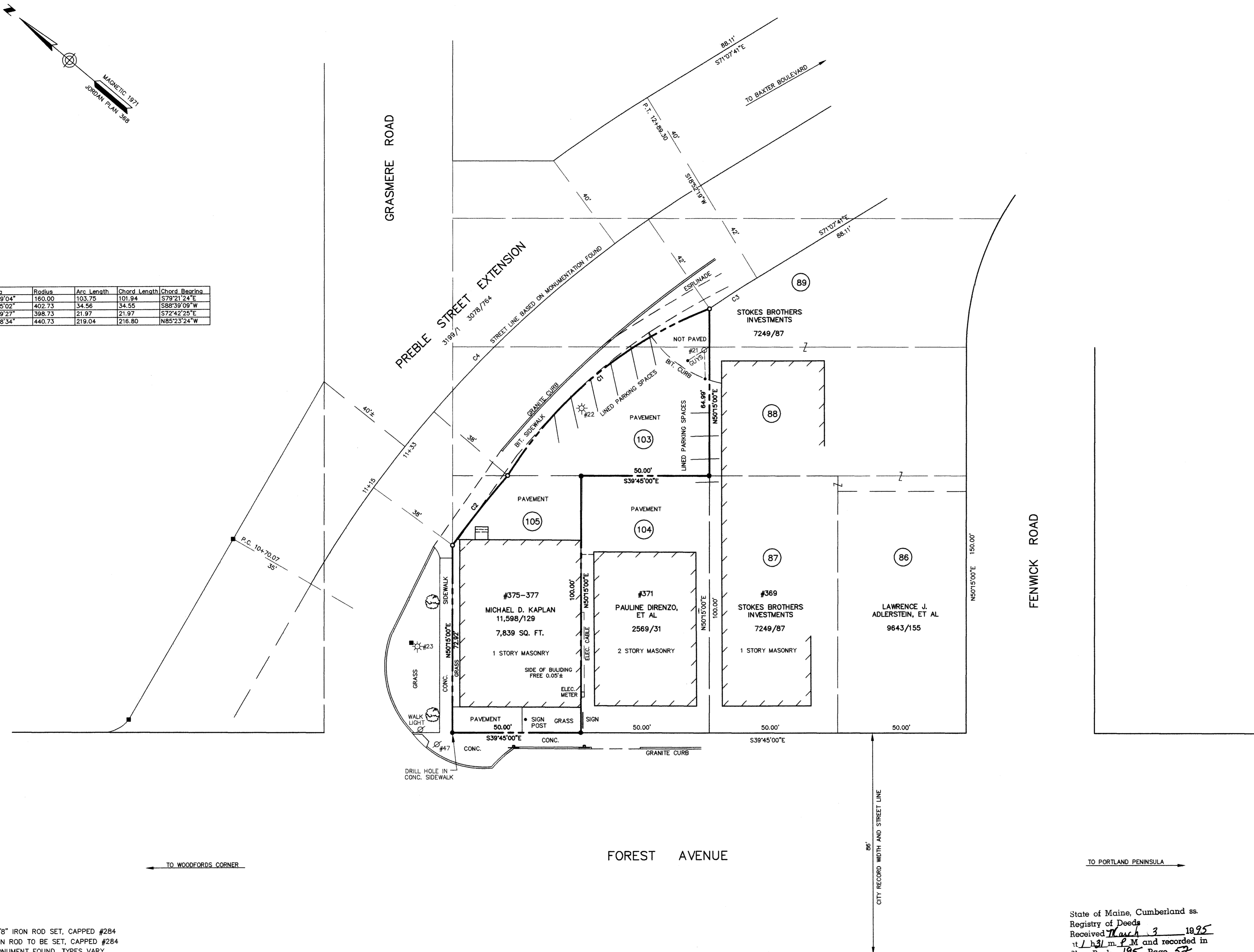




No.	Delta	Radius	Arc Length	Chord Length	Chord Bearing
C1	37°09'04"	160.00	103.76	101.94	S79°21'24"E
C2	04°55'02"	402.73	34.56	34.55	S88°39'09"W
C3	03°09'27"	398.73	21.97	21.97	S72°42'25"E
C4	28°28'34"	440.73	219.04	216.80	N85°23'24"W



NOTE:

CURVE NO. 1 IS NOT A NORMAL CURVE. IN THE ORIGINAL TAKING FOR PREBLE STREET EXTENSION, THE CITY OF PORTLAND TOOK ALL OF LOT 103. IN DEEDS 9087/64 AND 9452/95, THE CITY OF PORTLAND CONVEYS "LOT 112-B-14 ON THE PORTLAND ASSESSORS MAP IN USE IN DECEMBER 1989," THAT IS THE PORTION OF LOT 103 WHICH IS NOT A PART OF PREBLE STREET EXTENSION. THE PORTION OF LOT 105 LEADING TO LOT 103 IS ON A CURVE WHICH IS 38 FEET FROM THE BASELINE CURVE. THE PORTION OF LOT 89 LEADING FROM LOT 103 IS ON A CURVE WHICH IS 42 FEET FROM THE BASELINE CURVE. THEREFORE, A NORMAL CURVE CANNOT BE LAID OUT BETWEEN THE TWO. WE HAVE BEEN INSTRUCTED BY THE CITY OF PORTLAND TO CREATE A CURVE FROM THE CORNERS OF THE NORMAL CURVES. THE 160.00 FOOT RADIUS CURVE SHOWN ON THIS PLAN IS THAT CURVE. REFERENCE IS MADE TO ITS CURVE DATA AND CHORD FOR ANY FUTURE WORK WITH IT. AN AGREEMENT ON THIS CURVE WITH THE CITY OF PORTLAND MAY BE NECESSARY. NO EASEMENT IDENTIFIED FOR POLES 21 AND 22.

