

Form # P04

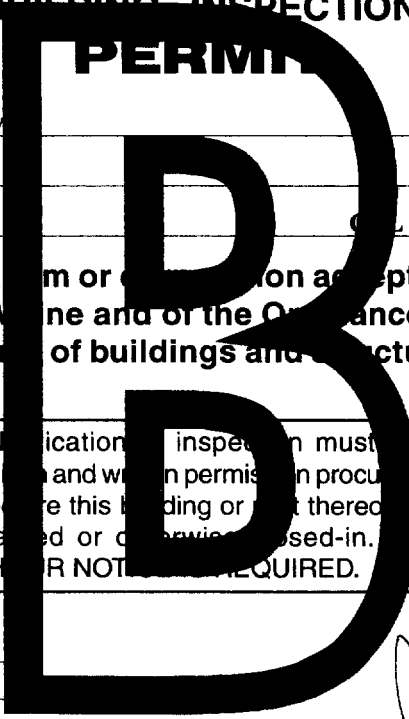
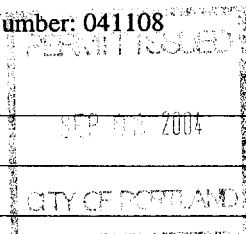
# DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

## BUILDING INSPECTION

### PERMIT

Please Read Application And Notes, If Any, Attached

Permit Number: 041108



This is to certify that Demarco John B/Gary Selby  
has permission to 12 x 16 addition  
AT 29 Sonnet Ln 286 E005001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission is procured before this building or part thereof is altered or otherwise used-in. HOUR NOT REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

#### OTHER REQUIRED APPROVALS

Fire Dept. \_\_\_\_\_  
Health Dept. \_\_\_\_\_  
Appeal Board \_\_\_\_\_  
Other \_\_\_\_\_  
DepartmentName

*Jeannie Bourke* 9/1/04  
Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 04-1108	Issue Date:	CBL: 286 E005001
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Location of Construction: 29 Sonnet Ln	Owner Name: Demarco John B	Owner Address: 29 Sonnet Ln	Phone:
Business Name:	Contractor Name: Gary Selby	Contractor Address: P O Box # 8546 Portland	Phone: 2077733510
Lessee/Buyer's Name	Phone:	Permit Type: Building Miscellaneous	Zone: R3
Past Use: single family	Proposed Use: single family	Permit Fee:	Cost of Work: \$27,000.00
			CEO District: 3
Proposed Project Description: 12 x 16 addition		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R3 BOCA 1999 Type: SB
		Signature:	Signature: JMB 9/1/04
		Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied	
		Signature: _____ Date: _____	

Permit Taken By: dmartin	Date Applied For: 08/04/2004	<b>Zoning Approval</b>	
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<input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: JMB 9/1/04	Special Zone or Reviews Approved to remain a single family home	<input type="checkbox"/> Variance <input checked="" type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Zoning Appeal Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: JMB
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**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK. TITLE		DATE	PHONE

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<b>Permit No:</b> 04-1108	<b>Date Applied For:</b> 08/04/2004	<b>CBL:</b> 286 E005001
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<b>Location of Construction:</b> 29 Sonnet Ln	<b>Owner Name:</b> Demarco John B	<b>Owner Address:</b> 29 Sonnet Ln	<b>Phone:</b>
<b>Business Name:</b>	<b>Contractor Name:</b> Gary Selby	<b>Contractor Address:</b> P O Box # 8546 Portland	<b>Phone</b> (207) 773-3510
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Building Miscellaneous	
<b>Proposed Use:</b> single family w/12' x 16' addition		<b>Proposed Project Description:</b> 12 x 16 addition	

**Dept:** Zoning      **Status:** Approved      **Reviewer:** Jeanine Bourke      **Approval Date:** 09/01/2004**Note:** **Ok to Issue:** 

- 1) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.

**Dept:** Building      **Status:** Approved with Conditions      **Reviewer:** Jeanine Bourke      **Approval Date:** 09/01/2004**Note:** 9/1/04 left vm w/Gary S. for clarification of plans. **Ok to Issue:** Gary returned call and added information is noted on plans, **ok** to issue

- 1) The design load spec for the engineered beam must be submitted to this office
- 2) Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans.
- 3) Separate permits are required for any electrical, plumbing, or heating.

