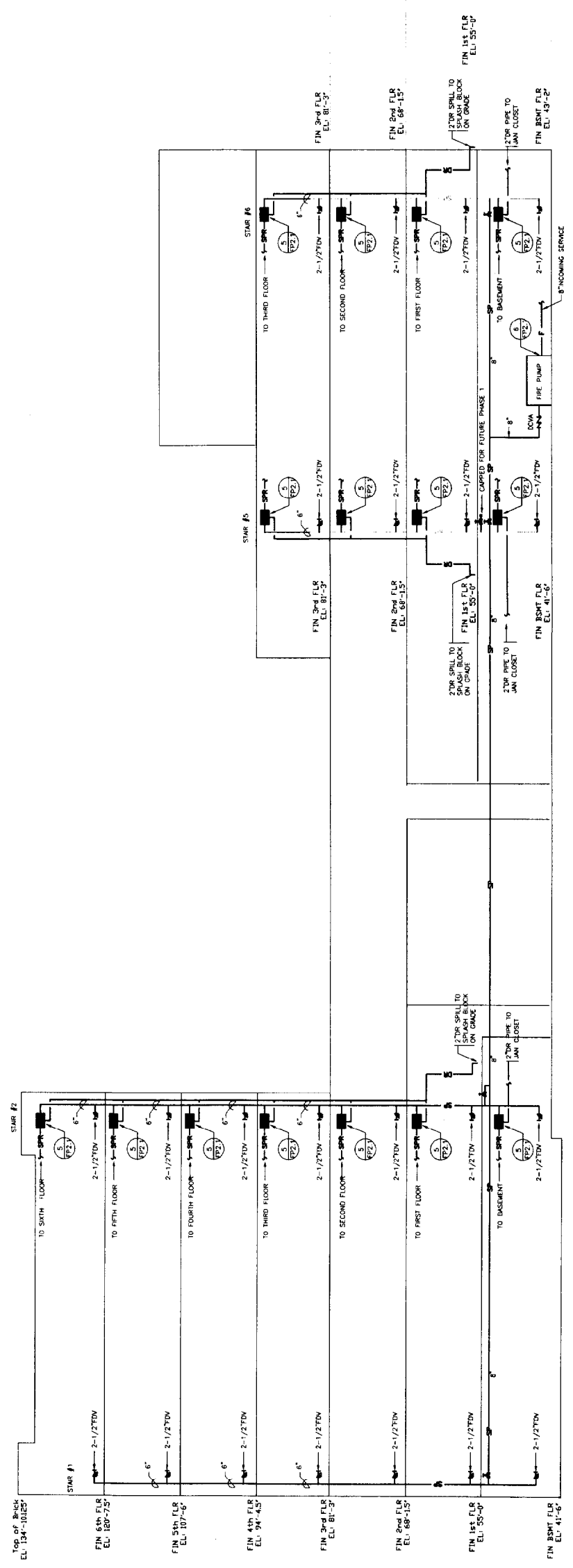
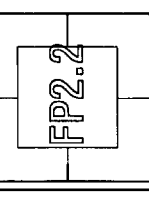
1 DRAIN THRU WALL SCALE: N.T.S.

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BUILDING SECTION

SCALE: N.T.S.
DRAWN BY: C.H.
CHECKED BY: [Blank]
PROJ. ARCH / ENGR: [Blank]
PROJ. MGR: JAS.
JOB NO: 00013.00
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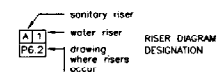


GENERAL PIPING ABBREVIATIONS:

AFF	ABOVE FINISHED FLOOR
AFG	ABOVE FINISHED GRADE
AP	ACCESS PANEL
BFP	BACKFLOW PREVENTER
BOP	BOTTOM OF PIPE
BTUH	BTU PER HOUR
CFM	CUBIC FEET PER MINUTE
CI	CAST IRON
CL	CENTERLINE
CONN	CONNECT
CONT	CONTINUATION
CTE	CONNECT TO EXISTING
CC	CENTER TO CENTER
CUP	CENTRAL UTILITY PLANT
DA	DIAMETER
DN	DOWN
DWG	DRAWING
DV	DRAIN VALVE
ELEV	ELEVATION
ELEC	ELECTRIC
ETBA	EXISTING TO BE ABANDONED
ETR	EXISTING TO REMAIN
ETRR	EXISTING TO BE REMOVED
GAL	GALLONS
GPM	GALLONS PER MINUTE
HVAC	HEATING, VENTILATION AND AIR CONDITIONING
HEX	HEAT EXCHANGER
IN	INCHES
MAX	MAXIMUM
MIN	MINIMUM
MBH	THOUSAND BTU PER HOUR
MR	MOP RECEPTOR
NC	NORMALLY CLOSED
NC	NOT IN CONTRACT
No.	NUMBER
OC	ON CENTER
PRV	PRESSURE REDUCING VALVE
RE	REMOVE
RED	REDUCER
RV	RELIEF VALVE
RO	ROTOMETER
SCH	SCHEDULE
SS	STAINLESS STEEL
TYP	TYPICAL
W/	WITH
WTS	WATER TIGHT SEAL

PLUMBING SYMBOLS:

Symbol	Abbrev.	Description
	W&T	WASTE AND TRAP
	SA	SHOCK ABSORBER
	HD	HOSE BIBB
	WH	WALL HYDRANT
	MV	MIXING VALVE
	GC	GAS COCK
	RPBP	REDUCED PRESS. BACKFLOW PREVENTER
	FD	FLOOR DRAIN
	RD	ROOF DRAIN
	ES/EW	EMERGENCY SHOWER & EYEWASH UNIT



Special Line Types	Service
	BURIED PIPING
	BURIED VENT PIPING
	VENT PIPING
	DOMESTIC COLD WATER PIPING
	DOMESTIC HOT WATER PIPING
	DOMESTIC HOT WATER RETURN PIPING
	GAS PIPING
	EXISTING SANITARY TO REMAIN

PLUMBING ABBREVIATIONS:

AW	ACID WASTE
AV	ACID VENT
AVTR	ACID VENT THROUGH ROOF
AC	AIR CHAMBER
BT	BATH TUB
CD	CLEANOUT
CW	DOMESTIC COLD WATER
DCO	DANDY CLEANOUT
DF	DRINKING FOUNTAIN
DFU	DRAINAGE FIXTURE UNITS
ES	EMERGENCY SHOWER
EW	EMERGENCY EYEWASH
ES/EW	EMERGENCY SHOWER & EYEWASH
EW	EYEWASH
EW	ELECTRIC WATER COOLER
FD	FLOOR CLEANOUT
FD	FLOOR DRAIN
GAS	NATURAL GAS
GV	NATURAL GAS VENT
GV	BOILER GAS TRAIN VENT
HB	HOSE BIBB
HW	DOMESTIC HOT WATER
HWR	DOMESTIC HOT WATER RECIRCULATION
INVEL	INVERT ELEVATION
IN	INDIRECT WASTE
KW	KITCHEN WASTE
LAV	LAVATORY
LPC	LIMIT OF PLUMBING CONTRACT
MAY	MANUAL AIR VENT
MR	MOP RECEPTOR
NP	NON-POTABLE WATER (HVAC MAKE-UP)
OFD	OVERFLOW DRAIN (ROOF DRAINAGE)
PCW	PROTECTED COLD WATER
PHW	PROTECTED HOT WATER
PWR	PROTECTED HOT WATER RECIRCULATION
RPBP	REDUCED PRESSURE BACKFLOW PREVENTER
RD	ROOF DRAIN
RE	REMOVE EXISTING
SH	SHOWER
SS	SERVICE SINK
SK	SINK
SAN	SANITARY WASTE
ST	STORM WATER
SC	SILL COCK
S	SANITARY OR SOIL
TW	TEMPERED WATER
TP	TRAP PRIMER
UR	URNAL
V	SANITARY VENT
VTR	VENT THROUGH ROOF
W	SANITARY WASTE
WCO	WALL CLEANOUT
WC	WATER CLOSET
WHS	WASH HOSE STATION
140HW	140° HOT WATER
140HWR	140° HOT WATER RECIRCULATION
180HW	180° HOT WATER

PLUMBING GENERAL NOTES

- THE PLUMBING CONTRACTOR SHALL BE FAMILIAR WITH ALL CONTRACT DOCUMENTS FOR ALL TRADES AND COORDINATE WITH OTHER CONTRACTORS.
- DRAWINGS ARE DIAGRAMMATIC ONLY. FINAL ROUTING OF PIPING AND EQUIPMENT LOCATIONS SHALL BE DETERMINED IN THE FIELD. ADDITIONAL OFFSETS, ELBOWS, ETC., SHALL BE PROVIDED AND INSTALLED WITHOUT ADDITIONAL COST TO THE OWNER.
- THE PLUMBING CONTRACTOR SHALL COORDINATE ALL ELECTRICAL, FIRE PROTECTION & HVAC REQUIREMENTS WITH THE ELECTRICAL, FIRE PROTECTION AND HVAC CONTRACTORS.
- THE PLUMBING CONTRACTOR SHALL FURNISH AND INSTALL ALL INCIDENTAL ACCESSORIES NECESSARY TO MAKE THE PLUMBING WORK SYSTEMS INSTALLATION COMPLETE AND READY FOR OPERATION.
- ALL PLUMBING EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.

GENERAL PIPING SYMBOLS:

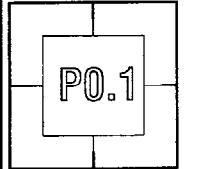
Symbol	Abbrev.	Description
	DN	PIPE DOWN THROUGH FLOOR
	UP	PIPE UP THROUGH FLOOR ABOVE
		PIPE DROP
		PIPE DROP & RUN
		BRANCH RISE
		BRANCH DROP
		ELBOW (pressure piping)
		TEE (pressure piping)
		BRANCH CONNECTION (gravity piping)
	CO	CLEANOUT
	FCD	FLOOR CLEANOUT
	DCO	DANDY CLEANOUT
	CAP	PIPE BREAK
		CONCENTRIC REDUCER
		ECCENTRIC REDUCER
		SCREWED UNION
		FLANGED UNION
		FLEXIBLE CONNECTOR
		STRAINER
		SLEEVE/GUIDE
		THERMOMETER
		PRESSURE GAUGE
		SHUT-OFF VALVE (TYPE PER SPECS)
		BALANCING VALVE
		OS&Y VALVE
		VALVE WITH LOCKED HANDLE
	VV	VALVE IN VERTICAL
		RELIEF VALVE
	PRV	PRESSURE REGULATING VALVE
		BALL VALVE
		BUTTERFLY VALVE
		3 WAY VALVE
		SOL F/NOID ACTUATOR
		PNEUMATIC or ELECTRIC ACTUATOR
		CHECK VALVE
		DIAPHRAGM VALVE
		FLOW ARROW
		METER
		PIPE SLOPE INDICATOR
	RE	REMOVE EXISTING
		PIPE SERVICE AND SIZE LABEL
	CTE	CONNECT TO EXISTING
		EXPANSION LOOP
	V-3	VALVE TAG
		detail no. DRAWING where detail occurs
		equip. type EQUIPMENT TAG
		equip. number

OWNER REVIEW
NAME _____ DATE _____

NO	DATE	DESCRIPTION
1	05/11/01	CONSTRUCTION DOCUMENT SET
ISSUE LOG		
* CLOUDED CHANGE		
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PORTLAND, MAINE		
RENOVATION PACKAGE		

PLUMBING LEGEND AND NOTES

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PROJ. MGR	JAS
JOB NO.	00013.00
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DRAIN SCHEDULE

FIXTURE DESC.	MANUFACTURER & MODEL	DESCRIPTION	REMARKS
FD 'A'	JAY R. SMITH, INC. 2000A BR 2000A SHOWER (ROUND)	CAST IRON BODY AND FLASHING COLLAR - N.S. ADJUSTABLE NO-HUB OUTLET ABOVE GRADE OR	CALLIED OUTLET BELOW GRADE OR NO-HUB OUTLET ABOVE GRADE

PIPING MATERIALS

PIPING SYSTEM	MATERIAL TYPE	JOINTS
COLD WATER (DOMESTIC, PROTECTED)	TYPE L COPPER-HARD TEMPER	95/5 SOLDER LEAD FREE
HOT WATER (DOMESTIC, PROTECTED)	TYPE L COPPER-HARD TEMPER	95/5 SOLDER LEAD FREE
SOIL, WASTE, AND VENT AND STORM DRAINAGE BELOW GROUND	SERVICE WEIGHT CAST IRON HUB-END	PUSH ON NEOPRENE GASKET
SOIL, WASTE AND VENT AND STORM DRAINAGE ABOVE GROUND	SERVICE WEIGHT CAST IRON NO-HUB	STAINLESS STEEL BAND CLAMP
EXTERIOR DOMESTIC AND FIRE PROTECTION SERVICE	CEMENT UNED DUCTILE IRON	MECHANICAL COUPLINGS

PLUMBING FIXTURE CONNECTION SCHEDULE

DESC.	FIXTURE	WASTE	VENT	COLD WATER	HOT WATER	TEMPERED WATER	REMARKS
WC 'A'	WATER CLOSET	4"	2"	1-1/2"	----	----	FLUSH VALVE
WC 'B'	WATER CLOSET	4"	2"	1-1/2"	----	----	FLUSH VALVE H.C. MOUNTING
UR 'A'	URNAL	2"	2"	3/4"	----	----	FLUSH VALVE H.C. MOUNTING
LAV 'A'	LAVATORY	1 1/4"	1-1/4"	1/2"	1/2"	----	H.C. ACCESSIBLE
HB 'A'	HOSE BIBB	----	----	1/2"	----	----	----

SHOCK ABSORBER SCHEDULE

TYPE	FIXTURE UNIT RATING	BASIS OF DESIGN	
		MANUFACTURER	FOURGE NO.
SA'A'	1-11	JAY R. SMITH	5005
SA'B'	12-32	JAY R. SMITH	5010
SA'C'	33-60	JAY R. SMITH	5020
SA'D'	61-113	JAY R. SMITH	5030
SA'E'	114-154	JAY R. SMITH	5040
SA'F'	155-330	JAY R. SMITH	5050

PLUMBING FIXTURE SCHEDULE

FIXTURE DESC.	DESCRIPTION	MOUNTING	H / O	FIXTURE	TRIM	STOP	TRIM	CARRIER	REMARKS
WC 'A'	WATER CLOSET	FLOOR	NO	CRANE 1.3 "WHAULTON" 3--32RE	SLOAN REGAL MODEL No. 111 "LOW CONSUMPTION" WITH REGAL XL PACKAGE	INTEGRAL ANGLE STOP	J.R. SMITH 0410 SERIES	J.R. SMITH 0410 SERIES	CHURCH #5000NSC SEAT - COLOR: WHITE
WC 'B'	WATER CLOSET	WALL	YES	CRANE 1.3 PLACODIG 3--44SE	SLOAN REGAL MODEL No. 111 "LOW CONSUMPTION" WITH REGAL XL PACKAGE	INTEGRAL ANGLE STOP	J.R. SMITH 0410 SERIES	J.R. SMITH 0410 SERIES	CHURCH #5000NSC SEAT - COLOR: WHITE
UR 'A'	URNAL	WALL	YES	CRANE "DORNBELL" 7/8" 1.0 GPF	SLOAN REGAL MODEL No. 186-1 "LOW CONSUMPTION" WITH REGAL XL PACKAGE	INTEGRAL ANGLE STOP	J.R. SMITH #0410 M W/BEARING PLATE		
LAV 'A'	LAVATORY	WALL	YES	CRANE "NORRICH" 1-1/2" x 20" x 18" LAVATORY VITREOUS CHINA	SYMONS "3201" 5-60-H METRIC FAUCET, BARBER FREE TEMPERATURE SELECTION	MAGURE "HEAVY DUTY" POLISHED C.P. CAST BRASS ANGLE VALVE WITH 1 1/4" C.P. SLIP JOINT TUBULAR TRAP	JAY R. SMITH #175L018 COPPER AND BRASS 1 1/4" C.P. SLIP JOINT TUBULAR TRAP	J.R. SMITH 0700 L	INSULATE EXPOSED HOT, COLD AND WASTE PIPING BELOW FIXTURE
HB 'A'	HOSE BIBB	WALL	N/A	CHICAGO NO. 932 #7/8 POLISHED CHROME	NONE	NONE	NONE	NONE	TOILET ROOMS FINISHED SPACES

* NOTE: MODEL NUMBERS AND MANUFACTURERS ARE INTENDED TO ESTABLISH A STANDARD OF QUALITY.
SEE SPECIFICATION SECTION 15410.

OWNER REVIEW
NAME _____ DATE _____

NO. _____ DATE _____
DESIGNER _____
NO. _____ DATE _____
DESIGNER _____
NO. _____ DATE _____
DESIGNER _____
NO. _____ DATE _____
DESIGNER _____

PLUMBING SCHEDULES

SCALE _____ N.T.S.
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DATE _____

UNIVERSITY OF SOUTHERN MAINE
PLUMBING SCHEDULES
REVISION PACKAGE
PO.2

OWNER REVIEW
NAME _____ DATE _____

0 05/11/01 CONSTRUCTION DOCUMENT SET

NO. DATE DESCRIPTION

ISSUE LOG

△ = CLERICAL CHANGE

UNIVERSITY OF

SOUTHERN MAINE

PORTLAND, MAINE

RENOVATION PACKAGE

UNDERGROUND
PLAN

SCALE 1/8" = 1'-0"

DRAWN BY TEC

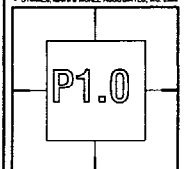
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PROJ. ARCH / ENGR. LG

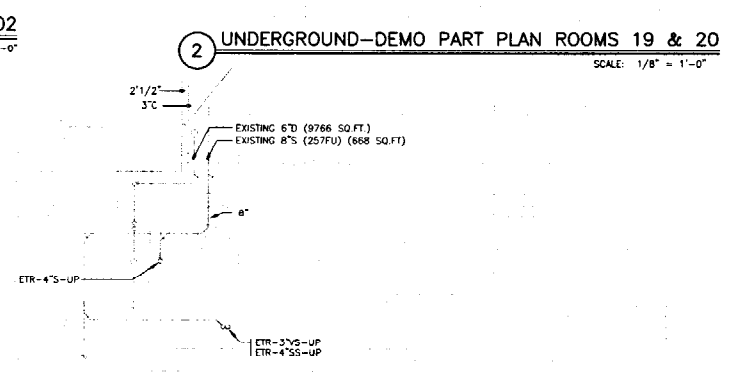
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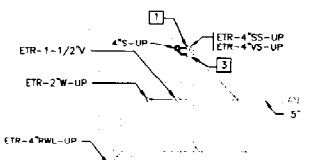
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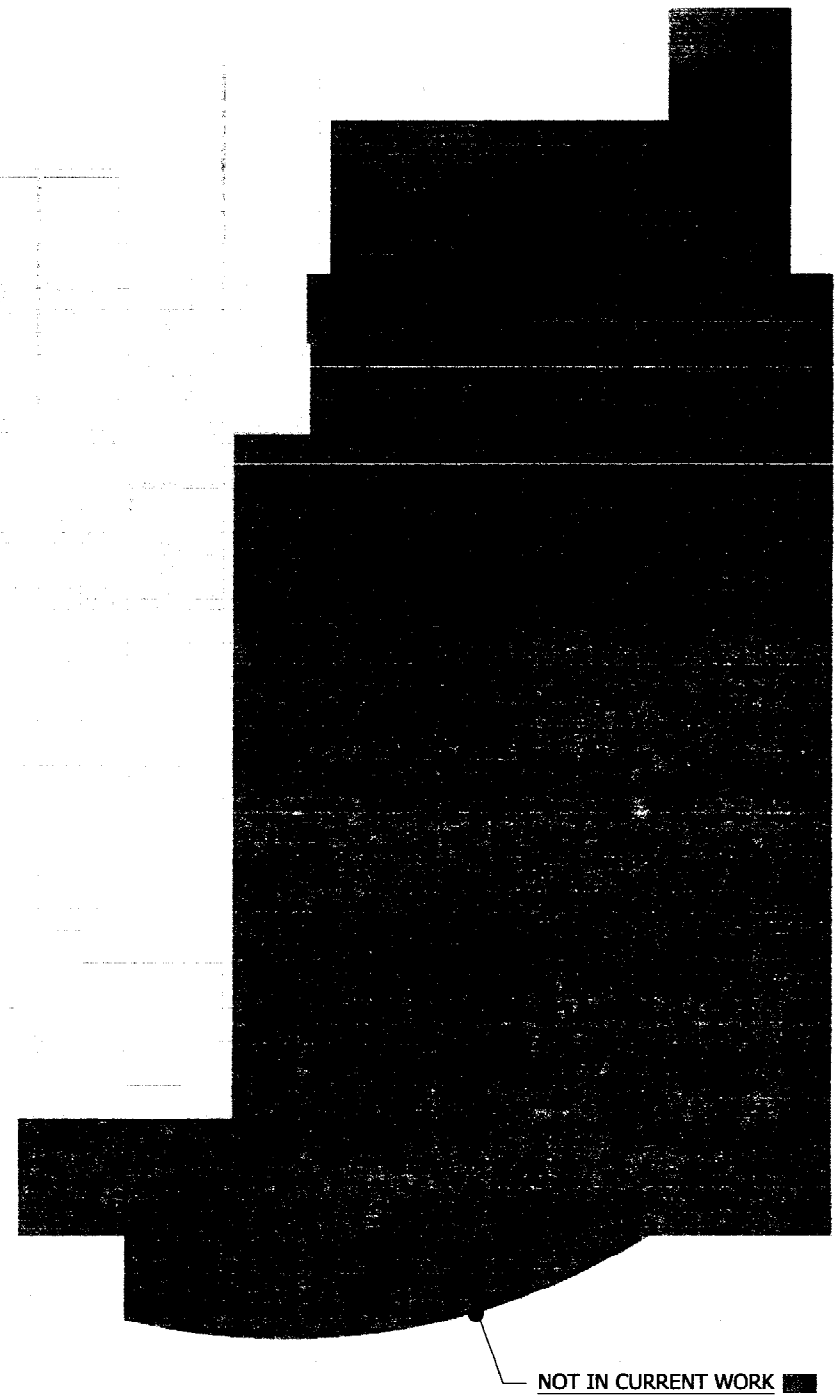
1 UNDERGROUND-DEMO PART PLAN ROOM 02
SCALE: 1/8" = 1'-0"



2 UNDERGROUND-DEMO PART PLAN ROOMS 19 & 20
SCALE: 1/8" = 1'-0"



FURNITURE NOT IN CONTRACT.



