

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 04-1120	Issue Date:	CBL: 085 GO06001
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Location of Construction: 20 Spruce Ave	Owner Name: Bramn Scott M &	Owner Address: 20 Spruce Ave	Phone:
Business Name:	Contractor Name: Thompson & Johnson Woodworkers	Contractor Address: 115 Island Ave Peaks Island	Phone 12077665219
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	Zone: IR-2

Past Use: single family	Proposed Use: single family - build 8' x 16' addition w/8' porch	Permit Fee: \$201.00	Cost of Work: \$20,000.00	CEO District: 2
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**FIRE DEPT:**  Approved  Denied  
 Signature: *[Signature]*

**INSPECTION:** Use Group: *R-3* Type: *SB*  
*BOLA 1999*  
 Signature: *[Signature]*

Proposed Project Description:  
- build 8' x 16' addition w/8' porch

**PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)**  
 Action:  Approved  Approved w/Conditions  Denied  
 Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Permit Taken By: tmm	Date Applied For: 08/05/2004	<b>Zoning Approval</b>
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input checked="" type="checkbox"/> MM <input type="checkbox"/> Date: <i>8/5/04</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	<del>Historic Preservation</del> <input checked="" type="checkbox"/> Not in District or Landmar <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>8/5/04</i>
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**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT \_\_\_\_\_ ADDRESS \_\_\_\_\_ DATE \_\_\_\_\_ PHONE \_\_\_\_\_

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE \_\_\_\_\_ DATE \_\_\_\_\_ PHONE \_\_\_\_\_

# BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

- Footing/Building Location Inspection: Prior to pouring concrete *Setbacks + Tube Depth*
- Re-Bar Schedule Inspection: Prior to pouring concrete
- Foundation Inspection: Prior to placing ANY backfill
- Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling *Close In*
- Final/Certificate of Occupancy: Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED

*Paul J. Kelly* 8.5.04  
Signature of Applicant/Designee Date

*[Signature]* 8/5/04  
Signature of Inspections Official Date

CBL: 085-G-6 Building Permit #: 04-1120

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

# CITY OF PORTLAND

Please Read Application And Notes, If Any, Attached

## BUILDING DEPARTMENT PERMIT

Permit Number: 04I120

This is to certify that Bramn Scott M & /Thompson Johnson workers

has permission to - build 8' x 16' addition w/8' porch

085 G006001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is altered or closed-in. **48 HOUR NOTICE IS REQUIRED.**

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

### OTHER REQUIRED APPROVALS

Fire Dept. \_\_\_\_\_

Health Dept. \_\_\_\_\_

Appeal Board \_\_\_\_\_

Other \_\_\_\_\_

Department Name

*[Signature]*  
8/5/01  
Director Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**

# All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <b>141 NEW ISLAND AVE, 20 SPRUCE STREET</b>		
Total Square Footage of Proposed Structure <b>2378</b>	Square Footage of Lot <b>18,205 SF</b>	
Tax Assessor's Chart, Block & Lot Chart# <b>85</b> Block# <b>6,7,8</b> Lot#	Owner: <b>SCOTT BRAMAN SUZANNE PARROTT</b>	Telephone: <b>766-2344</b>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <b>THOMPSON JOHNSON WOODWORKS 115 ISLAND AVE PEAKS ISLAND 04108</b>	Cost Of Work: \$ <b>20,000</b> Fee: \$ <b>201</b>
Current use: <b>SF RESIDENCE</b>		
if the location is currently vacant, what was prior use: _____		
Approximately how long has it been vacant: _____		
Proposed use: <b>KITCHEN AND PORCH ADDITION, BATHROOM, 2ND FLOOR PORCH</b> Project description: <b>RENOVATION.</b>		
Contractor's name, address & telephone:  Who should we contact when the permit is ready: <b>RACHEL CONLY</b> Mailing address: <b>THOMPSON JOHNSON WOODWORKS 115 ISLAND AVE PEAKS ISLAND, ME 04108 207-766-5625</b>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. <b>PHONE:</b>		

**IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.**

*I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.*

Signature of applicant: <b>Paulle Conly</b>	Date: <b>8-4-04</b>
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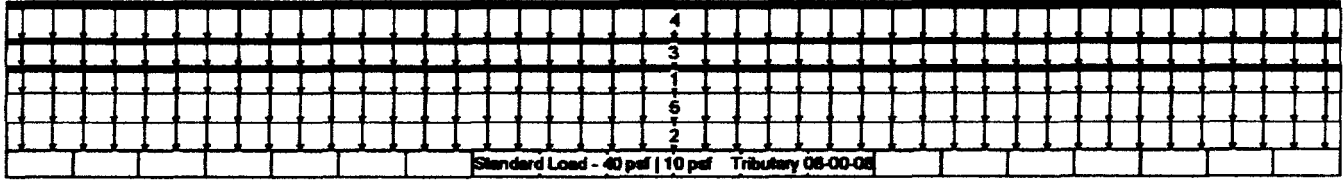
**This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4<sup>th</sup> floor of City Hall**

**Triple 1 314" x 16" VERSA-LAM® 3100 SP**

Job Name: PARROTT  
 Address:  
 City, State, Zip: PEAKS ISLE, ME  
 Customer: THOMSON & JOHNSON  
 Code reports: ICBO 5512, NER 629

File Name: BC CALC Project FB01  
 Description:  
 Specifier: RACHEL  
 Designer: BRIAN BIRKINBINE  
 Company: WOOD STRUCTURES INC  
 Misc:

5/8 DEF.



B0  
 9889 lbs LL  
 5012 lbs DL

B1  
 9889 lbs LL  
 5012 lbs DL

Total Horizontal Length - 14-03-00

**General Data**

Version: US Imperial  
 Member Type: Floor Beam  
 Number of Spans: 1  
 Left Cantilever: No  
 Right Cantilever: No  
 Slope: 0/12  
 Tributary: 08-00-08

Live Load: 40 psf  
 Dead Load: 10 psf  
 Partition Load: 0 psf  
 Duration: 100

**Disclosure**

The completeness and accuracy of the input must be verified by anyone who would rely on the output as evidence of suitability for a particular application. The output above is based upon building code-accepted design properties and analysis methods. Installation of BOISE engineered wood products must be in accordance with the current Installation Guide and the applicable building codes. To obtain an Installation Guide or if you have any questions, please call (800)232-0788 before beginning product installation.

BC CALC®, BC FRAMER®, BC I®, BC RIM BOARD™, BC OSB RIM BOARD™, BOISE GLULAM™, VERSA-LAM®, VERSA-RIM®, VERSA-RIM PLUS®, VERSA-STRAND™, VERSA-STUD®, ALLJOIST® and AJS™ are trademarks of Boise Cascade Corporation.

**Load Summary**

ID	Description	Load Type	Ref.	Start	End	Type	Value	Trlb.	Dur.
S	Standard Load	Unf. Area	Left	00-00-00	14-03-00	Live	40 psf	08-00-08	100%
						Dead	10 psf	08-00-08	90%
1	1ST WALL	Unf. Lin.	Left	00-00-00	14-03-00	Live	0 plf	n/a	90%
						Dead	80 plf	n/a	90%
2	2ND FLOOR	Unf. Area	Left	00-00-00	14-03-00	Live	30 psf	08-00-08	100%
						Dead	10 psf	08-00-08	90%
3	2ND WALL	Unf. Lin.	Left	00-00-00	14-03-00	Live	0 plf	n/a	115%
						Dead	80 plf	n/a	90%
4	KNEEW/FLOOR	Unf. Lin.	Left	00-00-00	14-03-00	Live	745 plf	n/a	100%
						Dead	319 plf	n/a	90%
5	ROOF	unf. Area	Left	00-00-00	14-03-00	Live	40 psf	02-00-00	115%
						Dead	20 psf	02-00-00	90%

**Controls Summary**

Control Type	Value	% Allowable	Duration	Load Case	Span Location
Moment	51054 ft-lbs	91.1%	100%	2	1 - Internal
Neg. Moment	0 ft-lbs	n/a	100%		
End Shear	11649 lbs	71.7%	100%	2	1 - Left
Total Load Defl.	L/316 (0.541")	76.0%		3	1
Live Load Defl.	L/476 (0.359")	75.6%		3	1
Max Defl.	0.541"	54.1%		3	1

**Notes**

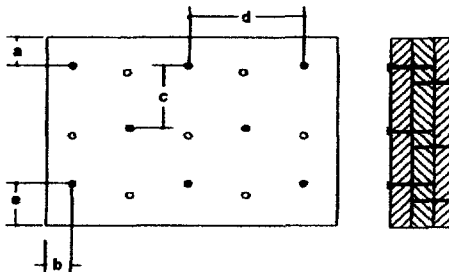
Design meets Code minimum (L/240) Total load deflection criteria.  
 Design meets Code minimum (L/360) Live load deflection criteria.  
 Design meets arbitrary (1") Maximum load deflection criteria.  
 Minimum bearing length for B0 is 3-3/8".  
 Minimum bearing length for B1 is 3-3/8".  
 Entered/Displayed Horizontal Span Length(s) = Clear Span + 1/2 min. end bearing + 1/2 intermediate bearing

**Connection Diagram**

Nailing schedule applies to both sides of the member.  
 Member has no side loads.

