

GENERAL NOTES

- OWNER: CHABOT STREET, LLC, 100 SILVER STREET, PORTLAND, MAINE, 04101 DEVELOPER: INFINITY FEDERAL CREDIT UNION, 202 LARRABEE ROAD, WESTBROOK, ME 04092, CUMBERLAND COUNTY REGISTRY OF DEEDS BK 15651 PG. 19, DATE AUGUST, 11, 2000.
- 2. ENGINEER: PINKHAM & GREER CIVIL ENGINEERS, 28 VANNAH AVEUNE, PORTLAND, MAINE, 04103.
- 3. ARCHITECT: TLA INC., 400 US ROUTE ONE, SUITE A SOUTH, FALMOUTH, MAINE 04105.
- 4. TOPOGRAPHIC AND BOUNDARY INFORMATION: MAINE SURVEY CONSULTANTS, INC., HARRISON, MAINE. REFERENCE IS MADE FOR PLAN OF LAND FOR PINKHAM \$ GREER CONSULTING ENGINEERS, 28 VANNAH AVE. PORTALNO ME 04103, OWNER OF RECORD: CHABOT STREET LLC, DATED MAY 2016. BENCHMARK: ELEVATIONS BASED ON GPS OBSERVATIONS AND ADJUSTED TO NGVD 29
- 5. UNDERLYING SOILS: FILLED LAND.
- 6. ZONE: B2
 - PROPOSED USE: PROFESSIONAL OFFICE
- 7. TAX MAP REFERENCE: MAP 112 / LOT FIL
- 8. TOTAL PARCEL = LEASED AREA = 03865 ACRES
- 9. CALL DIG-SAFE PRIOR TO COMMENCING WORK, 811 OR 1-888-DIG-SAFE.
- 10. LOT AREAS & COVERAGE RATIOS, FRONTAGE AND SETBACKS ARE AS SHOWN ON PLAN AND IN ZONING INFORMATION NOTES.
- 11. LOT IS SERVICED BY EXISTING PUBLIC WATER AND SEWER SERVICE.
- 12. POWER, TELEPHONE AND CABLE ARE TO BE UNDERGROUND FROM EXISTING POLE OR TRANSFORMER
- 13. ALL WORK WITHIN THE PUBLIC RIGHT OF WAY SHALL MEET CITY OF PORTLAND TECHNICAL MANUAL STANDARDS.
- 14. FLOODPLAIN: THIS PROPERTY IS IN ZONE C OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL 230051 0013 B, EFFECTIVE DATE JULY 17, 1986. IT IS NOT IN A SPECIAL FLOOD HAZARD ZONE.
- SNOW CLEARANCE REQUIREMENTS ARE AS NOTED ON THIS SHEET UNDER SNOW CLEARANCE NOTES.
- 16. ALL CONSTRUCTION AND SITE ALTERATIONS SHALL BE DONE IN ACCORDANCE WITH THE "MAINE EROSION AND SEDIMENT CONTROL BMPS" PUBLISHED BY THE BUREAU OF LAND AND WATER QUALITY, MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION, LATEST EDITION, MARCH 2003.