PLAN REFERENCES:

- PLAN OF BOULEVARD PARK, MARCH 1912, RECORDED IN CUMBERLAND COUNTY REGISTRY OF DEEDS IN PLAN BOOK 12, PAGE 31.
- PLAN FOR COMMERCIAL PROPERTIES, INC. BY H.I. & E.C. JORDAN, APRIL 1961, FILE 368.
- PRELIMINARY PLOT PLAN FOR FRED C. SCRIBNER, JR. BY BEAL, DEPETER, SPAULDING, INC., FEBRUARY 1961, H.I. & E.C. JORDAN, FILE 368.
- PLAN FOR A.F. BRIGGS CO., INC. BY H.I. & E.C. JORDAN, JULY 1971, FILE 368.
- CITY OF PORTLAND ASSESSORS MAP NO. 112.
- MAINE STATE HIGHWAY COMMISSION RIGHT OF WAY MAP, STATE HIGHWAY "14", S.H.C. FILE NO. 3-188, SHEET 1 OF 2, RECORDED IN CUMBERLAND COUNTY REGISTRY OF DEEDS, PLAN BOOK 111, PAGE 61.

CERTIFICATION:

OWEN HASKELL, INC. HEREBY CERTIFIES TO MICHAEL D. KAPLAN THAT THIS PLAN IS THE RESULT OF AN ACTUAL SURVEY BASED ON RECORD DESCRIPTION OF THE LOT. IT IS IN CONFORMANCE WITH THE REQUIREMENTS OF THE MAINE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS FOR A CATEGORY 1, CONDITION II SURVEY WITH THE FOLLOWING EXCEPTIONS:

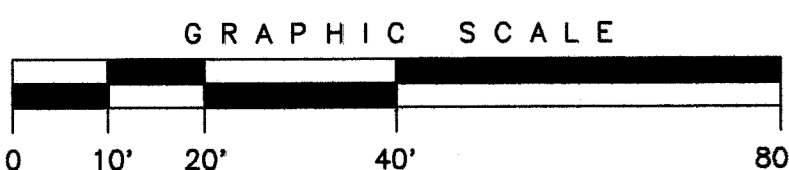
- 1) NO NEW DEED DESCRIPTION.
- 2) DRILL HOLE AT CORNER FOREST AVENUE AND PREBLE STREET EXTENSION NOT CAPPED.

MARCH 1, 1995
DATE

Louis T. Maguire
LOUIS T. MAGUIRE, PLS NO. 284

SEAL

- LEGEND**
- SOLID 5/8" IRON ROD SET, CAPPED #284
 - 5/8" IRON ROD TO BE SET, CAPPED #284
 - 6"x6" MONUMENT FOUND, TYPES VARY, SOME "H", SOME WITH DRILL HOLE ONLY
 - UTILITY POLE
 - LIGHT POLE
 - DECIDUOUS TREE
 - SIGN
 - 2569/31 DEED BOOK / PAGE
 - CURB
 - LOT NUMBER FROM PLAN OF BOULEVARD PARK



State of Maine, Cumberland ss.
Registry of Deeds
Received March 3 1995
at 1:31 p.m. and recorded in
Plan Book 195 Page 52
Attest:
Register

John B. O'Brien

THIS IS NOT A SUBDIVISION

STANDARD BOUNDARY SURVEY
ON
FOREST AVENUE, PORTLAND, MAINE
MADE FOR
MICHAEL D. KAPLAN
66 AUSTIN STREET, PORTLAND, ME 04103

OWEN HASKELL, INC.
16 CASCO ST., PORTLAND, ME 04101 (207) 774-0424
PROFESSIONAL LAND SURVEYORS

Drwn By	LTM	Date	Job No.
Trace By	JLW	MARCH 1, 1995	94270P
Check By	LTM	Scale	Drwg. No.
Book No.	655/132	1" = 20'	1

SUN TIKI STUDIOS

375 FOREST AVENUE
PORTLAND, MAINE

CONSTRUCTION DRAWINGS

NOVEMBER 14, 2018

DRAWING LIST	
SHEET NUMBER	
G0-0	TITLE SHEET
G1-0	GENERAL NOTES, ABBREVIATIONS, AND LEGENDS
G1-1	LIFE SAFETY PLAN
<u>ARCHITECTURAL</u>	
A1-0	FLOOR PLAN
A5-0	DETAILS



Reviewed for Code Compliance
Permitting and Inspections Department
Approved with Conditions

01/03/2019

ARCHITECT

RYAN SENATORE ARCHITECTURE

565 CONGRESS STREET, SUITE 304, PORTLAND, MAINE 04101
207-650-6414

GENERAL NOTES

1: DRAWING NOTES:
CONTRACTOR TO FURNISH AND INSTALL ALL NOTED LABOR AND MATERIALS UNLESS OTHERWISE NOTED.

