

LOCATION PLAN
SCALE: 1"=500'

GENERAL NOTES

- OWNER: CHABOT STREET, LLC, 100 SILVER STREET, PORTLAND, MAINE, 04101.
DEVELOPER: INFINITY FEDERAL CREDIT UNION, 202 LARRABEE ROAD, WESTBROOK, ME 04092, CUMBERLAND COUNTY REGISTRY OF DEEDS BK 15651, PG. 19, DATE AUGUST, 11, 2000.
- ENGINEER: PINKHAM & GREER CIVIL ENGINEERS, 28 VANNAH AVENUE, PORTLAND, MAINE, 04103.
- ARCHITECT: TLA INC., 400 US ROUTE ONE, SUITE A SOUTH, FALMOUTH, MAINE 04105.
- TOPOGRAPHIC AND BOUNDARY INFORMATION: MAINE SURVEY CONSULTANTS, INC., HARRISON, MAINE. REFERENCE IS MADE FOR PLAN OF LAND FOR PINKHAM & GREER CONSULTING ENGINEERS, 28 VANNAH AVE, PORTLAND ME 04103, OWNER OF RECORD: CHABOT STREET LLC, DATED MAY 2016.
BENCHMARK: ELEVATIONS BASED ON GPS OBSERVATIONS AND ADJUSTED TO NGVD 29
- UNDERLYING SOILS: FILLED LAND.
- ZONE: B2
PROPOSED USE: PROFESSIONAL OFFICE
- TAX MAP REFERENCE: MAP 112 / LOT 11.
- TOTAL PARCEL = LEASED AREA = 0.3865 ACRES
- CALL DIG-SAFE PRIOR TO COMMENCING WORK, 811 OR 1-888-DIG-SAFE.
- LOT AREAS & COVERAGE RATIOS, FRONTAGE AND SETBACKS ARE AS SHOWN ON PLAN AND IN ZONING INFORMATION NOTES.
- LOT IS SERVICED BY EXISTING PUBLIC WATER AND SEWER SERVICE.
- POWER, TELEPHONE AND CABLE ARE TO BE UNDERGROUND FROM EXISTING POLE OR TRANSFORMER.
- ALL WORK WITHIN THE PUBLIC RIGHT OF WAY SHALL MEET CITY OF PORTLAND TECHNICAL MANUAL STANDARDS.
- FLOODPLAIN: THIS PROPERTY IS IN ZONE C OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL 230051 0013 B, EFFECTIVE DATE JULY 17, 1996. IT IS NOT IN A SPECIAL FLOOD HAZARD ZONE.
- SNOW CLEARANCE REQUIREMENTS ARE AS NOTED ON THIS SHEET UNDER SNOW CLEARANCE NOTES.
- ALL CONSTRUCTION AND SITE ALTERATIONS SHALL BE DONE IN ACCORDANCE WITH THE "MAINE EROSION AND SEDIMENT CONTROL BMPs" PUBLISHED BY THE BUREAU OF LAND AND WATER QUALITY, MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION, LATEST EDITION, MARCH 2003.

