

INFINITY FCU

29 BAXTER BOULEVARD

Portland, Maine

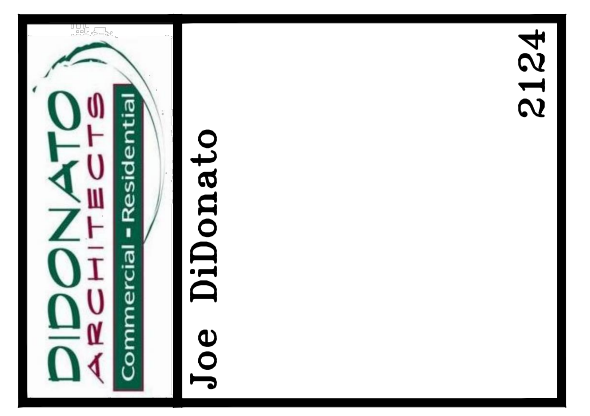
ARCHITECT: TLA, INC.
 400 US Route One, Suite A South Falmouth, ME 04105 Tel: (207) 842-6260

CONSULTING ARCHITECT: DiDonato Architects
 134 Guinea Road Kennebunkport, ME 04046 Tel: (207) 286-2900

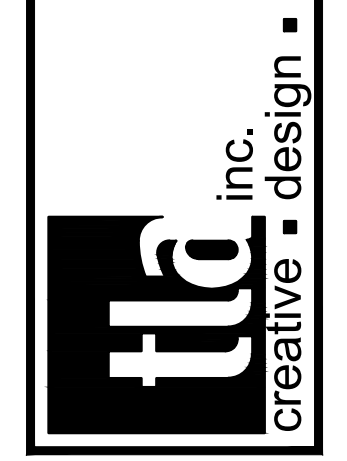
STRUCTURAL ENGINEER: Casco Bay Engineering
 424 Fore Street Portland, ME 04101 Tel: (207) 842-2800

M / E / P ENGINEERS: Bennett Engineering
 7 Bennett Road, P.O. BOX 297 Freeport, ME 04032 Tel: (207) 865-9475

SITE / CIVIL ENGINEER: Pinkham & Greer
 28 Vannah Avenue, Portland, ME. 04103 Tel: (207) 781-5242



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Revision	Date	Description
1		

Construction Set: 10/00/16

INFINITY FCU
 29 BAXTER BOULEVARD PORTLAND, ME.