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

**Current Owner Information**

Card Number	1 of 1
Parcel ID	286 E005001
Location	29 SONNET LN
Land Use	SINGLE FAFILY
Owner Address	DEMARCO JOHN B 29 SONNET LN PORTLAND NE 04103
Book/Page	14215/263
Legal	28b-E-5 SONNET LN 29-33  9259 SF

*R3 Zone*

**Valuation Information**

Land	Building	Total
\$35,070	\$97,760	\$132,830

**Property Information**

Year Built 1965	Style Garrison	Story Height 2	Sq. Ft. 1627	Total Acres 0.213		
Bedrooms 3	Full Baths 1	Half Baths 1	Total Rooms 7	Attic None	Basement Full	

**Outbuildings**

Type	Quantity	Year Built	Size	Grade	Condition
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**Sales Information**

Date	Type	Price	Book/Page
10/13/1998	LAND + BLDING		14215-263
11/24/1997	LAND + BLDING		13458-202

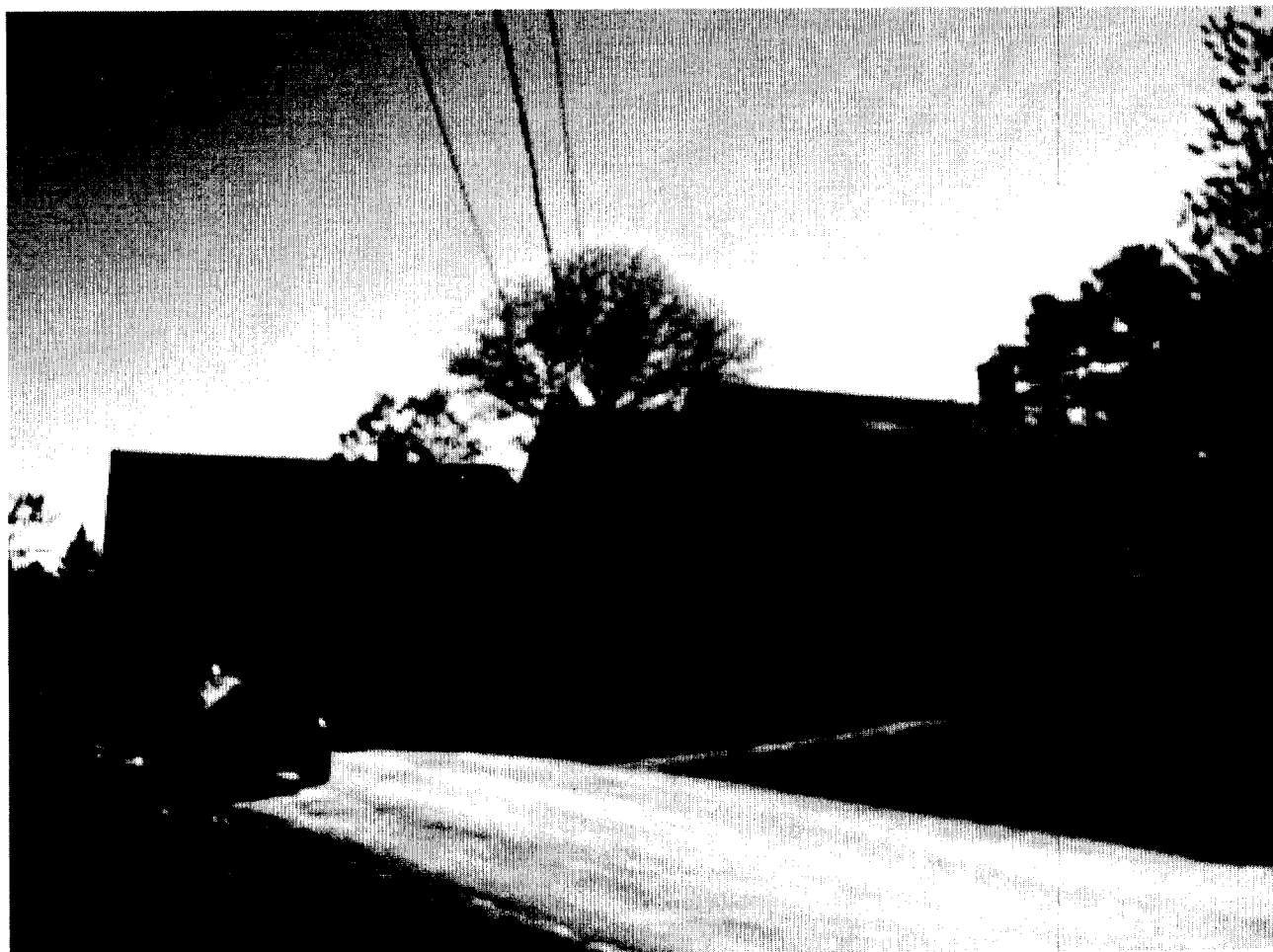
**Picture and Sketch**

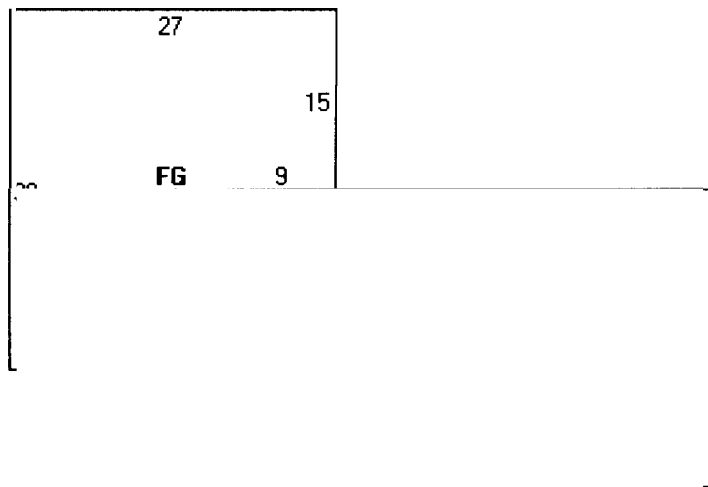
[Picture](#)                      [Sketch](#)

[Click here](#) to view Tax Roll Information.

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or e-mailed.







Descriptor/Area

- A 2Fr/B  
520 sqft
- B: 1.5Fr/B  
264 sqft
- C: 1Fr  
120 sqft
- D: FG  
675 sqft
- E: FOH  
5 sqft
- F: WD  
110 sqft

1,694

192 New

1,886 #

Lot = 9,259 #  
x 25%

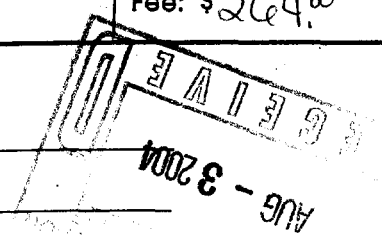
2,314.75

OK

# All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>29 Sonnet Lane, Pfd, Me 04102</u>		
Total Square Footage of Proposed Structure <u>192'</u>	Square Footage of Lot <u>12,740 approx.</u>	