2: CODE COMPLIANCE:
ALL WORK SHALL CONFORM TO THE LATEST EDITION OF STATE, LOCAL AND OTHER CODES WHICH APPLY TO THIS PROJECT OR HAVE JURISDICTION.

3: COORDINATION:
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE ALL DISCIPLINES AND TRADES SO THAT ALL BUILDING SYSTEMS AND COMPONENTS CAN BE ASSEMBLED WITHOUT CONFLICTS. IN THE EVENT THAT THE CONSTRUCTION DOCUMENTS DEFINE CONDITIONS WHICH PROHIBIT, OR MAY PROHIBIT, SUCH ASSEMBLY, THE CONTRACTOR SHALL BRING TO THE ARCHITECTS ATTENTION, IN WRITING AND IN A TIMELY FASHION, SUCH CONDITION. THE CONTRACTOR SHALL NOT PROCEED WITH RELATED WORK WITHOUT A WRITTEN RESOLUTION/ CLARIFICATION FROM THE ARCHITECT. THE CONTRACTOR AND HIS/HER SUBCONTRACTORS SHALL BE RESPONSIBLE FOR PROVIDING MATERIALS AND SYSTEMS SHOWN IN THE CONSTRUCTION DOCUMENTS REGARDLESS OF WHERE THE INFORMATION IS LOCATED. WHERE COMPONENTS OF A SYSTEM ARE INDICATED THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL LABOR AND MATERIALS NECESSARY TO COMPLETE THE SYSTEM.

4: DISCREPANCIES & CLARIFICATIONS:
THIS PROJECT INVOLVES THE FIT-UP OF AN EXISTING BUILDING. EXISTING DIMENSIONS SHOWN ON THE DRAWINGS ARE BELIEVED TO BE ACCURATE, BUT CANNOT BE GUARANTEED. MEASURE AND VERIFY DIMENSIONS IN FIELD PRIOR TO FABRICATION AND CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO BRING TO THE ARCHITECTS ATTENTION, IN WRITING, ANY DISCREPANCIES OR AMBIGUITIES IN THE DRAWINGS AND/OR SPECIFICATIONS. THE CONTRACTOR SHALL NOT PROCEED WITH RELATED WORK WITHOUT A WRITTEN RESOLUTION OR CLARIFICATION FROM THE ARCHITECT.

5: LAYOUT:
UNLESS INDICATED OTHERWISE, CENTER WALL FRAMING AND PARTITION FRAMING ON COLUMN LINES. FLOOR PLAN DIMENSIONS ARE TO FACE OF FRAMING, FACE OF CONCRETE, FACE OF CMU, OR FROM COLUMN CENTERLINES, UNLESS INDICATED OTHERWISE. DOORS AND WINDOWS ARE DIMENSIONED TO CENTERLINES UNLESS INDICATED OTHERWISE.

6: CENTERING:
UNLESS INDICATED OTHERWISE, CENTER BUILDING ELEMENTS WITHIN OR BETWEEN OTHER BUILDING ELEMENTS WHEN CONDITIONS OR THE DRAWINGS INDICATE OR IMPLY THAT SUCH IS THE INTENT, WHETHER OR NOT DIMENSIONS ARE INCLUDED

7: SYMMETRY:
WHERE CONDITIONS OR THE DRAWINGS INDICATE OR IMPLY THAT SYMMETRY IS INTENDED, INFORMATION PROVIDED AT ONE SIDE APPLIES EQUALLY TO BOTH SIDES, UNLESS CONDITIONS CLEARLY PRECLUDE SUCH APPLICATION.

8: ACCESSIBILITY:
ALL HANDICAPPED ACCESSIBLE BATHROOMS, GRAB BARS, AND DOOR OPENINGS SHALL MEET THE REQUIREMENTS OF TITLE 94-348, CHAPTER 5 OF THE MAINE HUMAN RIGHTS COMMISSION TITLE LATEST EDITION & THE DEPARTMENT OF JUSTICE ADA STANDARDS FOR ACCESSIBLE DESIGN.

9: DRAWING SCALES:
WORK FROM THE GIVEN DIMENSIONS ONLY. SCALE IS INDICATED ON THE DRAWINGS FOR CONVENIENCE ONLY. IT IS NOT INTENDED THAT INFORMATION BE DETERMINED BY SCALING THE DRAWINGS SINCE SOME ITEMS MAY NOT BE TO SCALE.

10: WATER-RESISTANT GWB:
INSTALL WATER-RESISTANT GYPSUM WALL BOARD IN ALL REST ROOMS & TOILET ROOMS OR AT ANY WALL WITH PLUMBING FIXTURES.