NOT IN CURRENT WORK

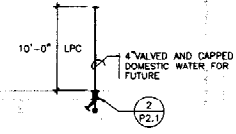
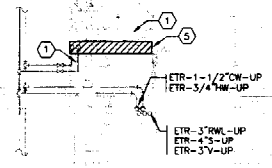
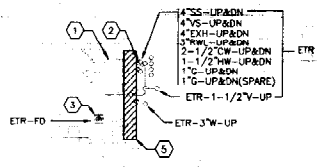
RENOVATION PHASE 1

NEW WORK GENERAL NOTES

- 1 CTE 4"SS W/NEW 4"S
- 2 CTE 2 1/2" CW AND 1-1/2"V W/NEW 1-1/2"CW AND 3/4"V. REMOVE AND REPLACE EXISTING ISOLATION VALVES ON CW & HW PIPING.
- 3 CTE 4"VS W/NEW 2"V

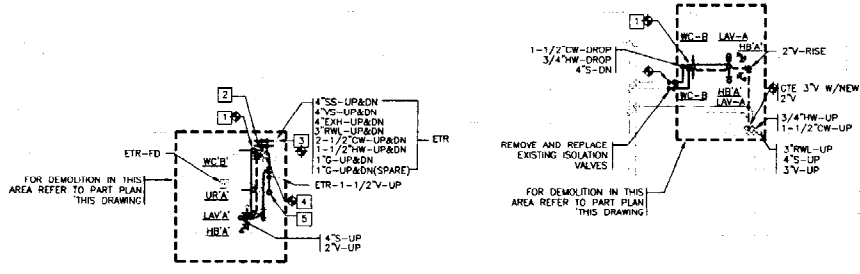
DEMOLITION GENERAL NOTES

- 1 REMOVE EXISTING PLUMBING FIXTURES.
- 2 REMOVE EXISTING SAN, WASTE AND VENT PIPING HOT AND COLD WATER PIPING BACK TO STACK AND RISER AND CAP.
- 3 EXISTING 2"FD AND ASSOCIATED WASTE AND VENT PIPING TO REMAIN.
- 4 EXISTING MR TO REMAIN EXISTING WASTE AND VENT PIPING TO REMAIN. REMOVE EXISTING HOT AND COLD WATER PIPING.

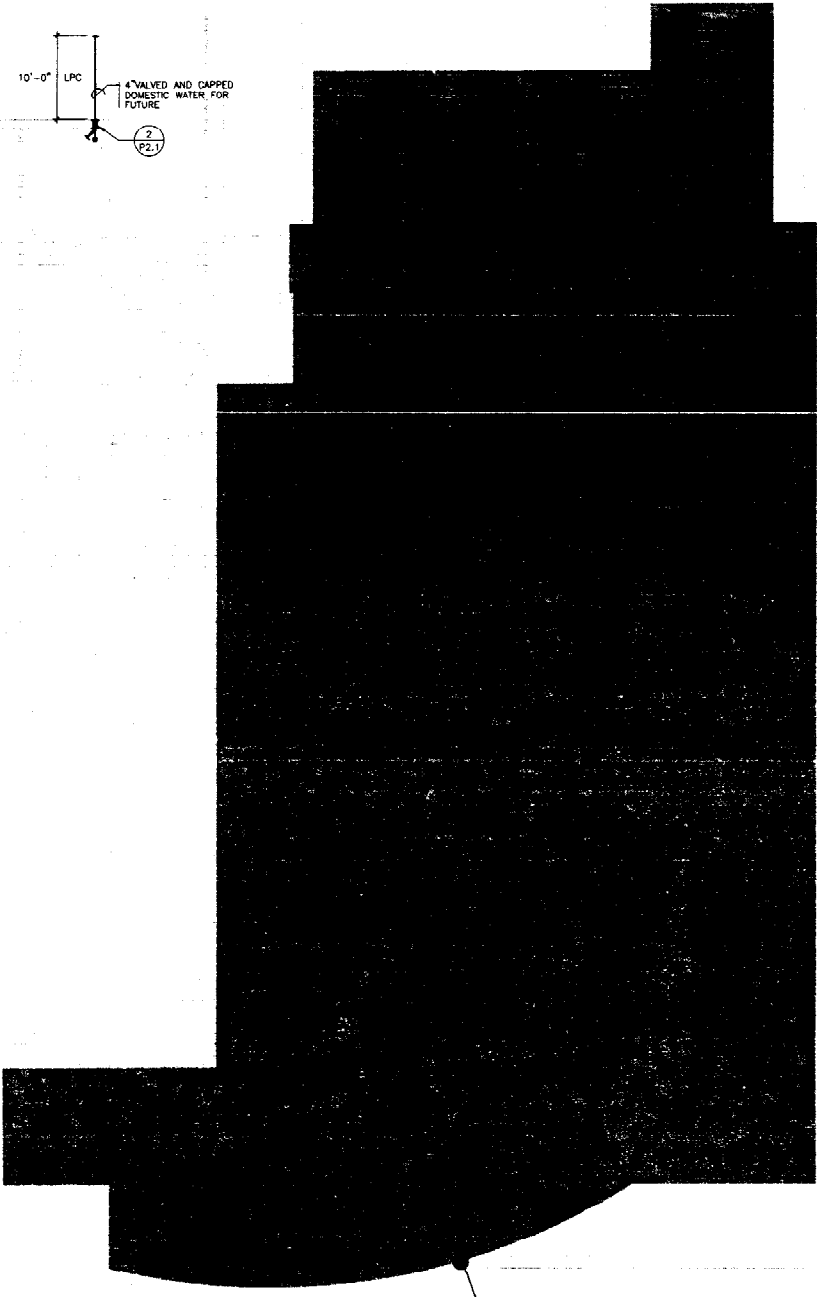


1 BASEMENT-DEMO PART PLAN ROOM 02
SCALE: 1/8" = 1'-0"

2 BASEMENT-DEMO PART PLAN ROOMS 19 & 20
SCALE: 1/8" = 1'-0"



FURNITURE NOT IN CONTRACT.



RENOVATION PHASE 1

NEW WORK GENERAL NOTES

- 1 CITE 4"SS W/NEW 4"5
- 2 4"5-DN&2"V-RISE
2"HW
1-1/2"HW
- 3 CITE 2-1/2" CW AND 1-1/2"HW
W/NEW 1-1/2"CW AND 3/4"HW.
REMOVE AND REPLACE EXISTING ISOLATION
VALVES ON CW & HW PIPING.
- 4 CITE 4"YS W/NEW 2"V
- 5 DISCONNECT AND REMOVE EXISTING 3"V
AND REPLACE W/NEW 4"V AND CONNECT
TO EXISTING 4"5.

DEMOLITION GENERAL NOTES

- 1 REMOVE EXISTING PLUMBING FIXTURES.
- 2 REMOVE EXISTING SAN, WASTE AND VENT
PIPING HOT AND COLD WATER PIPING BACK
TO STACK AND RISER AND CAP.
- 3 EXISTING 2"TD AND ASSOCIATED WASTE AND
VENT PIPING TO REMAIN.
- 4 EXISTING AIR TO REMAIN EXISTING WASTE AND
VENT PIPING TO REMAIN. RECONNECT TO NEW
HW & CW IN CHASE.
- 5 REMOVE EXISTING HW, CW, WASTE AND VENT PIPING
IN CHASE AND CAP AT RISERS.

OWNER REVIEW

NAME	DATE

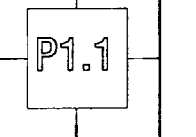
UNIVERSITY OF SOUTHERN MAINE
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RENOVATION PACKAGE

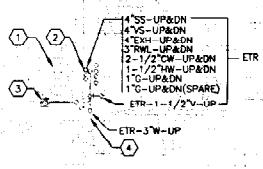
NO.	DATE	DESCRIPTION

BASEMENT PLAN

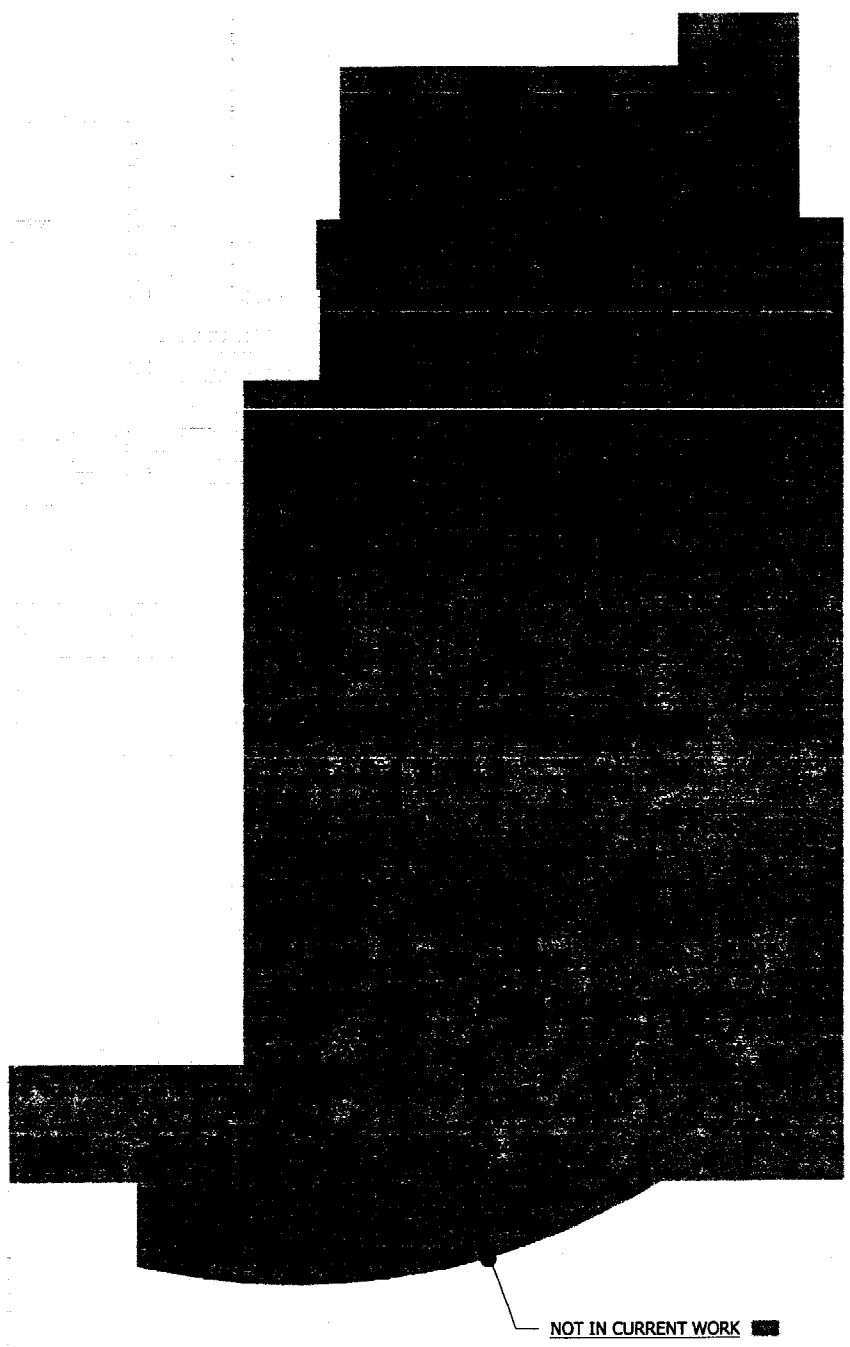
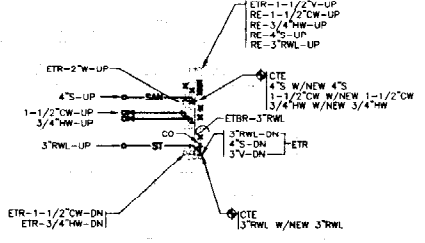
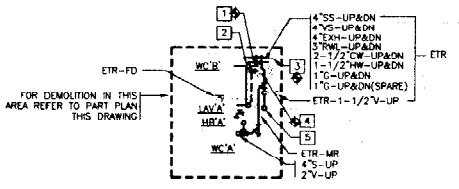
SCALE: 1/8" = 1'-0"

DRAWN BY	TEC
CHECKED BY	
PROJ. ARCH / ENGR. LG	
PROJ. MGR	JAS
JOB NO.	200713.00
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1 FIRST FLOOR—DEMO PART PLAN ROOM 102
 SCALE: 1/8" = 1'-0"



OWNER REVIEW

NAME	DATE

ISSUE LOG

NO.	DATE	DESCRIPTION

UNIVERSITY OF SOUTHERN MAINE
 PORTLAND, MAINE
 RENOVATION PACKAGE

RENOVATION PHASE 1

- | | |
|--|---|
| <p>NEW WORK GENERAL NOTES</p> <ol style="list-style-type: none"> 1 CTE 4"SS W/NEW 4"S 2 4"5-DN&2"V-RISE 1-1/2"W&V 3 CTE 2-1/2" CW AND 1-1/2"HW W/NEW 1-1/2"CN AND 3/4"HW. REMOVE AND REPLACE EXISTING ISOLATION VALVES ON CW & HW PIPING. 4 CTE 4"5 W/NEW 2"V 5 DISCONNECT AND REMOVE EXISTING 3"HW AND REPLACE W/NEW 4"HW AND CONNECT TO EXISTING 4"SS. | <p>DEMOLITION GENERAL NOTES</p> <ol style="list-style-type: none"> 1 REMOVE EXISTING PLUMBING FIXTURES. 2 REMOVE EXISTING SAN, WASTE AND VENT PIPING HOT AND COLD WATER PIPING BACK TO STACK AND RISER AND CAP. 3 EXISTING 2"TD AND ASSOCIATED WASTE AND VENT PIPING TO REMAIN. 4 EXISTING MR TO REMAIN EXISTING WASTE AND VENT PIPING TO REMAIN. RECONNECT TO NEW HW & CW IN CHASE. |
|--|---|

SCALE: 1/8" = 1'-0"

DRAWN BY: YEC

CHECKED BY:

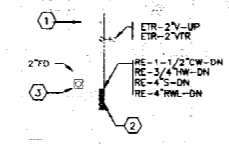
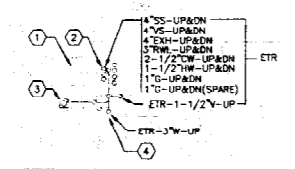
PROJ. ARCH / ENGR: LG

PROJ. MGR: JAS

JOB NO.: 00013.00

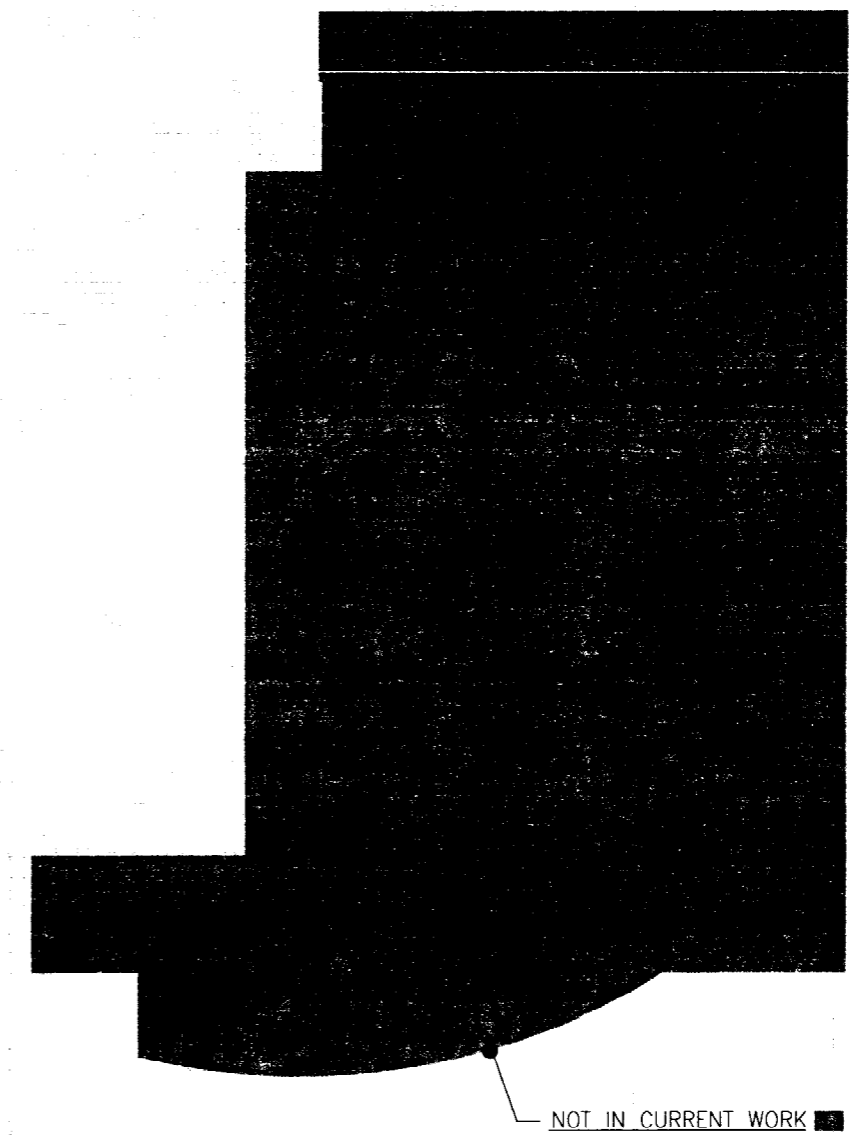
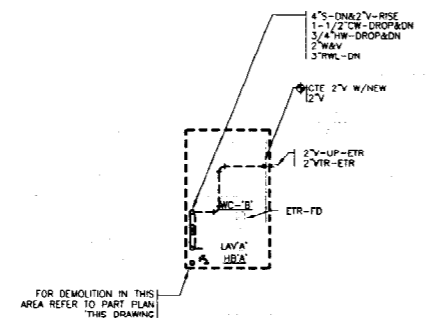
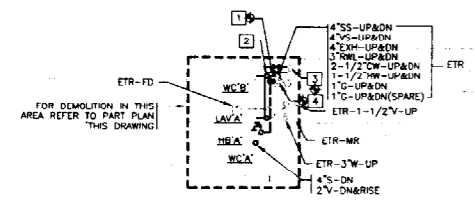
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P1.2



1 SECOND FLOOR-DEMO PART PLAN ROOM 202
SCALE: 1/8" = 1'-0"

2 SECOND FLOOR-DEMO PART PLAN ROOM 216
SCALE: 1/8" = 1'-0"



NEW WORK GENERAL NOTES

- 1 CITE 4" SS W/NEW 4" S
- 2 4" S-DN& 2" V-RISE 1-1/2" W&V
- 3 CITE 2-1/2" CW AND 1-1/2" TW W/NEW 1-1/2" CW AND 3/4" TW REMOVE AND REPLACE EXISTING ISOLATION VALVES ON CW & HW PIPING.
- 4 CITE 4" S W/NEW 2" V

DEMOLITION GENERAL NOTES

- 1 REMOVE EXISTING PLUMBING FIXTURES.
- 2 REMOVE EXISTING SAN, WASTE AND VENT PIPING HOT AND COLD WATER PIPING BACK TO STACK AND RISER AND CAP.
- 3 EXISTING 2" VD AND ASSOCIATED WASTE AND VENT PIPING TO REMAIN.
- 4 EXISTING MR TO REMAIN EXISTING WASTE AND VENT PIPING TO REMAIN. RECONNECT TO NEW HW & CW IN CHASE.