Tax Assessor's Chart, Block & Lot Chart#      Block#      Lot# <u>286</u> <u>E</u> <u>005</u>	Owner: <u>John Demarco</u> <u>Irma Demarco</u>	Telephone: <u>207-415-5056</u> <u>207-774-4932</u>
Lessee/Buyer's Name (if Applicable)  <u>N/A</u>	Applicant name, address & telephone:  _____	Cost Of Work: \$ <u>27,000 approx.</u>  Fee: \$ <u>264.00</u>
Current use: <u>1-Family Dwelling</u> If the location is currently vacant, what was prior use: _____ Approximately how long has it been vacant: _____ Proposed use: <u>living space</u> Project description: _____		
Contractor's name, address & telephone: <u>Dary Selby - PO Box 8546, Pfd, Me 04102</u> <u>773-3510</u>		
Who should we contact when the permit is ready: <u>Christine Borden - 780-1677</u> Mailing address: <u>29 Sonnet Lane, Pfd, Me 04102</u>		
We will contact you by phone when the permit is ready, You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up.      PHONE: <u>780-1677-X-123</u>		



IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

OB

CK# 2325

**Gary Selby - General Contractor - PO Box 8546 Portland: ME 04104**  
*Improving your Quality of Life Since 1976 - Tel. 207-773-3510*

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John De Marco  
29 Sonnet Lane  
Portland, ME 04102

774-4932 415-5056 780-0169

July 27, 2004

RE: Cost for construction of new (12x16) bedroom addition at 29 Sonnet Lane, Portland, ME. (*Frame and Shell only*)