10A: HIGH IMPACT GWB:
INSTALL HIGH IMPACT GYPSUM WALL BOARD IN ALL STAIRWELLS

11: INTERIOR ELEVATIONS:
INTERIOR ELEVATIONS MAY BE REVERSED FROM AND/OR SIMILAR TO ACTUAL CONDITIONS. SEE FLOOR PLANS FOR WINDOW AND DOOR LOCATIONS AND LOCATIONS, FOR CASEWORK LAYOUTS, AND FOR MONITOR LOCATIONS.

12: BUILDING INSULATION:
PROVIDE AS INDICATED IN WALL SECTIONS AND IN ACCORDANCE WITH PARTITION TYPES, WHETHER OR NOT SHOWN IN DETAILS AND OTHER DRAWINGS. FOR CLARITY, INSULATION MAY NOT BE SHOWN IN SOME CASES, EVEN IF IT IS TO BE PROVIDED.

13: BLOCKING:
INSTALL BLOCKING BEHIND ALL SURFACE-APPLIED FIXTURES TRIM, CASEWORK, SHELVES, BRACKETS, TOILET ACCESSORIES, CHAIR RAILS, PICTURE RAILS, GRAB BARS, BASE MOLDINGS, AND AS OTHERWISE REQUIRED, WHEN SUCH ITEMS ARE APPLIED ON STUD WALLS.

14: PENETRATIONS AT STRUCTURAL MEMBERS:
BEFORE PENETRATING JOISTS, BEAMS OR OTHER STRUCTURAL MEMBERS, CONSULT WITH THE ARCHITECT.

15: DAMAGED WORK:
BUILDING OR SITE COMPONENTS WHICH ARE AFFECTED BY NEW WORK, DEMOLITION, OR WHICH MAY BE DAMAGED BY THE GENERAL CONTRACTOR OR ANY SUB-CONTRACTOR SHALL BE REPLACED OR RESTORED TO ORIGINAL CONDITION AND COLOR TO MEET THE APPROVAL OF THE ARCHITECT.

16: UTILITIES:
VERIFY THE SIZE AND LOCATION OF ALL UNDERGROUND UTILITIES AND REPORT ANY DISCREPANCIES TO THE ARCHITECT IN WRITING. DO NOT PROCEED WITH WORK UNTIL THE DISCREPANCY HAS BEEN RESOLVED TO THE SATISFACTION OF THE ARCHITECT.

17: RATED CONSTRUCTION:
PROVIDE RATED CONSTRUCTION AS REQUIRED BY CODE, AS SPECIFIED, AND AS INDICATED ON DRAWINGS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE AND INSTALL ALL COMPONENTS REQUIRED TO CREATE SUCH RATED CONSTRUCTION, REGARDLESS OF WHETHER OR NOT SUCH COMPONENTS ARE INDICATED. PROVIDE CONTINUITY OF SUCH RATED CONSTRUCTION AROUND AND BETWEEN SPACES, INCLUDING AT CHASES AND AT FLOORS, TO MAINTAIN COMPLETE SEPARATIONS, EVEN IF NOT SPECIFICALLY INDICATED.

18: SHOP DRAWINGS:
SUBMIT SHOP DRAWINGS TO THE ARCHITECT FOR REVIEW PRIOR TO FABRICATIONS. SUBMITTALS REQUIRED INCLUDE, BUT ARE NOT LIMITED TO, SHOP DRAWINGS FOR ALL PREFABRICATED CONCRETE, STEEL, MILLWORK & SIGNAGE, SAMPLES OF ALL PROPOSED PAINTS, METALS, WALL COVERINGS, LAMINATES, SOLID SURFACE MATERIALS, CERAMIC TILE, AND HARDWARE. SUBMIT MANUFACTURERS' DATA FOR ALL LIGHTING SYSTEMS, AND HARDWARE.

19: PERMITS:
THE GENERAL CONTRACTOR SHALL OBTAIN AND PAY FOR ANY BUILDING PERMITS REQUIRED AND CARRY ANY INSURANCE COVERAGES REQUIRED.

20: INTERIOR FINISHES:
ALL INTERIOR FINISHES AND FURNISHINGS ARE TO BE CLASS 'A' FIRE-RATED AND ARE TO COMPLY WITH IBC CHAPTER-8 (INTERIOR FLAME SPREAD).

21: ELECTRICAL DESIGN:
REFER TO ELECTRICAL DRAWINGS AND SPECIFICATIONS

22: WASTE REMOVAL:
THE GENERAL CONTRACTOR SHALL DISPOSE OF ALL WASTE AND DEBRIS OFF THE PREMISES.

23: LANDLORD COORDINATION:
THE GENERAL CONTRACTOR MUST COORDINATE WITH THE BUILDING OWNER ALL ACTIVITIES INCLUDING BUT NOT LIMITED TO WORK WHICH WILL GENERATE EXCESSIVE NOISE AND MODIFICATION TO UTILITIES. WORK MUST NOT INTERFERE WITH EXISTING SMOKE DETECTORS, ALARMS OR BUILDING SYSTEM MANAGEMENT.

24: TEMPORARY FACILITIES:
PROVIDE ALL TEMPORARY FACILITIES AND SERVICES, CONSTRUCTION AND SUPPORT FACILITIES, AND SECURITY AND PROTECTION AS NEEDED TO PROTECT NEW AND EXISTING CONSTRUCTION FOR THE DURATION OF A COMPLETE INSTALLATION.