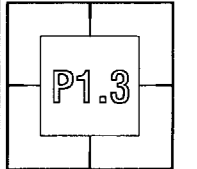
RENOVATION PHASE 1

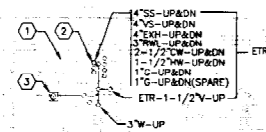
OWNER REVIEW
NAME _____ DATE _____

NO.	DATE	DESCRIPTION
ISSUE LOG		
△		□ CLOUDED CHANGE
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PORTLAND, MAINE RENOVATION PACKAGE		

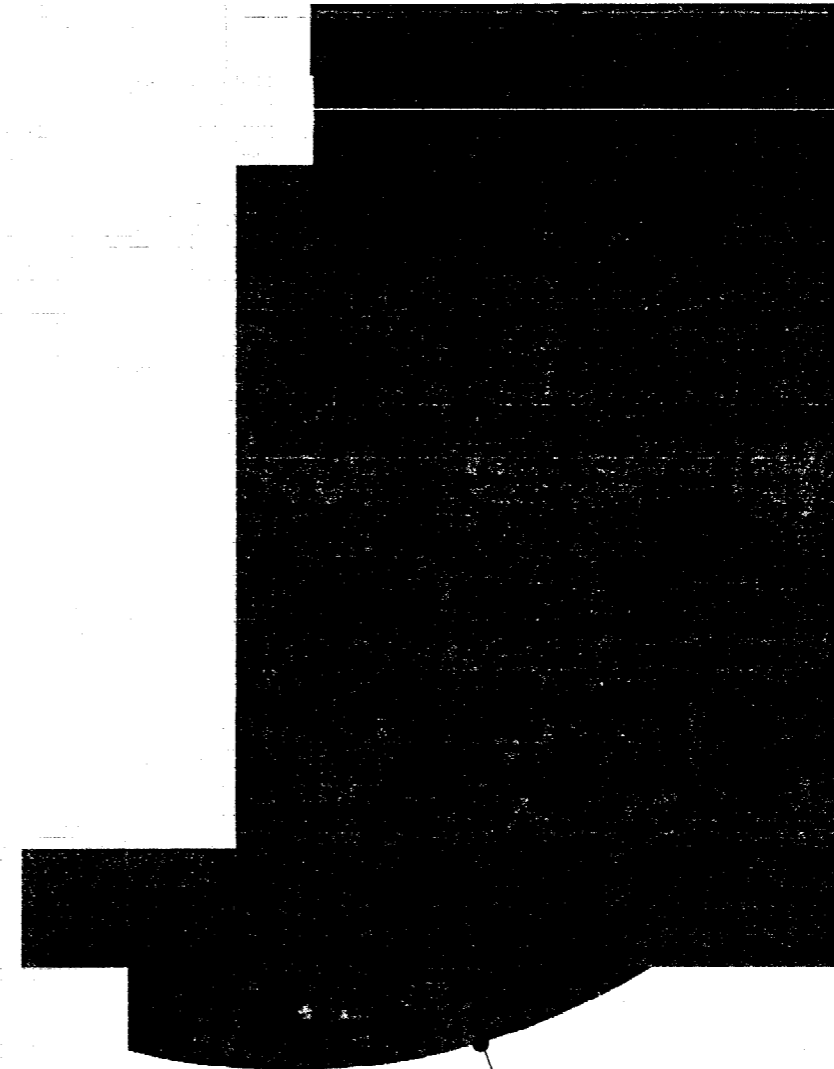
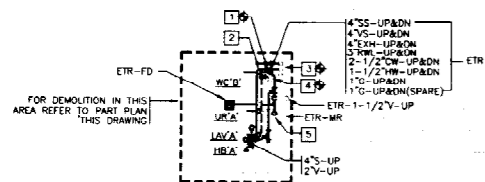
SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"
DRAWN BY: TEC
CHECKED BY:
PROJ. ARCH / ENGR: JLG
PROJ. MGR: JAS
JOB NO.: 00513 00
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1 THIRD FLOOR-DEMO PART PLAN ROOM 302
SCALE: 1/8" = 1'-0"



NOT IN CURRENT WORK

NEW WORK GENERAL NOTES

- 1 CITE 4"SS W/NEW 4"S
- 2 4"SS-DN&2"V-RISE
2"HW
1-1/2"HW
- 3 CITE 2-1/2" CW AND 1-1/2"HW
W/NEW 1-1/2"CW AND 3/4"HW.
REMOVE AND REPLACE EXISTING ISOLATION
VALVES ON CW & HW PIPING.
- 4 CITE 4"VS W/NEW 2"V
- 5 DISCONNECT AND REMOVE EXISTING 3"W
AND REPLACE W/NEW 4"W AND CONNECT
TO EXISTING 4"SS.

DEMOLITION GENERAL NOTES

- 1 REMOVE EXISTING PLUMBING FIXTURES.
- 2 REMOVE EXISTING SAN, WASTE AND VENT
PIPING, HOT AND COLD WATER PIPING BACK
TO STACK AND RISER AND CAP.
- 3 EXISTING 2"VD AND ASSOCIATED WASTE AND
VENT PIPING TO REMAIN.
- 4 EXISTING MR TO REMAIN. EXISTING WASTE AND
VENT PIPING TO REMAIN. RECONNECT TO NEW
HW & CW IN CHASE.
- 5 EXISTING MR TO REMAIN. EXISTING WASTE AND
VENT AND HOT AND COLD WATER PIPING TO BE
REMOVED AND REPLACED W/NEW. RECONNECT TO
HW & CW RISER AND SAN STACK IN CHASE.

RENOVATION PHASE 1

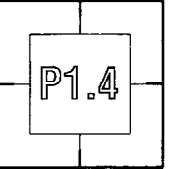
OWNER REVIEW
NAME _____ DATE _____

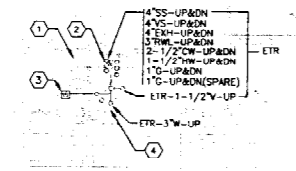
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ISSUE LOG
* CLOUDED CHANGE
UNIVERSITY OF SOUTHERN MAINE
PORTLAND, MAINE
RENOVATION PACKAGE

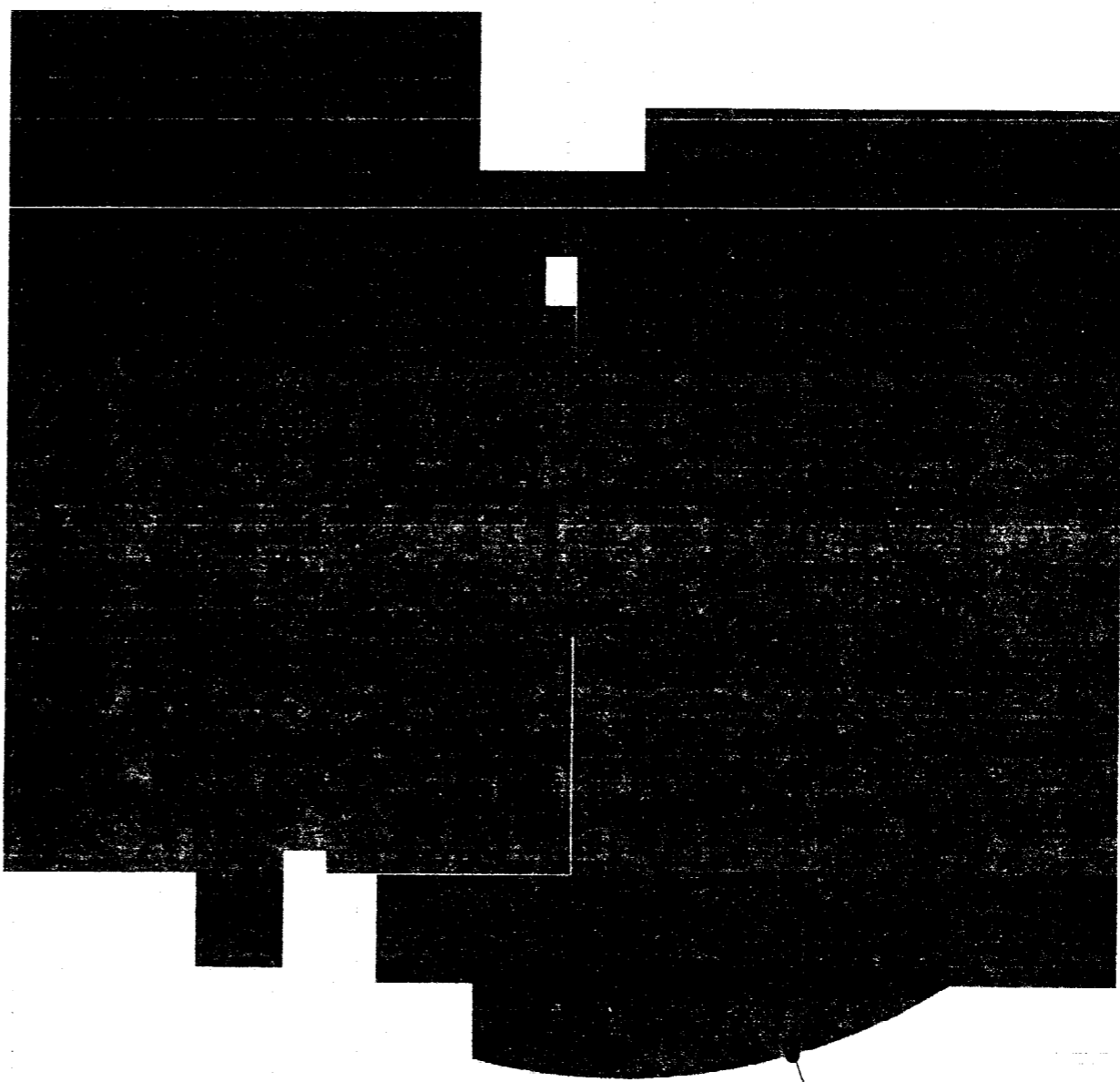
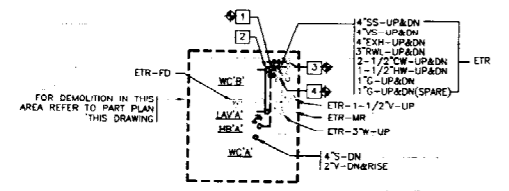
THIRD FLOOR PLAN

SCALE 1/8" = 1'-0"
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PROJ MGR JAS
JOB NO. 00013.00
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① FOURTH FLOOR-DEMO PART PLAN ROOM 402
SCALE: 1/8" = 1'-0"



NOT IN CURRENT WORK

RENOVATION PHASE 1

NEW WORK GENERAL NOTES

- ① CITE 4"SS W/NEW 4" S
- ② 4" S-DN&2" V-RISE
1-1/2" W&Y
- ③ CITE 2-1/2" CW AND 1-1/2" W
W/NEW 1-1/2" CW AND 3/4" W
REMOVE AND REPLACE EXISTING ISOLATION
VALVES ON CW & W PIPING.
- ④ CITE 4" S W/NEW 4" V

DEMOLITION GENERAL NOTES

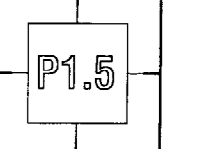
- ① REMOVE EXISTING PLUMBING FIXTURES.
- ② REMOVE EXISTING SAN, WASTE AND VENT
PIPING. HOT AND COLD WATER PIPING BACK
TO STACK AND RISER AND DAP.
- ③ EXISTING 2" TD AND ASSOCIATED WASTE AND
VENT PIPING TO REMAIN.
- ④ EXISTING MR TO REMAIN EXISTING WASTE AND
VENT PIPING TO REMAIN. RECONNECT TO NEW
W& CW IN CLASH.

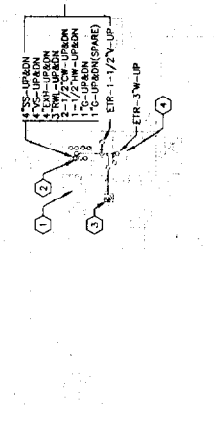
OWNER REVIEW
NAME _____ DATE _____

NO	DATE	DESCRIPTION
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ISSUE LOG		
△		CLOUDED CHANGE
UNIVERSITY OF SOUTHERN MAINE PORTLAND, MAINE RENOVATION PACKAGE		

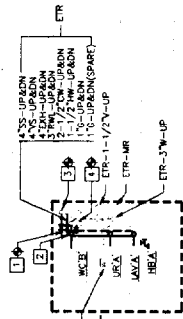
FOURTH FLOOR PLAN

SCALE: 1/8" = 1'-0"
DRAWN BY: TEC
CHECKED BY:
PROJ. ARCH./ENGR.: LG
PROJ. MGR.: JAS
JOB NO.: 00013.00
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1 FIFTH FLOOR—DEMO PART PLAN ROOM 502
SCALE: 1/4" = 1'-0"



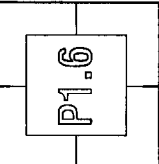
OWNER REVIEW

NAME	DATE

NO. DATE DESCRIPTION
 0 000100 CONSTRUCTION DOCUMENT
 NO. DATE DESCRIPTION
 REVISIONS
 UNCHANGED CHANGE
UNIVERSITY OF SOUTHERN MAINE
 RENOVATION PACKAGE

FIFTH FLOOR PLAN

SCALE: 1/4" = 1'-0"
 DRAWN BY: TEC
 CHECKED BY: PROJ. ARCH / ENGR. LG
 PROJ. MGR.: JAS
 JOB NO.: 0001100
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RENOVATION PHASE 1

- NEW WORK GENERAL NOTES**
- 1) CTE 4\"/>
- DEMOLITION GENERAL NOTES**
- 1) REMOVE EXISTING PLUMBING FIXTURES.
 - 2) REMOVE EXISTING SAN, WASTE AND VENT PIPING TO BE RECONNECTED TO STAIR AND PRESS. AND CAP.
 - 3) EXISTING SAN AND ASSOCIATED WASTE AND VENT PIPING TO REMAIN.
 - 4) EXISTING MR TO REMAIN. EXISTING WASTE AND VENT PIPING TO REMAIN. RECONNECT TO NEW HW & CW IN CHASE.

OWNER REVIEW

NAME	DATE

0 05/11/01 CONSTRUCTION DOCUMENT SET

NO.	DATE	DESCRIPTION

ISSUE LOG

△ = CLOUED CHANGE

UNIVERSITY OF SOUTHERN MAINE
PORTLAND, MAINE
RENOVATION PACKAGE

SIXTH FLOOR PLAN

SCALE 1/8" = 1'-0"

DRAWN BY TEC

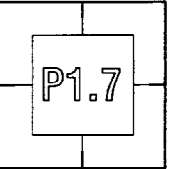
CHECKED BY

PROJ. ARCH / ENGR. LG

PROJ. MGR. JAS

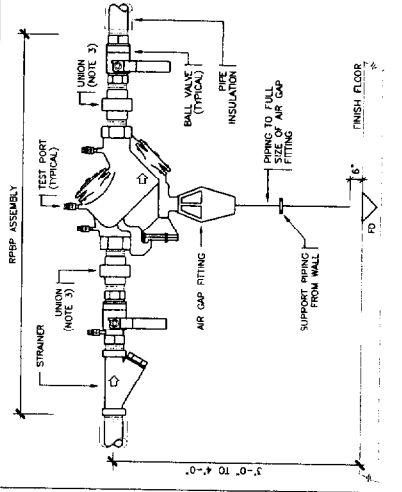
JOB NO. 00013.00

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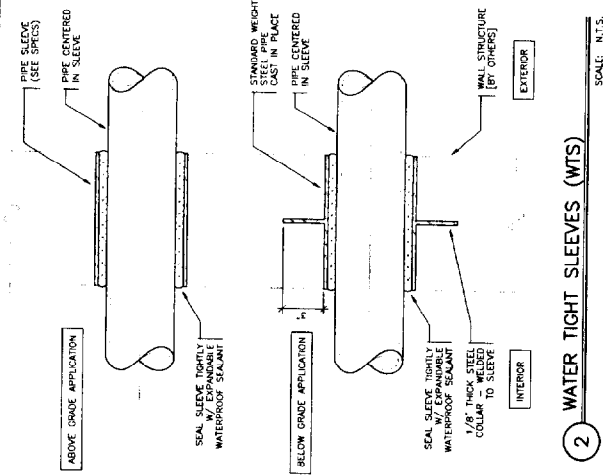
ETR-4"SS-DN
ETR-4"VC-DN
ETR 4"DNH-STACK

ETR-4"V-UP
ETR-4"VIR

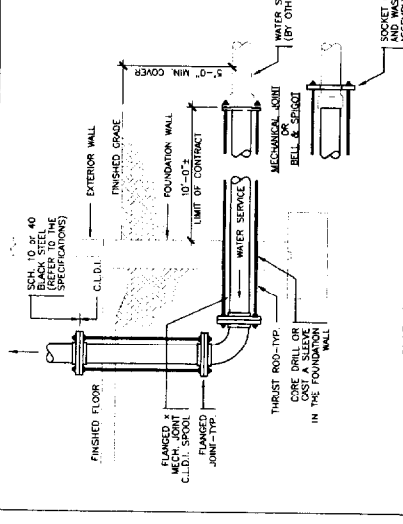


- NOTES:**
1. BACKFLOW PREVENTER SHALL BE INSTALLED 35 MIN. - 48 MAX. MIN. CLEARANCE OF 12" FROM FACE OF WALL.
 2. SUPPORT DEVICE IN ACCORDANCE WITH MANUFACTURER'S WRITTEN RECOMMENDATIONS. SUPPORTS AT DEVICE TESTING & SERVICING OF THE DEVICE INCLUDING THE INTERNAL RIFLE VALVE & TRAIN.
 3. DISASSEMBLE BPP AND INSTALL UNIONS WHERE SHOWN.