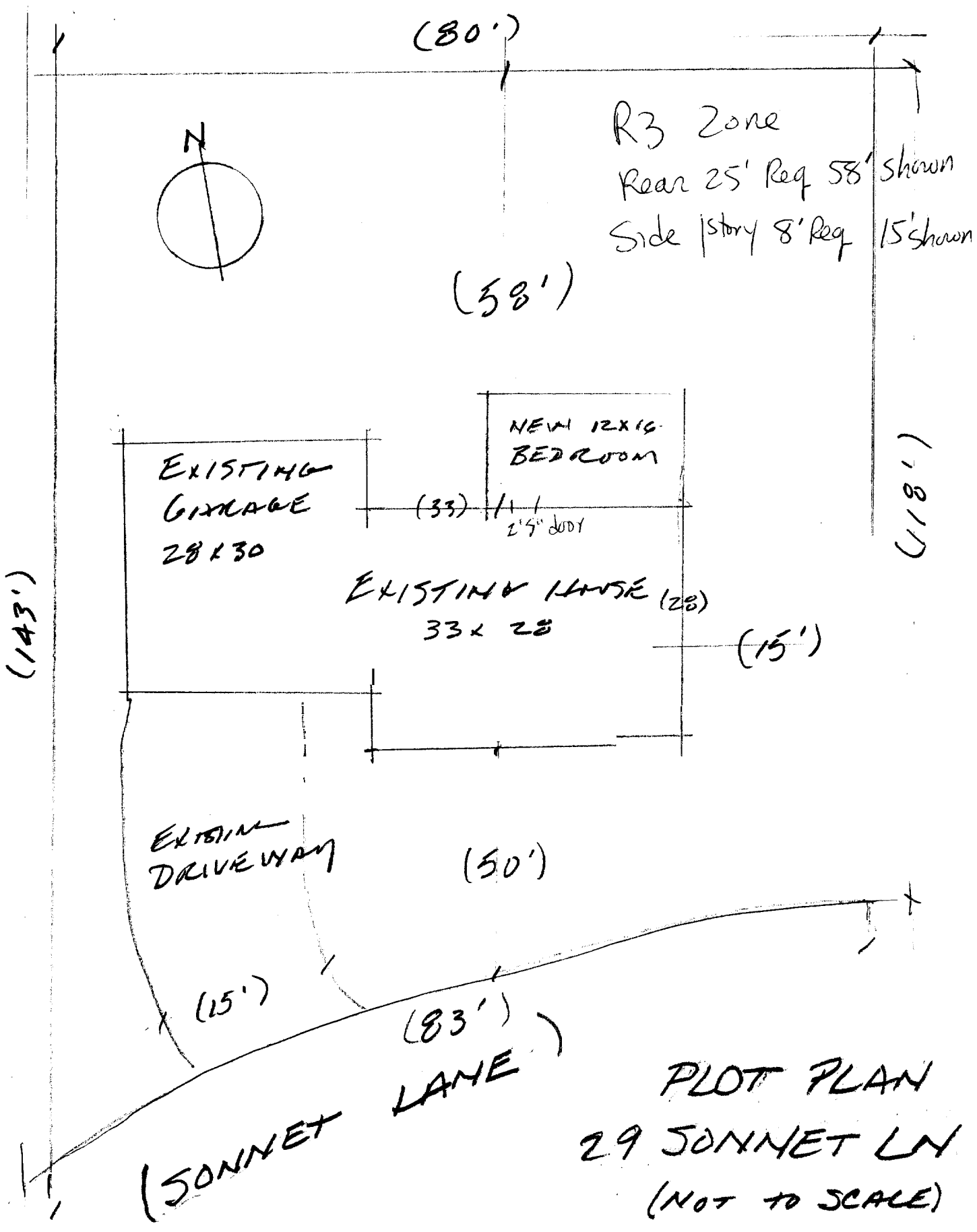
***Job Description and Specifications***

- (1) Excavation – Excavate area for new full foundation – remove clay, backfill with sand, provide crushed stone and new perforated drains.
- (2) Foundation – Remove (1) section of damaged foundation wall, pour new 16” footer and 8”x8’ foundation walls – (2) 16’ walls and (1) 16’ wall. Install a new beam made of (3) 2x8x16’ to replace damaged foundation wall with a concrete filled lally column @ 8’ on center (including new footer) and 3-1/2” concrete floor to match existing.
- (3) Framing – Install roll sill seal, 2x6 PT shoe, 2x8x10 floor joist @ 16” on center 2x8 box sill, 3/4” plywood sub floor, 2x4 stud walls with 1/2” OSB sheathing, Tyvec air infiltration barrier, 2x4x16’ truss roof @ 16” on center with 1/2” plywood sheathing, 15lb felt paper 8” aluminum drip edge, asphalt shingles to match existing
- (4) Finish – Install Vinyl siding and trim to match the existing house.
- (5) Windows – Reuse existing windows on rear elevation – install (1) new window on east elevation to match existing rear window.

