

Renovations to:

Coldwell Banker Residential Brokerage

Located at:

53 Baxter Boulevard Portland, Me 04102

Owner: General Contractor

Coldwell Banker Facilities Payton Construction

2456 Lafayette Road Payton Maine Corp.

Po smouth, NH 03804 56 Industrial Park Road

(603) 431-9031 Saco, ME 04072

Contact: Mr. John Sexton (207) 286-8500

Director of Facilities

Architect:

Foreside

Architects LLC

PO Box 73

Falmouth, ME 04105

(207) 784-5735

Contact: Mark Burres, AIA

General Contractor

Payton Construction

Payton Maine Corp.

56 Industrial Park Road

Saco, ME 04072

(207) 286-8500

Contact: Denis Landry, President

List of Drawings:

TS - Title Sheet

E1 - Existing First Floor/Demolition Plan

E2 - Existing Second Floor/Demolition Plan

A1 - First Floor Plan

A2 - Second Floor Plan

A3 - Detail Plans - Main Entrance

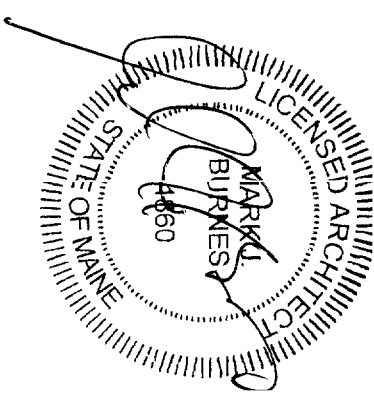
A4 - Detail Plans - HP Toilet / Egress Door Rev.

General Notes:

- Report any discrepancies to the Architect. Contractor shall proceed with work only after discrepancy has been resolved with the Architect.
- Existing building components which are affected by new work and demolition, or which may be damaged by new work and demolition, shall be repaired or restored to original condition, color and appearance.
- The building modifications shall be constructed to conform with all applicable codes including, but not limited to, the latest editions of 1999 BOCA, NPPA and ANSI.
- All existing conditions are to be field verified by the Contractor, prior to fabrication. This includes delivery procedures, dimensions and materials.
- Drawings are not to be scaled. Contractor shall field verify dimensions and conditions requiring clarification. Verify dimensions and conditions before fabrication. Actual conditions depicted may vary. Incent only to determine actual conditions depicted. Demolition requires the selective removal and subsequent on-site disposal of the following: removal of all materials dismantled not intended for re-use; and removal and reconnection, capping, termination or disconnection of all wiring, heating, and plumbing not used in new work.
- This project shall not contain hazardous materials of any kind in any product of any kind, i.e. asbestos. Should hazardous materials be found stop associated work and notify the Architect immediately. The Contractor shall be responsible for removal of all hazardous materials found stop associated work and notify appropriate officials prior to commencing the work.
- Where only a single product or manufacturer is named, permitted only after review and approval by the Owner or their designated representative.
- At project closeout submit specific warranties, workmanship bonds, maintenance agreements, final certifications and similar documents.
- Final project complete final clean up. Touch up and repair and restore mired exposed finishes.
- The location of all doorframes not dimensioned shall be 4" from adjacent walls.
- All partitions shall extend from floor to underside of supporting structure above unless otherwise noted.
- Install blocking behind all surface applied fixtures, trim, grab bars, shelves, chair rails, picture rails, base moldings.