Connectors are: 16d Sinker Nails

- a = 2"
- b = 3"
- c = 6"
- d = 12"
- e = 3"



This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

### Current Owner Information

Card Number	1 of 1
Parcel ID	085 G006001
Location	20 SPRUCE AVE
Land Use	SINGLE FAMILY
Owner Address	BRAMN SCOTT M & SUZANNE PARROTT JTS 20 SPRUCE AVE PEAKS ISLAND ME 04108
Book/Page	21342/170
Legal	85-6-6-7-8-32-33 SPRUCE AVE ISLAND AVE PEAKS ISLAND 18629 SF

### Valuation Information

Land	Building	Total
\$46,620	\$55,020	\$101,640

### Property Information

Year Built	Style	Story Height	Sq. Ft.	Total Acres	
1900	Old Style	2	2304	0.428	
Bedrooms	Full Baths	Half Baths	Total Rooms	Attic	Basement
3	1	1	6	Full Finsh	Full

### Outbuildings

Type	Quantity	Year Built	size	Grade	Condition
SHED-FRAME	1	1900	16X20	C	P
SHED-FRAME	1	1900	250	D	P

### Sales Information

Date	Type	Price	Book/Page
12/23/1999	LAND + BLDING		15244-048

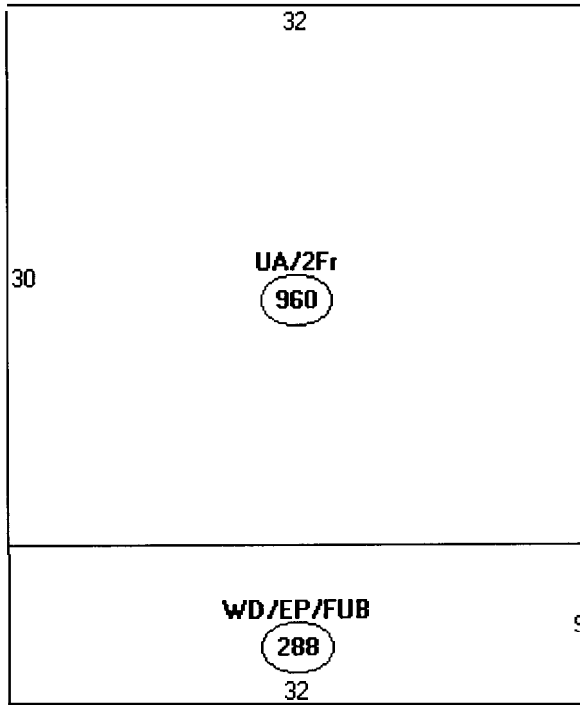
### Picture and Sketch

[Picture](#)      [Sketch](#)

[Click here](#) to view Tax Roll Information.

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or e-mailed.

**New Search!**



Descriptor/Area

A: UA/2Fr  
960 sqft

B: WD/EP/FUB  
288 sqft

IR-2  
Front + rear - 25'  
Sides - 20'  
Lot cov. 20% -  
1907 ~~2007~~ SF left -  
Q/K



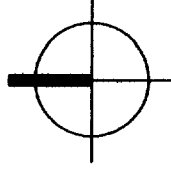


THOMPSON JOHNSON WOOD

115 ISLAND AVENUE  
PEAKS ISLAND ME 04108  
207.766.5919

# A2

existing first  
floor plan



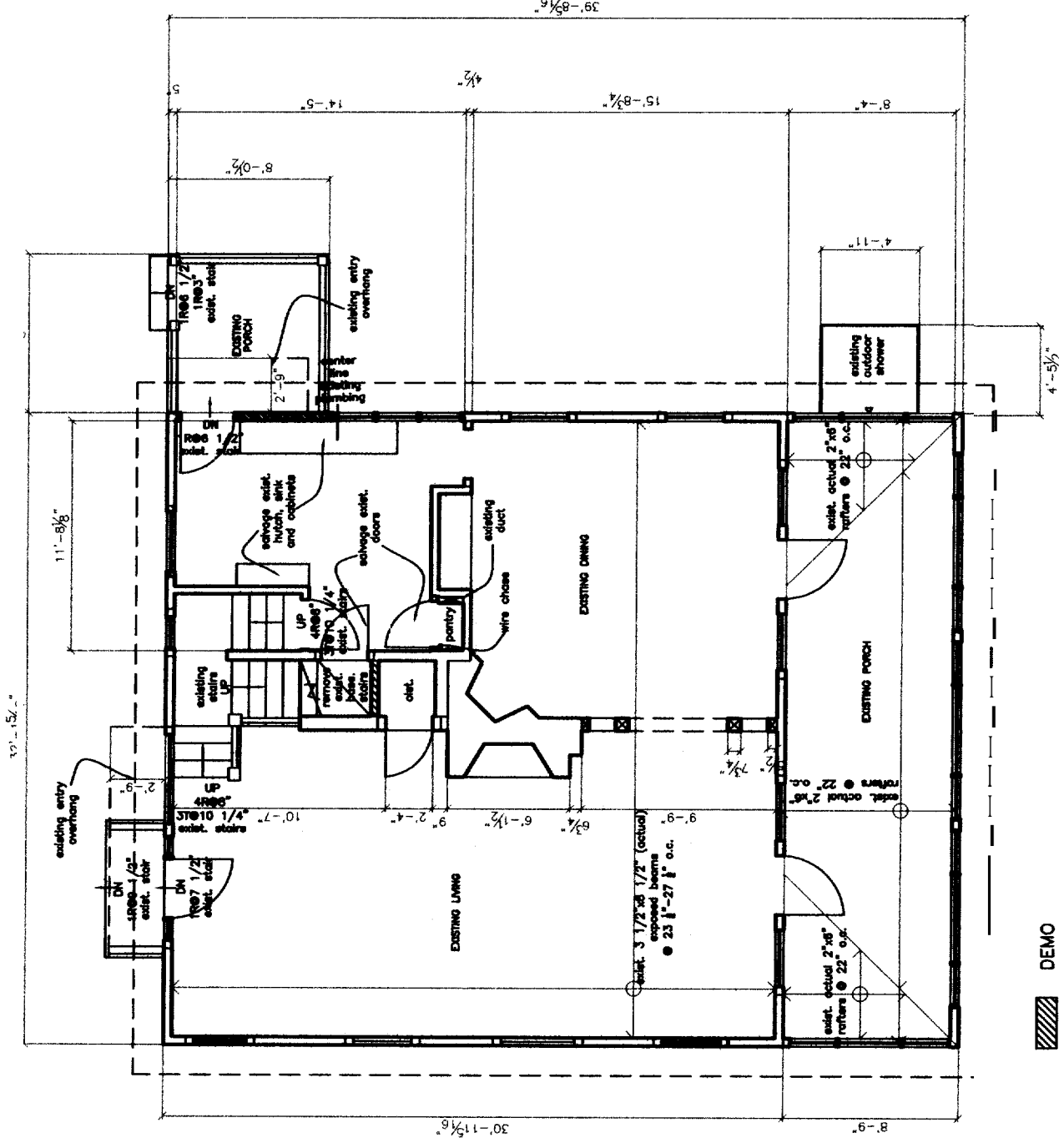
Notes

PROJECT Parrott/Braman  
Residence

DATE 8.05.04 REVISED

SCALE 1/8" = 1'-0" DRAWN BY

ITEM



 DEMO

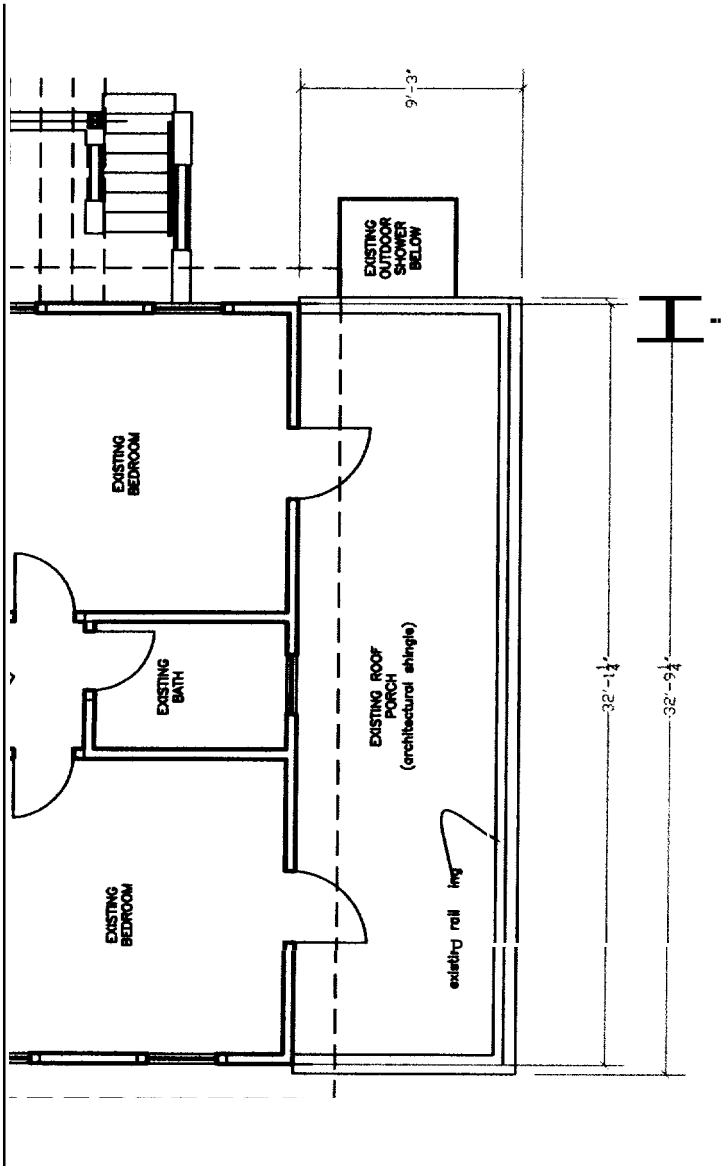
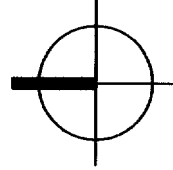
THOMPSON JOHNSON WOODWORKS