CITY OF PORTLAND SITE PLAN NOTES

- LANDSCAPING SHALL MEET THE "ARBORICULTURAL SPECIFICATIONS AND STANDARDS OF PRACTICE AND LANDSCAPE GUIDELINES" OF THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
- 2. THE ENTIRE SITE SHALL BE DEVELOPED AND/OR MAINTAINED AS DEPICTED ON THE SITE PLAN. APPROVAL OF THE PLANNING AUTHORITY OR PLANNING BOARD SHALL BE REQUIRED FOR ANY ALTERATION TO OR DEVIATION FROM THE APPROVED SITE PLAN, INCLUDING, WITHOUT LIMITATION: TOPOGRAPHY, DRAINAGE, LANDSCAPING, RETENTION OF WOODED OR LAWN AREAS, ACCESS, SIZE, LOCATION, AND SURFACING OF PARKING AREAS AND LOCATION AND SIZE OF BUILDINGS.
- 3. ALL POWERLINE UTILITIES SHALL BE UNDERGROUND.
- 4. SIDEWALKS AND CURBING SHALL BE DESIGNED AND BUILT WITH TIPDOWN RAMPS AT ALL STREET CORNERS, CROSSWALKS AND DRIVEWAYS IN CONFORMANCE WITH THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
- 5. ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE MAINE EROSION AND SEDIMENT CONTROL BMPS PUBLISHED BY THE BUREAU OF LAND AND QUALITY, MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION, MARCH 2003.
- 6. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY SITE EXCAVATION OR REGRADING.
- 7. ALL DISTURBED AREAS ON THE SITE NOT COVERED BY BUILDINGS OR PAVED AREAS SHALL BE STABILIZED WITH LOAM AND SEED OR OTHER METHODS AS REQUIRED BY BEST MANAGEMENT PRACTICES (SEE ABOVE).
- 8. PRIOR TO CONSTRUCTION, A PRECONSTRUCTION MEETING SHALL BE HELD AT THE PROJECT SITE WITH THE CONTRACTOR, DEVELOPMENT REVIEW COORDINATOR, PUBLIC WORK'S REPRESENTATIVE AND OWNER TO REVIEW THE CONSTRUCTION SCHEDULE AND CRITICAL ASPECTS OF THE SITE WORK. AT THAT TIME, THE SITE/BUILDING CONTRACTOR SHALL PROVIDE THREE (3) COPIES OF A DETAILED CONSTRUCTION SCHEDULE TO THE ATTENDING CITY REPRESENTATIVE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ARRANGE A MUTUALLY AGREEABLE TIME FOR THE PRECONSTRUCTION MEETING.
- 9. EXISTING VEGETATION SHALL BE CONSERVED IN AREAS SHOWN ON THIS SITE. FENCING OR OTHER PROTECTIVE BARRIERS SHALL BE ERECTED OUTSIDE THE DRIP-LINE OF INDIVIDUAL, GROUPINGS OF TREES DESIGNATED FOR PRESERVATION PRIOR TO THE ONSET OF CONSTRUCTION, REGRADING SHALL NOT TAKE PLACE WITHIN THE DRIP-LINE OF TREES DESIGNATED FOR PRESERVATION. NO STORAGE OR CONSTRUCTION MATERIALS SHALL BE PERMITTED WITHIN THE DRIP-LINE OF TREES TO BE PRESERVED.

PARKING REQUIREMENTS

REQUIRED: I SPACE FOR EACH 400 SQ. FT. OF BLDG BUILDING = 2,834 SQ. FT.