Cover Sheet

sheet number: 10-00-16
 issued: 10-00-16
 project no. 1605

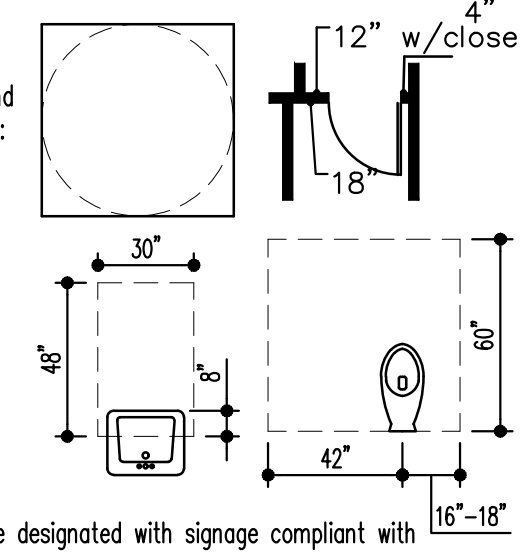


SUPPLEMENTAL CONDITIONS & TYPICAL NOTES

- Contract Documents:** These drawings are part of the Contract Documents and are intended to be used with the 1997 AIA Documents A101 & A201, "Standard Form of Agreement Between Owner and Contractor" and "General Conditions of the Contract for Construction".
 - A. Coordination of all Work** including that of his subcontractors, utilities, town, and state agencies is the responsibility of the General Contractor (GC). Subcontractors shall be provided complete sets of working drawings. Subcontractors working from partial, uncoordinated sets do so at their own risk.
 - B. Drawings and Specifications** - are complementary. If contradictions are found the Architect's interpretation will govern.
 - C. GC shall warrant for a period of one year** after final acceptance of project by TLA, all equipment, finishes, and workmanship. (see General Conditions)
- Existing Conditions** and dimensions shall be verified by the G.C. and subcontractors prior to start of work and fabrication of work requiring an exact fit. Failure to do so will not be considered grounds for any additional compensation. Notify Architect of any discrepancies between the Contract Documents and visible existing conditions prior to start of work.
 - A. Removals:** The General Contractor shall make all removals required to install new work and legally dispose of unwanted materials. Including existing under-slab plumbing (if any). The General Contractor shall be responsible for cutting, patching, and trenching for the trades. Coordinate with the Owner storage and delivery of materials noted on these drawings to be salvaged (if any).
 - B. The Contractor** shall give 24 hours advance notice of any disruption in services and/or daily operations to the TLA, Owner and Tenant. Keep disruptions of building occupant activities to a minimum. GC shall provide a detailed construction schedule including dates and time periods of work by trades and compliant with requirements in Notice to Bidders (if any). Provide weather tight and dust tight temporary closures to protect existing areas during construction. Provide alternate exits from existing areas where required by Codes.
- Work** - shall be installed and fastened in a workmanlike manner and in accordance with manufacturer's recommendations, referenced standards, accepted construction practices. Lay out work square, level, plumb, in alignment as shown, to avoid cuts, and avoid using less than half size widths. Do not install work when environmental conditions would adversely affect work unless adequate provisions have been made to counteract heat, cold, moisture, especially in relation to concrete, stucco, masonry, sealers, roofing, drywall, resilient flooring, paint, and conditioning of architectural woodwork and carpet.
 - A. Codes** - The work shown shall comply with the requirements of OSHA, IBC 2009, NFPA 101 Life Safety Code 2009 Ed., International Energy Conservation Code 2009 Ed., ASHRAE Standards 62.1, 62.2 and 90.1 2007 Ed., Maine State Internal Plumbing Code, ADAAG 2010 Ed., whether specifically indicated on drawings or not.
- "Provide"** - as used in the Contract Documents shall mean the same as "furnish and install".
 - A. Materials** - shall be new, delivered in unopened packages, stored and protected per manufacturer's recommendations. Manufacturers specified are to establish design and quality. Substitute materials will be allowed when accepted by the Architect, 5 working days prior to submission of bids. Acquisition of written approval is the sole responsibility of the G.C. (Late, lost, mis-routed or mis-communicated submittals will not relieve the Contractor of responsibility to provide specified item. One manufacturer for each material shall be used throughout.

SUPPLEMENTAL CONDITIONS & TYPICAL NOTES

- Dimensions** - are shown to face of studs or centerline of studs as indicated on drawings. The Contractor shall verify and coordinate dimensions in field to accommodate site conditions, final material selection and to avoid work conflicts including work by other contractors and sub-contractors.
 - A. Exact locations** of all equipment and materials are subject to approval of the Owner and Architect and they reserve the right to make any reasonable changes in location without extra cost.
 - B. Do not scale drawings.** Use manufacturer data or call Architect to obtain critical dimensions.
- Wood Blocking** - shall be provided as shown on the drawings and for all wall mounted equipment, furnishings, and specialties including but not limited to: shelf standards, grab bars, toilet partitions, coat rack & hooks, window treatment and wall mounted cabinets.
- Conceal Work** - including piping, conduit, or ductwork in walls or above ceilings unless specifically called to be exposed on drawings.
- New Partitions** - shall run up to the bottom of the structure above unless specifically noted to stop above or below the ceiling or to the bottom of the GMB ceiling.
- Repair** - all finishes or items new or existing to remain that are damaged during construction. Failure to document existing conditions outside the work area that may be subject to disturbance, shall not eliminate responsibility to repair damaged existing finishes. GC is responsible to prevent/repair site erosion during all phases of construction.
- ADA Requirements:** Contractor shall provide Accessible features as noted in the Contract Documents.
 - A. All latch sets** shall have lever latchsets,
 - B. Door Location:** Minimum latch side wall dimensions shall be as shown to comply with Accessibility Guidelines. (Place all new doors w/4" clearance between hinge edge and GPDW finish side.)
 - C. ADA Room Clearances:** Drawings indicate accessibility clearances (to finish faces) around and in toilet rooms and bathrooms as follows:
 - D. Dashed circle** indicates an ADA required 5'-0" diameter wheel chair turning area. Small portions (toe area) may project under toilets or lavatory or counter.
 - E. Dashed lines** near lavatory or toilet indicate ADA required area into which door swing or fixed equipment can not protrude
- SIGNAGE:** Permanent rooms and spaces shall be designated with signage compliant with Americans and Disabilities Act (ADA) requirements complying with Section 4.30 Signage.
 - A. Provide signage** for toilet room, exit signs and other signage is provided with symbol, text and Braille.
 - Interior sign size: 6"x8"
 - Text width to height ratio 3:5 to 1:10
 - Stroke to height ratio 1:5 to 1:10
 - Min. text height 3" raised 1/32"
 - Accompany text with Grade 2 Braille
 - Mount sign 60" A.F.F. to Center Line of Sign on latch side of door