115 ISLAND AVENUE  
PEAKS ISLAND ME 04108  
207.766.5919

**A3**

Notes

Existing Second  
Floor Plan



PROJECT Parrott/Braman  
Residence

DATE 8.05.04  
REVISED

SCALE 1/8" = 1'-0"  
DRAWN BY

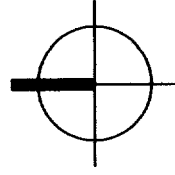
ITEM

THOMPSON JOHNSON WOODWORKS  
 115 ISLAND AVENUE  
 PEAKS ISLAND ME 04108  
 207.766.5919

**A4**

Notes

proposed first  
 floor plan

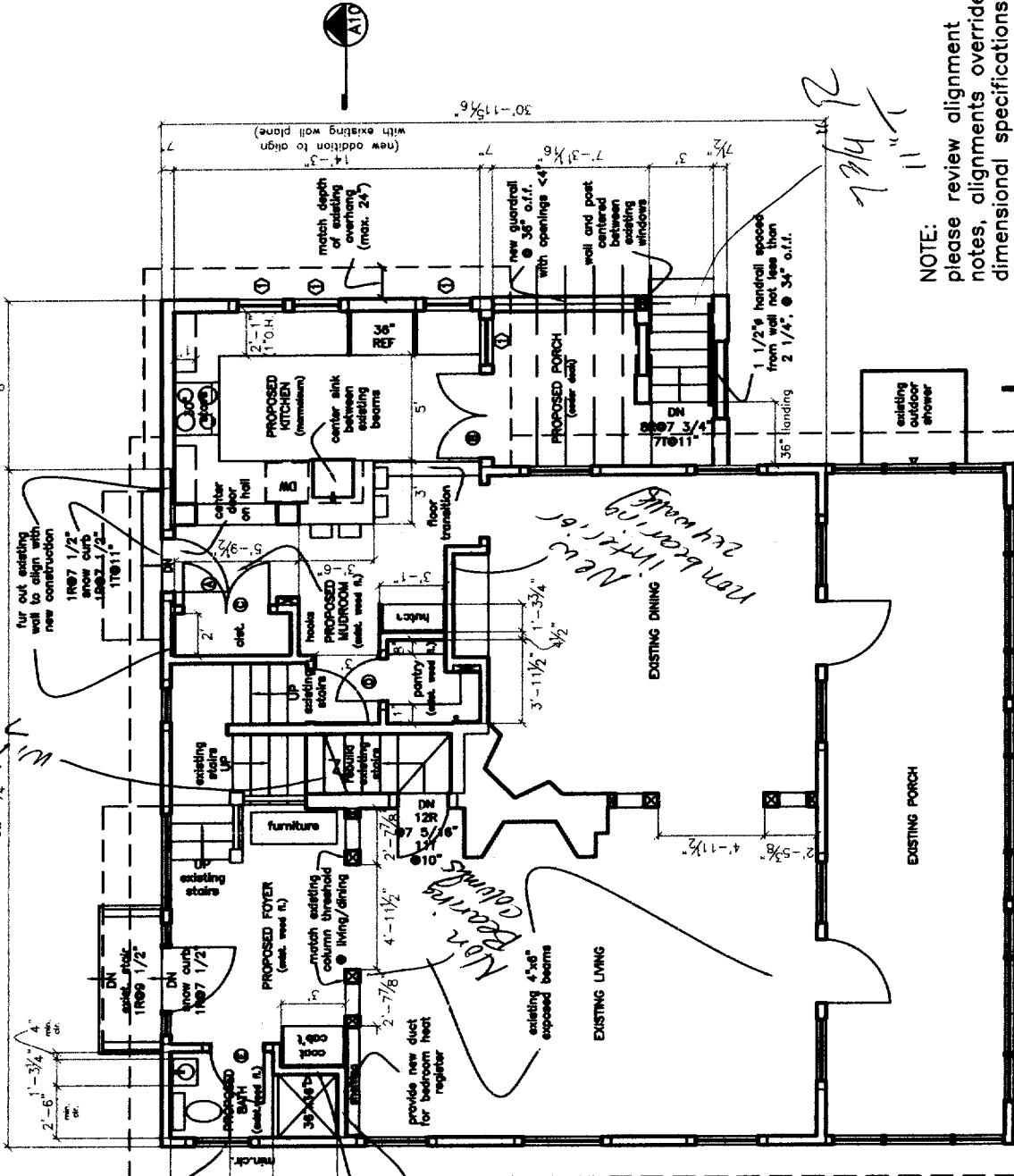


PROJECT Parrott/Braman  
 Residence

DATE 8.05.04  
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SCALE 1/8" = 1'-0"  
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NOTE:  
 please review alignment  
 notes, alignments override  
 dimensional specifications

provide sound  
 insulation  
 south and east  
 both walls

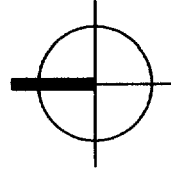
THOMPSON JOHNSON WOODWORKS

115 ISLAND AVENUE  
PEAKS ISLAND ME 04108  
207.766.5919

**A5**

NOTES

Second Floor  
Roof Porch  
Proposal

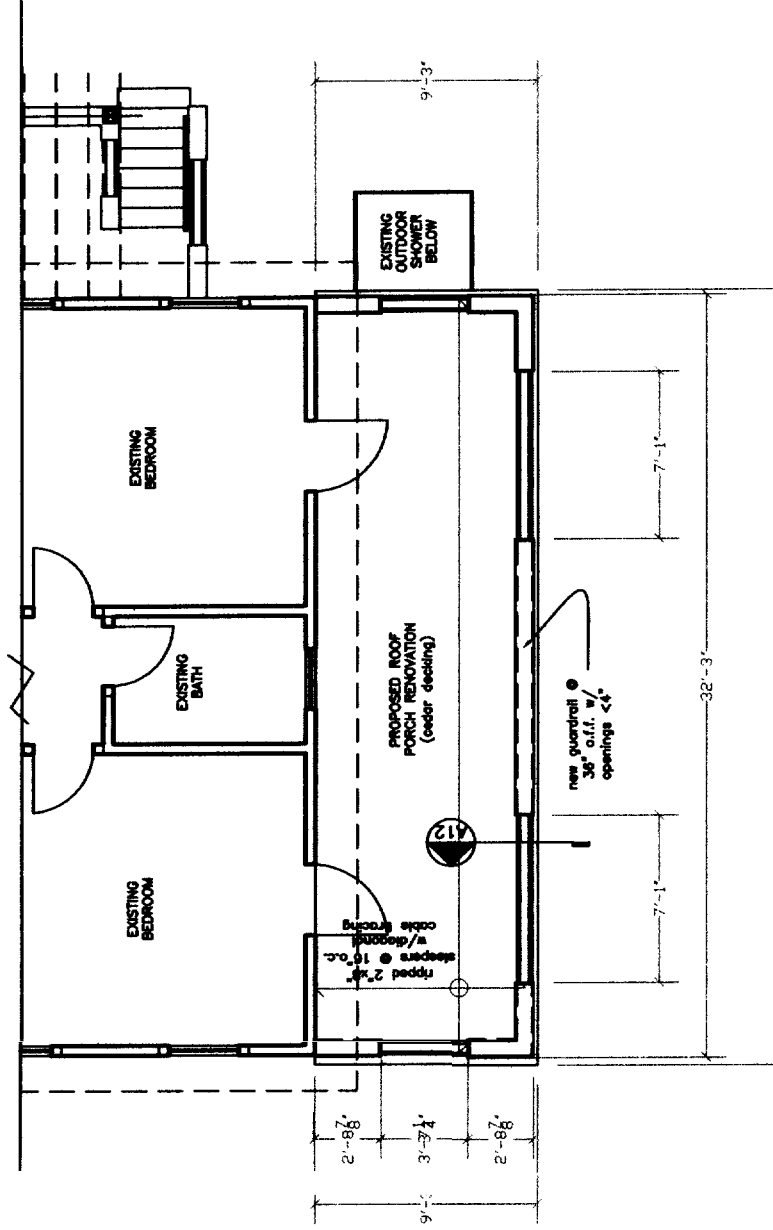


PROJECT Parrott/Braman  
Residence

DATE 8.05.04 REVISED

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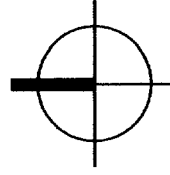
THOMPSON JOHNSON WOODWORKS