SPACES REQ'D = 1 SPACED PROVIDED = 10 SPACES & 1 ADA SPACES

PROJECT DRAWINGS

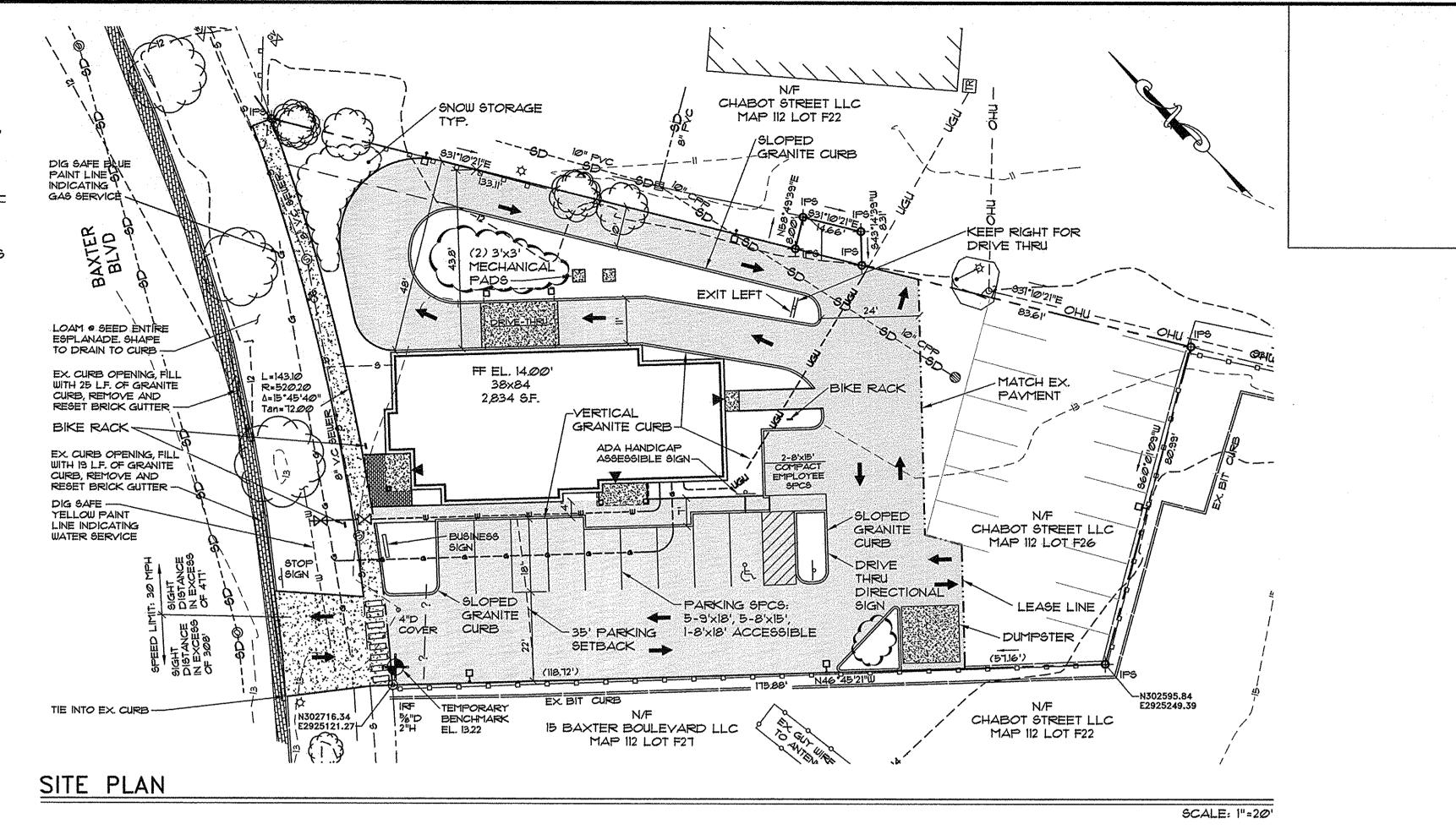
DETAILS

CI.I SITE PLAN Cl2 EXISTING CONDITIONS AND DEMOLITION GRADING & UTILITIES PLANS Cl3 EROSION CONTROL PLAN, NOTES AND DETAILS C1.4 LANDSCAPE PLAN, NOTES AND DETAILS C2.1 DETAILS