3 REDUCED PRESSURE BACKFLOW PREVENTER (2" and SMALLER) SCALE: N.T.S.

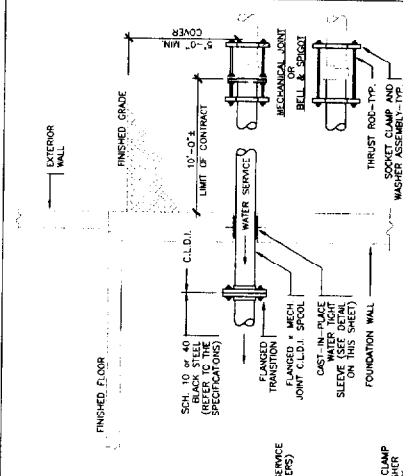


2 WATER TIGHT SLEEVES (WTS) SCALE: N.T.S.



- NOTES:**
1. ALL INSTALLATIONS SHALL BE IN COMPLIANCE WITH MSPA 24, 13, (PAR 20) WHERE THE SOURCE SUPPLIES A FIRE PUMP.
 2. ALL INSTALLATIONS SHALL BE IN COMPLIANCE WITH THE MOST RECENT EDITIONS OF THE MARYLAND REGISTERED PLUMBING CODES 595 AND 594, OR APPROVED LOCAL CODES.
 3. SOCKET CLAMP ASSEMBLIES SHALL INCLUDE WASHERS, GRINNELL P.C.S. 595 AND 594, OR APPROVED LOCAL CODES.
 4. AFTER INSTALLATION, ALL BURIED RESTRAINT DEVICES SHALL BE CLEANED AND COATED WITH A BITUMINOUS OR OTHER CORROSION RESISTING MATERIAL.

1 WATER SERVICE ENTRANCE SCALE: N.T.S.



FULL BASEMENT APPLICATION

MINIMUM PIPE SIZE (IN.)	MINIMUM SIZE OF THRUST RODS	MINIMUM SIZE OF SOCKET CLAMP	SLEEVE / CORE SIZE (IN.)
4	(2) 5/8"	1/2" x 2"	8
6	(2) 5/8"	1/2" x 2"	10
8	(2) 3/4"	5/8" x 2-1/2"	12
10"	(4) 5/8"	N/A	14
10"	(2) 7/8"	5/8" x 2-1/2"	14

* MECHANICAL JOINT APPLICATION
* BELL & SPIGOT APPLICATION
* CLAMP REQUIRED FOR BELL & SPIGOT APPLICATION ONLY.

1 WATER SERVICE ENTRANCE SCALE: N.T.S.

OWNER REVIEW DATE _____
 NAME _____
 DATE _____
 NO. _____ DESCRIPTION _____
 ISSUE LOG _____
 Δ - COLORED CHANGE
 UNIVERSITY OF SOUTHERN MAINE
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PLUMBING DETAILS

SCALE: N.T.S.
 CHECKED BY: _____
 DESIGNED BY: _____
 PROJ. NO.: _____
 JOB NO.: _____
 8 TIMES MANUFACTURER ASSOCIATES, INC. 200

P2.1

OWNER REVIEW
NAME _____ DATE _____

HVAC EQUIPMENT DESIGNATION

SYMBOL	DEFINITION
	AIR HANDLING UNIT
	AIR CONDITIONING UNIT
	AIR COOLED CONDENSER
	CABINET UNIT HEATER
	CHILLED WATER PUMP
	CHILLER
	EXHAUST FAN
	EXHAUST GRILLE
	EXHAUST REGISTER
	EXPANSION TANK
	FAN
	FAN POWERED BOX
	FINNED TUBE RADIATION TYPE ACTIVE FINNED LENGTH
	HEATING COIL
	HEAT EXCHANGER
	HEATING & VENTILATING UNIT
	HOT WATER PUMP
	INTAKE HOOD
	LINEAR DIFFUSER
	MAKE-UP AIR UNIT
	PUMP
	REHEAT COIL
	RETURN FAN
	RETURN AIR GRILLE
	RETURN REGISTER
	RELIEF HOOD
	SOUND ATTENUATOR
	SECONDARY CHILLED WATER PUMP
	SUPPLY AIR DIFFUSER
	SUPPLY FAN
	TRANSFER GRILLE
	UNIT HEATER
	VARIABLE VOLUME BOX

HVAC DUCTWORK LEGEND

SYMBOL	DEFINITION
	SUPPLY DUCT UP
	SUPPLY DUCT UP THROUGH ROOF
	SUPPLY DUCT DOWN
	EXHAUST OR RETURN DUCT UP THROUGH ROOF
	EXHAUST OR RETURN DUCT UP
	EXHAUST OR RETURN DUCT DOWN
	SOUND ATTENUATOR
	FLEXIBLE CONNECTION
	FLEXIBLE DUCT
	ACOUSTICALLY LINED DUCT
	ACCESS DOOR
	ELBOW WITH TURNING VANES
	DUCT RISE
	DUCT DROP
	HEATING COIL
	ACOUSTICALLY LINED DUCT (SINGLE LINE)
	SUPPLY DIFFUSER
	SUPPLY DIFFUSER W/ FLEX DUCT CONNECTION
	EXHAUST OR RETURN AIR GRILLE OR REGISTER
	LINEAR SUPPLY AIR DIFFUSER
	BACKDRAFT DAMPER
	FIRE DAMPER
	COMBINATION SMOKE AND FIRE DAMPER
	SMOKE DAMPER
	VOLUME DAMPER
	MOTORIZED DAMPER
	OPPOSED BLADE DAMPER
	DOOR UNDERCUT
	DOOR LOUVER
	SMOKE DETECTOR
	THERMOSTAT
	TEMPERATURE SENSOR
	FLOW DIRECTIONAL ARROW
	PITCH DIRECTIONAL ARROW
	DUCT CAP

HVAC & GENERAL ABBREVIATIONS

ABBREVIATION	DEFINITION
ACT	ACOUSTICAL TILE CEILING
AFF	ABOVE FINISH FLOOR
AUTO.	AUTOMATIC
BHP	BRAKE HORSEPOWER
BOD	BOTTOM OF DUCT
BOP	BOTTOM OF PIPE
CC	COOLING COIL
CCW	COUNTER CLOCKWISE
CFM	CUBIC FEET PER MINUTE
C TO C	CENTER TO CENTER
CHWP	CHILLED WATER PUMP
CU FT	CUBIC FEET
CU IN	CUBIC INCH
CUH	CABINET UNIT HEATER
CV	CONSTANT VOLUME BOX
CWP	CONDENSER WATER PUMP
DB	DRY BULB
DA	DIAMETER
DN	DOWN
EAT	ENTERING AIR TEMPERATURE
EDB	ENTERING DRY BULB TEMPERATURE
EF	EXHAUST FAN
EFF	EFFICIENCY
EL	ELEVATION
ESP	EXTERNAL STATIC PRESSURE
ETR	EXISTING TO REMAIN
EWB	ENTERING WET BULB TEMPERATURE
EWT	ENTERING WATER TEMPERATURE
EXH	EXHAUST
F	FAHRENHEIT
FA	FREE AREA
FF	FINAL FILTER
FPW	FEET PER MINUTE
FT	FEET, FOOT
GALV	GALVANIZED
GPM	GALLONS PER HOUR
GPM	GALLONS PER MINUTE
HC	HEATING COIL
HEPA	HIGH EFFICIENCY PARTICULATE AIR
HP	HORSEPOWER
HV	HEATING AND VENTILATING
HWP	HOT WATER PUMP
Hz	FREQUENCY (HERTZ)
ID	INSIDE DIAMETER
IN	INCHES
IN.W.G.	INCHES OF WATER GAUGE
KW	KILOWATTS
LAT	LEAVING AIR TEMPERATURE
LB	POUND
LDB	LEAVING DRY BULB TEMPERATURE
LF	LINEAR FEET
LWB	LEAVING WET BULB TEMPERATURE
LWT	LEAVING WATER TEMPERATURE
MAX	MAXIMUM
MER	MECHANICAL EQUIPMENT ROOM
MIN	MINIMUM
N/A	NOT APPLICABLE
NC	NORMALLY CLOSED
NC	NOT IN CONTRACT
NO	NORMALLY OPEN
NTS	NOT TO SCALE
OBDD	OPPOSED BLADE DAMPER
OD	OUTSIDE DIAMETER
PE	PNEUMATIC ELECTRIC
PF	PRE-FILTER
PHC	PREHEAT COIL
PRV	PRESSURE REDUCING VALVE
RA	RETURN AIR
RH	RELATIVE HUMIDITY
RF	RETURN FAN
RPW	REVOLUTIONS PER MINUTE
RTU	ROOFTOP UNIT
RV	RELIEF VALVE
S/S	STAINLESS STEEL
SA	SUPPLY AIR
SCHWP	SECONDARY CHILLED WATER PUMP
SEP	SEPARATOR
STM	STEAM
TSP	TOTAL STATIC PRESSURE
TE	TOILET EXHAUST
TOD	TOP OF DUCT
TOP	TOP OF PIPE
UH	UNIT HEATER
V	VOLT
VAV	VARIABLE AIR VOLUME BOX
VEL	VELOCITY
W	WATT
WB	WET BULB
WMS	WIRE MESH SCREEN
#	DIAMETER

HVAC PIPING ABBREVIATIONS & LEGEND

ABBREVIATION	DEFINITION
A	COMPRESSED AIR
AR	AIR RELIEF
ARV	AIR RELIEF VENT
PC	PUMPED CONDENSATE
COND	CONDENSATE
HWS	HOT WATER SUPPLY
HWR	HOT WATER RETURN
CHS	CHILLED WATER SUPPLY
CHR	CHILLED WATER RETURN
SCHS	SECONDARY CHILLED WATER SUPPLY
SCHR	SECONDARY CHILLED WATER RETURN
CWS	CONDENSER WATER SUPPLY
CWR	CONDENSER WATER RETURN
LPS	LOW PRESSURE STEAM
LPR	LOW PRESSURE RETURN
LW	COLD WATER
D	DRAIN
V	VENT
~	FLEXIBLE CONNECTION
+	EXPANSION JOINT
	FLANGE
+O	PIPE TURNED UP
-O	PIPE TURNED DOWN
-	FINNED TUBE RADIATION
∪	PRESSURE TEMPERATURE TAP WITH CAP
∩	THERMOMETER WELL
∩	VENTURI METER ASSEMBLY
∩	GATE VALVE
∩	GLOBE VALVE
∩	ANGLE GLOBE VALVE
∩	BALL VALVE
∩	NEEDLE VALVE
∩	LOCK SHIELD VALVE
∩	BUTTERFLY VALVE
∩	PETCOCK
∩	LUBRICATED PLUG VALVE
∩	FLOW CONTROL BALANCING VALVE
∩	QUICK ACTING VALVE
∩	HOSE END VALVE
∩	CALIBRATED PLUG VALVE
∩	THREE WAY CONTROL VALVE
∩	TWO WAY CONTROL VALVE
∩	SOLENOID VALVE
∩	COMBINATION BALANCING AND SHUT-OFF VALVE
∩	RELIEF VALVE OR SAFETY VALVE
∩	FUSIBLE LINK VALVE
∩	PRESSURE REDUCING VALVE
∩	CHECK VALVE
∩	AUTOMATIC AIR VENT
∩	MANUAL AIR VENT
∩	VACUUM BREAKER
∩	BALL JOINT
∩	UNION
∩	STRAINER ASSEMBLY
∩	PRESSURE GAUGE ASSEMBLY
∩	THERMOMETER
∩	PUMP
∩	ORIFICE
∩	METER
∩	PIPE GUIDE
∩	PIPE ANCHOR
∩	CONCENTRIC REDUCER
∩	ECCENTRIC REDUCER
∩	NON-RISING STEM ACTUATOR
∩	RISING STEM ACTUATOR
∩	OS & Y ACTUATOR
∩	LEVER ACTUATOR
∩	GEAR ACTUATOR
∩	FLOAT & THERMOSTATIC TRAP
∩	INVERTED BUCKET TRAP
∩	STEAM TRAP
∩	TRAP ASSEMBLY
∩	DRAIN TRAP

NO. DATE DESCRIPTION

ISSUE LOG
 Δ - CLOUDED CHANGE
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HVAC LEGEND

SCALE	NTS
DRAWN BY	IER
CHECKED BY	WMS
PROJ ARCH / ENGR	PROJ ARCH
PROJ MGR	JAS
JOB NO	00013.00
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MO.1

FAN COIL SCHEDULE

TAG NO.	LOCATION	FAN		ESP		BHP		V/F/HZ		RPM		SOUND		COOLING CAP.		HOT WATER HEATING CAP.		BASIS OF DESIGN	REMARKS	
		CFM	INLET SIZE (IN.)	SP	HP	CFM	HP	CFM	HP	CFM	HP	CFM	HP	CFM	HP	CFM	HP			CFM
FC-1	MULTIMULTY HIGH TECH OFFICES	360	1200	1	1/2	0.37	0.44	235	277	160	14.9	31.8	80/67	55.5/54.0	0.49	8.98	45	55	0.03	TRANE BCBH-36
FC-2	MULTIMULTY OFFICES	650	1200	1	1/2	0.38	0.45	244	277	160	16.3	80/67	56.6/56.0	0.52	5.3	45	55	0.03	TRANE BCBH-24	
FC-3	MULTIMULTY OFFICES	220	750	1	1/2	0.38	0.45	244	277	160	16.3	80/67	56.6/56.0	0.52	5.3	45	55	0.03	TRANE BCBH-24	
FC-4	MULTIMULTY WASTE	270	750	1	1/2	0.38	0.45	244	277	160	16.3	80/67	56.6/56.0	0.52	5.3	45	55	0.03	TRANE BCBH-24	

FAN SCHEDULE

TAG NO.	SERVICE/LOCATION	CFM	ESP (IN. W.C.)	FAN SOUNDS	BHP	HP	V/F/HZ	ELECTRICAL	TYPE	PRIME ARRANGEMENT	ROOF OPENING	MANUFACTURER	MODEL NO.	REMARKS
FC-1	DATA CLOSET EXHAUST	400	0.125	1000	2.1	-	139W	115/1760	RH-WHE	DIRECT	-	GREENHECK	CSP-250	-
FC-2	ROOF EXHAUST	340	1.0	1000	8.5	3.14	1/1	115/1760	CERT	BELT	UPRAST	14.2" x 14.2"	GREENHECK	CURE-100HP-4

SOUND ATTENUATOR SCHEDULE

TAG NO.	SERVICE/LOCATION	CFM	SIZE (IN. W x H x L)	MAX. SP. (IN. W.C.)	ATTEN. (DB)	MANUFACTURER	MODEL NO.	REMARKS							
SA-1	MULTIMULTY SUPPLY SIDE	1200	24x18x36	0.1	5	7	16	18	12	10	10	MAC	313W-24-18	INSTALL SLENDER BATTLES PARALLEL TO THE PLANE OF ELBOW TURN	
SA-2	MULTIMULTY RETURN SIDE	1200	24x18x36	0.1	7	8	17	20	16	13	11	11	MAC	313W-24-18	INSTALL SLENDER BATTLES PARALLEL TO THE PLANE OF ELBOW TURN

REGISTER, GRILLE & DIFFUSER SCHEDULE

TAG NO.	CFM RANGE	TYPE	SIZE (IN.)	MATERIAL	WGT. (LBS.)	WGT. (LBS.)	FINISH	REMARKS
GR-1	50-100	CEILING	6x6	ALUM.	0.02	20		EQUIPPED WITH OPPOSED BLADE DAMPER
GR-2	200-500	CEILING	12x12	ALUM.	0.05	24		EQUIPPED WITH OPPOSED BLADE DAMPER
GR-3	500	CEILING	12x12	ALUM.	0.08	20		MULTIMULTY HIGH TECH OFFICES
GR-4	200	WALL	12x18	STEEL	0.05	20		BLADES FACING DOWN
GR-5	0-500	CEILING	12x18	STEEL	0.05	20		PROVIDE CORNER PLATE WITH TOP CONNECTION
GR-6	100-2000	CEILING	24x24	ALUM.	.008	25		MODEL C05
GR-7	0-150	CEILING	10x6	ALUM.	0.016	25		SERIES RH PROVIDE 24x24 WOODIE WEDGE
GR-8	0-200	CEILING	10x8	ALUM.	0.016	25		SERIES RH PROVIDE 24x24 WOODIE WEDGE
GR-9	500	WALL	24x17	STEEL	0.011	20		SERIES W000

EXHAUST HOOD SCHEDULE

TAG NO.	CFM	ENCLOSING	INLET SIZE (IN.)	MATERIAL	WGT. (LBS.)	WGT. (LBS.)	FINISH	REMARKS
EH-1	340	3'-0" x 3'-0" x 2'-0" CH	7x8	STAINLESS STEEL	18	18	DAMGE	PROVIDE FLANGE CONNECTION

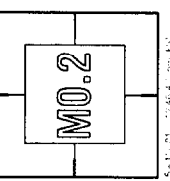
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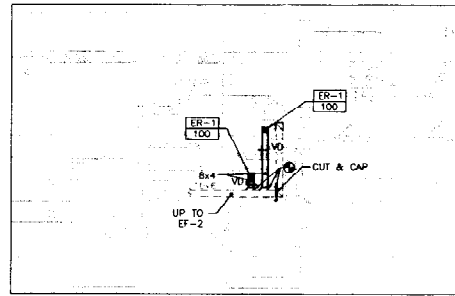
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 ISSUE LOG

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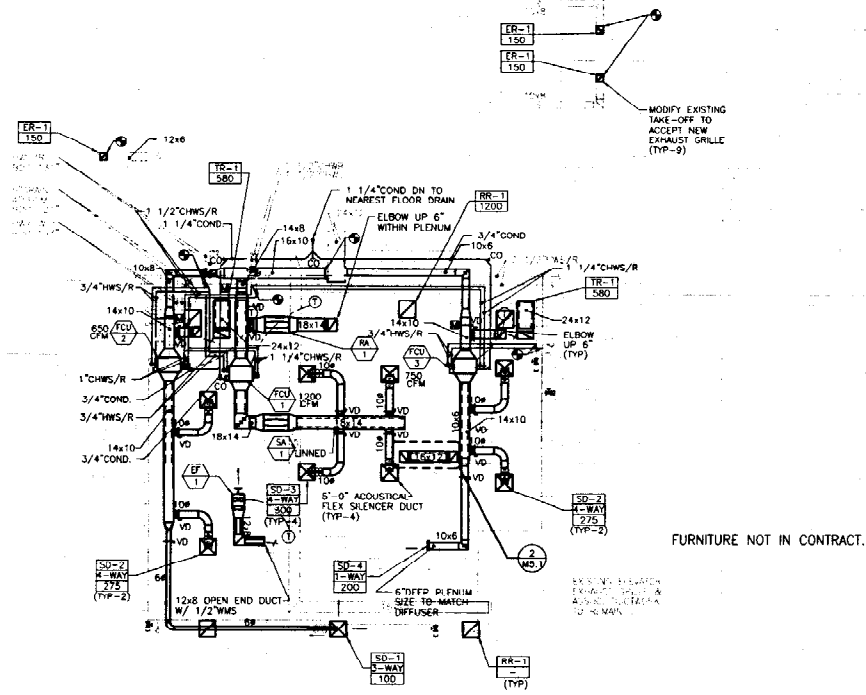
**SCHEDULES
 HVAC**