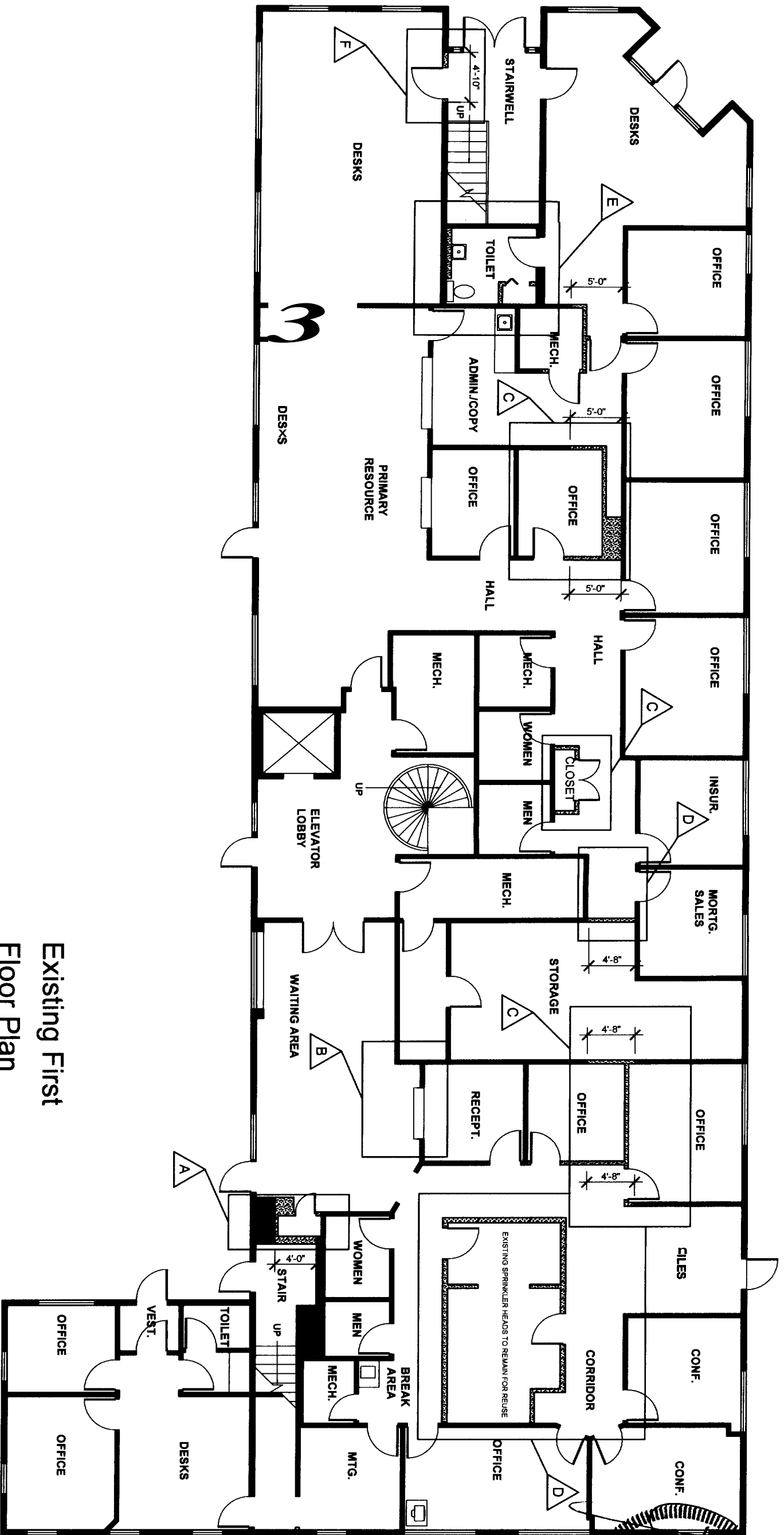
1999 BOCA - Code Data

BOCA 1999 - CODE DATA	
USE GROUP CLASSIFICATION	B - BUSINESS/EDUCATIONAL
TYPICAL CONSTRUCTION	5B - UNPROTECTED
FIRST FLOOR AREA	7990 SQ. FT.
SECOND FLOOR AREA	7100 SQ. FT.
TOTAL BLDG AREA (LIMITATION)	15090 SQ. FT.
TABLE 503 BUILDING AREA LIMITATION	7200
503 STREET FRONTAGE (NBSA) (50%)	10,800
503 AUTOMATIC SPRINKLER SYSTEM (NBSA) (20%)	21,600
ALLOWABLE BUILDING AREA - SQ. FT.	32,400
BUILDING HEIGHT	REQUIRE 2 STORIES
FIRE RESISTANCE	Standard
FRAME WALLS AND PARTY WALLS	2 HR.
STAIR ENCL. (BS) (10411)	1 HR.
SHAFTS	1 HR.
EXIST. ACCESS CORRIDORS	0 HR. OR FIRE RESISTANCE
NEW/RENOVATED CORRIDORS	0 HR. OR FIRE RESISTANCE
STREET LEVEL VESTIBULES	0 HR. OR FIRE RESISTANCE
FLOOR CONSTRUCTION	0 HR. OR FIRE RESISTANCE
ROOF CONSTRUCTION	0 HR. OR FIRE RESISTANCE
FIRE EXITS	LOCATIONS TO BE FIELD VERIFIED BY THE CHIEF FIRE OFFICER
FLAME SPREAD RATING	CLASS A OR CLASS B
NUMBER OF REQUIRED EXITS	CLASS A OR CLASS B
CORRIDORS PROVIDING ACCESS	CLASS A OR CLASS B
NUMBER OF REQUIRED EXITS	CLASS A OR CLASS B
ROOF OR ENCLOSED SERVICE	CLASS A OR CLASS B
GENERAL NOTES	1. ALL PARTITIONS OF FIRE RATED WALLS AND FLOORS SHALL BE SEALED WITH FIRE-RATED MATERIALS. 2. ALL WORK SHALL CONFORM TO LOCAL AND STATE CODES, ORDINANCES AND REGULATIONS GOVERNING THE PROJECT. 3. ACCESSIBILITY PER ADA-3



Permit Review Plans
Not For Construction

28 April 04

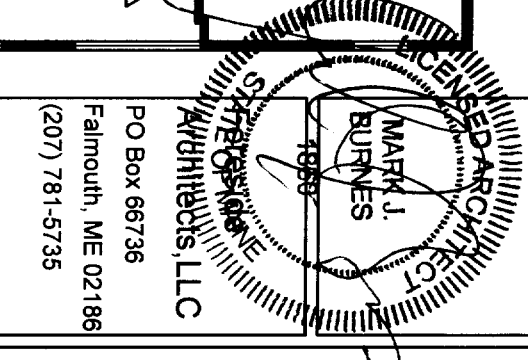
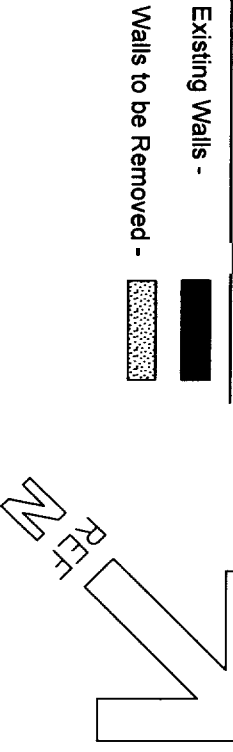


Existing First
Floor Plan

Removal Notes:

- A** WALL REMOVALS FOR NEW EGRESS DOOR CONNECTION TO VESTIBULE.
- B** RECEPTIONIST WINDOW REMOVAL AND WALL PATCH AND REPAIR.
- C** REMOVE WALLS AND DOOR, PATCH AND REPAIR WALLS AND FLOORING, HOLD DOORS AND HARDWARE FOR RE-USE.
- D** REMOVE WALL, PATCH AND REPAIR WALLS TO REMAIN.
- D** REMOVE WALLS, DOOR AND CEILING, PATCH AND REPAIR WALLS AND FLOORING. REMOVE PLUMBING FIXTURES. HOLD ENTRY DOOR AND HARDWARE FOR RE-USE.
- E** REMOVE WALLS AND FLOORING, HOLD DOORS AND HARDWARE FOR RE-USE.
- F** REMOVE DOOR AND WALL REVERSE SWING, PATCH AND REPAIR WALLS AND FLOORING, HOLD DOOR FOR RE-USE.