115 ISLAND AVENUE  
PEAKS ISLAND ME 04108  
207.766.5919

A6

Notes

proposed south  
elevation

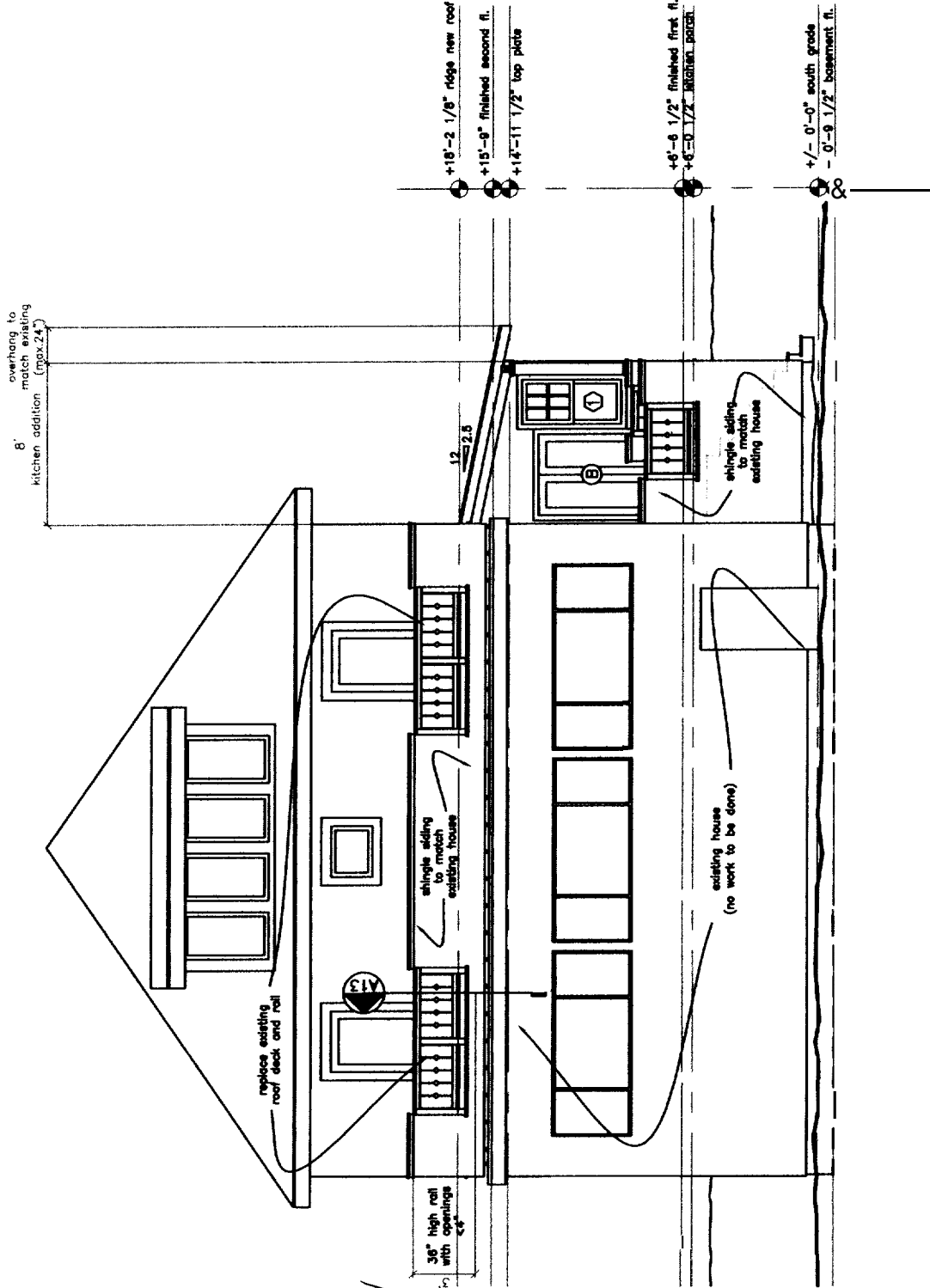


PROJECT Parrott/Braman  
Residence

DATE 8.05.04 REVISED

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ITEM



OK

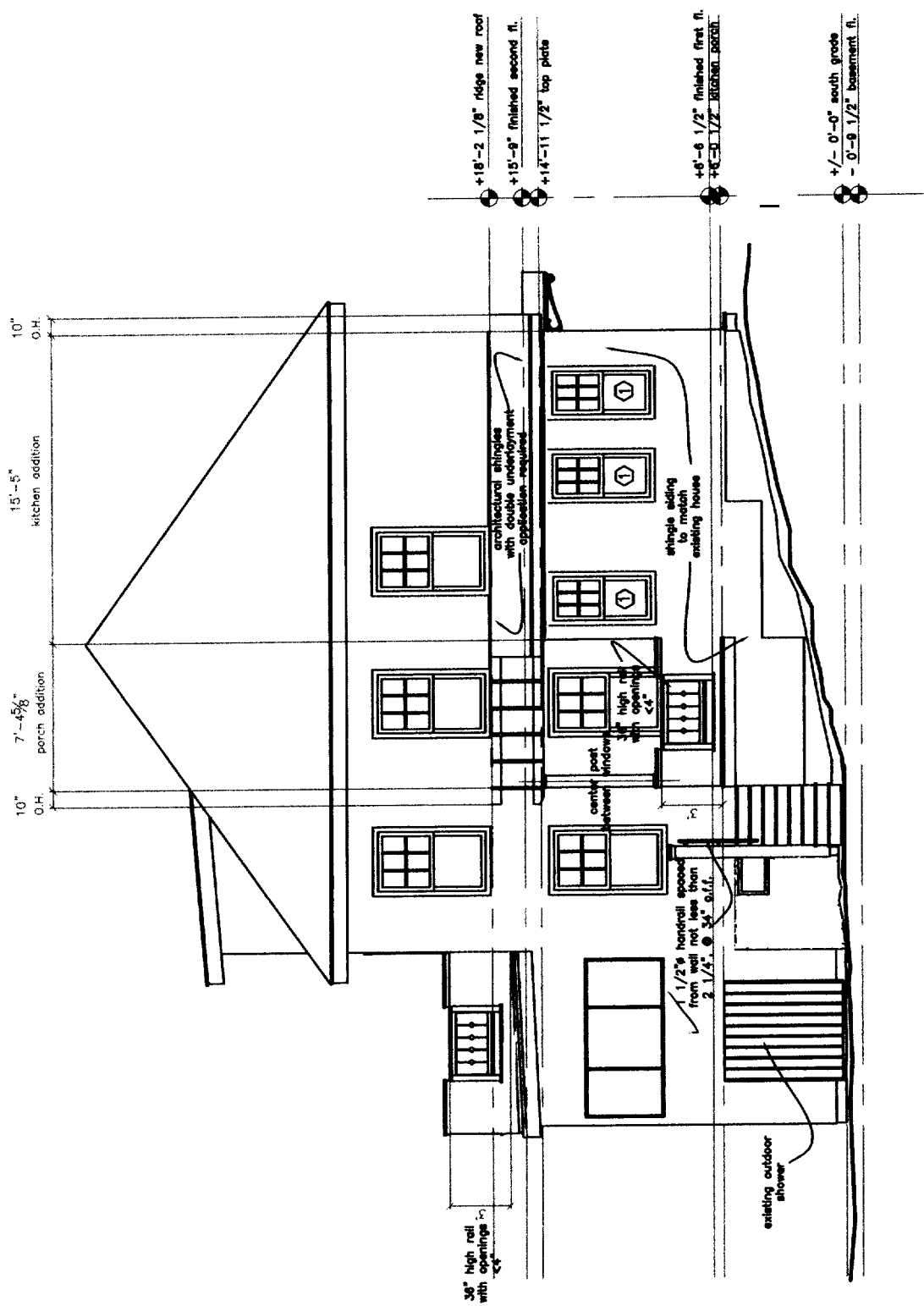
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 115 ISLAND AVENUE  
 PEAKS ISLAND ME 04108  
 207.766.5919

**A7**

Notes

proposed  
 east elevation

PROJECT Parrott/Braman Residence	
DATE	8.05.04
REVISIONS	
SCALE	1/8" = 1'-0"
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 115 ISLAND AVENUE  
 PEAKS ISLAND ME 04108  
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**A8**