***Cost – to provide all labor and materials to complete the work as described***

**\$26,781.52**

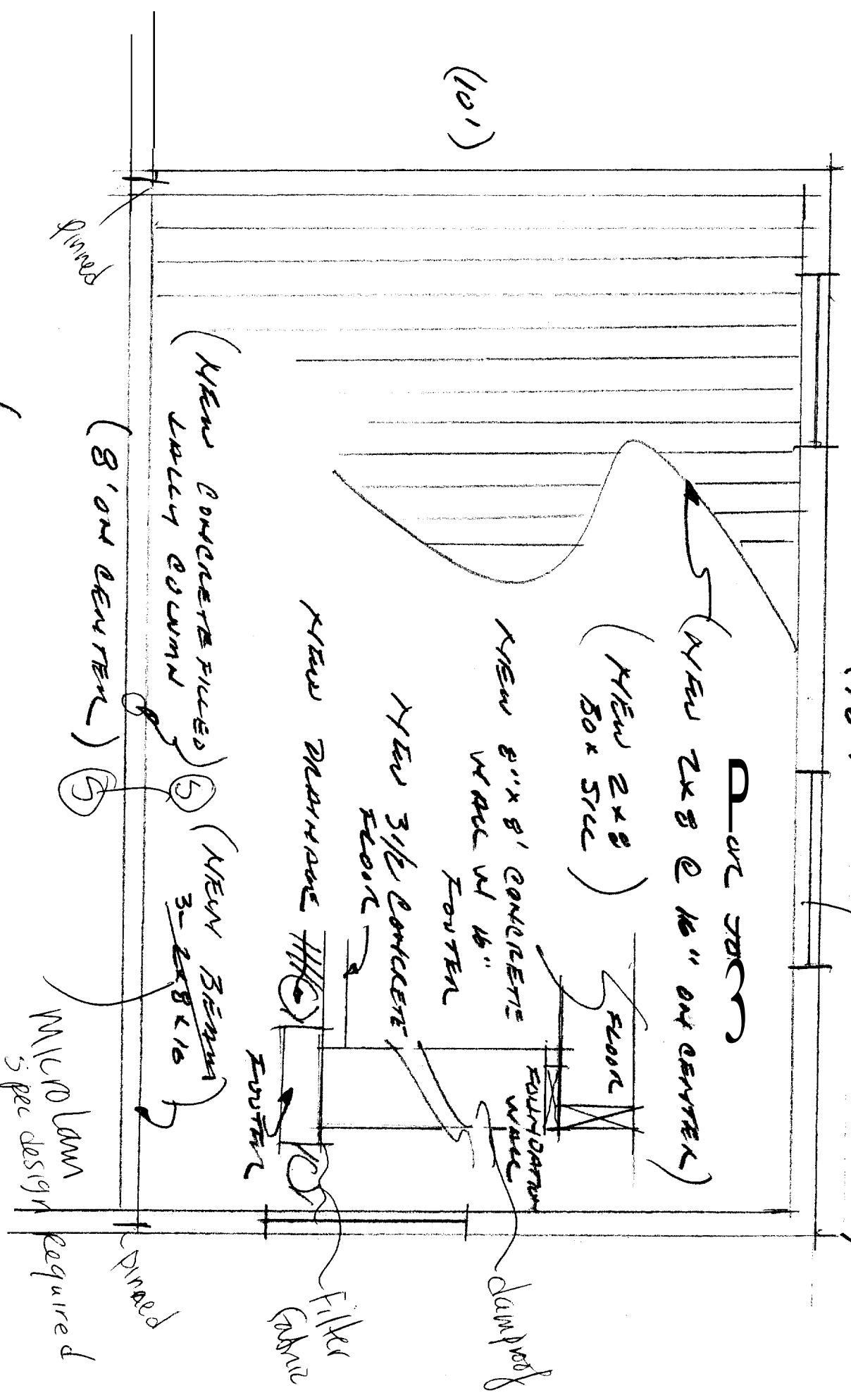




Notes per Gary Selby phone con.  
9/1/04  
(16')