Legend:



Renovations to:
Coldwell Banker Residential Brokerage
Located at:
53 Baxter Boulevard Portland, Me 04102

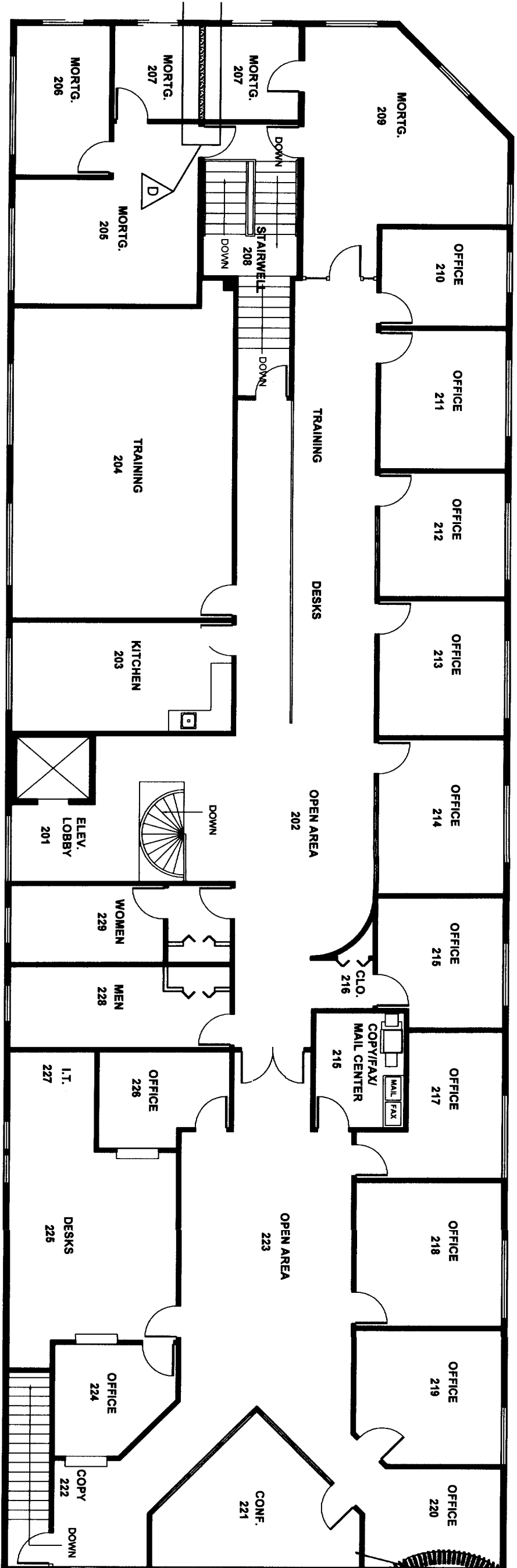
Date:
April 28, 2004

Drawn by: MJB
3/32"=1'-0"

Drawing Title:
Existing First
Floor Plan

Permit Review Plans
Not For Construction
28 April 04

Drawing Sheet:
E1
Drawing 2 of 7



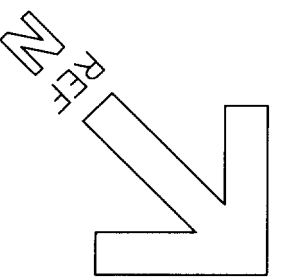
Existing Second
Floor Plan

Removal Notes:

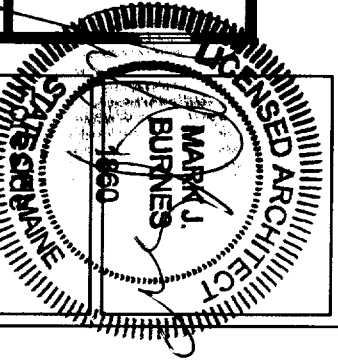
- A** WALL REMOVALS FOR NEW EGRESS DOOR CONNECTION TO VESTIBULE.
- B** RECEPTIONIST WINDOW REMOVAL AND WALL PATCH AND REPAIR.
- C** REMOVE WALLS AND DOOR, PATCH AND REPAIR WALLS AND FLOORING, HOLD DOORS AND HARDWARE FOR RE-USE.
- D** REMOVE WALL, PATCH AND REPAIR WALLS TO REMAIN.
- E** REMOVE WALLS, DOOR AND CEILING, PATCH AND REPAIR WALLS AND FLOORING, REMOVE PLUMBING FIXTURES, HOLD ENTRY DOOR AND HARDWARE FOR RE-USE.
- F** REMOVE DOOR AND WALL REVERSE SWING, PATCH AND REPAIR WALLS AND FLOORING, HOLD DOOR FOR RE-USE.

Legend

- Existing Walls - [Solid black line]
- Walls to be Removed - [Dotted line]



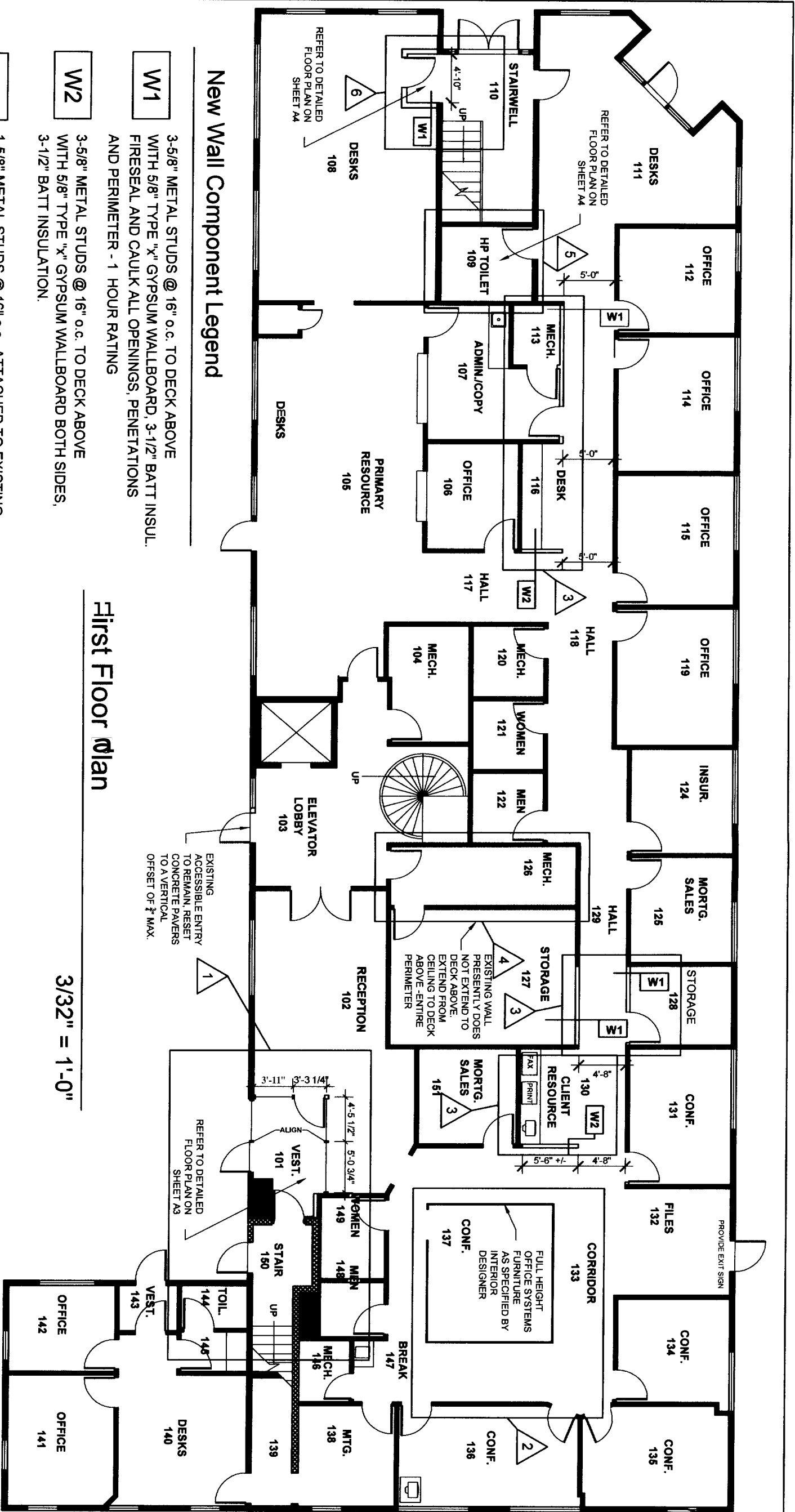
Permit Review Plans
Not For Construction
28 April 04