Proposed  
 North Elevation

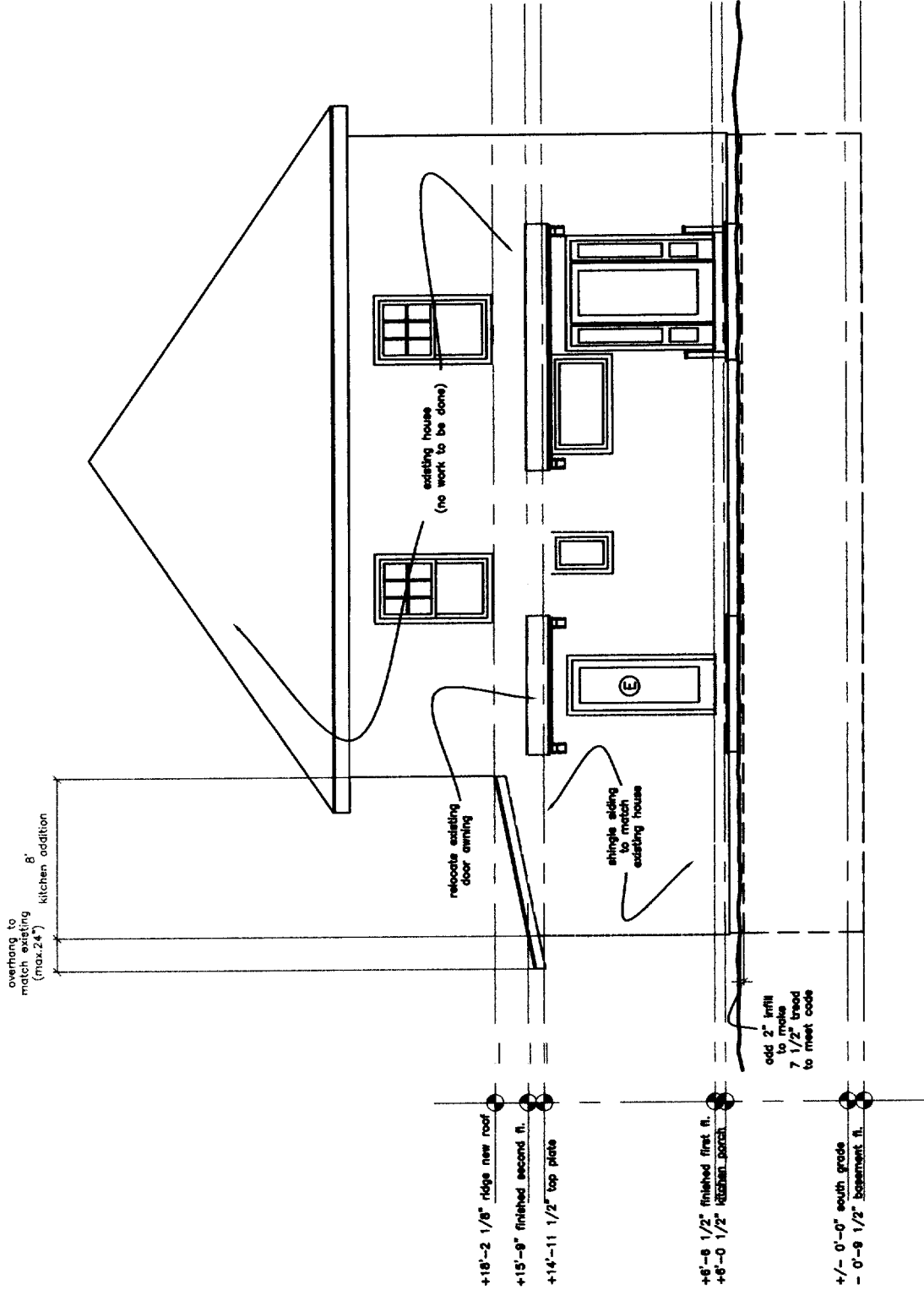
Notes

PROJECT Parrott/Braman  
 Residence

DATE 8.05.04  
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SCALE 1/8"=1'-0"  
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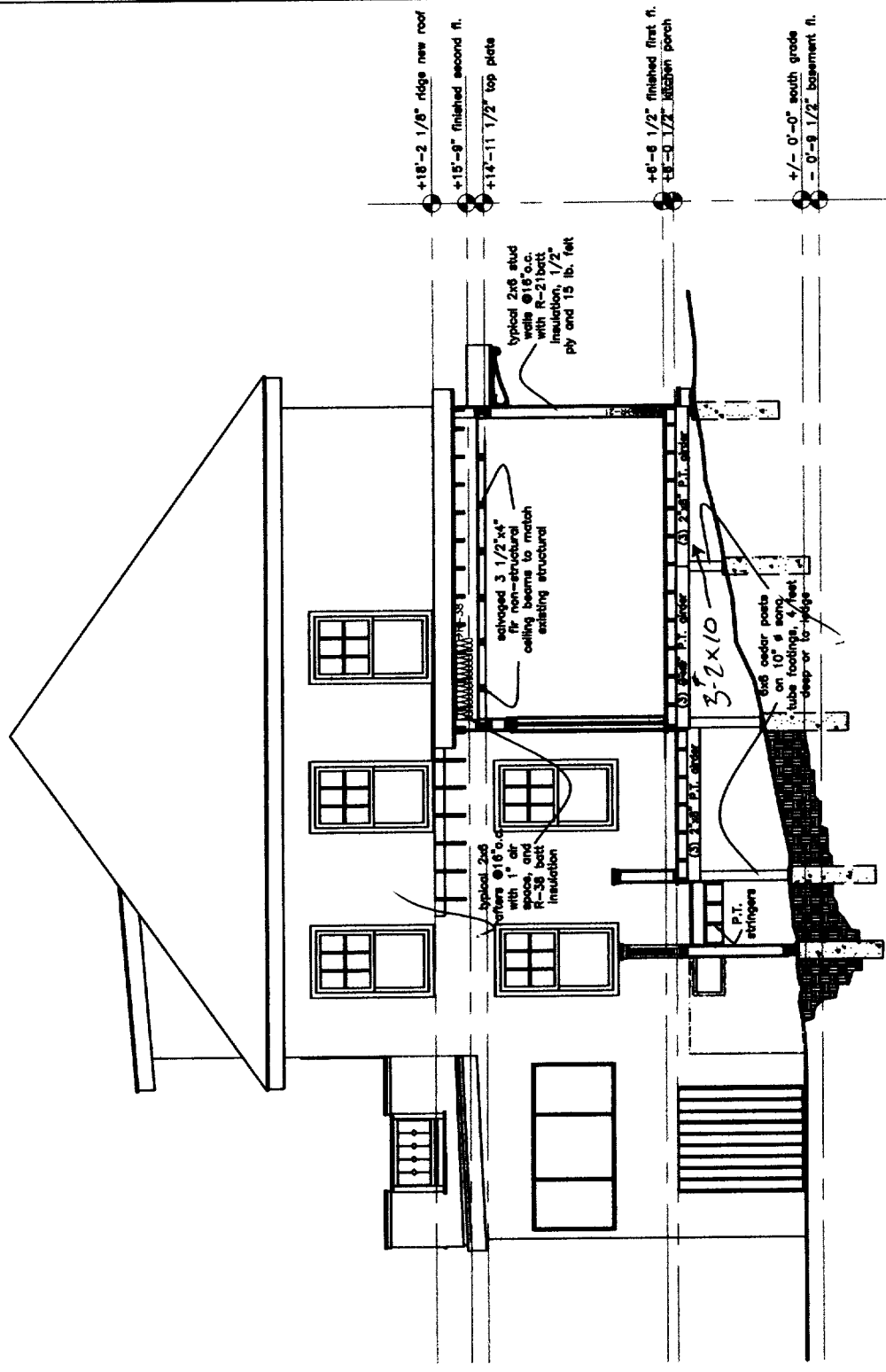
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 115 ISLAND AVENUE  
 PEAKS ISLAND ME 04108  
 207.766.5919