SPECIAL WORK SCOPE

- BANK EQUIPMENT** by the GC. Bank Equipment will be installed by equipment vendors. The Contractor shall verify and coordinate dimensions in field to accommodate site conditions, final material selection and to avoid work conflicts including work by other contractors and sub-contractors.
 - A. Provide rough openings** (including lintels and framing, cut openings if walls are already in place and repair/finish siding and interior drywall to match existing) for: Night depository, ATM, drive-up window.
 - B. Provide electrical provisions** as required for all bank equipment noted above and for CCVS/security systems. Maintain building openings/passage/right of way of sufficient size for taking equipment into building and to operate a fork lift truck inside shell space.
 - C. Protect bank equipment** until turned over to Owner and if bank equipment is damaged then the Contractor shall be responsible for repairs.
 - D. Bank Equipment:** The bank vendor will provide and install: ATM, Nite Depository, Safe, Re-counter Steel, Drive-up Window and drawer. The Contractor shall supply all required conduit and electrical connections required by the manufacturer and the bank for power and security.
- TLA will provide the following Work.** The G.C. will be given shop drawings and shall coordinate his work with that provided by TLA.
 - Furniture.
 - Window Treatment.
 - Specialty millwork indicated by half tone-cross-hatch.
- FIRE EXTINGUISHERS:** Work shall include U/L Rated fire extinguishers and cabinets by J.L. Industries as shown on the drawings and as follows:
 - A. "Cosmic 5E" 2A 10BC ~5 lb.** fire extinguisher. See General Note: 5 A1.2.
 - B. "Ambassador1016" Steel Cabinet 1 1/2"** rolled trim, with Fire-FX option for fire rated walls and ADAC option (no projection more than 4") for "Cosmic 10E" extinguisher.
 - C. Use "Ambassador 1014" flush** for "Cosmic 5E" and "Ambassador 206" for "Cosmic 20E"
- ALLOWANCES:**
 - A. Wire allowance** for security equipment: \$ 7,000.00
 - B.**
 - C.**

REQUIRED SUBMITTALS

- Submittals:** - The Contractor shall review, approve and stamp submittals prior to the Architect's review. Contractor's review of submittals represents that the Contractor has determined and verified materials, field dimensions and field construction criteria related thereto and has checked and coordinated information within submittals with design concept and information given in the Contract Documents. TLA may reject any submission without said stamp. TLA is not responsible for any delays in the project caused by rejected or incomplete submittals. G.C. should expect a minimum of two week submittal turn around.
 - A. Submit manufacturer's data, samples, schedules and shop drawings** for the Architects review and acceptance as follows:
 - Construction Schedule
 - Roof Truss Design
 - Steel Frame Design
 - Toilet Accessories
 - Exterior and Interior Materials
 - Hardware Cuts and Schedule
- As-Built** shall be given to the Owner upon completion showing any departures from the Contract Documentation. Provide a reproducible set of drawings.
- Operation and Maintenance Instructions** shall be given to the Owner in a bound/loose leaf set upon completion for equipment, finishes, fixtures and appliances, etc. Include copies of Manufacturer's warranties.

DESCRIPTION OF WORK

- Description of Work:** This project is a new Infinity FCU Branch located at 29 Baxter Boulevard, Portland, Maine.
 - 1. One story, 2,835 s.f., non-sprinklered, slab on grade, wood frame, flat truss roof-wood, EPDM roof, metal siding, EIFS siding and brick veneer.
 - 2. The General Contractor shall be responsible for a completed project which includes but not limited to: Site Work, Site Utilities, Mechanical, Electrical, Plumbing installation, Construction, and Finishes. The General Contractor shall be required to co-ordinate the work of subcontractors provided by the the Owner and TLA.
- Finishes:**
 - 1. GC shall provide VCT, Vinyl Base, and Pedimat.
 - 2. GC shall prepare concrete slab floor, wall finish and blocking for TLA Finish and Millwork Contractors. Floors shall be free from paint, varnish, excessive adhesive, residue, solvents, wax, coatings, curing compounds, and oil.
 - 3. GC's Floor Finish Contractor shall be responsible for moisture testing, sweeping or vacuuming the floor free of dust prior to installation of flooring materials.
 - 4. GC's Floor Finish Contractor shall review and approve sub-slab vapor barrier.
 - 5. GC shall provide leveling compound to the satisfaction of the flooring installer if floors are not level.
 - 6. GC shall maintain a minimum temperature of 65 degrees F.
 - 7. GC shall provide plumbing installed in millwork by TLA.
 - 8. GC shall provide paint, interior stain/varnish, and exterior stain & wood trim (walnscot, crown, base, chair rail, window/door casing) as indicated on the drawings. Prior to purchase of trim the GC shall verify with TLA that it will match work provided by TLA Millwork Contractor.