(Eggs) 5.7. #

(101)



DRIVE JACK

(NEW 2x8 @ 16" ON CENTER)

(NEW 2x8 BOX SILL)

NEW 8" x 8" CONCRETE WALL w/ 16" FORTEN

NEW 3 1/2" CONCRETE FLOOR

NEW DRAINAGE PIPE

(NEW CONCRETE FILLED WALL COLUMN)

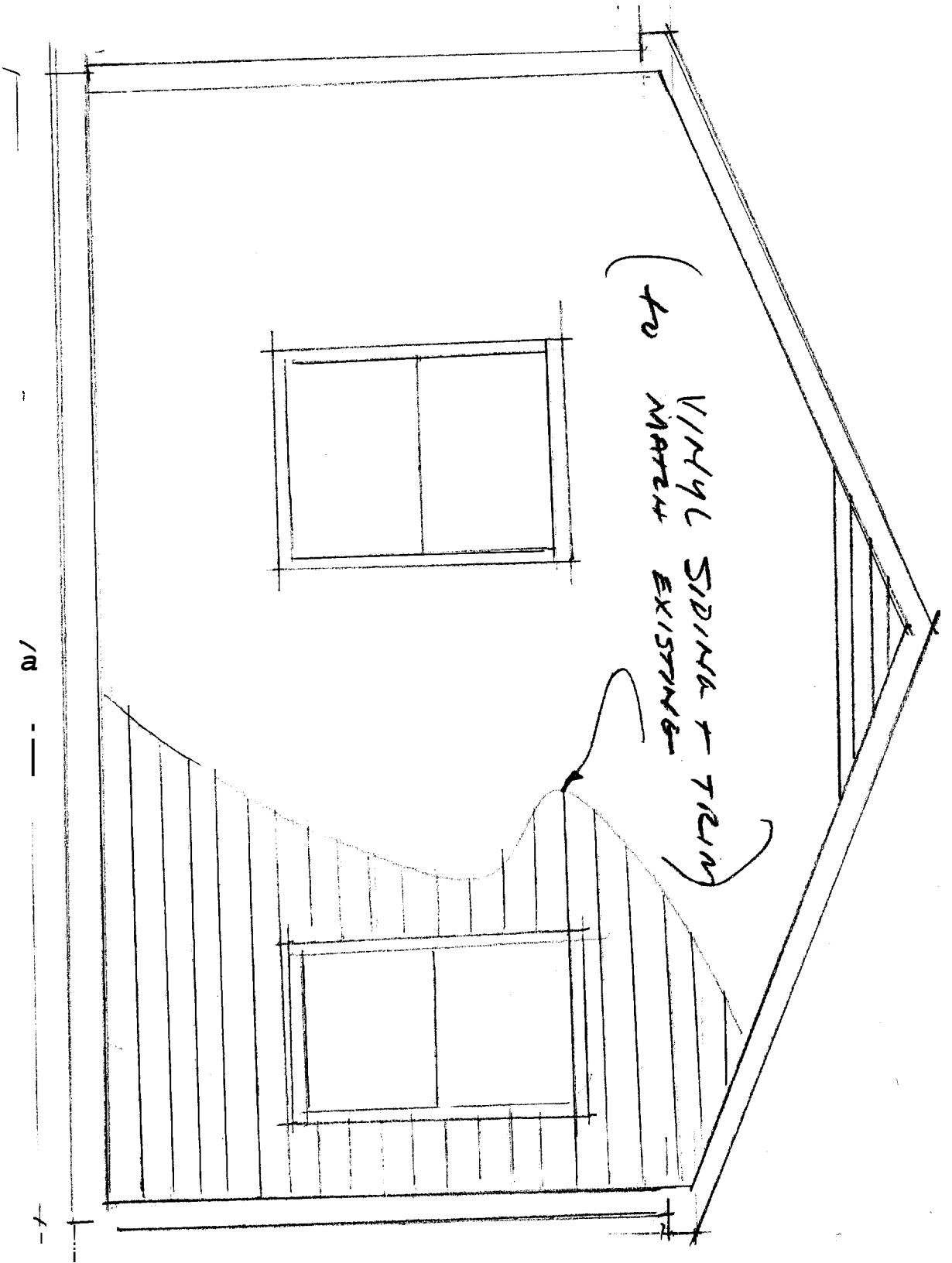
(NEW 3x3x10)