BUILDING FLOOR PLAN

PLAN OF LAND FOR CHABOT STREET LLC

PHOTOMETRIC PLAN



LEGEND

EXISTING PROPOSED — — — BUILDING SETBACK VERTICAL GRANITE CURB ----- ABUTTERS PROPERTY SLOPED GRANITE CURB ----- EDGE OF PAVEMENT → ← GRADE BREAKS AT SIDEWALK ---- 13 --- CONTOURS ---<u>:</u>---[5]--CONTOURS BUILDING BUILDING CURB BUILDING ENTRY/EGRESS ---G---G- GAS LINE ---G---GAS LINE ---s-- SANITARY SEWER ----- UGU --- UNDERGROUND UTILITY ----SD----SD-- STORMDRAIN ---- OHU --- OYERHEAD UTILITY + 2915 SPOT GRADE ---- UGU --- UNDERGROUND UTILITY TOP OF CURB/BOTTOM OF CURB SPOT GRADE X 13.80 SPOT GRADE LIGHT POLE CATCH BASIN WATER SHUT OFF DRAIN MANHOLE SIGN SEWER MANHOLE S TRAFFIC FLOW UTILITY POLE HANDICAP PARKING UTILITY POLE W/ GUY WIRE PAINTED CROSSWALK "STOP" LINE TREE / SHRUB BOARD FENCE "NO PARKING" AREA CHAINLINK FENCE SURFACE DRAINAGE GUARDRAIL BITUMINOUS PAVEMENT BENCHMARK CONCRETE PAVEMENT IRON ROD FOUND IRON PIPE SET BUILDING HATCH WATER SHUT OFF LIGHT POLE TRANSFORMER

COBBLE STONE

SNOW STORAGE

ZONE INFORMATION

ZONE: B-2, COMMUNITY BUSINESS PERMITTED USE: PROFESSIONAL OFFICE SPACE STANDARDS REQUIRED PROVIDED MINIMUM LOT SIZE NONE 03546 ACRE LEASE AREA MINIMUM STREET FRONTAGE 20 143' MINIMUM FRONT YARD NONE 536' MINIMUM REAR YARD 10' 46' TO LEASE LINE MINIMUM SIDE YARD NONE 57' / 18' MIN, SIDE YARD ON SIDE STREET NONE N/A MAX. FRONT YARD NO MORE THAN 10' 550' STRUCTURE STEPBACKS 35 / 5 N/A MAX. BLDG HEIGHT 22.5 45 MAX. IMPERV. SURFACE RATIO 79% 80%

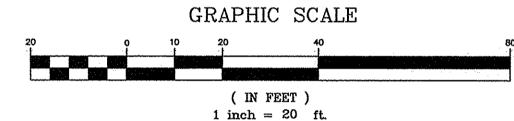
> TOTAL EXISTING IMPERVIOUS: 0.3388 AC. (14,759 S.F.) TOTAL PROPOSED IMPERVIOUS: 03038 AC. (13236 SF.) TOTAL LEASED AREA: 0.3865 AC. (16.840 SF.)

SNOW CLEARANCE NOTES

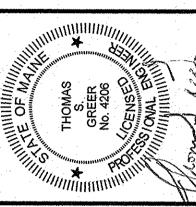
- 1. SNOW IS TO BE STORED WITHIN THE SNOW STORAGE AREAS.
- 2. SNOW MAY BE PHYSICALLY REMOVED AND TRANSPORTED OFFSITE IF NECCESSARY.
- 3. SNOW TRANSPORTED OFFSITE SHALL BE BROUGHT TO A MAINE DEP APPROVED "SNOW DUMP" OR MEET THE EXEMPTION REQUIREMENTS SPECIFIED WITHIN CHAPTER 513 WHEN THE ABOVE REQUIREMENTS CANNOT BE MET DUE TO AN ABUNDANCE OF SNOW.
- 4. THE SNOW CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO YEGETATION, LANDSCAPING, CURBING, LIGHTING, FENCING ETC. RESULTING FROM THEIR ACTIVITIES.
- 5. THE SNOW CONTRACTOR SHALL USE SALT OR CHLORIDE SUBSTITUTE TO DEICE THE PARKING LOT.
- 6. THE OWNER IS RESPONSIBLE FOR SNOW REMOVAL BEING UNDERTAKEN IN A TIMELY FASHION.

WAIVERS

- 1. PARKING AISLE WIDTH FROM 24' TO 22'.
- 2. PARKING WITHIN 35' OF THE STREET LINE TO 15'.



GREER ... ENGINEERS



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BAX

MAP/LOT 112 / F11 / 1