25: MANUFACTURERS INSTRUCTIONS:
ALL MATERIALS & EQUIPMENT SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S SPECIFICATIONS.

27: GUARANTEE:
GUARANTEE: ALL MATERIALS AND WORKMANSHIP SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE UNLESS OTHERWISE SPECIFIED FOR A LONGER PERIOD OF TIME ON A CERTAIN ITEM.

28: ASBESTOS:
ALL MATERIAL USED FOR THE CONSTRUCTION OF THIS PROJECT, WHETHER BUILDING MATERIALS OR APPURTENANCES, SHALL BE NON-ASBESTOS CONTAINING MATERIAL.

29: HAZARDOUS FUMES:
THE GENERAL CONTRACTOR SHALL CONFIRM THAT ALL MATERIAL AND FINISHES SPECIFIED AND THEIR FABRICATION OR INSTALLATION WILL NOT RELEASE FUMES OR AROMAS DURING CONSTRUCTION WHICH MAY BE A HAZARD OR NUISANCE TO PERSONNEL.

30: PEST CONTROL:
SEAL AND CAULK AROUND ALL PENETRATIONS, CRACKS AND CREVICES AND ANY OPENINGS CAPABLE OF HARBORING INSECTS/RODENTS.

31: EXPOSED UTILITIES:
ALL EXPOSED UTILITY WIRES AND PIPES (ELECTRICAL, PLUMBING, ETC.) SHALL BE INSTALLED IN A WAY THAT DOES NOT OBSTRUCT OR PREVENT THE CLEANING OF FLOORS, WALLS, AND CEILING AREAS. THEY SHALL BE INSTALLED A MINIMUM OF 6" OFF FLOORS AND 1" OFF WALLS, CEILINGS AND ADJACENT PIPES.

32: OWNER SUPPLIED EQUIPMENT:
EQUIPMENT SUPPLIED BY THE OWNER AND INSTALLED BY THE GENERAL CONTRACTOR! EQUIPMENT INFORMATION AND SPECIFICATIONS ARE TO BE THE MOST CURRENT AVAILABLE AT THE TIME OF DOCUMENTATION PREPARATION. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING WITH THE OWNER THE EXACT DIMENSIONS AND EQUIPMENT CONNECTION REQUIREMENTS (INCLUDING ELECTRICAL CIRCUIT REQUIREMENTS) OF EQUIPMENT TO BE SUPPLIED. THE GENERAL CONTRACTOR SHALL MAKE ALL FINAL CONNECTIONS AS NOTED ON THE DRAWINGS, INSTANT THE SET UP IN WORKING ORDER. CHECK WARRANTIES, TEST AND NOT VOID WARRANTIES. THE GENERAL CONTRACTOR SHALL COORDINATE WITH THE OWNER DELIVERY, STORAGE AND INSTALLATION OF ALL OWNER SUPPLIED EQUIPMENT. THE GENERAL CONTRACTOR SHALL STORE EQUIPMENT IF REQUESTED BY THE OWNER UNTIL INSTALLATION. SEE DRAWINGS FOR OTHER OWNER SUPPLIED/GENERAL CONTRACTOR INSTALLED ITEMS.

33: FIRE PROTECTION NOTE:
EXISTING SPRINKLERHEADS, ALARM SYSTEM AND DETECTORS ARE TO BE MODIFIED TO CONFORM, WITH THE PROPOSED PLAN. COORDINATE WITH THE ARCHITECT, ANY MODIFICATION OR LOCATIONS WHERE EXISTING SYSTEMS ARE AFFECTED BY THE NEW DESIGN.

34: SOILS AT FOOTINGS:
REPORT THE LOCATION OF ALL UNSUITABLE SOILS AND MATERIALS BELOW ANTICIPATED LEVEL OF FOOTING TO THE ARCHITECT PRIOR TO THE SETTING OF FORMS.

35: ACCESS PANELS:
CONTRACTOR IS RESPONSIBLE FOR COORDINATING QUANTITY AND LOCATION OF ALL REQUIRED ACCESS PANELS FOR ALL MEP CONTROLS, CLEANOUTS, DAMPERS, PULL BOXES, ETC.

36: EXISTING HAZARDOUS MATERIALS
ALL HAZARDOUS MATERIALS INCLUDING BUT NOT LIMITED TO ASBESTOS AND LEAD PAINT ARE TO BE HANDLED, ENCAPSULATED, ABATED AND DISPOSED OF IN ACCORDANCE WITH ANY AND ALL FEDERAL, STATE AND LOCAL REQUIREMENTS AND REGULATIONS.