(8' ON CENTER)

MILK LAMM 5' per design

required

(FOLLOW DRAWING AND FLOOR FRAMING)

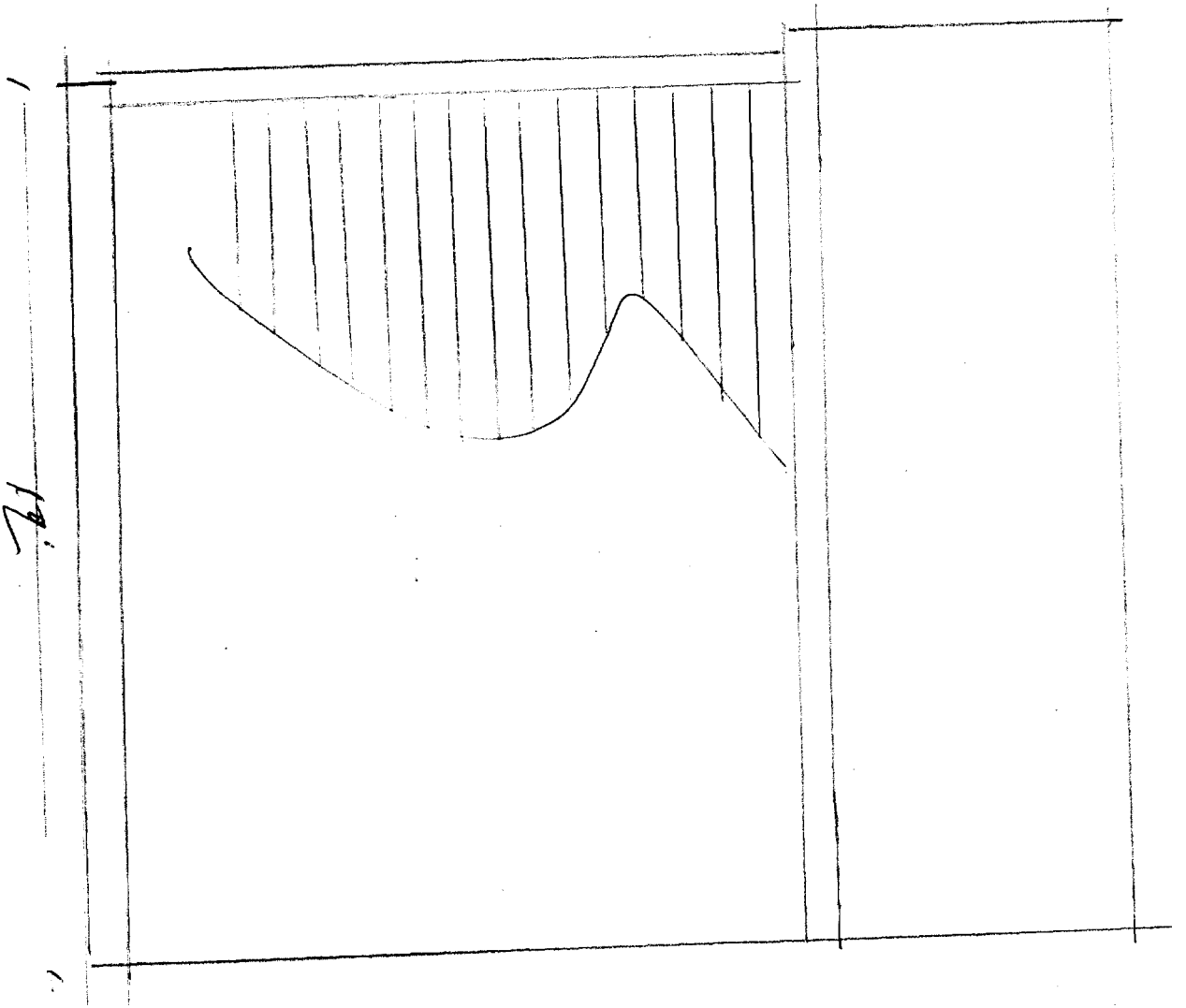


(VINYL SIDING + TRIM)  
TO MATCH EXISTING

REAR ELEVATION  
(SCALE 1/4" = 1 FOOT)

1/8" ---

(WEST ELEVATION)  
SCALE 1/4" = 1 FOOT



( EAST ELEVATION )  
SCALE 1/4" = 1 FOOT

12'