Architects, LLC
PO Box 66736
Falmouth, ME 02186
(207) 781-5735

Renovations to:
Coldwell Banker Residential Brokerage
Located at:
53 Baxter Boulevard Portland, Me 04102

Date: April 28, 2004
 Drawn by: MJB
 3/32"=1'-0"
 Drawing Title:
 Existing Second Floor Plan
 Drawing Sheet:
E2
 Drawing 3 of 7



New Wall Component Legend

- W1** 3-5/8" METAL STUDS @ 16" o.c. TO DECK ABOVE WITH 5/8" TYPE "x" GYPSUM WALLBOARD, 3-1/2" BATT INSUL. FIRESEAL AND CAULK ALL OPENINGS, PENETRATIONS AND PERIMETER - 1 HOUR RATING
- W2** 3-5/8" METAL STUDS @ 16" o.c. TO DECK ABOVE WITH 5/8" TYPE "x" GYPSUM WALLBOARD BOTH SIDES, 3-1/2" BATT INSULATION.
- W3** 1-5/8" METAL STUDS @ 16" o.c. ATTACHED TO EXISTING STRUCTURE. EXTEND TO 6" ABOVE FINISHED CEILING WITH 5/8" GYPSUM WALLBOARD ONE SIDE.

First Floor Plan

3/32" = 1'-0"

Scope of Work Legend:

- 1** CONSTRUCTION OF NEW MAIN ENTRY VESTIBULE AND EGRESS STAIR CONNECTION. (REFER TO SHEET A3 FOR DETAILS)
- 2** RECONFIGURATION OF EXISTING FIXED PARTITIONS TO ALLOW FOR INCREASED CIRCULATION AND OFFICE SYSTEMS FURNISHINGS (FIN.FLOOR TO FIN. CEILING)
- 3** 3-5/8" METAL STUDS @ 16" o.c. W/ GWB BOTH SIDES TO DECK ABOVE @ W1 AND 6" ABOVE FIN. CEILING W2 REUSE DOOR AND HARDWARE FROM STORED REMOVALS.

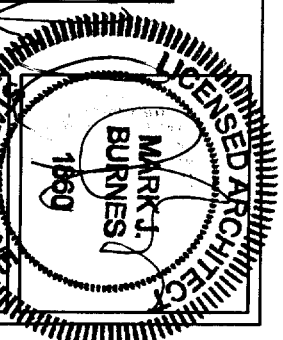
Wall Legend:

- Existing Walls -** [Solid black line]
- New Walls -** [Dashed line]

- 4** 3-5/8" METAL STUDS @ 16" o.c. TO DECK ABOVE WITH 5/8" TYPE "x" GYPSUM WALLBOARD, 3-1/2" BATT INSUL. New Walls - FIRESEAL AND CAULK ALL OPENINGS, PENETRATIONS AND PERIMETER - 1 HOUR RATING
- 5** RENOVATE EXISTING TOILET ROOM TO HP ACCESSIBLE ADA COMPLIANT TOILET ROOM (REFER TO SHEET A4)
- 6** RECONFIGURE EGRESS DOOR TO REVERSE DOOR SWING AND RECONFIGURE WALLS TO ALLEVIATE CONFLICT WITH STAIR PATH OF EGRESS.

**Permit Review Plans
Not For Construction**

28 April 04



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Located at:
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Date:

April 28, 2004

Drawn by: MJB

Scale: 3/32"=1'-0"

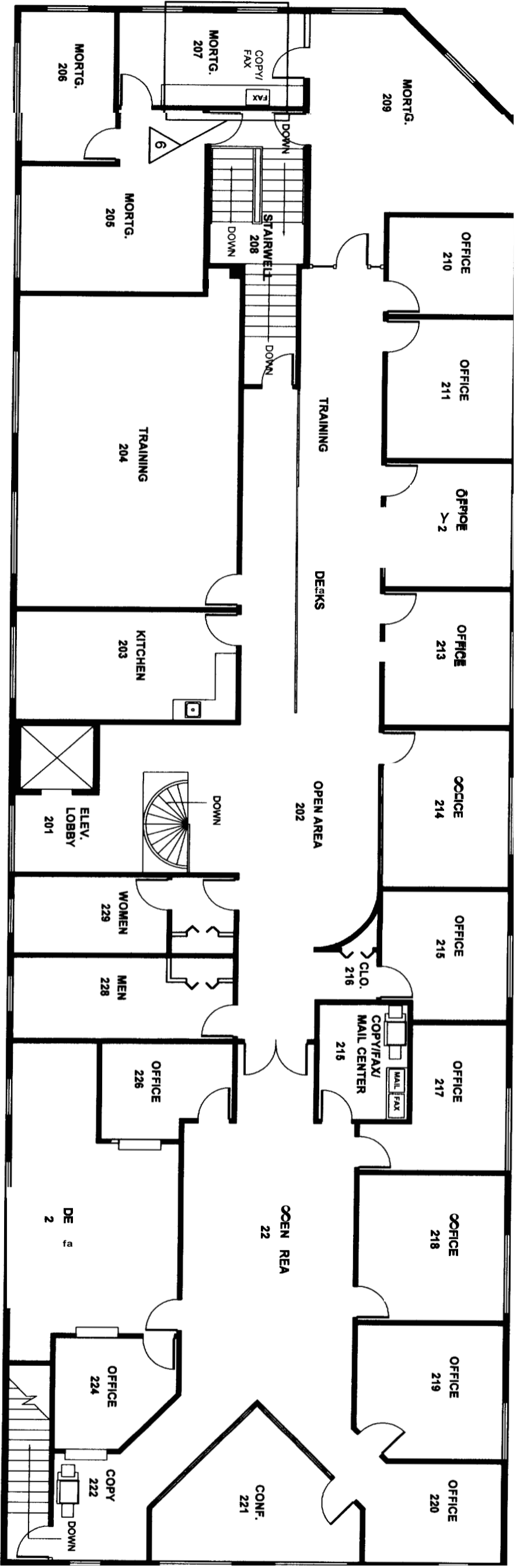
Drawing Title:

Proposed First Floor Plan

Drawing Sheet:

A1

Drawing 4 of 7



New Wall Component Legend

- W1** 3-5/8" METAL STUDS @ 16" o.c. TO DECK ABOVE
FIRESEAL AND CAULK ALL OPENINGS, PENETRATIONS
AND PERIMETER - 1 HOUR RATING
- W2** 3-5/8" METAL STUDS @ 16" o.c. TO DECK ABOVE
WITH 5/8" TYPE "X" GYPSUM WALLBOARD BOTH SIDES,
3-1/2" BATT INSULATION.
- W3** 1-5/8" METAL STUDS @ 16" o.c. ATTACHED TO EXISTING
STRUCTURE, EXTEND TO 6" ABOVE FINISHED CEILING WITH
5/8" GYPSUM WALLBOARD ONE SIDE.

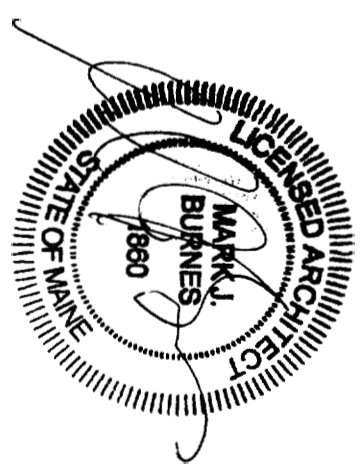
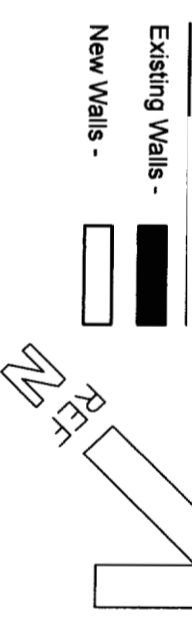
Second Floor Plan

3/32"=1'-0"

Scope of Work Legend:

- 1** CONSTRUCTION OF NEW MAIN ENTRY VESTIBULE
AND EGRESS STAIR CONNECTION.
(REFER TO SHEET A3 FOR DETAILS)
- 2** RECONFIGURATION OF EXISTING FIXED PARTITIONS
TO ALLOW FOR INCREASED CIRCULATION AND OFFICE
SYSTEMS FURNISHINGS (FIN.FLOOR TO FIN. CEILING)
3-5/8" METAL STUDS @ 16" o.c. W/ GWB BOTH SIDES
TO DECK ABOVE @ W1 AND 6" ABOVE FIN. CEILING W2
REUSE DOOR AND HARDWARE FROM STOREROOM DEMOLITION
- 3**
- 4** 3-5/8" METAL STUDS @ 16" o.c. TO DECK ABOVE
WITH 5/8" TYPE "X" GYPSUM WALLBOARD, 3-1/2" BATT INSUL.
FIRESEAL AND CAULK ALL OPENINGS, PENETRATIONS
AND PERIMETER - 1 HOUR RATING
- 5** RENOVATE EXISTING TOILET ROOM TO HP ACCESSIBLE
ADA COMPLIANT TOILET ROOM (REFER TO SHEET A4)
- 6** RECONFIGURE EGRESS DOOR TO REVERSE DOOR SWING
AND RECONFIGURE WALLS TO ALLEVIATE CONFLICT WITH
STAIR PATH OF EGRESS.

Wall Legend:



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28 April 04

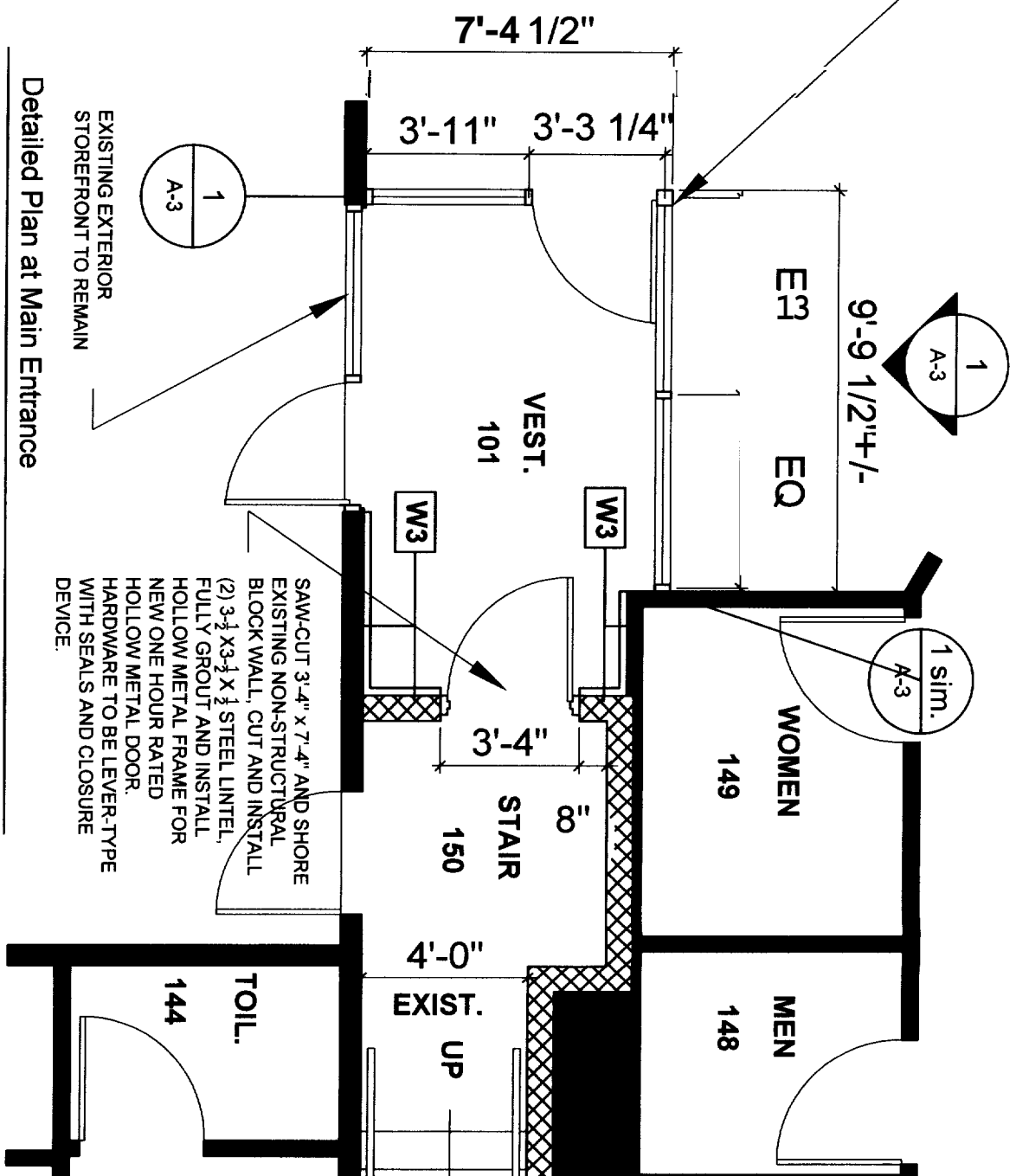
Foreside
Architects, LLC
PO Box 66736
Falmouth, ME 02186
(207) 781-5735

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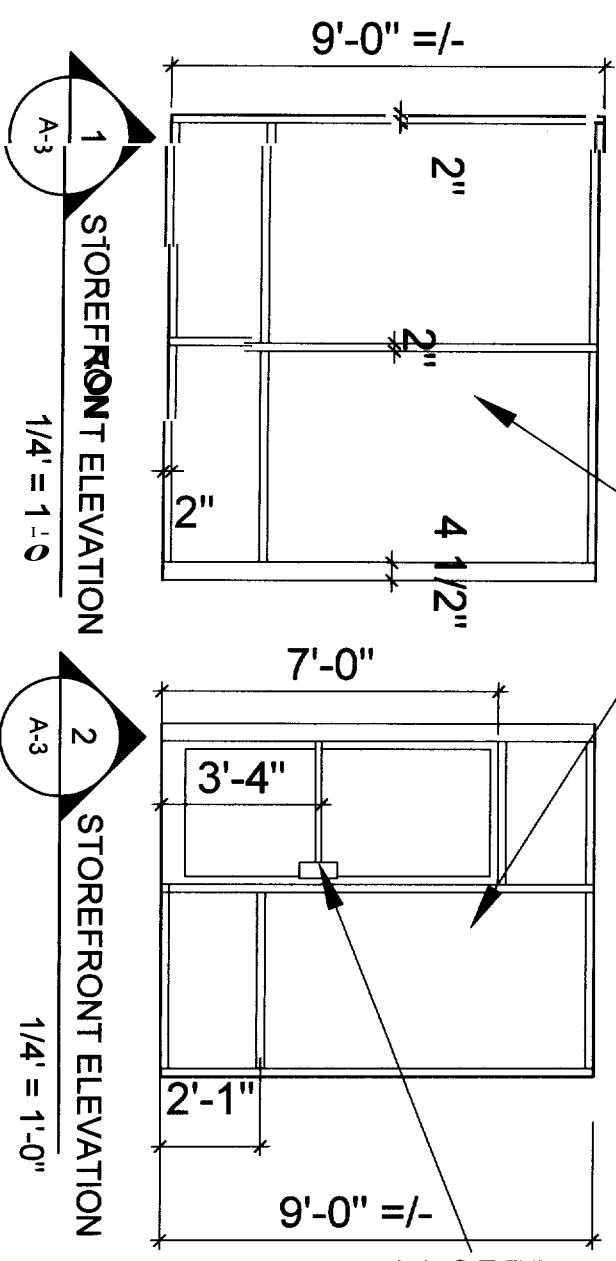
D
April 28, 04
Drawn by: MJB
3/32"=1'-0"
Date Title:
Proposed Floor Plan

Drawing Sheet:
A2
Drawing 5 of 7

NEW STOREFRONT SIM. OR EQUAL TO KAWNEER 451 SYSTEM. LEVEL AND EXP. BOLT TO CONC. SLAB AT FLOOR. EXTEND TO CEILING AND PROVIDE 2X4 BLOCKING AT CLG. LEVEL FOR REVEAL AND ATTACHMENT OF LIGHT GAGE KICKERS SPACED A 24" OC TO DECK ABOVE. ALL DIMS. ARE APPROX. AN SHOULD BE CONFIRMED PRIOR TO FABRICATION. COLOR TO MATCH EXISTING STOREFRONT.



Detailed Plan at Main Entrance



1 STOREFRONT ELEVATION
1/4' = 1'-0"

2 STOREFRONT ELEVATION
1/4' = 1'-0"

NEW KAWNEER 451 DOOR WITH BUTT HINGES AND CLOSER. HARDWARE TO BE ADA COMPLIANT WITH GRASH BARS AND PUSH/PULLS ON APPROPRIATE SIDES.