CONTRACT DOCUMENTS

SH'T NO.	DRAWING NAME	Date	Revision	Revision
C.1.1	COVER SHEET	10-24-16	00-00-16	00-00-16
S0.0	STRUCTURAL NOTES	10-24-16		
S1.0	FOUNDATION PLAN	10-24-16		
S1.1	LOW ROOF FRAMING PLAN	10-24-16		
S1.2	HIGH ROOF FRAMING PLAN	10-24-16		
S2.0	TYPICAL CONCRETE DETAILS AND SECTIONS	10-24-16		
S3.0	FRAMING DETAILS	10-24-16		
S4.0	PREFABRICATED TRUSS DIAGRAMS AND NOTES	10-24-16		
A.0.1	CODE REVIEW AND LIFE SAFETY	10-24-16		
A.0.2	MATERIAL SPECIFICATION AND ADA SHEET	10-24-16		
A.1.1	FLOOR PLAN	10-24-16		
A.1.2	ROOF PLAN	10-24-16		
A.2.1	ELEVATIONS	10-24-16		
A.2.2	ELEVATIONS	10-24-16		
A.3.1	WINDOW & DOOR SCHEDULES	10-24-16		
A.4.1	BUILDING SECTIONS	10-24-16		
A.4.2	BUILDING SECTIONS	10-24-16		
A.4.3	WALL SECTIONS	10-24-16		
A.4.4	DETAILS	10-24-16		
A.4.5	DETAILS	10-24-16		
A.4.6	WALL SECTIONS	10-24-16		
A.5.1	INTERIOR ELEVATIONS AND DETAILS	10-24-16		
F.1.1	FINISH PLAN	10-24-16		
F.1.2	CARPET INSTALLATION PLAN	10-24-16		
RCP.1	REFLECTED CEILING PLAN	10-24-16		
M.1.1	MECHANICAL PLAN	10-17-16		
M.2.1	PLUMBING PLAN	10-17-16	10-17-16	
M.3.1	MECHANICAL SCHEDULES AND LEGENDS	10-17-16		
M.3.2	MECHANICAL DETAILS	10-17-16		
E.1.1	ELECTRICAL SITE PLAN & DETAILS	10-17-16		
E.2.1	LIGHTING PLAN	10-17-16	10-17-16	
E.3.1	POWER PLAN	10-17-16	10-17-16	
E.4.1	ELECTRICAL NOTES, LEGENDS & DETAILS	10-17-16		
E.4.2	ELECTRICAL PANEL & LIGHTING SCHEDULES	10-17-16		

99% PROGRESS SET 10-21-16

DRAFTING SYMBOLS LEGEND

DRAWING NO. 1 SHEET NO. A-2 SCALE: See Title Block	TYPE DRAWING (typical wall, door, window detail) 2 2 Hours	INTERIOR ELEVATION C4 SHEET NUMBER A-X	Room Name: OFFICE 101 Finish Scheme # FIN #1 A-10 Room Area: 20'-0" x 30'-0" = 600 SF	SECTION MARKER Drawing Number: A-1 Referenced Sheet #	DETAIL MARKER Drawing Number: A-1 Referenced Sheet #	ELEVATION MARKER Drawing Number: A-1 Referenced Sheet #	FINISH SYMBOLS P LAM WALL FLOOR BASE FLOOR	DEMOLITION: Fully remove existing construction indicated EXISTING CONSTRUCTION to remain	NEW WALL CONSTRUCTION TYPE MARKER (for typical wall, door, window details) See Dwg List for Sheet No. for Referenced Details
COLUMN LINE A SPOT ELEVATION 0'-0" STAIR DIRECTION WINDOW NUMBER 103 DOOR NUMBER 104 EQUIPMENT KEY NO. EC #20 REVISION NO. 1 BREAK LINE Notes of particular importance. ±6'-0" Adjust dimension to suit exist. conditions.	SLIDING DOOR BIFOLD DOOR ACCORDIAN DOOR FOLD PARTITION EXISTING DOOR NEW DOOR CASSED OPENING DOOR NUMBER (based on rm#) 101	FINISH SYMBOLS P LAM WALL FLOOR BASE FLOOR	DEMOLITION: Fully remove existing construction indicated EXISTING CONSTRUCTION to remain	NEW WALL CONSTRUCTION TYPE MARKER (for typical wall, door, window details) See Dwg List for Sheet No. for Referenced Details					
EARTH ROCK/LEDGE AGGREGATE COMPACTED FILL CONCRETE SAND/PLASTER BRICK CONC. MASONRY UNIT STONE STONE Elevation STEEL ALUMINUM RUBBER/PLASTIC ROUGH FRAMING FINISH WOOD PLYWOOD PARTICLE BOARD WOOD FACE BATT INSULATION RIGID INSULATION DRYWALL ACOUSTIC TILE GLASS GLASS Elevation TILE Elevation ROOF SHINGLES									