# A9

**Notes**

longitudinal section

PROJECT Berndt Residence	
DATE 8.05.04	REVISED
SCALE 1/8" = 1'-0"	DRAWN BY
ITEM	





THOMPSON JOHNSON WOODWORKS  
 115 ISLAND AVENUE  
 PEAKS ISLAND ME 04108  
 207.766.5919

# A10

**Notes**

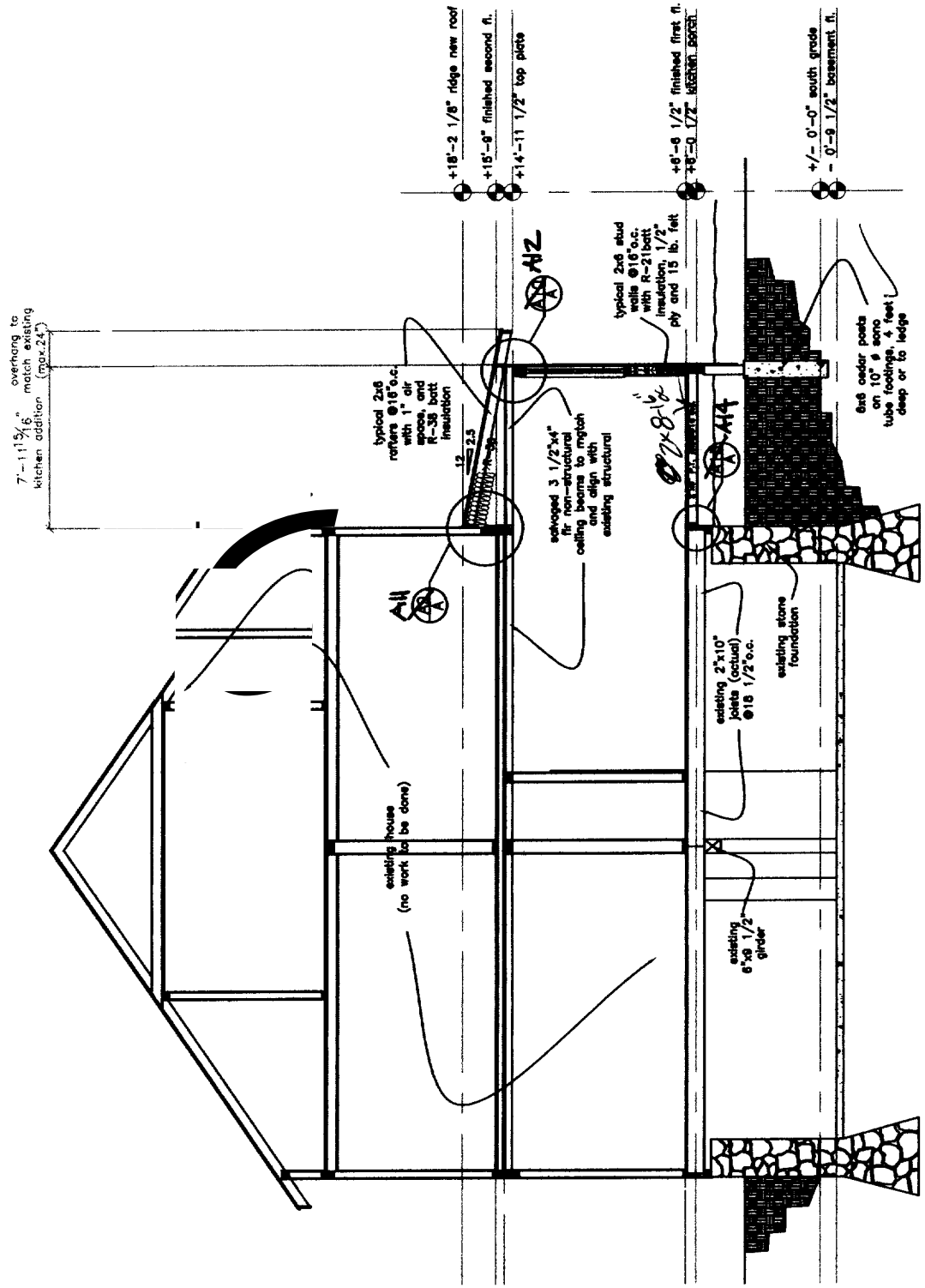
cross section

PROJECT Parrott/Braman  
 Residence

DATE 8.05.04  
 REVISED

SCALE 1/8" = 1'-0"  
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ITEM



THOMPSON JOHNSON WOODWORKS

115 ISLAND AVENUE  
PEAKS ISLAND ME 04108  
207.766.5919

**A11**

Notes

architectural shingle  
over 5/8" ply and  
dbl. underlayment  
of 30 lb. felt

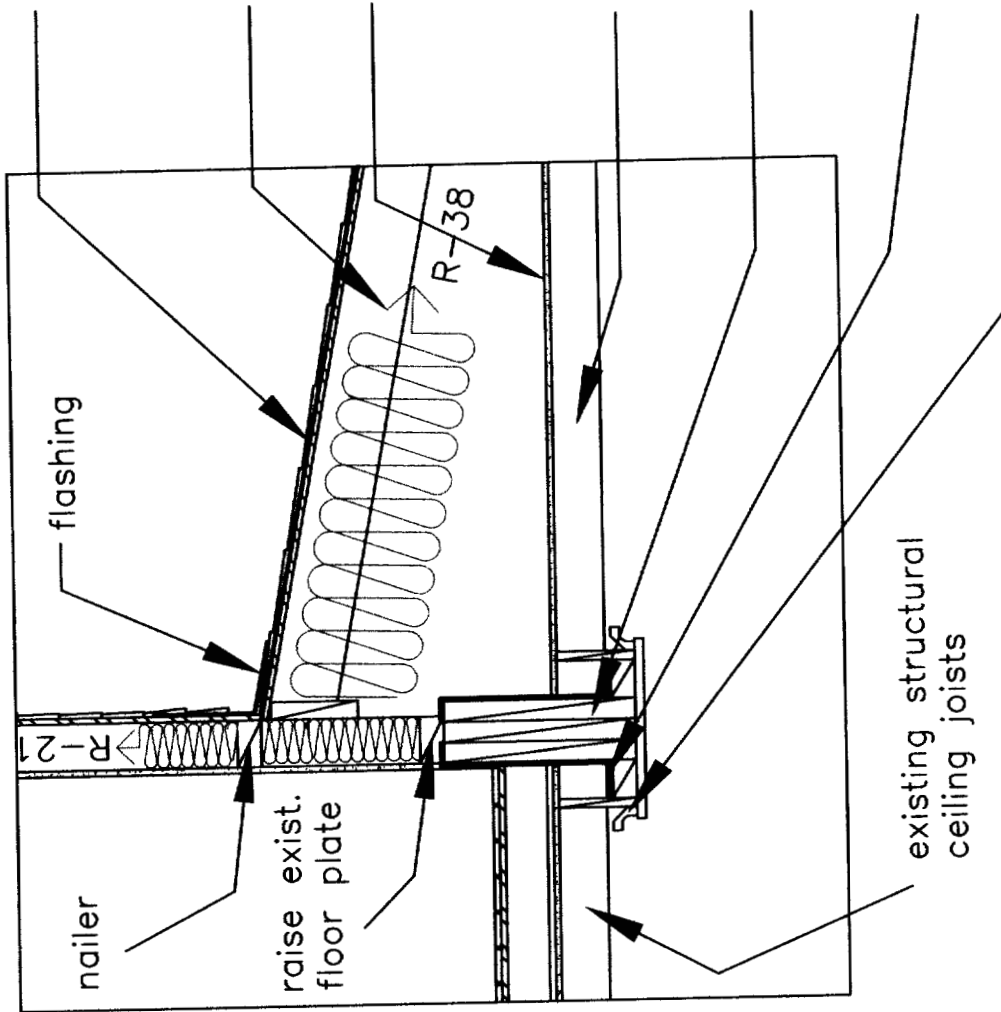
2x6 rafters @16"o.c.  
with 1" air space, and  
R-38 batt insulation ✓

1/2" GWB attached to  
top of ceiling beams

3 1/2"x4" non-  
structural ceiling beams,  
to align and match  
existing structure

(3) 1 3/4"x16" LVL  
pocketed into existing  
floor diaphragm ✓

simpson custom hanger  
crown and box  
around LVL to  
match existing  
beam/crown detail



LVL detail

PROJECT Parrott/Braman  
Residence

DATE 8.05.04 REVISED

SCALE 3/4"=1'-0" DRAWN BY

ITEM

THOMPSON JOHNSON WOODWORKS

115 ISLAND AVENUE  
PEAKS ISLAND ME 04108  
207.766.5919

**A12**

Notes

bird blocking  
and ceiling beams

PROJECT Parrott/Braman  
Residence

DATE 8.05.04  
REVISED

SCALE 3/4"=1'-0"  
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ITEM

architectural shingle  
over 5/8" ply and  
dbl. underlayment  
of 30 lb. felt

2x6 rafters @16" o.c.  
with 1" air space, and  
R-38 batt insulation

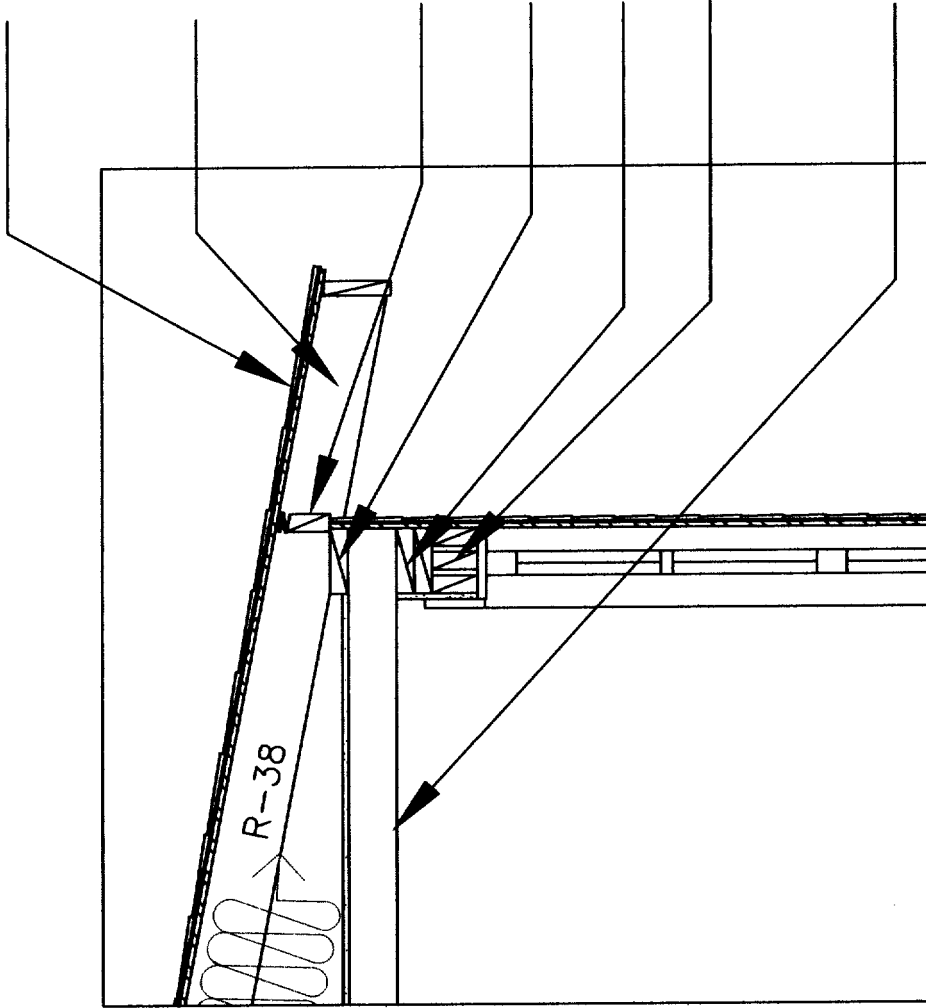
2x bird blocking w/  
1" strip of folded  
cobra vent

2x rafter plate

dbl. top plate

(2)2"x4" header  
(w/spacers)

3 1/2"x4" non-  
structural ceiling beams,  
to align and match  
existing structure



THOMPSON JOHNSON WOODWORKS

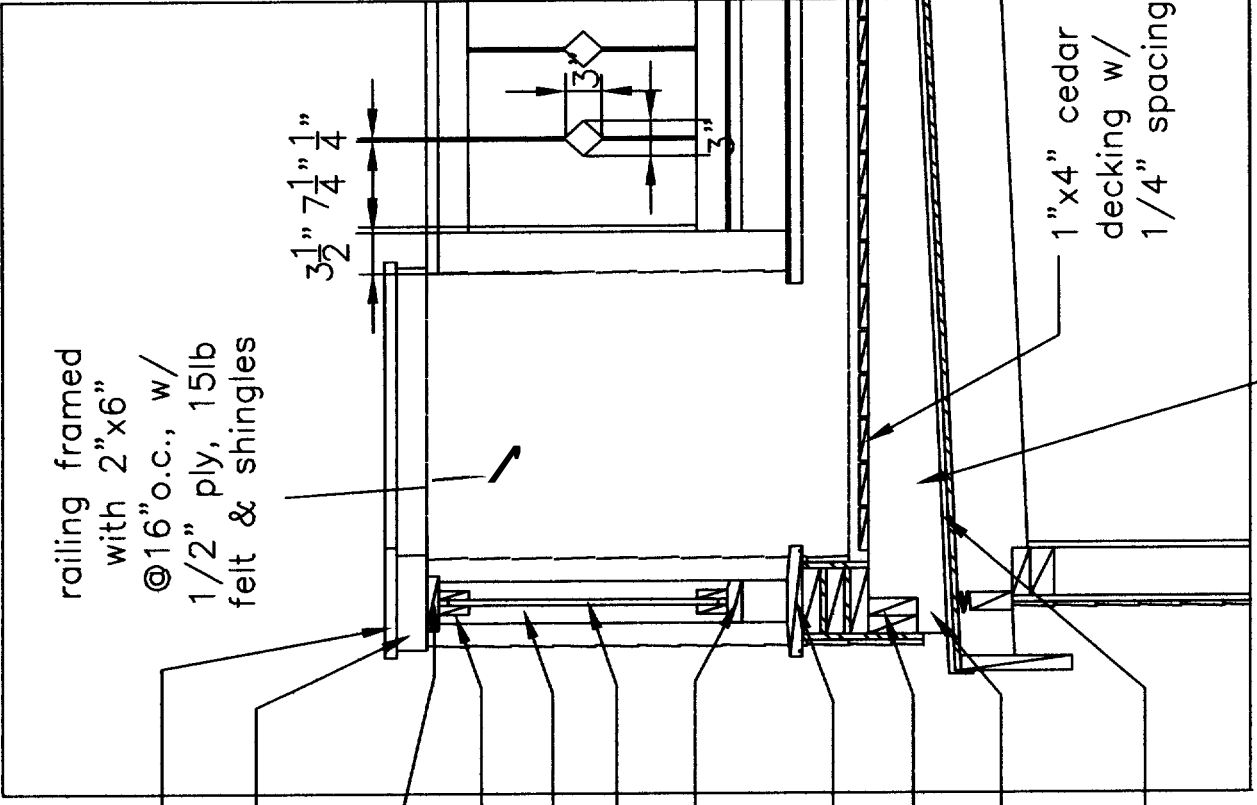
115 ISLAND AVENUE  
PEAKS ISLAND ME 04108  
207.766.5919