CITY OF PORTLAND SITE PLAN NOTES

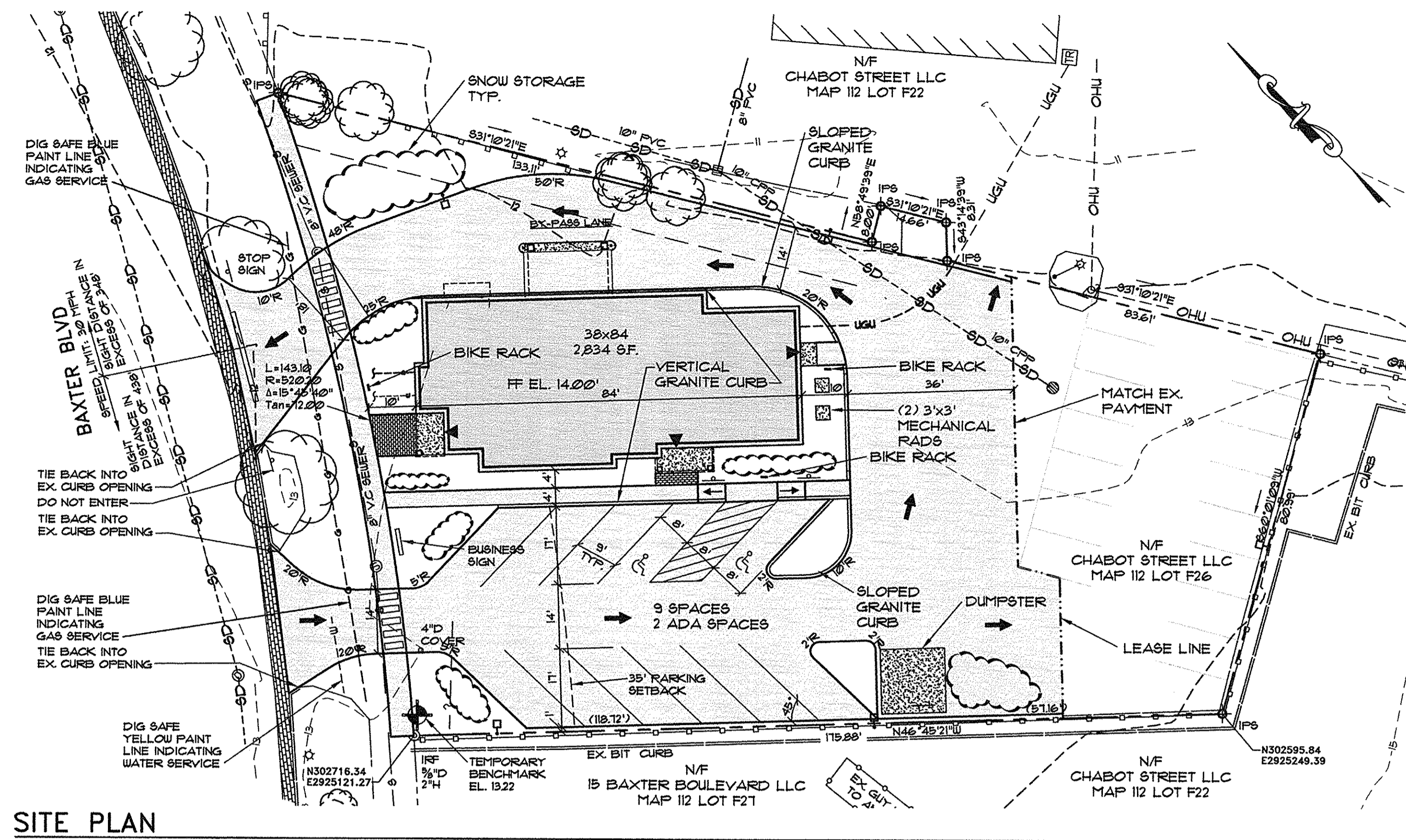
- LANDSCAPING SHALL MEET THE "ARBORICULTURAL SPECIFICATIONS AND STANDARDS OF PRACTICE AND LANDSCAPE GUIDELINES" OF THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
- THE ENTIRE SITE SHALL BE DEVELOPED AND/OR MAINTAINED AS DEPICTED ON THE SITE PLAN. APPROVAL OF THE PLANNING AUTHORITY OR PLANNING BOARD SHALL BE REQUIRED FOR ANY ALTERATION TO OR DEVIATION FROM THE APPROVED SITE PLAN, INCLUDING, WITHOUT LIMITATION, TOPOGRAPHY, DRAINAGE, LANDSCAPING, RETENTION OF WOODED OR LAWN AREAS, ACCESS, SIZE, LOCATION, AND SURFACING OF PARKING AREAS AND LOCATION AND SIZE OF BUILDINGS.
- ALL POWERLINE UTILITIES SHALL BE UNDERGROUND.
- SIDEWALKS AND CURBING SHALL BE DESIGNED AND BUILT WITH TIPPDOWN RAMPS AT ALL STREET CORNERS, CROSSWALKS AND DRIVEWAYS IN CONFORMANCE WITH THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
- ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE MAINE EROSION AND SEDIMENT CONTROL BMPs PUBLISHED BY THE BUREAU OF LAND AND QUALITY, MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION, MARCH 2003.
- ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY SITE EXCAVATION OR REGRADING.
- ALL DISTURBED AREAS ON THE SITE NOT COVERED BY BUILDINGS OR PAVED AREAS SHALL BE STABILIZED WITH LOAM AND SEED OR OTHER METHODS AS REQUIRED BY BEST MANAGEMENT PRACTICES (SEE ABOVE).
- PRIOR TO CONSTRUCTION, A PRECONSTRUCTION MEETING SHALL BE HELD AT THE PROJECT SITE WITH THE CONTRACTOR, DEVELOPMENT REVIEW COORDINATOR, PUBLIC WORKS REPRESENTATIVE AND OWNER TO REVIEW THE CONSTRUCTION SCHEDULE AND CRITICAL ASPECTS OF THE SITE WORK AT THAT TIME. THE SITE/BUILDING CONTRACTOR SHALL PROVIDE THREE (3) COPIES OF A DETAILED CONSTRUCTION SCHEDULE TO THE ATTENDING CITY REPRESENTATIVE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ARRANGE A MUTUALLY AGREEABLE TIME FOR THE PRECONSTRUCTION MEETING.
- EXISTING VEGETATION SHALL BE CONSERVED IN AREAS SHOWN ON THIS SITE. FENCING OR OTHER PROTECTIVE BARRIERS SHALL BE ERRECTED OUTSIDE THE DRIP-LINE OF INDIVIDUAL GROUPINGS OF TREES DESIGNATED FOR PRESERVATION PRIOR TO THE ONSET OF CONSTRUCTION. REGRADING SHALL NOT TAKE PLACE WITHIN THE DRIP-LINE OF TREES DESIGNATED FOR PRESERVATION. NO STORAGE OR CONSTRUCTION MATERIALS SHALL BE PERMITTED WITHIN THE DRIP-LINE OF TREES TO BE PRESERVED.