SCALE: NO SCALE
 DRAWN BY: MCM
 CHECKED BY: MCM
 PROJECT: UNIV. OF S. MAINE
 JOB NO.: 0001139
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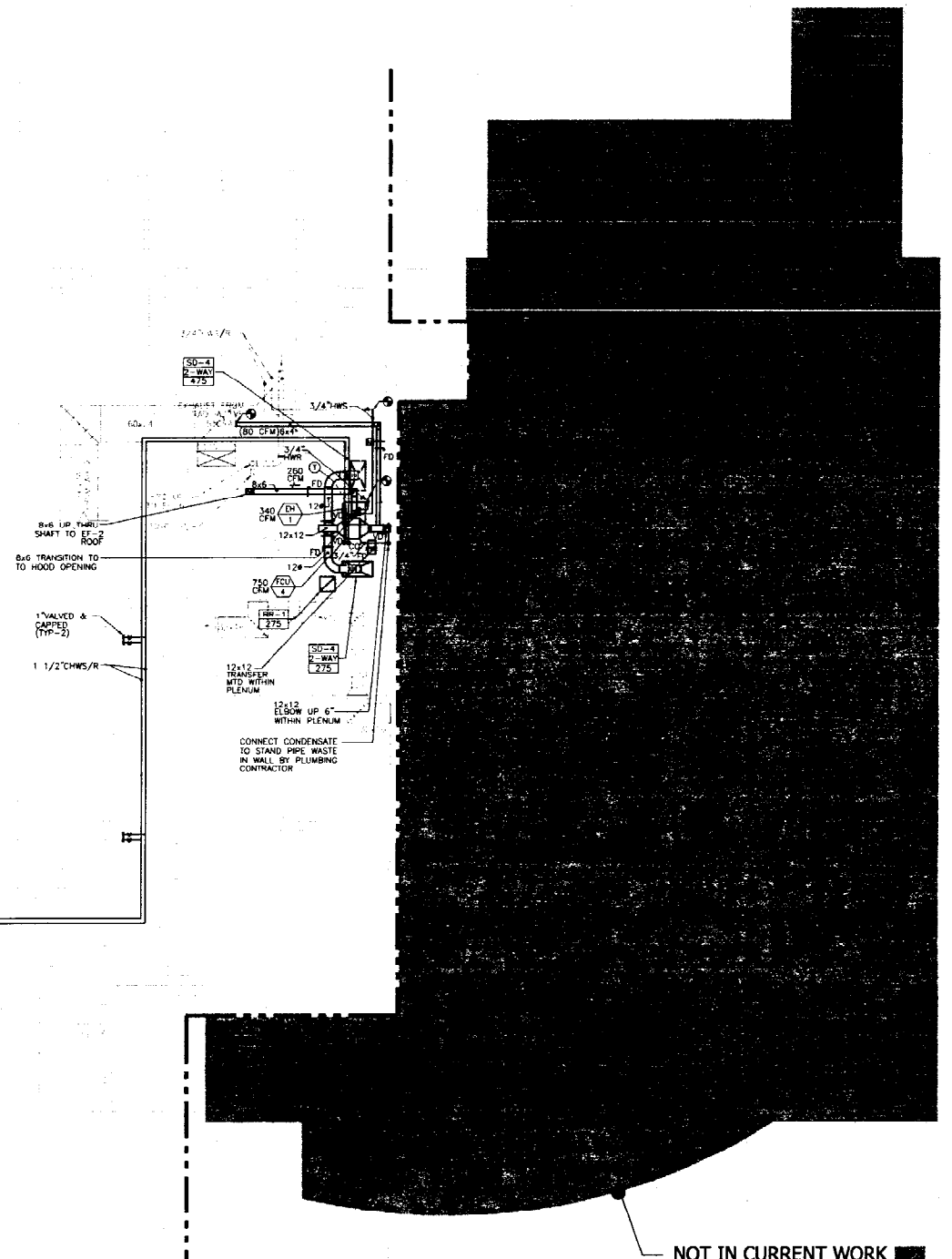




SECOND FLOOR PART PLAN
 1/8"=1'-0"



BASEMENT PLAN
 1/8"=1'-0"



RENOVATION PHASE 1

NOT IN CURRENT WORK

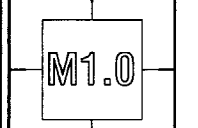
- NOTES:
- HVAC CONTRACTOR TO FURNISH & INSTALL NEW EXHAUST GRILLES & MODIFY EXISTING TAKE-OFFS TO ACCEPT NEW GRILLES FOR THE FOLLOWING AREAS. REBALANCE AS REQUIRED.
 ER-1 @ 150 CFM @ 20, & 19
 ER-2 @ 180 CFM @ 22, 102, 202, 216, 302, 402, & 502
 - INSTALL CONDENSATE HOOD EH-1 SEMI RECESSED WITH 12" IN EXPOSED CEILING
 - PIPING CONTRACTOR TO PROVIDE WET TAP WHERE NO EXISTING VALVED & CAPPED CONNECTION EXIST.

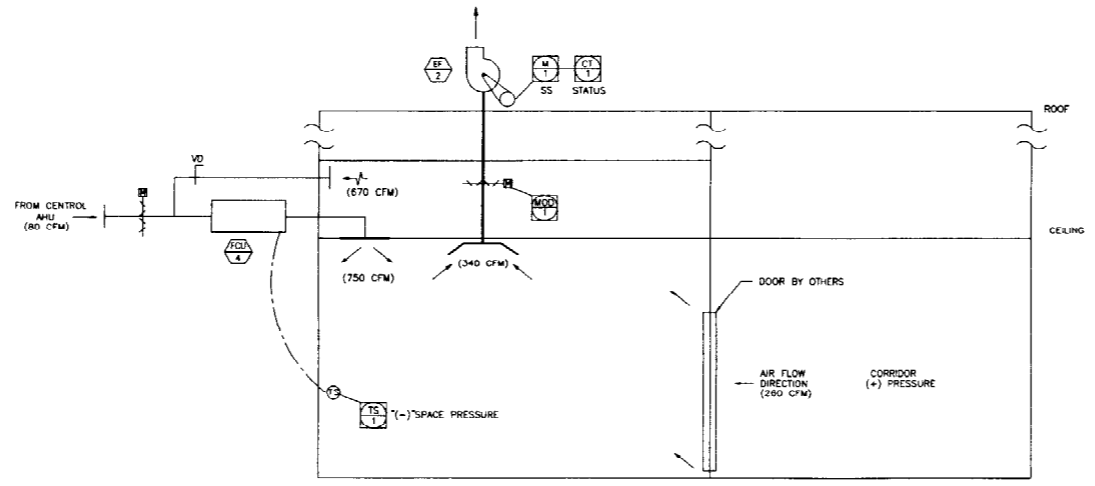
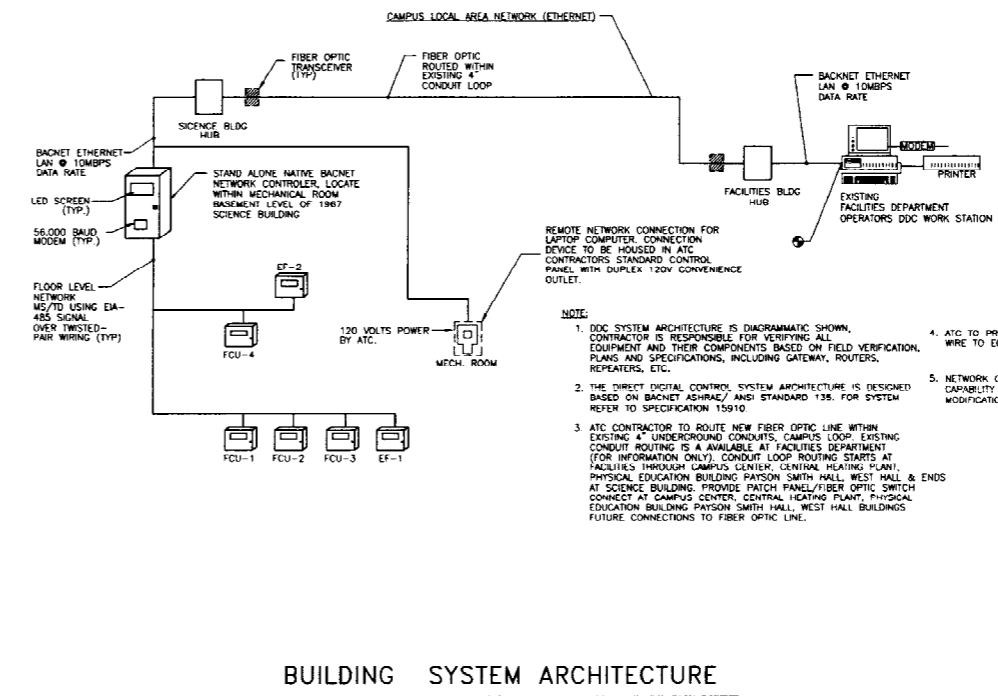
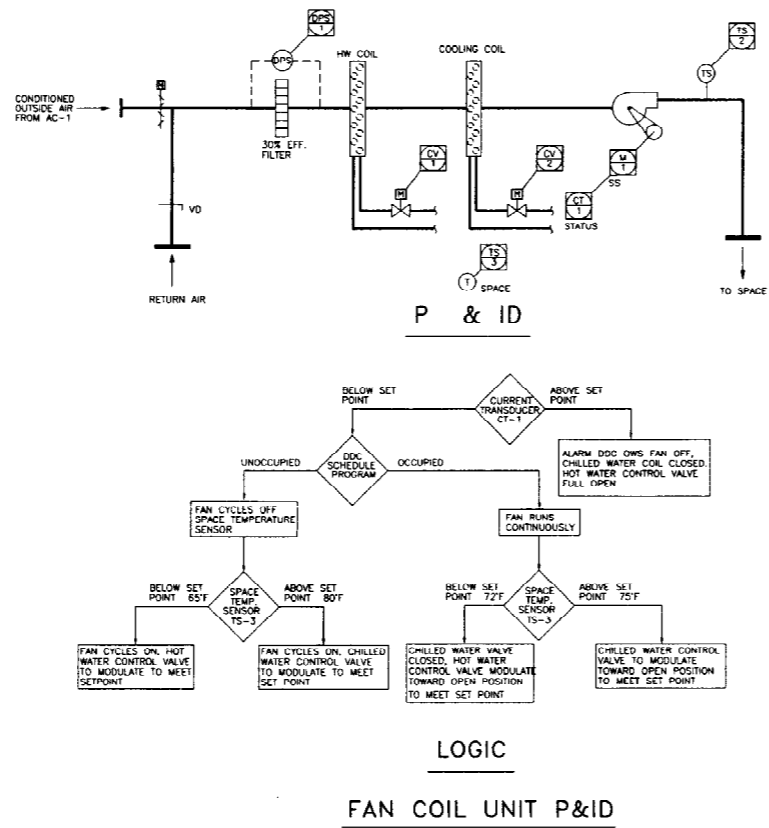
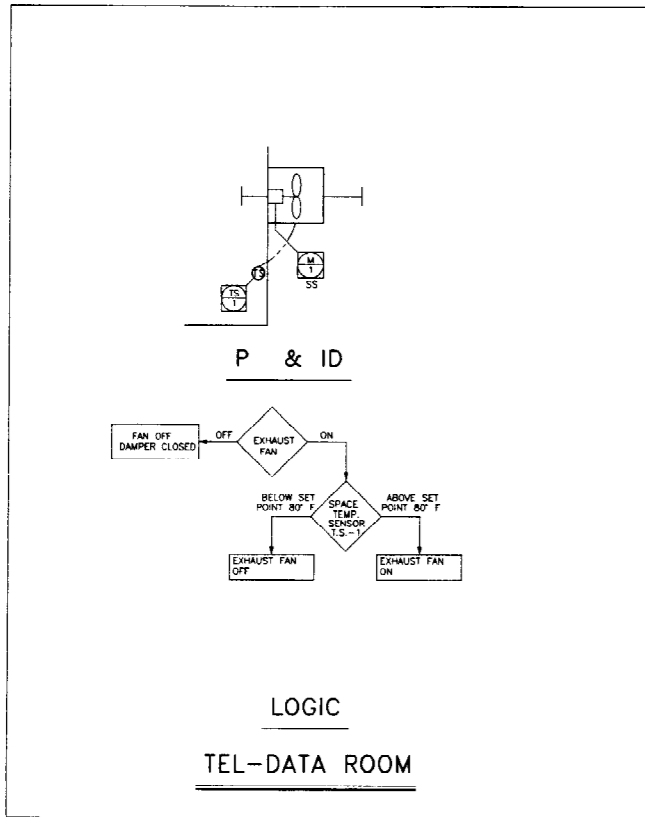
OWNER REVIEW
 NAME _____ DATE _____

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0	05/11/01	CONSTRUCTION DOCUMENT SET
ISSUE LOG		
▲ CLOUDS CHANGE		
UNIVERSITY OF SOUTHERN MAINE		
PORTLAND, MAINE RENOVATION PACKAGE		

BASEMENT PLAN & PART PLAN

SCALE 1/8"=1'-0"
 DRAWN BY MCM
 CHECKED BY _____
 PROJ. ARCH./ENGR. LG
 PROJ. MGR. JAS
 JOB NO. 00013.00
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- NOTES:
- SPACE DESIGNED FOR NEGATIVE PRESSURE EQUAL TO 0.05"WC.
 - REFER TO FAN COIL P&ID FOR CONTROL POINTS.
 - EXHAUST MOTORIZED DAMPER CONSTRUCTION OF STAINLESS STEEL BY ATC CONTRACTOR.

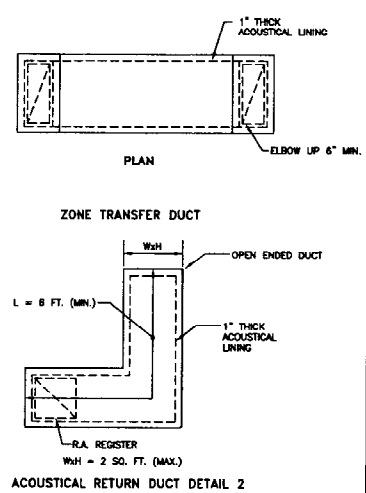
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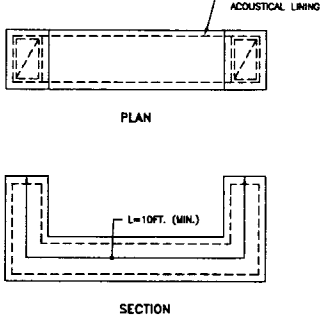
FLOW DIAGRAMS

SCALE: NTS
DRAWN BY: MCM
CHECKED BY: WMD
PROJ. ARCH./ENGR: JAS
PROJ. MGR: JAS
JOB NO.: 02013.03
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M3.1

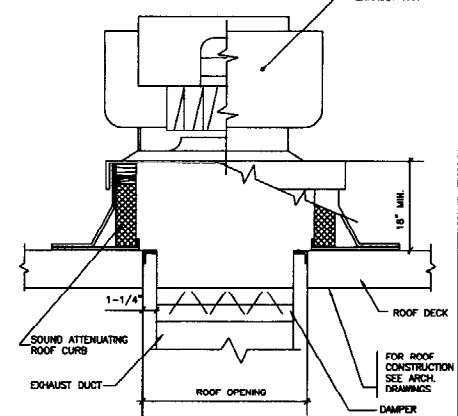


1. ACoustical RETURN DUCT SCALE: NONE

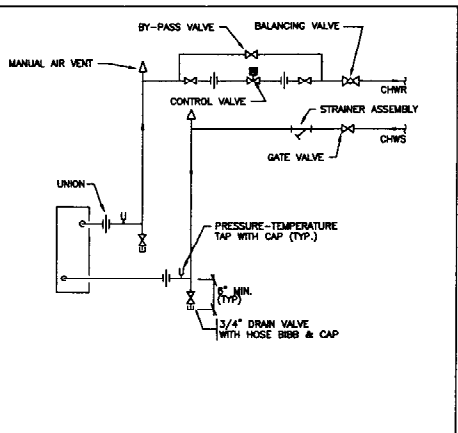


TAG	CFM RANGE	DUCT SIZE
①	0-150	8x10
②	151-250	10x10
③	251-350	14x10
④	351-600	24x10

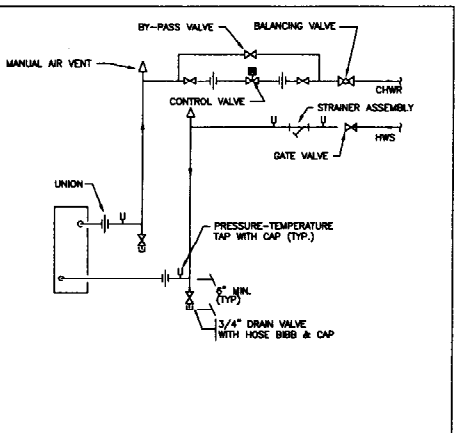
2. ACoustical TRANSFER DUCT DETAILS SCALE: NONE



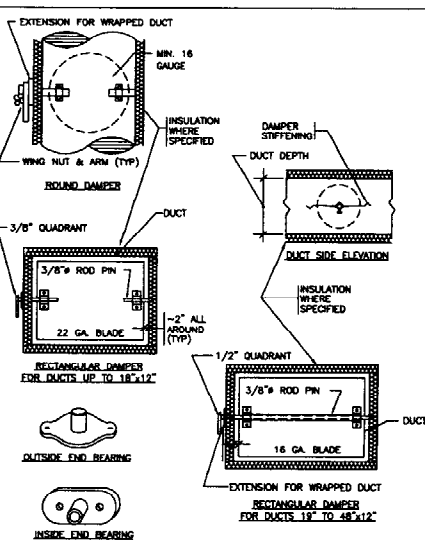
3. ROOF EXHAUST FAN SCALE: NONE



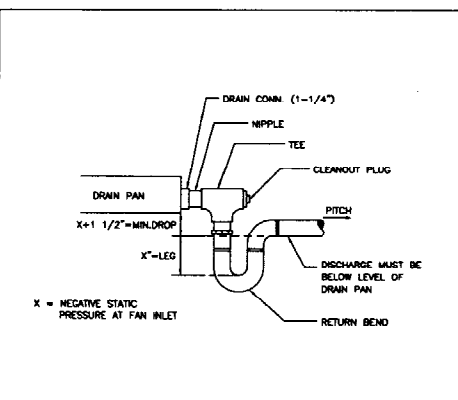
4. FAN COIL CHILLED WATER COOLING COIL CONNECTIONS SCALE: NONE



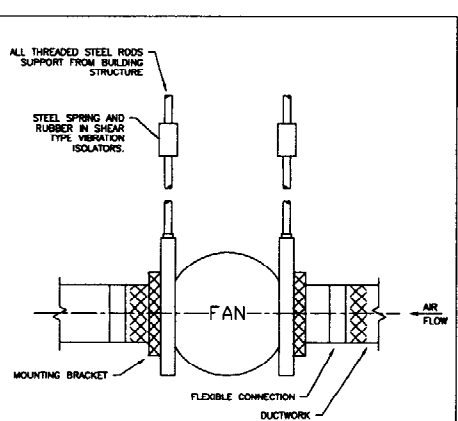
5. FAN COIL HOT WATER HEATING COIL CONNECTIONS SCALE: NONE