# A13

Notes

roof deck  
railing detail

PROJECT Parrott/Braman Residence	
DATE 8.05.04	REVISED
SCALE 3/4" = 1' - 0"	DRAWN BY
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railing framed with 2"x6" @16" o.c., w/ 1/2" ply, 15lb felt & shingles

5/4' x 10' cap

1 x 3' trim

1" x 5" cap

1" x 3" rail

4" x 4" post

3/4" x 8" panels

2" x 4" beveled bottom rail

5/4' x 10" beveled curb cap

(2) blocking

2 1/2" weep

existing architectural shingle roofing

1" x 4" cedar decking w/ 1/4" spacing

2" x 8" joists @ 16" o.c. ripped to slope of existing roof, braced with diagonal cable

*Nip board to structural level deck*

THOMPSON JOHNSON WOODWORKS

115 ISLAND AVENUE  
PEAKS ISLAND ME 04108  
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**A14**

Notes

ledger detail

PROJECT Berndt Residence

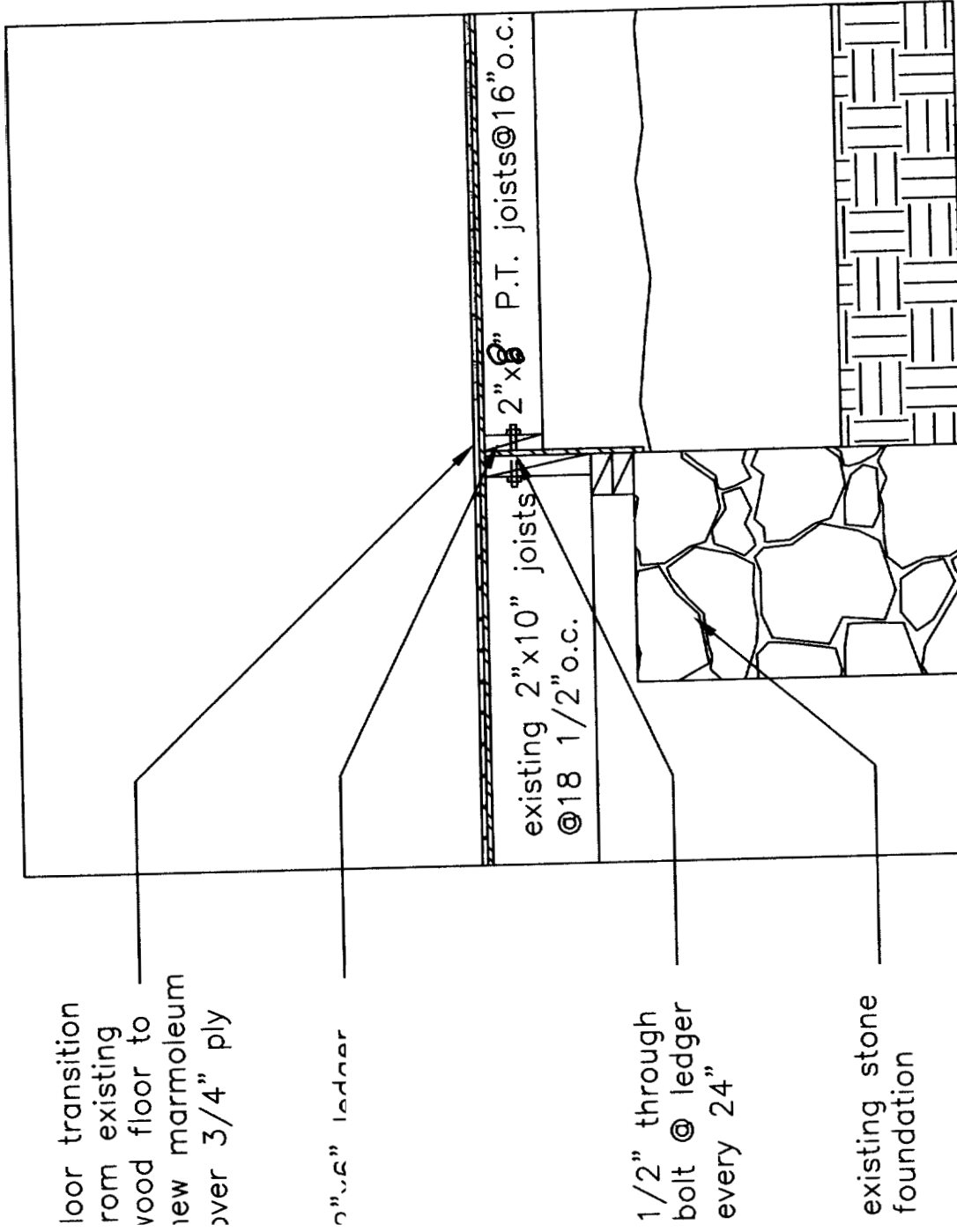
DATE 8.05.04

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SCALE 3" = 1'-0"

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**A15**

Notes

window/door schedule

PROJECT Parrott/Braman  
 Residence

DATE 8.05.04  
 REVISED

SCALE 1/8" = 1' - 0"  
 DRAWN BY

ITEM

Door Schedule

QTY	DOOR	MANUFACT.	MATERIAL	GLASS	OPER	UNIT	WIDTH	HEIGHT	JAMB	HINGE	MORTISE	LOCKSET	PREP	NOTES	HARDWARE
1	A	bonneville	wood w/ single panel, glass	tempered	RH	84"	30"	84"	v.i.f.						
1	PR	B	bonneville	wood w/ single panel, glass	LH, RH	84"	48"	84"	v.i.f.					reuse existing	
1	PR	C	salvage	5 panel doors	LH, RH	v.i.f.	60"	v.i.f.	v.i.f.						
1	D	bonneville	5 panel doors	NA	LH	v.i.f.	24"	v.i.f.	v.i.f.						
1	E	salvage	5 panel doors	NA	LH	v.i.f.	30"	v.i.f.	v.i.f.					reuse existing	

Window Schedule

QTY	WIN.	MANUFACT.	MATERIAL	GLASS	OPER	UNIT	WIDTH	HEIGHT	JAMB	NOTES	HARDWARE
4	1	bonneville	wood	NA	double hung	56	25	5/8"	7/8"		

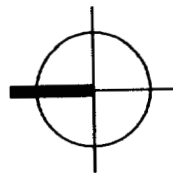
THOMPSON JOHNSON WOODWORKS

115 ISLAND AVENUE  
PEAKS ISLAND ME 04108  
207.766.5919

S1

Notes

foundation plan/  
first floor framing

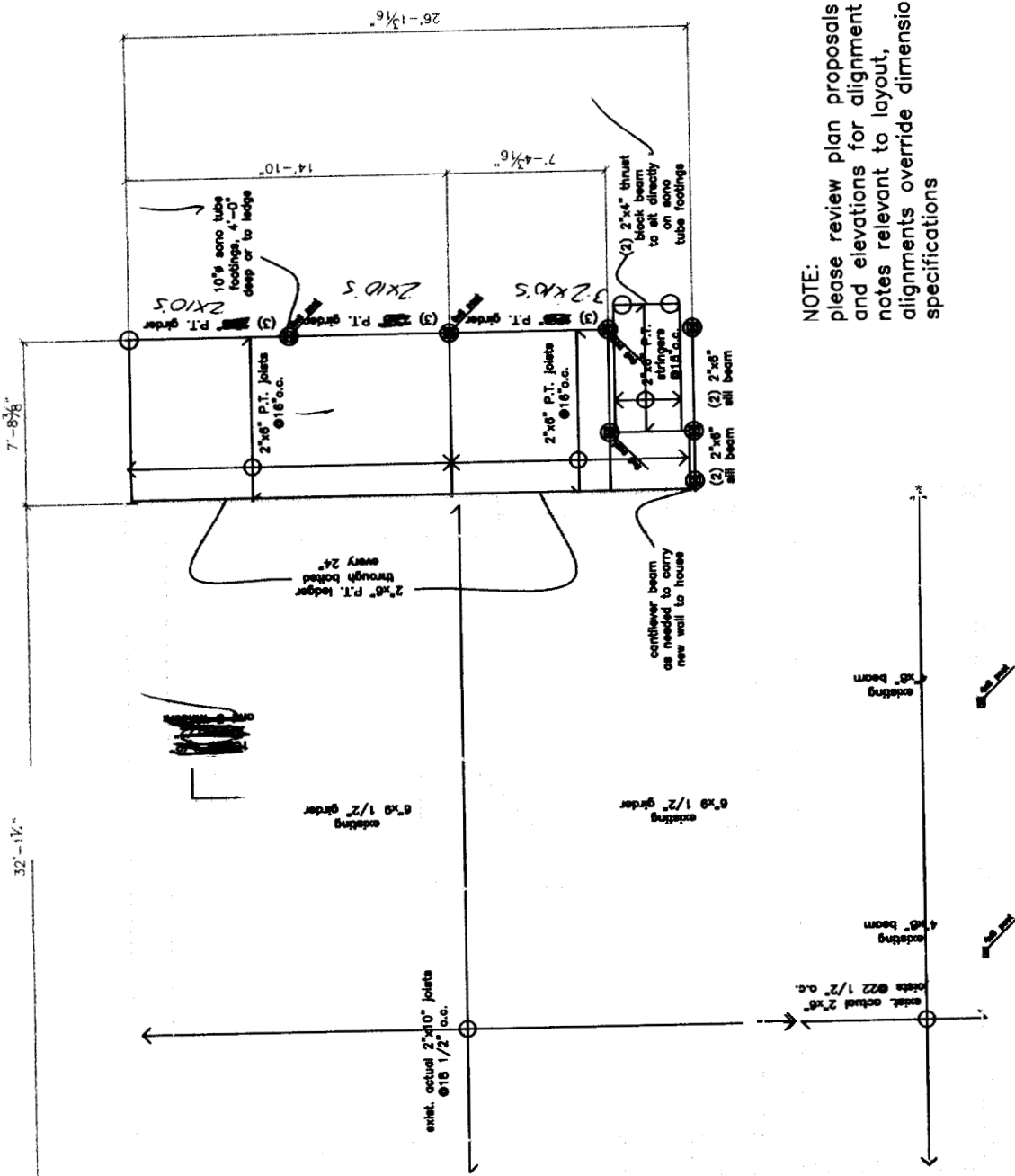


PROJECT Parrott/Braman  
Residence

DATE 8.05.04  
REVISED

SCALE 1/8" = 1'-0"  
DRAWN BY

ITEM



NOTE:  
please review plan proposals  
and elevations for alignment  
notes relevant to layout,  
alignments override dimensional  
specifications