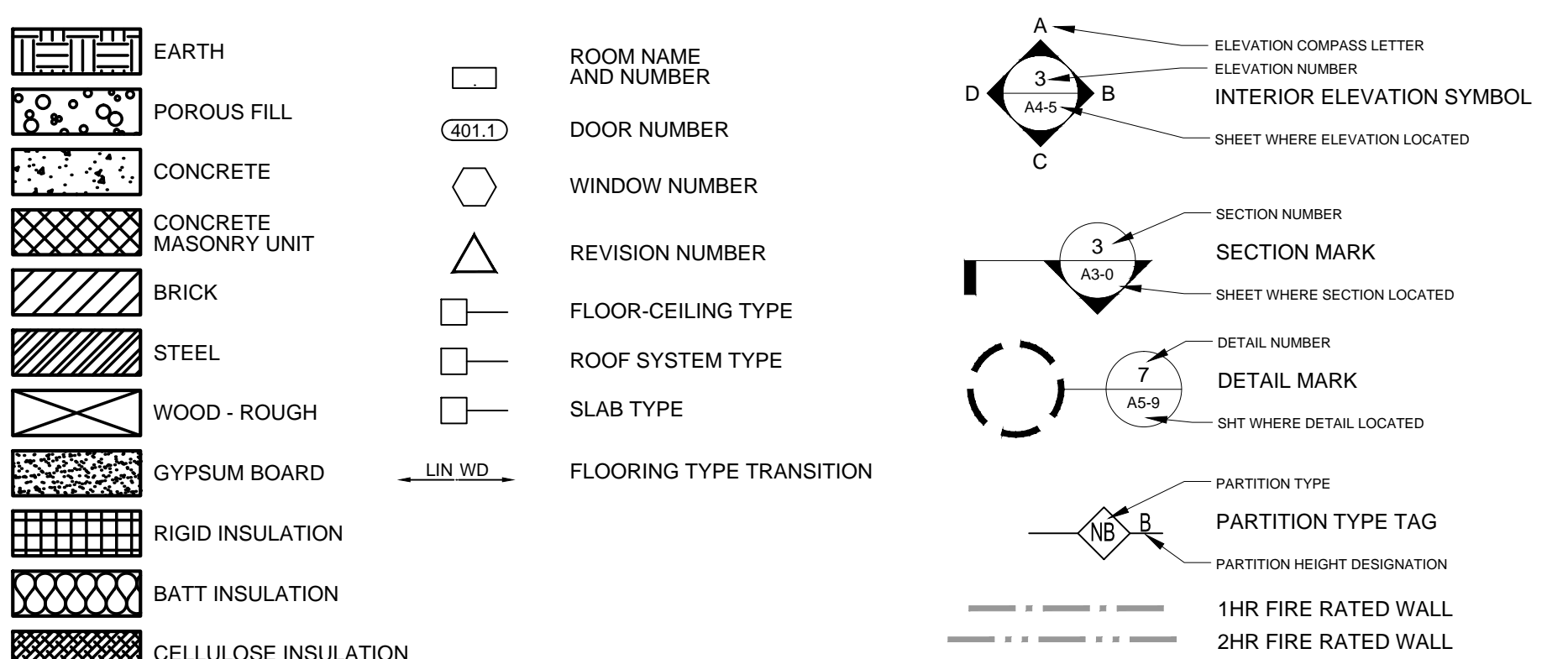
37: INDUSTRY STANDARDS:
ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH INDUSTRY STANDARDS. STANDARDS INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING:

- AAMA AMERICAN ARCHITECTURAL MANUFACTURERS ASSOCIATION
- ACT AMERICAN CONCRETE INSTITUTE
- ANSI AMERICAN NATIONAL STANDARDS INSTITUTE
- ASTM AMERICAN SOCIETY FOR TESTS AND MATERIALS
- AWI ARCHITECTURAL WOODWORK INSTITUTE
- "CUSTOM GRADE"
- AWS AMERICAN WELDING SOCIETY
- IGMA INSULATING GLASS MANUFACTURERS ALLIANCE
- NAAMM NATIONAL ASSOCIATION OF ARCHITECTURAL METAL MANUFACTURERS
- NRCA NATIONAL ROOFING CONTRACTORS ASSOCIATION
- NTCA NATIONAL TILE CONTRACTORS ASSOCIATION
- SMACNA SHEET METAL AND AIR CONDITIONING NATIONAL ASSOCIATION
- WDMA WINDOW AND DOOR MANUFACTURERS ASSOCIATION