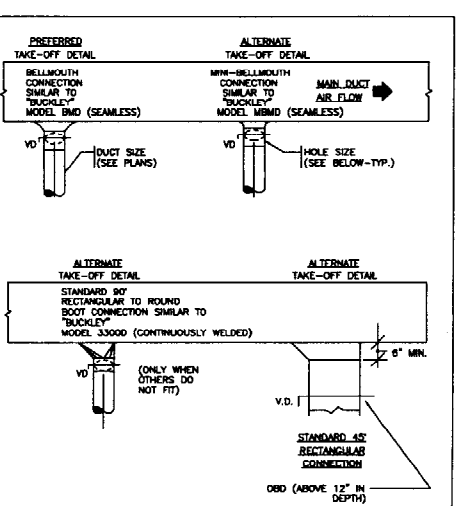
6. VOLUME DAMPER (SINGLE BLADE) SCALE: NONE



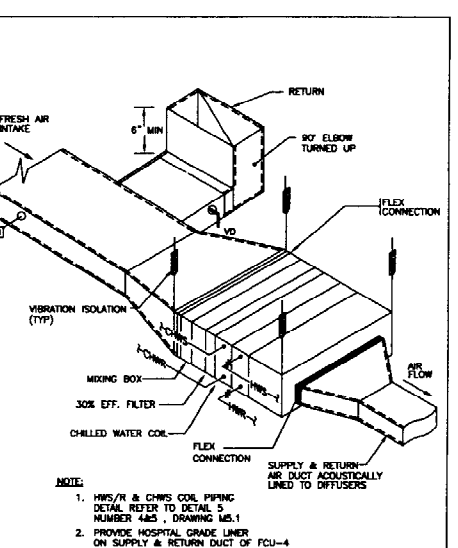
7. DRAIN PAN WATER SEAL PIPING DRAW THRU UNIT SCALE: NONE



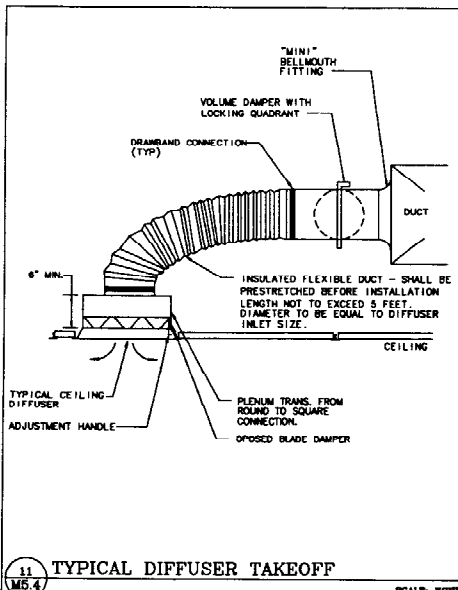
8. INLINE FAN DETAIL SCALE: NONE



9. LOW PRESSURE DUCT TAKEOFFS SCALE: NONE



10. HORIZONTAL FAN COIL UNIT WITH DUCTED DISCHARGE & PLENUM RETURN SCALE: NONE



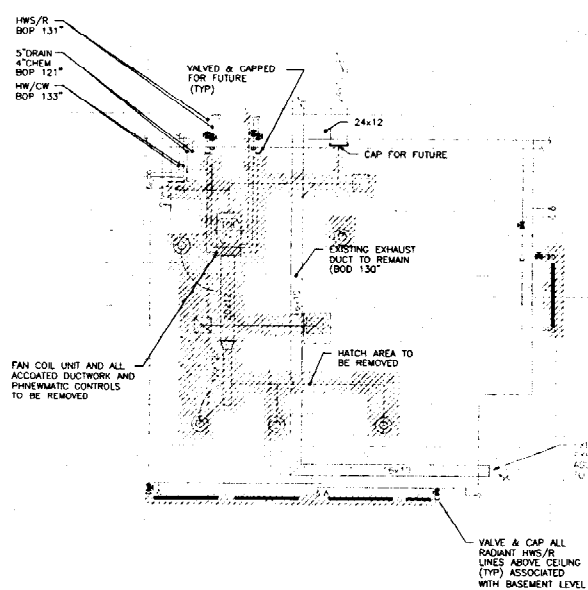
11. TYPICAL DIFFUSER TAKEOFF SCALE: NONE

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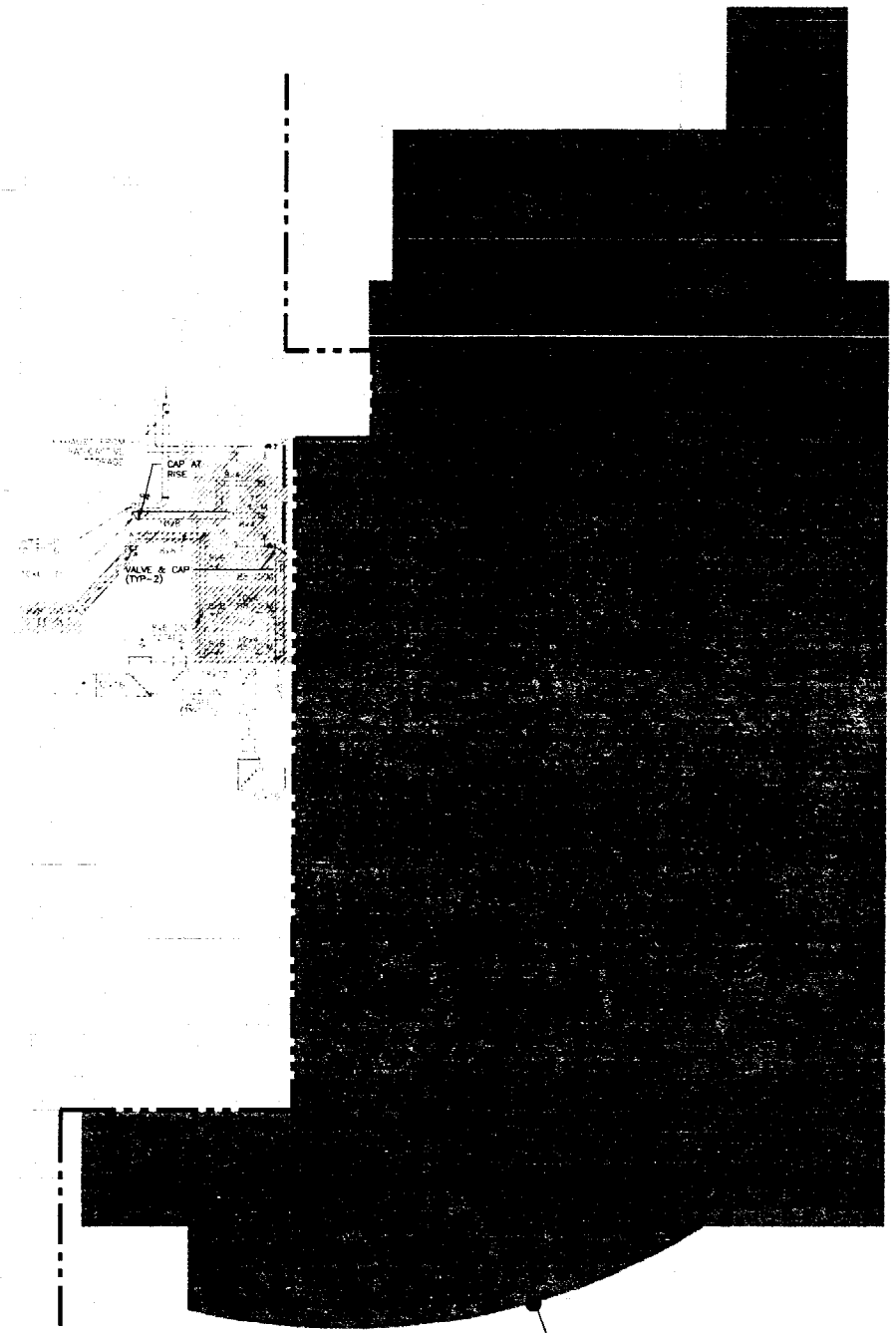
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HVAC DETAILS
PHASE 1
SCALE: NTS
DRAWN BY: MCM
CHECKED BY: WMD
PROJ. ARCH./ENGR.:
PROJ. MGR.: JAS
JOB NO.: 00013.00
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M5.1



FURNITURE NOT IN CONTRACT.



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RENOVATION PHASE 1

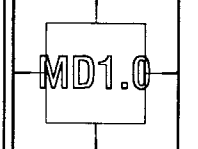
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NO.	DATE	DESCRIPTION
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ISSUE LOG
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BASEMENT DEMO PLAN

SCALE 1/8" = 1'-0"
 DRAWN BY SACM
 CHECKED BY _____
 PROJ. ARCH./ENGR. LG
 PROJ. MGR. JAS
 JOB NO. 00013.00
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LIGHTING FIXTURE SCHEDULE

FIXT. TYPE	MANUFACTURER	CATALOG NO.	VOLTS	NO. OF LAMPS	LAMP TYPE	MOUNTING	DESCRIPTION
A	LITCONTRON	WALL/SLOT 2 SERIES BPM SERIES-2 LAMP LENGTH PER DIMS	277	AS REQ'D	F25T8 F32T8	RECESSED	CONTINUOUS ROW. PROVIDE ALL NECESSARY EXTENSION PIECES AND END CAPS. LAMP SECTIONS IN MIDDLE, EXTENSIONS ON ENDS
B	LITHONIA	2AV-U-2-U-40-MKH -277-GEB10 X	277	2	40W TTS	RECESSED	2 x 2' RECESSED/INDIRECT FIXTURE WITH PERFORATED LAMP COVER AND WHITE ACRYLIC DIFFUSER
C	LITHONIA	C-2-32-277-GEB10 -WIGUN X	277	2	F32 T8	PENDANT	2 LAMP STRIP FIXTURE WITH WIRE GUARD
D	LITHONIA	AF-2/18DT-6AR- 277-GE8	277	2	18W DTI	RECESSED	6" APERTURE DOWNLIGHT WITH CLEAR REFLECTOR

LEGEND

NOTE: ALL SYMBOLS ON THIS LIST ARE NOT NECESSARILY USED ON THIS JOB.