THOMPSON JOHNSON WOODWORKS

115 ISLAND AVENUE  
PEAKS ISLAND ME 04108  
207.766.5919

E1

Notes



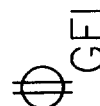






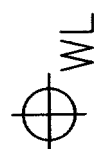
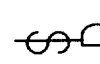


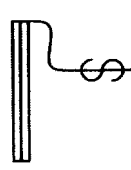


electrical key

PROJECT Parrott/Braman  
Residence

DATE 8.05.04  
REVISED

SCALE 1/8" = 1'-0"  
DRAWN BY

ITEM

	duplex		ceiling mount light fixture
	ground-fault circuit interrupter		pendant light fixture
	220 volt		recessed can light fixture
	switch		wall sconce light fixture
	3 way switch		wet location wall sconce light fixture
	dimmer switch		trak lighting
	smoke detector		fluorescent locally switched
	minimum 50 cfm vent fan		undercounter strip lighting

MIN.50  
CFM

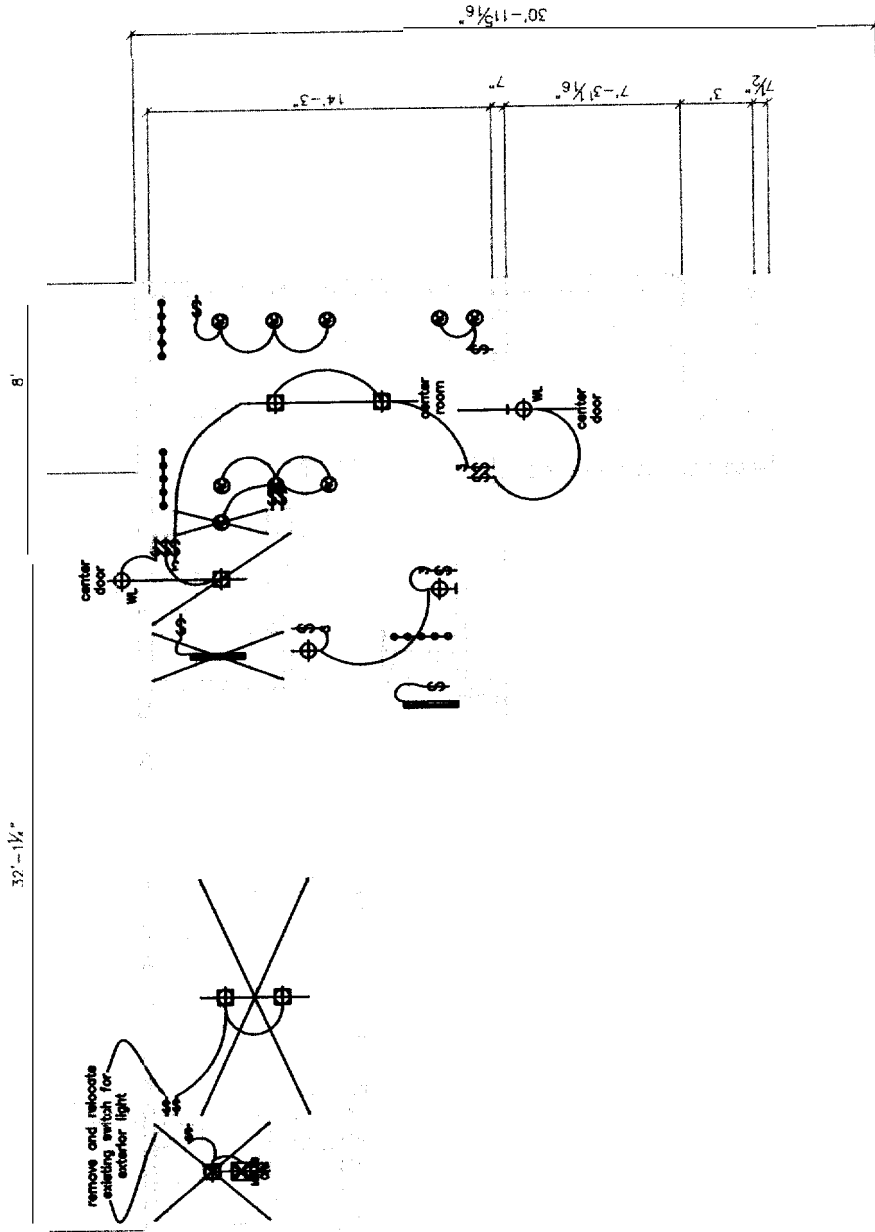
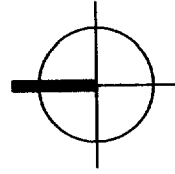
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E2

Notes

first floor  
lighting plan



PROJECT Parrott/Braman  
Residence

DATE 8.05.04  
REVISED

SCALE 1/8" = 1' - 0"  
DRAWN BY

ITEM

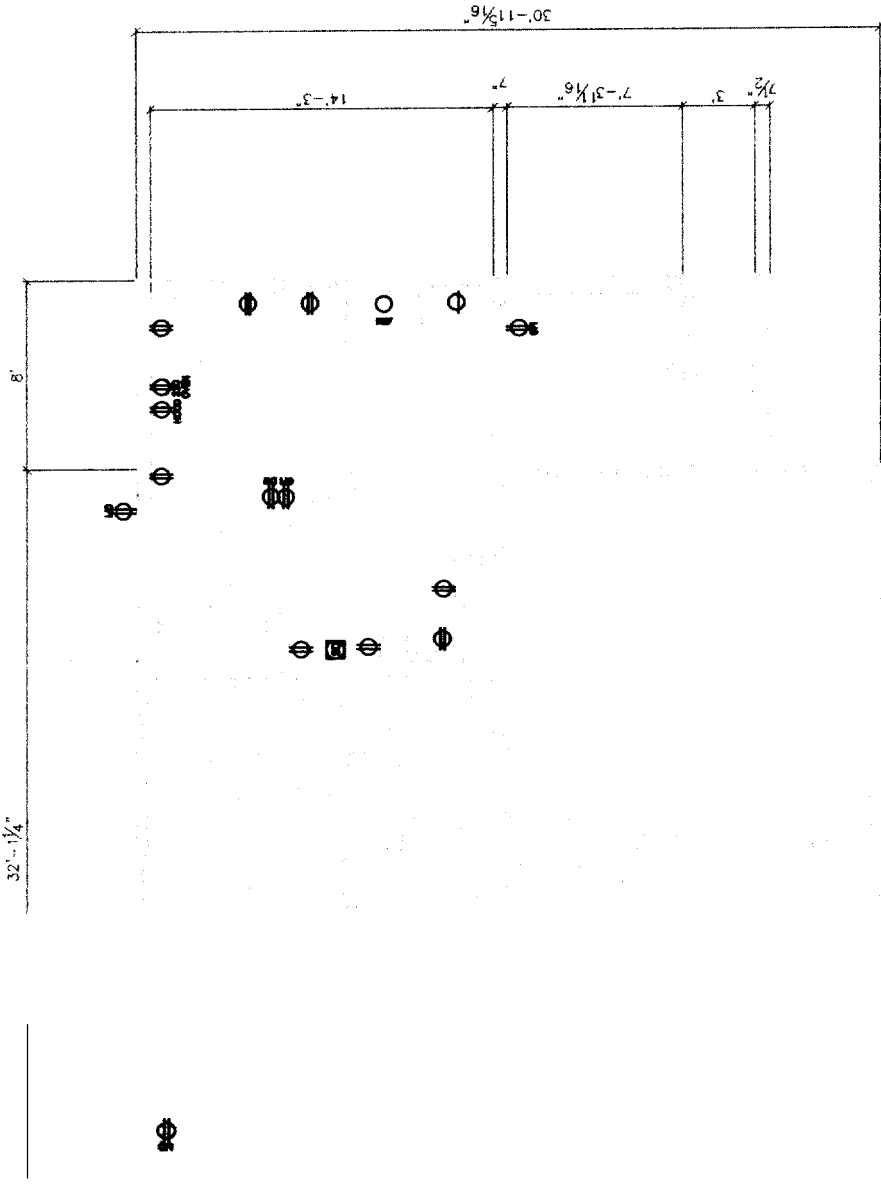
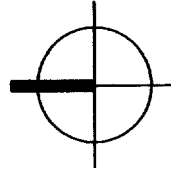
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Notes

first floor  
power plan



PROJECT Parrott/Braman Residence	
DATE	REVISED
8.05.04	
SCALE	DRAWN BY
1/8" = 1'-0"	
ITEM	