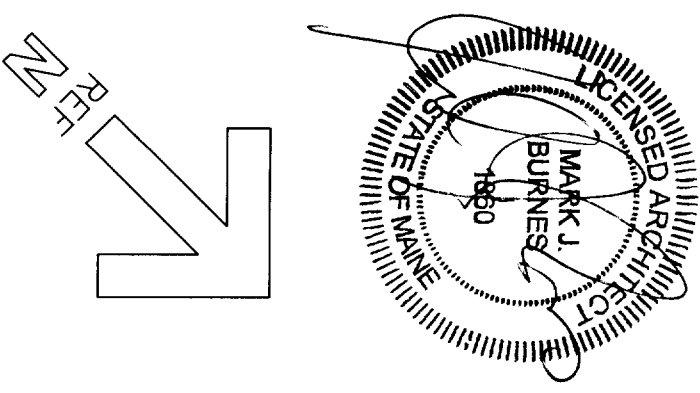
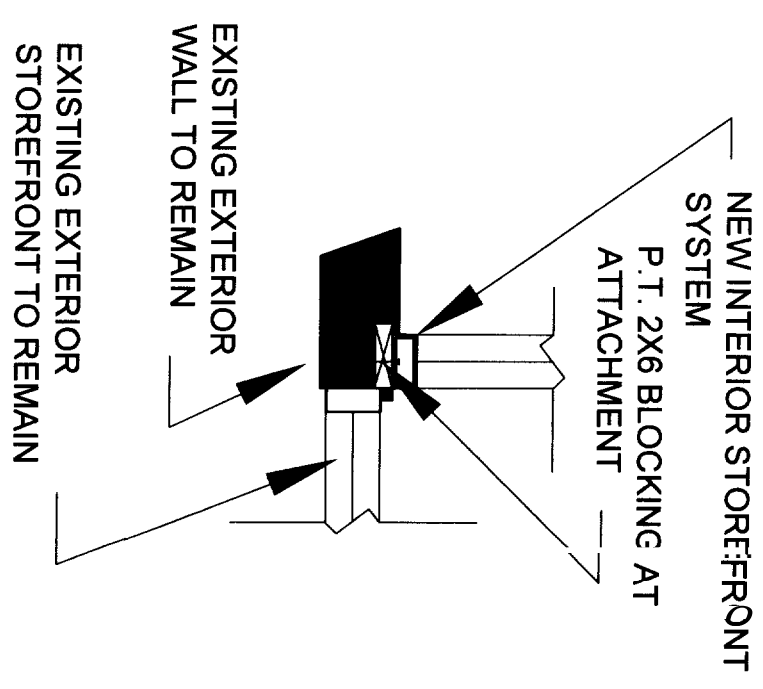
NEW 3/8\"/>

SAW-CUT 3'-4\"/>

EXISTING EXTERIOR STOREFRONT TO REMAIN

Legend:
Existing Walls -
New Walls -

1 STOREFRONT ATTACHMENT - JAMB
3/4' = 1'-0"



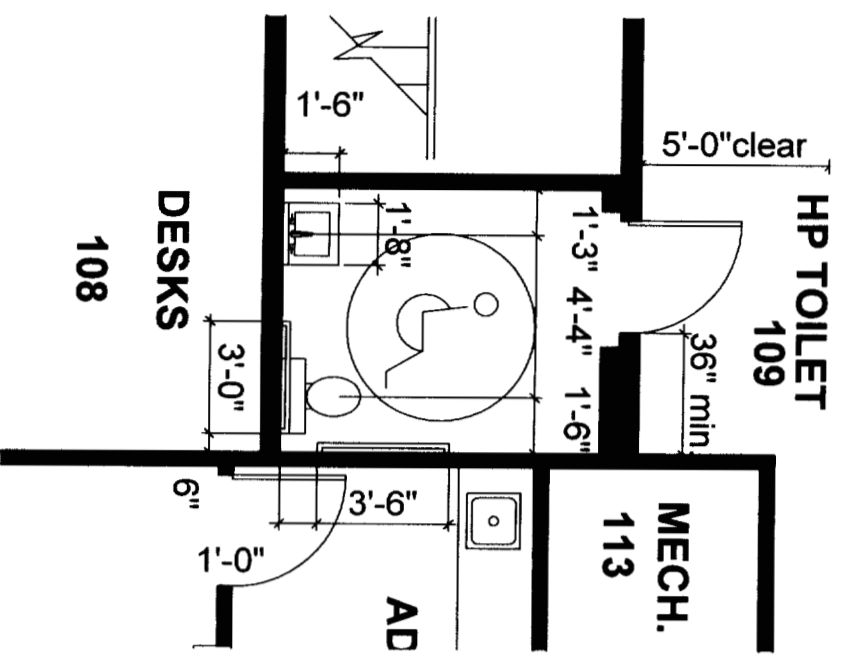
Renovations to:
Coldwell Banker Residential Brokerage
Located at:
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Foreside Architects, LLC
PO Box 86736
Falmouth, ME 02186
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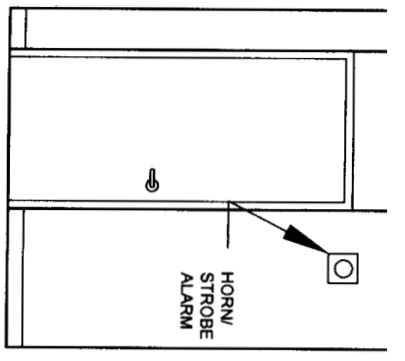
Date: April 28, 2004
Drawn by: MJB
Scale as Noted
Drawing Title: Detailed Floor Plans - Main Entry

Permitting Review Plans
Not For Construction
28 April 04

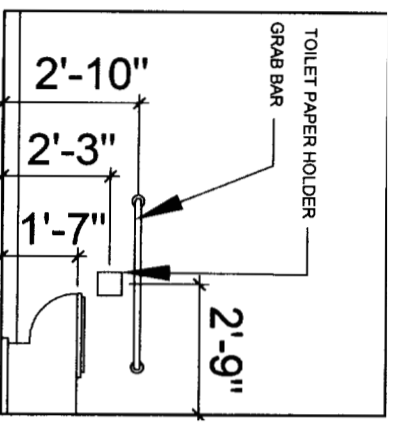
Drawing Sheet:
A3
Drawing 6 of 7



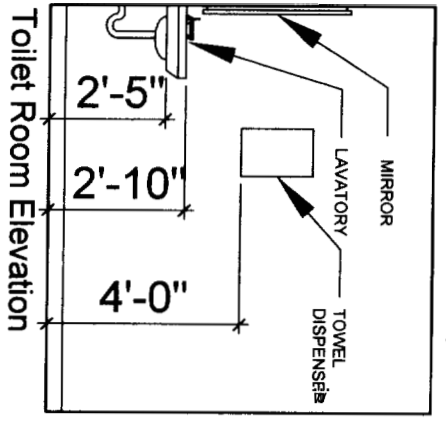
Detailed Plan at Handicapped Toilet
1/4" = 1'-0"