PARKING REQUIREMENTS

REQUIRED:
1 SPACE FOR EACH 400 SQ. FT. OF BLDG
BUILDING = 2,834 SQ. FT.
SPACES REQ'D = 7
SPACES PROVIDED = 9 SPACES & 2 ADA SPACES

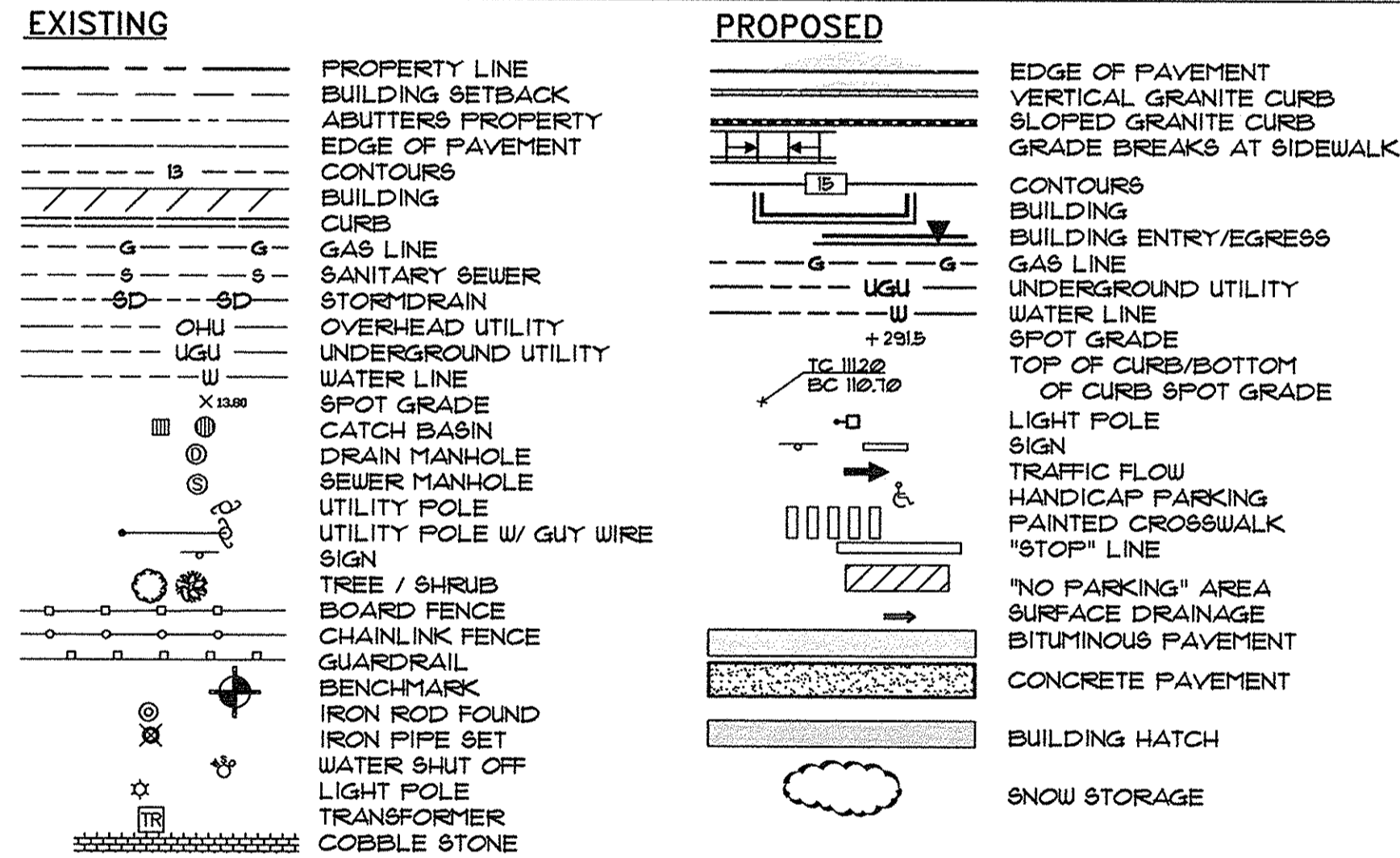
PROJECT DRAWINGS

- C11 SITE PLAN
 - C12 EXISTING CONDITIONS AND DEMOLITION GRADING & UTILITIES PLANS
 - C13 EROSION CONTROL PLAN, NOTES AND DETAILS
 - C14 LANDSCAPE PLAN, NOTES AND DETAILS
 - C2.1 DETAILS
 - C2.2 DETAILS
- BUILDING FLOOR PLAN
PLAN OF LAND FOR CHABOT STREET LLC
PHOTOMETRIC PLAN