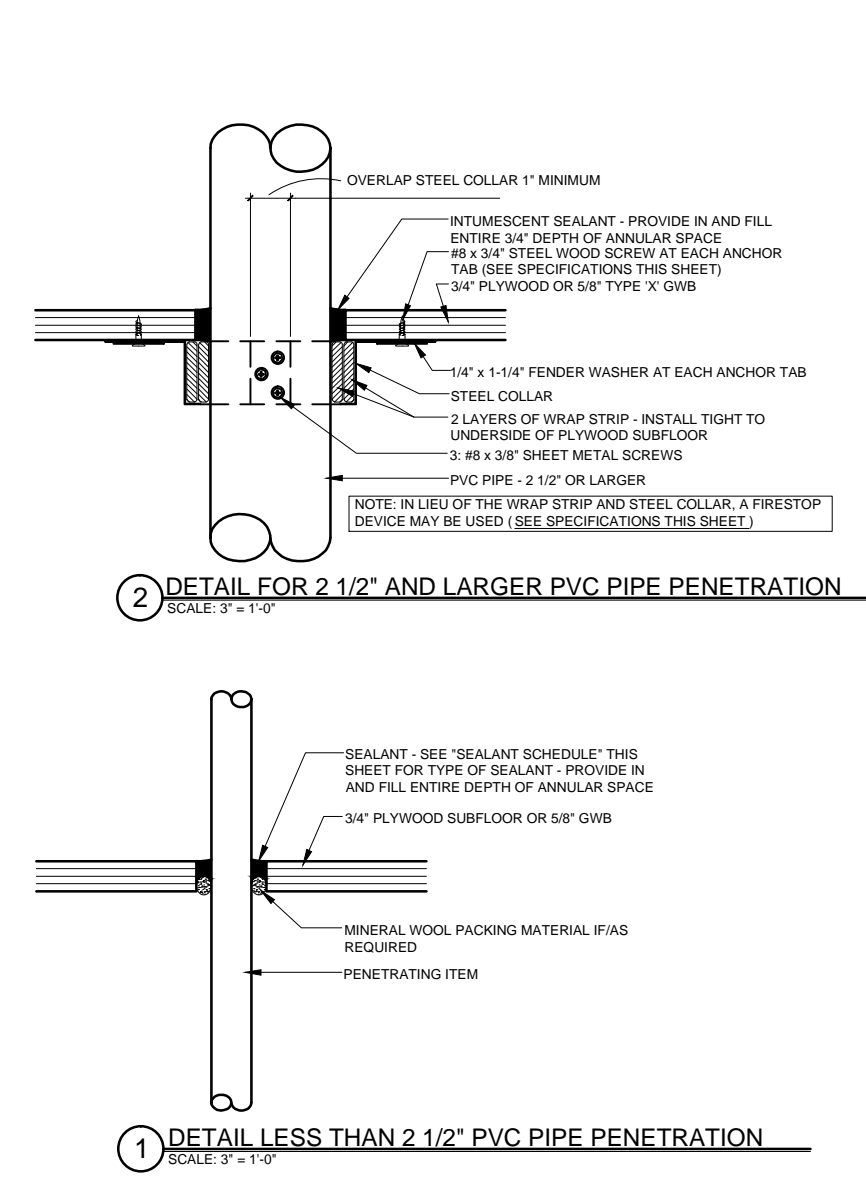
ABBREVIATIONS

A	AC	AIR CONDITIONING	L	LAB	LABORATORY
B	ACT	ACOUSTICAL CEILING TILE	LAM	LAMINATED	
C	AD	AREA DRAIN	LB	POUND	
D	ADAAG	AMERICANS WITH DISABILITIES ACT ACCESSIBILITY'S GUIDELINES	LH	LEFT-HAND	
E	ADD	ADDENDUM	LCC	LEAD COATED COPPER	
F	AFF	ABOVE FINISHED FLOOR	M	MACH	MACHINE
G	AHU	AIR-HANDLING UNIT	MAS	MASONRY	
H	ARCH	ARCHITECT/ARCHITECTURAL	MATL	MATERIAL	
I	AWP	ACOUSTIC WALL PANEL	MAX	MAXIMUM	
J	B	BACK-TO-BACK ANGLES	MDO	MEDIUM-DENSITY OVERLAY	
K	B TO BLS	BASE BUILDING GENERAL CONTRACTOR	MECH	MECHANICAL	
L	BLDG	BUILDING	MEMB	MEMBRANE	
M	BLKG	BLOCKING	MET	METAL	
N	BMT	BASEMENT	MEZZ	MEZZANINE	
O	BTWN	BETWEEN	MFR	MANUFACTURER	
P	BO	BY OTHERS	MIN	MINIMUM	
Q	C	COURSE (MASONRY)	MISC	MISCELLANEOUS	
R	CFR	CERAMIC	MO	MOUNTED	
S	CG	CORNER GUARD	MTL	METAL	
T	CH	COAT HOOK	MB	MARKER BOARD	
U	CJ	CONTROL JOINT	N	NORTH	
V	CLG	CENTER LINE	#	NUMBER	
W	CL	CELLING	NC	NOT IN CONTACT	
X	CMU	CONCRETE MASONRY UNIT	NOM	NOMINAL DIMENSION	
Y	CO	CLEAN OUT	NTS	NOT TO SCALE	
Z	COL	COLUMN	O	ON/OVER	
AA	CONC	CONCRETE	O/	ON CENTER	
AB	COND	CONDITION	OD	OUTSIDE DIAMETER/OUTSIDE DIMENSION	
AC	CONN	CONNECT/CONNECTION	OFF	OFFICE	
AD	CONST	CONSTRUCTION	OPG	OPENING	
AE	CONT	CORRIDOR	OPP	OPPOSITE	
AF	CORR	CORRIDOR	OPH	OPPOSITE HAND	
AG	CT	CERAMIC TILE CABINET UNIT HEATER	OSB	ORIENTED STRAND BOARD	
AH	DBL	DOUBLE	P	PURCHASED BY OWNER INSTALLED BY CONTRACTOR	
AI	DF	DRINKING FOUNTAIN	PB/BOIC	PRECAST	
AJ	DIA	DIAMETER	PC	PLASTER	
AK	DIFF	DIFFUSER	PL	PLASTIC LAMINATE	
AL	DIM	DIMENSION	PLM	PLUM	
AM	DN	DOWN	PR	PAIR	
AN	DR	DOOR	PREFAB	PREFABRICATE	
AO	DRS	DRY STAND PIPE	PRIV	PRIVACY	
AP	DWIG	DRAINAGE	PRIM	PRIMED	
AQ	E	EAST	PSE	POUNDS PER SQUARE FOOT	
AR	E A	ELEVATION	PSI	POUNDS PER SQUARE INCH	
AS	EL	ELECTRICAL	PTD	PAINTED	
AT	ELEV	ELEVATION	PTN	PARTITION	
AU	EQ	EQUAL	PVC	POLYVINYL CHLORIDE	
AV	ENTR	ENTRANCE	PLY	PLYWOOD	
AW	EQIP	EQUIPMENT	PERF	PRESSURE TREATED PERFORMATED	
AX	EXP	EXPANSION	Q	QUARRY TILE	
AY	EXPB	EXPANSION BOLT	QTR	QUARTER	
AZ	EXPJ	EXPANSION JOINT	R	RISER/RADIUS	