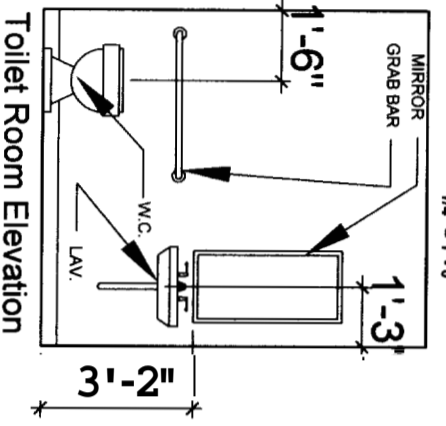
Toilet Room Elevation
1/4" = 1'-0"



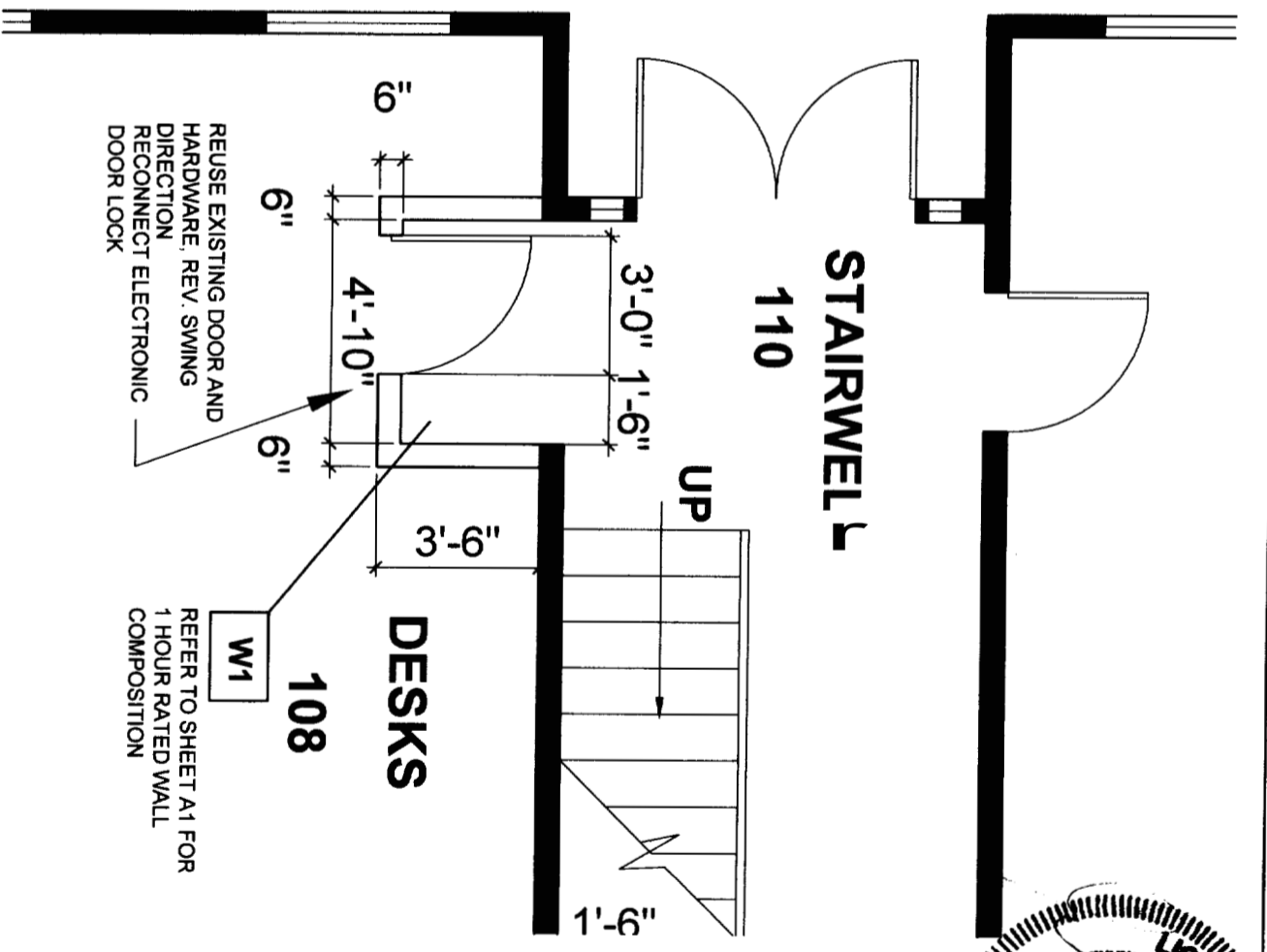
Toilet Room Elevation
1/4" = 1'-0"



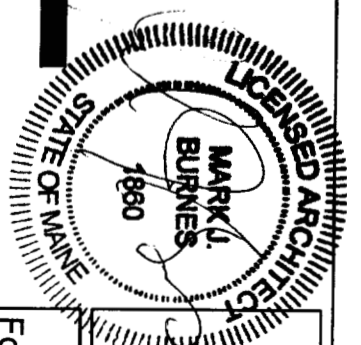
Toilet Room Elevation
1/4" = 1'-0"



Toilet Room Elevation
1/4" = 1'-0"



Detailed Plan at Stairwell
1/4" = 1'-0"

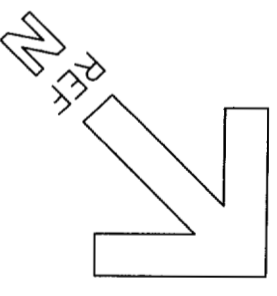


STAIRWELL
110

DESKS
108

REUSE EXISTING DOOR AND HARDWARE, REV. SWING DIRECTION, RECONNECT ELECTRONIC DOOR LOCK

REFER TO SHEET A1 FOR 1 HOUR RATED WALL COMPOSITION



Legend:
Existing Walls -
New Walls -

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Forside
Architects, LLC
PO Box 66736
Falmouth, ME 02106
(207) 781-5735

Scale:
A 1/8", 2004
Drawing Title:
Detailed Floor Plans and Elevations

Drawing Sheet:
A4
Drawing 7 of 7