CONDUIT AND WIRE

- UA-1,3,5
-###- HOMERUN TO PANELBOARD "A", CIRCUIT NOS. 1,3,5. DIAGONAL LINES
INDICATE NUMBER OF PHASE AND NEUTRAL WIRES. NO DIAGONAL LINES
INDICATES 1/2" C. - 2 NO.12 & 1 NO.12 GND., UNLESS OTHERWISE NOTED.
- RACEWAY CONCEALED IN CEILING OR WALLS, OR EXPOSED IN UNFINISHED
AREAS.
- RACEWAY CONCEALED IN FLOOR SLAB.
- ~~~~~ FLEXIBLE RACEWAY, SIZE AS REQUIRED.
- CONDUIT UP.
- CONDUIT DOWN.
- EXPLOSION PROOF SEAL ON CONDUIT RUN.

LIGHTING

- Ceiling or wall, surface or recessed mounted fluorescent lighting
fixture. "A" denotes type (REFER TO FIXTURE SCHEDULE), NUMERAL
DENOTES CIRCUIT NUMBER. "b" DENOTES FIXTURE CONTROLLED BY SWITCH "b".
- SURFACE MOUNTED STRIP FLUORESCENT LIGHTING FIXTURE. "A" DENOTES TYPE
(REFER TO FIXTURE SCHEDULE), NUMERAL DENOTES CIRCUIT NUMBER, "b"
DENOTES FIXTURE CONTROLLED BY SWITCH "b".
- CEILING RECESSED OR SURFACE MOUNTED INCANDESCENT, COMP. FLOOR OR HD
LIGHTING FIXTURE. "b" DENOTES TYPE, NUMERAL DENOTES CIRCUIT NUMBER, AND
"c" DENOTES FIXTURE CONTROLLED BY SWITCH "c". (WALL MOUNTED)
- EXIT LIGHT: CEILING MOUNTED WITH DIRECTIONAL ARROW AS INDICATED ON PLAN.
(WALL MOUNTED WITHOUT ARROWS)
- WALLWASHING LIGHTING FIXTURE; ARROW INDICATES AIMING. SEE FIXTURE SCHEDULE
FOR MOUNTING.
- TRACK LIGHTING WITH QUANTITY OF LIGHTHEADS AS INDICATED ON PLANS
- LIGHTING FIXTURE WIRED TO NIGHT OR EMERGENCY LIGHTING CIRCUIT
- EMERGENCY BATTERY UNIT WITH UNIT MOUNTED LIGHTHEADS. NUMBER OF
LIGHTHEADS AS INDICATED ON PLANS.
- REMOTE EMERGENCY LIGHTHEAD.
- EMERGENCY BATTERY UNIT WITH REMOTE LIGHTHEADS AS INDICATED ON
PLANS.
- COMBINATION FAN/LIGHT UNIT
- POLE MOUNTED FLOODLIGHT UNIT; NUMBER OF FIXTURE HEADS AS INDICATED
ON PLANS.

SWITCHING

- S SINGLE POLE SWITCH MOUNTED 4'-0" A.F.F.
- S₂ TWO POLE SWITCH MOUNTED 4'-0" A.F.F.
- S₃ THREE WAY SWITCH MOUNTED 4'-0" A.F.F.
- S₄ FOUR WAY SWITCH MOUNTED 4'-0" A.F.F.
- S_d DIMMER SWITCH MOUNTED 4'-0" A.F.F.
- S_o SINGLE POLE SWITCH - KEY OPERATED - MOUNTED 4'-0" A.F.F.
- S_n SINGLE POLE SWITCH AND PILOT LIGHT MOUNTED 4'-0" A.F.F.
- S_m MOTOR RATED SWITCH WITH THERMAL OVERLOAD PROTECTION.
- S_v VARIABLE SPEED FAN SWITCH MOUNTED AT 4'-0" A.F.F.
- S_t TIME SWITCH MOUNTED 4'-0" A.F.F.
- S_l LOW VOLTAGE SWITCH 4'-0" A.F.F.
- S_{mc} MOMENTARY CONTACT SWITCH MOUNTED 4'-0" A.F.F.
- S_{pc} PHOTOCELL CONTROL DEVICE
- S_{ds} DAYLIGHT SENSOR; "W" INDICATES MOUNTING HEIGHT OF 4'-0" A.F.F.
- S_{uo} ULTRASONIC OCCUPANCY SENSOR; "W" INDICATES MOUNTING HEIGHT OF 4'-0" A.F.F.
- S_{ir} INFRARED OCCUPANCY SENSOR; "W" INDICATES MOUNTING HEIGHT OF 4'-0" A.F.F.

COMMUNICATION AND SIGNAL

- TELEPHONE OUTLET; MOUNTED 18" A.F.F. "W" INDICATES MOUNTED 34" A.F.F.
"P" INDICATES PAY PHONE. 4" SQUARE BOX WITH SINGLE GANG PLASTER RING,
3/4" CONDUIT STUBBED OUT ABOVE ACCESSIBLE CORRIDOR CEILING. TERMINATE
WITH PLASTIC BUSHING.
- DATA OUTLET; MOUNTED 18" A.F.F. "W" INDICATES MOUNTED 34" A.F.F. 4" SQUARE
BOX WITH SINGLE GANG PLASTER RING, 3/4" CONDUIT, STUBBED OUT ABOVE
ACCESSIBLE CORRIDOR CEILING. TERMINATE WITH PLASTIC BUSHING.
- COMBINATION DATA/TELEPHONE OUTLET, MOUNTED 18" A.F.F. "W" INDICATES
MOUNTED 34" A.F.F. 4" SQUARE BOX WITH SINGLE GANG PLASTER RING,
3/4" CONDUIT STUBBED OUT ABOVE ACCESSIBLE CORRIDOR CEILING.
TERMINATE WITH PLASTIC BUSHING.
- FLOOR OUTLET BOX WITH TELEPHONE OUTLET; REFER TO SPECIFICATIONS.
- FLOOR OUTLET BOX WITH DATA OUTLET; REFER TO SPECIFICATIONS.
- FLOOR OUTLET BOX WITH COMBINATION DATA/TELEPHONE OUTLET;
REFER TO SPECIFICATIONS.
- INTERCOM STATION, WALL MOUNTED
MOUNTED AT 60" A.F.F. UNLESS OTHERWISE NOTED
- CABLE TELEVISION OUTLET
MOUNTED AT 18" A.F.F. UNLESS OTHERWISE NOTED

SOUND

- COMBINATION CLOCK/SPEAKER UNIT. FLUSH WALL MOUNTED
- CEILING MOUNTED SPEAKER.
- SPEAKER; FLUSH WALL MOUNTED
- LOUDSPEAKER; SURFACE WALL MOUNTED
- MICROPHONE WALL OUTLET; "W" INDICATES WALL MOUNTED.
- AMPLIFIER
- VOLUME CONTROL
MOUNTED AT 48" A.F.F. UNLESS OTHERWISE NOTED

ABBREVIATIONS

- WP WEATHERPROOF.
- N.I.C. NOT IN CONTRACT.
- A.F.F. ABOVE FINISHED FLOOR.
- XP EXPLOSION PROOF.
- N.T.S. NOT TO SCALE.
- ER EXISTING DEVICE SHALL REMAIN.
- VR EXISTING DEVICE SHALL BE RELOCATED AS DIRECTED
BY ARROW ON PLANS.
- EX EXISTING DEVICE SHALL BE REMOVED.

RECEPTACLES

- DUPLEX RECEPTACLE - GROUNDING TYPE - MOUNTED 18" A.F.F. UNLESS
OTHERWISE INDICATED. NUMERAL INDICATES CIRCUIT NUMBER.
- DUPLEX RECEPTACLE - GROUNDING TYPE - MOUNTED AT 42" A.F.F.
OR 6" ABOVE COUNTER TOP OR BACKSPLASH WHERE EXISTENT.
- DUPLEX RECEPTACLE - GROUNDING TYPE - "GF" INDICATES GROUND FAULT
INTERRUPTING TYPE - MOUNTED 42" A.F.F. OR 6" ABOVE COUNTER TOP OR
BACKSPLASH WHERE EXISTENT.
- DUPLEX RECEPTACLE - GROUNDING TYPE WITH SURGE SUPPRESSION PROTECTION
MOUNTED AT 18" A.F.F. UNLESS OTHERWISE INDICATED.
- DUPLEX RECEPTACLE - ISOLATED GROUND TYPE - MOUNTED AT 18" A.F.F. UNLESS
OTHERWISE INDICATED.
- SINGLE RECEPTACLE - GROUNDING TYPE - MOUNTED AT 18" A.F.F. UNLESS
OTHERWISE INDICATED.
- DOUBLE DUPLEX RECEPTACLE - GROUNDING TYPE - MOUNTED AT 18" A.F.F. UNLESS
OTHERWISE INDICATED.
- FLOOR OUTLET BOX WITH DUPLEX RECEPTACLE; REFER TO SPECIFICATIONS.
- FLOOR OUTLET BOX WITH DOUBLE DUPLEX RECEPTACLE; REFER TO SPECIFICATIONS.
- FLOOR OUTLET BOX WITH SINGLE RECEPTACLE; REFER TO SPECIFICATIONS.
- POWER POLE; REFER TO SPECIFICATIONS AND DRAWINGS FOR RECEPTACLE
CONFIGURATION.
- SPECIAL PURPOSE RECEPTACLE - "A" INDICATES TYPE AS SHOWN ON DRAWINGS
OR IN SPECIFICATIONS.
- CLOCK HANGER RECEPTACLE
MOUNTED AT 7'-8" A.F.F. UNLESS OTHERWISE NOTED.

FIRE ALARM

- ALL FIRE ALARM DEVICES WITH SUBSCRIPT "S" SURFACE MTD. WITH SURFACE RACEWAY
- FIRE ALARM PULL STATION MOUNT BOTTOM OF DEVICE AT 4'-0" A.F.F.
- FIRE ALARM SPEAKER/STROBE COMBINATION MOUNT BOTTOM OF DEVICE AT
6'-8" A.F.F. OR 6" BELOW CEILING, WHICHEVER IS LOWER. "150d" DENOTES
STROBE CANDELA RATING; NO "cd" VALUE INDICATES PROVIDE "75cd" STROBE.
- FIRE ALARM STROBE ONLY MOUNT BOTTOM OF DEVICE AT 6'-8" A.F.F.
OR 6" BELOW CEILING, WHICHEVER IS LOWER. "110cd" DENOTES STROBE
CANDELA RATING; NO "cd" VALUE INDICATES PROVIDE "75cd" STROBE.
- FIRE ALARM WMI HORN /STROBE COMBINATION MOUNT BOTTOM OF DEVICE
6'-8" A.F.F. OR 6" BELOW CEILING, WHICHEVER IS LOWER.
- FIRE ALARM HEAT DETECTOR; FIXED TEMPERATURE TYPE. "130" INDICATES
TEMPERATURE SETTING.
- FIRE ALARM HEAT DETECTOR; COMBINATION RATE OF RISE/FIXED
TEMPERATURE. "130" INDICATES TEMPERATURE SETTING.
- FIRE ALARM SMOKE DETECTOR.
- FIRE ALARM DUCT TYPE SMOKE DETECTOR
- FIRE ALARM SMOKE DETECTOR WITH AUXILIARY CONTACTS FOR
CROSS ZONING (ELEV. LOBBY).
- FIRE ALARM SMOKE DETECTOR MOUNTED UNDER FLOOR
- FIRE ALARM SMOKE DETECTOR - EARLY DETECTION LASER TYPE
- FIRE ALARM SMOKE DETECTOR WITH RELAY BASE.
- FIRE ALARM SMOKE DETECTOR BEAM TYPE - TRANSMITTER UNIT
REFER TO PLANS FOR MOUNTING HEIGHT.
- FIRE ALARM SMOKE DETECTOR BEAM TYPE - RECEIVER UNIT
REFER TO PLANS FOR MOUNTING HEIGHT.
- MAGNETIC DOOR HOLDER.
- DOOR HOLD OPEN DEVICE
- TAMPER SWITCH.
- FLOW SWITCH.
- FIRE ALARM CONTROL PANEL
- FIRE ALARM ANNUNCIATOR PANEL
- TRANSDUCER
- CONTROLLER
- END OF LINE DEVICE
- REMOTE (LED) INDICATOR LIGHT
- EXTERIOR STROBE LIGHT
- FIRE ALARM MASTER BOX. SEE SPECIFICATIONS FOR MOUNTING.
- FIRE ALARM KEY LOCK BOX
- DUCT SMOKE DETECTION REMOTE INDICATOR/IES! STATION
MOUNTED 6'-8" A.F.F. OR 6" BELOW FINISHED CEILING WHICHEVER IS LOWER.
- FIRE FIGHTERS TELEPHONE JACK

SECURITY

- SECURITY MOTION DETECTOR (CEILING MOUNTED RADIAL TYPE)
- SECURITY MOTION DETECTOR (WALL MOUNTED DIRECTIONAL TYPE)
- DOOR SECURITY SWITCH
- CARD KEY ACCESS READER
- DOOR LOCK (ELECTRIC STRIKE)
- SIREN
- CLOSED CIRCUIT TV CAMERA.

MISCELLANEOUS

- MOTOR; NUMERAL INDICATES HORSEPOWER.
- NON-FUSED DISCONNECT SWITCH; 3 POLE, 30 AMP, UNLESS OTHERWISE NOTED.
- FUSED 3 POLE DISCONNECT SWITCH. "30A" DENOTES SWITCH SIZE. "20A" DENOTES
FUSE SIZE.
- COMBINATION STARTER/NON-FUSED DISCONNECT SWITCH; 3 POLE, 30 AMP SWITCH,
WITH NEMA SIZE 1 STARTER UNLESS OTHERWISE NOTED. (WITH FUSED DISCONNECT SWITCH)
- MAGNETIC MOTOR STARTER.
- PUSHBUTTON CONTROL STATION, FUNCTION AS INDICATED ON PLAN.
- THERMOSTAT
- JUNCTION BOX.
- SURFACE MOUNTED 120/208 VOLT PANELBOARD 6'-6" A.F.F. TO TOP. (FLUSH MOUNTED)
- SURFACE MOUNTED 277/480 VOLT PANELBOARD 6'-6" A.F.F. TO TOP. (FLUSH MOUNTED)
- SURFACE MOUNTED CONTROL PANEL 6'-6" A.F.F. TO TOP. (FLUSH MOUNTED)
- DRY TYPE TRANSFORMER; RATING AS INDICATED ON SCHEMATIC RISER
DIAGRAM.
- FLUORESCENT STRIP WITH GROUNDING RECEPTACLES. SEE SPECIFICATIONS.
- WIREMOLD WITH DUPLEX GROUNDING RECEPTACLES. SEE SPECIFICATIONS.
- TIME CLOCK. REFER TO SPECIFICATIONS.
- CONTACTOR. REFER TO SPECIFICATIONS.
- MOTORIZED DAMPER
- RELAY
- EMERGENCY POWER OFF MUSHROOM TYPE PUSHBUTTON PROVIDED WITH FULL
ALUMINUM GUARD, MOUNTED AT 54" A.F.F. UNLESS OTHERWISE NOTED
- PROGRAM OR DOOR BELL
- PUSHBUTTON STATION.
- NURSE CALL STATION
- NURSE CALL DOME INDICATOR LIGHT
- LIGHTNING PROTECTION AIR TERMINAL ("S" DENOTES SPRING BASE)

OWNER REVIEW

NAME _____ DATE _____