SITE PLAN
SCALE: 1"=20'

LEGEND



ZONE INFORMATION

ZONE: B-2, COMMUNITY BUSINESS
PERMITTED USE: PROFESSIONAL OFFICE

SPACE STANDARDS	REQUIRED	PROVIDED
MINIMUM LOT SIZE	NONE	0.3546 ACRE LEASE AREA
MINIMUM STREET FRONTAGE	20'	143'
MINIMUM FRONT YARD	NONE	10'
MINIMUM REAR YARD	10'	46' TO LEASE LINE
MINIMUM SIDE YARD	NONE	5' / 18'
MIN. SIDE YARD ON SIDE STREET	NONE	N/A
MAX. FRONT YARD	NO MORE THAN 10'	10'
STRUCTURE SETBACKS	35 / 5	N/A
MAX. BLDG HEIGHT	45	35
MAX. IMPERV. SURFACE RATIO	80%	70%

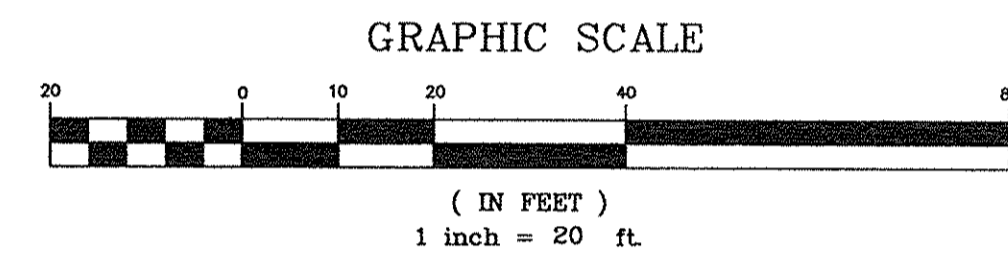
TOTAL EXISTING IMPERVIOUS: 0.3388 AC. (14,759 SF.)
TOTAL PROPOSED IMPERVIOUS: 0.2695 AC. (11,740 SF.)
TOTAL LEASED AREA: 0.3865 AC. (16,840 SF.)

SNOW CLEARANCE NOTES

- SNOW IS TO BE STORED WITHIN THE SNOW STORAGE AREAS.
- SNOW MAY BE PHYSICALLY REMOVED AND TRANSPORTED OFFSITE IF NECESSARY.
- SNOW TRANSPORTED OFFSITE SHALL BE BROUGHT TO A MAINE DEP APPROVED "SNOW DUMP" OR MEET THE EXEMPTION REQUIREMENTS SPECIFIED WITHIN CHAPTER 513 WHEN THE ABOVE REQUIREMENTS CANNOT BE MET DUE TO AN ABUNDANCE OF SNOW.
- THE SNOW CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO VEGETATION, LANDSCAPING, CURBING, LIGHTING, FENCING ETC. RESULTING FROM THEIR ACTIVITIES.
- THE SNOW CONTRACTOR SHALL USE SALT OR CHLORIDE SUBSTITUTE TO DEICE THE PARKING LOT.
- THE OWNER IS RESPONSIBLE FOR SNOW REMOVAL BEING UNDERTAKEN IN A TIMELY FASHION.

WAIVERS

- PARKING SPACE AISLE LENGTH.
- PARKING WITHIN 35' OF THE STREET LINE.



SITE PLAN, APPROVED BY THE CITY OF PORTLAND PLANNING BOARD

DATE

PINKHAM & GREER CIVIL ENGINEERS
28 VANNAH AVE. PORTLAND, ME 04103
TEL: 207.781.5542 FAX: 207.781.4445

THOMAS S. GREER
NO. 4800
LICENSED PROFESSIONAL ENGINEER
STATE OF MAINE
8/3/2017

REV.	DATE	DESCRIPTION

CHABOT STREET, LLC (RECORD OWNER)
100 SILVER STREET
PORTLAND, ME 04101

SCALE: AS SHOWN
DATE: AUGUST 30, 2018
PROJECT: 15150

DRN BY: RJS
DESG BY: TSG
CHK BY: TSG

INFINITY CREDIT UNION (APPLICANT)
202 LARRABEE ROAD
WESTBROOK, ME 04092

BAXTER BOULEVARD

SITE PLAN