0 05/11/01 CONSTRUCTION DOCUMENT SET

NO. _____ DATE _____ DESCRIPTION _____

ISSUE LOG

△ CLOUDED CHANGE

**UNIVERSITY OF
SOUTHERN MAINE**
PORTLAND, MAINE
RENOVATION PACKAGE

LEGEND AND NOTES

SCALE: NONE
DRAWN BY: SP/M
CHECKED BY: L.G.K./R.L.
PROJ. ARCH / ENGR: L.G.K./R.L.
PROJ. MGR: JAS
DATE: 05/11/01
BY: SYMMES, MAINI & MCKEE ASSOCIATES, INC. 200

EO.1

NOTES:

1. REMOVE ALL EXISTING FIRE ALARM DEVICES AFTER ACTIVATION OF NEW SPRINKLER SYSTEM. THE SPRINKLER SYSTEM WILL NOT BE ACTIVATED UNTIL THE COMPLETION OF THE PHASE 1 ADDITION.
2. EXISTING FIRE ALARM CONDUIT & WIRING WILL BE ABANDONED IN PLACE. PROVIDE BLANK COVERPLATES FOR ALL OUTLET BOXES.
3. EXACT QUANTITY AND LOCATION OF EXISTING FIRE ALARM DEVICES SHALL BE VERIFIED IN THE FIELD.



REMOVE EXISTING LIGHT FIXTURES AND SWITCH BRANCH CIRCUIT TO REMAIN FOR RE-USE

REMOVE EXISTING LIGHT FIXTURES AND SWITCH BRANCH CIRCUIT TO REMAIN FOR RE-USE

REMOVE EXISTING LIGHT FIXTURES AND SWITCH BRANCH CIRCUIT TO REMAIN FOR RE-USE

REMOVE ALL EXISTING LIGHTING FIXTURES AND RECEPTACLES WITHIN THIS AREA. EXISTING LIGHTING AND GENERAL PURPOSE BRANCH CIRCUITS SHALL REMAIN FOR RE-USE.

RENOVATION PHASE 1

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OWNER REVIEW
 NAME _____ DATE _____

NO	DATE	DESCRIPTION
0	09/11/01	CONSTRUCTION DOCUMENT SET

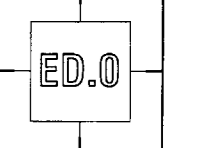
ISSUE LOG

△ = CLOUDED CHANGE

UNIVERSITY OF SOUTHERN MAINE
 PORTLAND, MAINE
 RENOVATION PACKAGE

BASEMENT FLOOR PLAN DEMOLITION

SCALE 1/8"=1'-0"
 DRAWN BY BFM
 CHECKED BY
 PROJ. ARCH / ENGR. L.GYKRL
 PROJ. MGR. JAS
 JOB NO. 00013.00
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NOTES:

1. REMOVE ALL EXISTING FIRE ALARM DEVICES AFTER ACTIVATION OF NEW SPRINKLER SYSTEM. THE SPRINKLER SYSTEM WILL NOT BE ACTIVATED UNTIL THE COMPLETION OF THE PHASE 1 ADDITION.
2. EXISTING FIRE ALARM CONDUIT & WIRING WILL BE ABANDONED IN PLACE. PROVIDE BLANK COVERS FOR ALL OUTLET BOXES.
3. EXACT QUANTITY AND LOCATION OF EXISTING FIRE ALARM DEVICES SHALL BE VERIFIED IN THE FIELD.

REMOVE EXISTING LIGHT FIXTURES AND SWITCH BRANCH CIRCUIT TO E REMAIN FOR RE-USE

RENOVATION PHASE 1

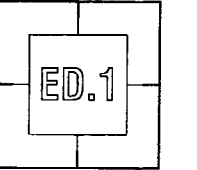
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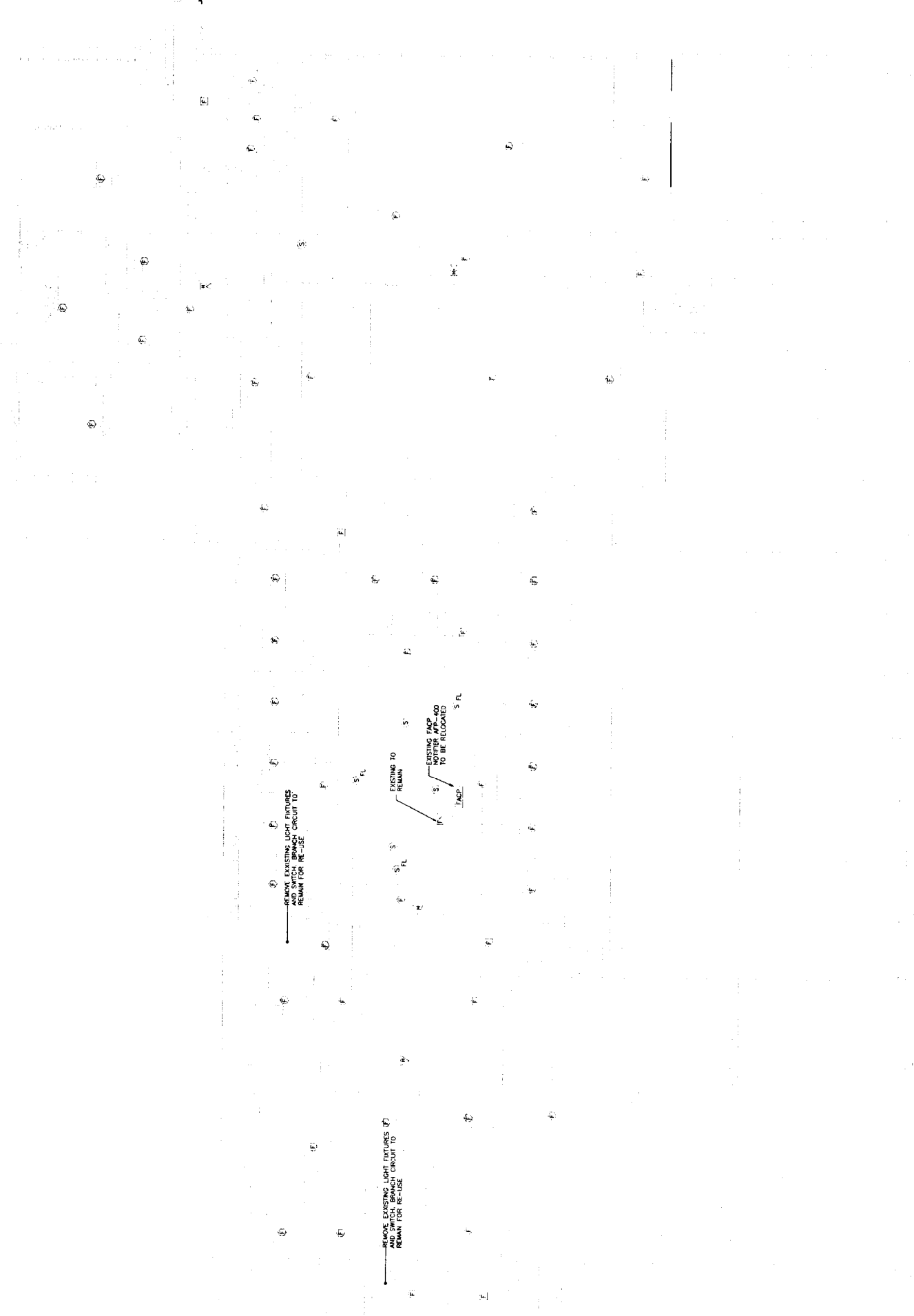
ISSUE LOG
 * CLOUDIER CHANGE
UNIVERSITY OF SOUTHERN MAINE
 PORTLAND, MAINE
 RENOVATION PACKAGE

FIRST FLOOR PLAN DEMOLITION

SCALE 1/8"=1'-0"
 DRAWN BY EFM
 CHECKED BY
 PROJ. ARCH./ENGR. L.G.H./P.L.
 PROJ. MGR. JAS
 JOB NO. 00013.00
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- NOTES:**
 1. REMOVE ALL EXISTING FIRE ALARM DEVICES AFTER THE ACTIVATION OF THE NEW SPRINKLER SYSTEM. THE SPRINKLER SYSTEM WILL NOT BE ACTIVATED UNTIL THE COMPLETION OF THE FIRE ALARM WORK.
 2. EXISTING FIRE ALARM DEVICES WILL BE DEMOLISHED IN PLACE. PROVIDE BANG COVERPLATES FOR ALL OUTLET BOXES.
 3. EXACT QUANTITY AND LOCATION OF EXISTING FIRE ALARM DEVICES SHALL BE VERIFIED IN THE FIELD.



OWNER REVIEW

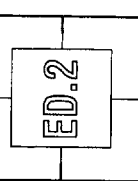
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NO. DATE DESCRIPTION
 1 05/11/01 CONSTRUCTION DOCUMENT SET
 ISSUE LOG
 - CIRCLED CHANGE

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SOUTHERN MAINE
PORTLAND CAMPUS
RENOVATION PACKAGE

SECOND FLOOR
PLAN
DEMOLITION

SCALE: 1/8" = 1'-0"
 DRAWN BY: SPM
 CHECKED BY: PROJ. ARCH / ENG. / LAYOUT
 PROJ. MGR. JAS
 JOB NO. 0071-010
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RENOVATION PHASE 1

- NOTES:**
1. REMOVE ALL EXISTING FIRE ALARM DEVICES AFTER ACTIVATION OF NEW SPRINKLER SYSTEM. THE SPRINKLER SYSTEM WILL NOT BE ACTIVATED UNTIL THE COMPLETION OF THE PHASE 1 ADDITION.
 2. EXISTING FIRE ALARM CONDUIT & WIRING WILL BE ABANDONED IN PLACE. PROVIDE BLANK COVERPLATES FOR ALL OUTLET BOXES.
 3. EXACT QUANTITY AND LOCATION OF EXISTING FIRE ALARM DEVICES SHALL BE VERIFIED IN THE FIELD.

REMOVE EXISTING LIGHT FIXTURES AND SWITCH BRANCH CIRCUIT TO REMAIN FOR RE-USE

RENOVATION PHASE 1

OWNER REVIEW
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NO.	DATE	DESCRIPTION
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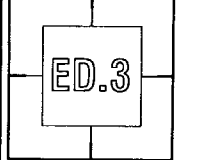
ISSUE LOG

△ = CLOUDY CHANGE

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 PORTLAND, MAINE
 RENOVATION PACKAGE

**THIRD FLOOR
 PLAN
 DEMOLITION**

SCALE 1/8"=1'-0"
 DRAWN BY SFM
 CHECKED BY
 PROJ. ARCH / ENGR. L.G.KROL
 PROJ. MGR. JAS
 JOB NO. 00013.00
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- NOTES:
1. REMOVE ALL EXISTING FIRE ALARM DEVICES AFTER ACTIVATION OF NEW SPRINKLER SYSTEM. THE SPRINKLER SYSTEM WILL NOT BE ACTIVATED UNTIL THE COMPLETION OF THE PHASE 1 ADDITION.
 2. EXISTING FIRE ALARM CONDUIT & WIRING WILL BE ABANDONED IN PLACE. PROVIDE BLANK COVERPLATES FOR ALL OUTLET BOXES.
 3. EXACT QUANTITY AND LOCATION OF EXISTING FIRE ALARM DEVICES SHALL BE VERIFIED IN THE FIELD.

SMMA
Symmes, Maini & McKee Associates
1000 Massachusetts Avenue
Cambridge, Massachusetts 02138
617.547.5400 Fax 617.354.5758

REMOVE EXISTING LIGHT FIXTURES AND SWITCH BRANCH CIRCUIT TO REMAIN FOR RE-USE

RENOVATION PHASE 1

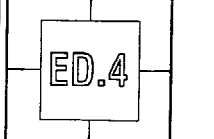
OWNER REVIEW
NAME _____ DATE _____

NO.	DATE	DESCRIPTION

ISSUE LOG
* CLOUDED CHANGE
UNIVERSITY OF SOUTHERN MAINE
PORTLAND, MAINE
RENOVATION PACKAGE

**FOURTH FLOOR PLAN
DEMOLITION**

SCALE: 1/8"=1'-0"
DRAWN BY: SPM
CHECKED BY:
PROJ. ARCH./ENGR.: L. GARRETT
PROJ. MGR.: JAS
JOB NO.: 00015-02
P. SYMMES MAIN & MCKEE ASSOCIATES, INC. 200





RENOVATION PHASE 1

OWNER REVIEW

NAME DATE

**FIRST FLOOR
PLAN
POWER/LTG**

SCALE 1/8"=1'-0"

DRAWN BY SFM

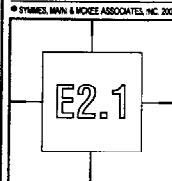
CHECKED BY

PROJ ARCH / ENGR L.G.M.P.L.

PROJ MGR JAS

JOB NO. 00013.00

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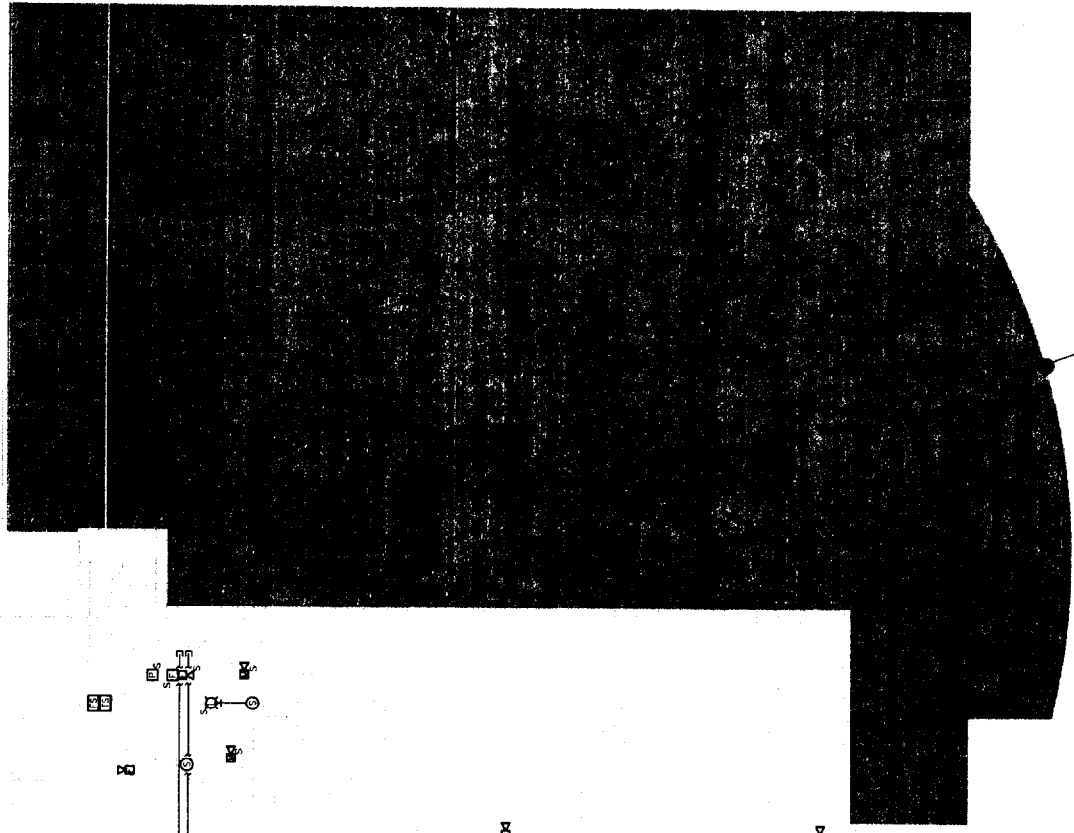
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 RENOVATION PACKAGE

**SECOND FLOOR
 PLAN
 POWER/LTG**

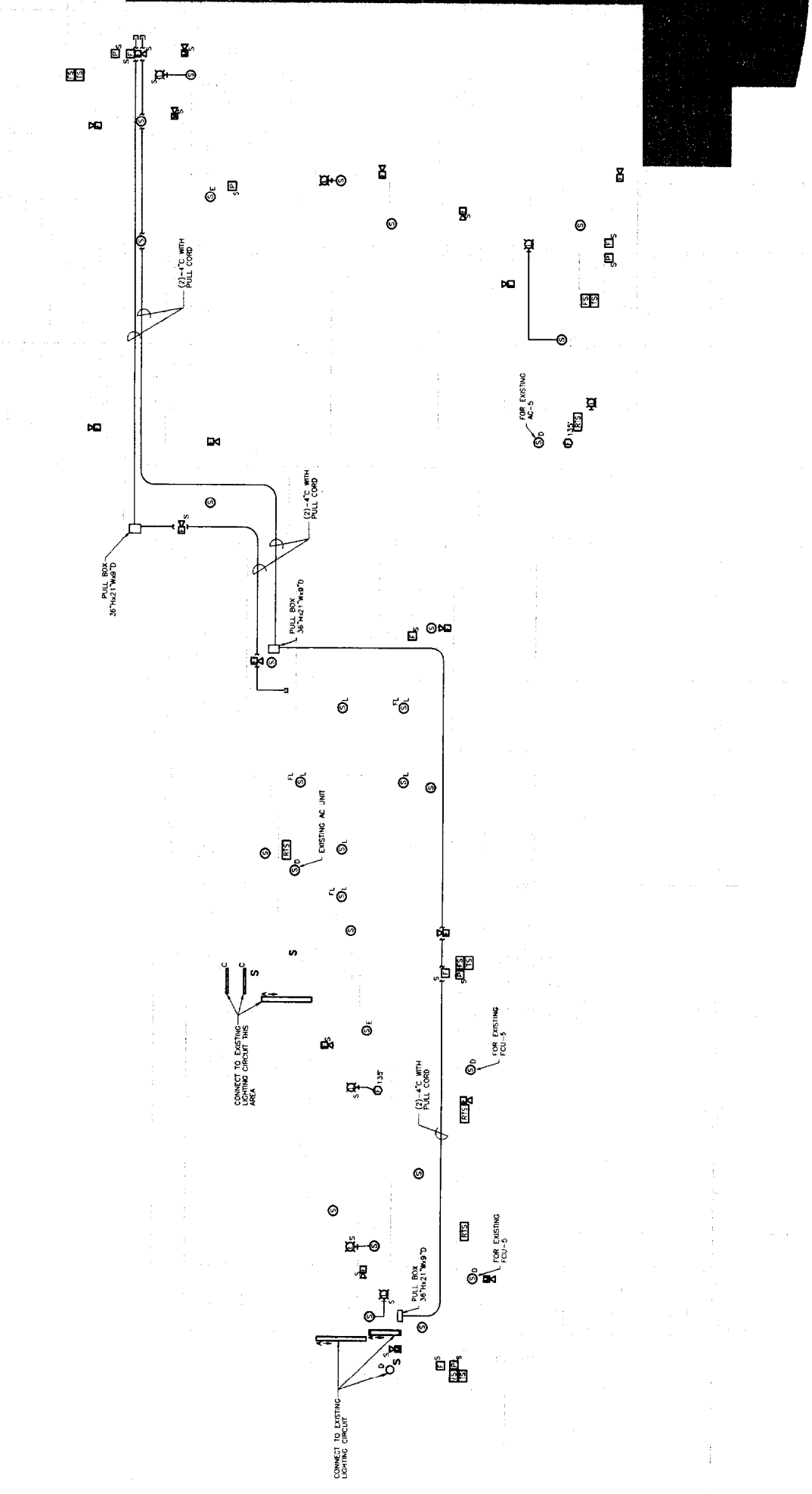
SCALE: 1/8" = 1'-0"
 DRAWN BY: SPM
 CHECKED BY: PRO. ARCH / ENGR. LOCKER
 PROJ. MGR. JMG
 JOB NO. 00113.00
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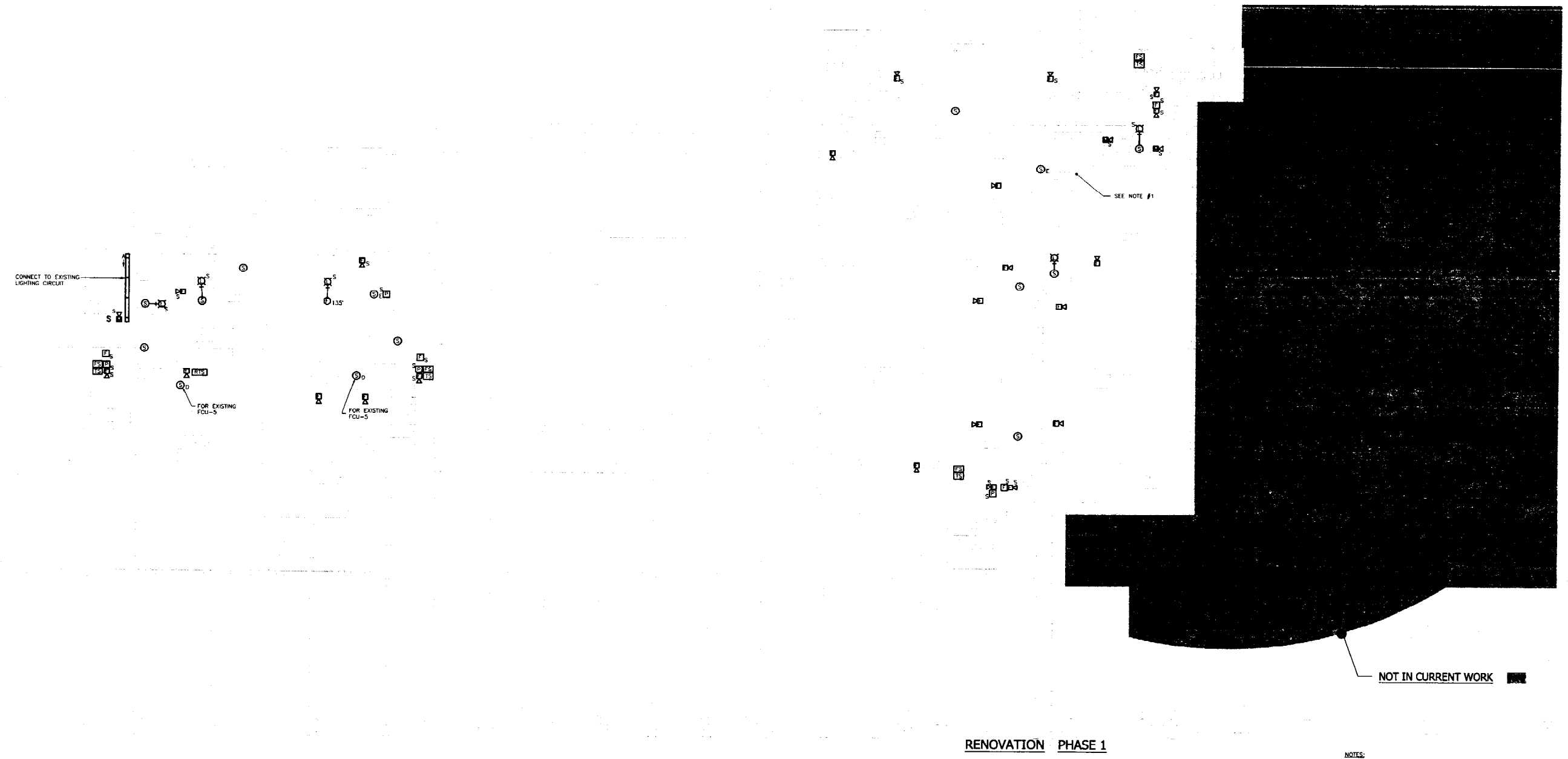
E2.2



NOT IN CURRENT WORK

RENOVATION PHASE 1





OWNER REVIEW

NAME	DATE

NO.	DATE	DESCRIPTION

**THIRD FLOOR
 PLAN
 POWER/LTG**

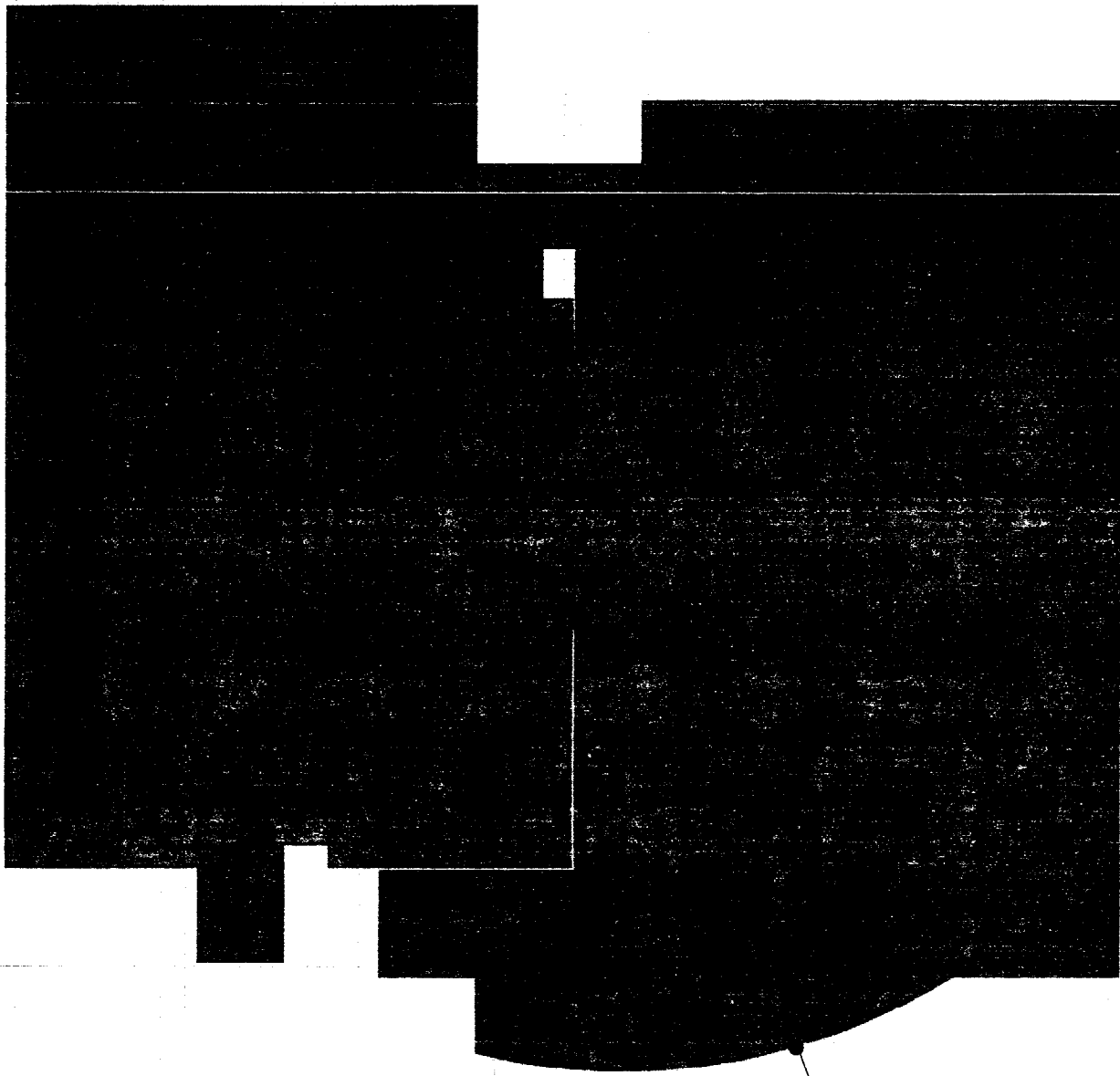
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 CHECKED BY:
 PROJ. ARCH / ENGR: L.G.K./R.L.
 PROJ. MGR: JAS
 JOB NO: 00013.00
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E2.3

RENOVATION PHASE 1

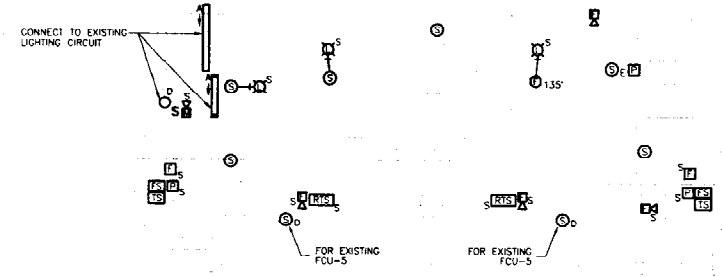
NOTES:
 1. REFER TO DETAIL #1 ON DRAWING E2.1 FOR
 FIRE ALARM REQUIREMENTS IN THIS AREA.

NOT IN CURRENT WORK



NOT IN CURRENT WORK

RENOVATION PHASE 1

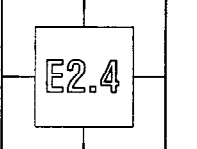


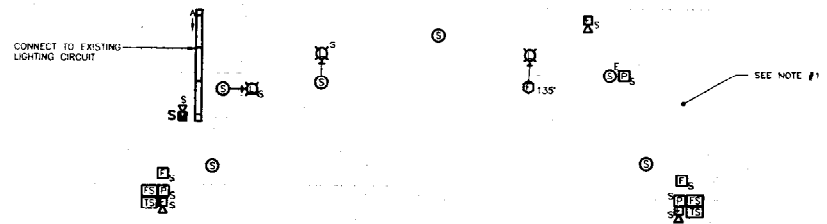
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**FOURTH FLOOR
 PLAN
 POWER/LTG**

SCALE 1/8" = 1'-0"
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 CHECKED BY
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 PROJ. MGR JAS
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RENOVATION PHASE 1

NOTES:
1. REFER TO DETAIL #1 ON DRAWING E.2.1 FOR FIRE ALARM REQUIREMENTS IN THIS AREA.

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NAME _____ DATE _____

0 05/11/01 CONSTRUCTION DOCUMENT SET

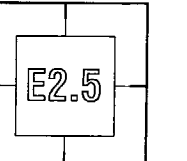
NO. DATE DESCRIPTION

ISSUE LOG

△ = CLOUSED CHANGE
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PORTLAND, MAINE
RENOVATION PACKAGE

**FIFTH FLOOR
PLAN
POWER/LTG**

SCALE 1/8" = 1'-0"
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CHECKED BY
PRJ. ARCH / PMOR L. CLARK
PRJ. MGR JAS
JOB NO. 00013.00
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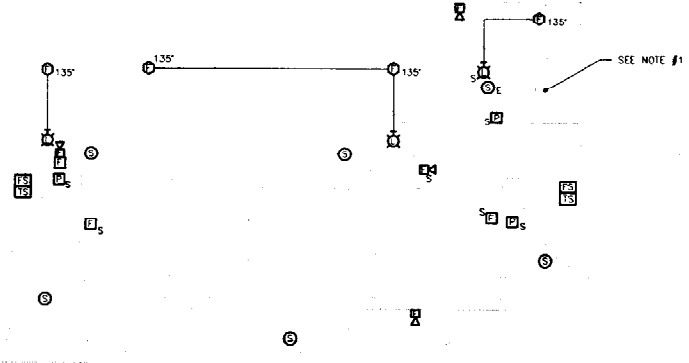
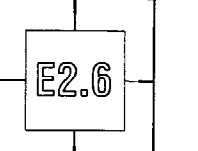
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NAME	DATE

ISSUE LOG	
NO.	DATE DESCRIPTION

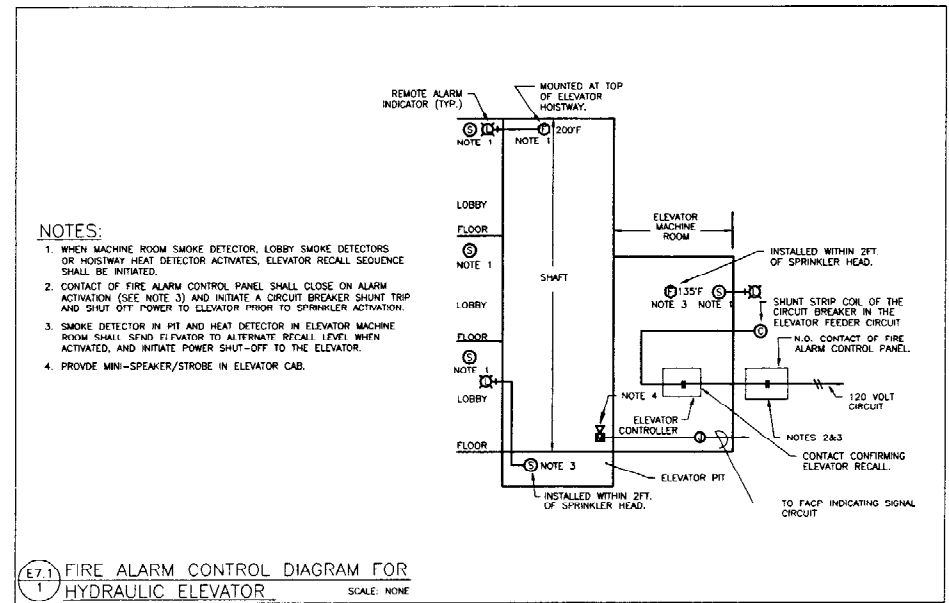
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PORTLAND, MAINE
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**SIXTH FLOOR
PLAN
POWER/LTG**

SCALE 1/8"=1'-0"
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CHECKED BY
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PROJ. MGR. JMS
JOB NO. 0001380
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NOTES:
1. REFER TO DETAIL #1 ON DRAWING E7.1 FOR
FIRE ALARM REQUIREMENTS IN THIS AREA.



OWNER REVIEW
NAME _____ DATE _____

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NO. DATE DESCRIPTION
ISSUE LOG
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UNIVERSITY OF SOUTHERN MAINE
PORTLAND, MAINE
RENOVATION PACKAGE

ELECTRICAL DETAILS

SCALE NONE
DRAWN BY BFM
CHECKED BY _____
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PROJ. MGR. JAS
JOB NO. 00013.00
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