BA	EXT	EXTERIOR	RAD	RADIUS	
BB	EPDM	ETHYLENE PROPYLENE DIENE MONOMER	RB	RUBBER BASE	
BC	EWC	ELECTRIC WATER COOLER	RC	REFLECTED CEILING PLAN	
BD	F	FAHRENHEIT	RD	ROOF DRAIN	
BE	FB	FLAT BAR	REBAR	REINFORCING BAR	
BF	FD	FIRE EXTINGUISHER AND CABINET	REFRIG	REFRIGERATOR	
BG	FE	FIRE EXTINGUISHER	REINFC	REINFORCED	
BH	FEC	FIRE EXTINGUISHER CABINET	REQ	REQUIRED	
BI	FTWD	FIRE TREATED WOOD	RES	RESILIENT	
BJ	FIN	FINISH	REV	REVERSE	
BK	FOB	FACE OF BRICK	RM	ROOM	
BL	FOC	FACE OF CONCRETE	ROW	ROUGH OPENING	
BM	FOF	FACE OF FINISH	S	SOUTH	
BN	FOF	FACE OF FINISH	SCHED	SCHEDULE	
BO	FOW	FACE OF WALL	SF	SQUARE FEET	
BP	FSS	FIRE SUPPRESSION SYSTEM	SIM	SIMILAR	
BQ	FT	FOOT	SPEC	SPECIFICATION	
BR	FTG	FOOTING	SQ	SQUARE	
BS	FRG	FIBER REINFORCED GYPSUM	SST	STAINLESS STEEL	
BT	FTR	FIN TUBE RADIATION	ST	STEEL	
BV	FH	FUME HOOD	STD	STANDARD	
BW	G	GAUGE	STOR	STORAGE	
BX	GALV	GALVANIZED	STRUC	STRUCTURE/STRUCTURAL	
BY	GB	GENERAL CONTRACTOR	SUSP	SUSPENSION	
BZ	GC	GROUND-FAULT INTERRUPTER	T	TONGUE&GROOVE	
CA	GL	GLASS/LAZING GLAZED	TEL	TELEPHONE	
CB	GLAM	GLUE LAMINATED WOOD	THK	THICK	
CC	GND	GROUND	TOD	TOP OF DECK	
CD	GWB	GYPSUM WALL BOARD	TOS	TOP OF STEEL	
CE	H	HOSE BIB	TYP	TYPICAL	
CF	HB	HANDICAP	TV	TELEVISION	
CG	HC	HORIZONTAL	TB	TACK BOARD	
CH	HM	HOLLOW METAL	TOC	TOP OF CONCRETE	
CI	HORIZ	HORIZONTAL	U	UNDERWRITERS LABORATORIES, INC.	
CJ	HP	HORSE POWER/HIGH POINT/HEAT PUMP	UV	UNIT VENTILATOR	
CK	HR	HOUR	V	VERTICAL	
CL	HW	HOT WATER	VERT	VERTICAL	
CM	HVAC	HEATING VENTILATION AIR CONDITIONING	VIF	VERIFY IN FIELD	
CN	I	INSIDE DIMENSION/INSIDE DIAMETER	VOL	VOLUME	
CO	IN	INCHES	W	WEST	
CP	INFO	INFORMATION	WO	WITHOUT	
CQ	INSUL	INSULATION	W/	WITH	
CR	J	JOIST	WO	WOOD	
CS	JT	JOINT	WF	WIDE FLANGE	
CT	K	KILN-DRIED	WP	WORK POINT	
CU	KIP	1000 POUNDS	WT	WEIGHT	

DRAWING LEGEND



FIRESTOPPING DETAILS



SPECIFICATIONS

WRAP STRIP: 1/4" THICK x 1 1/2" MINIMUM WIDTH INTUMESCENT MATERIAL WITH PLASTIC FILM FACING BOTH SIDES. TEMPORARILY SECURE WITH MAKING TAPE. SPECIFIED TECHNOLOGIES INC. (STI) "SpecSeal RED Wrap Strip" OR "SpecSeal BLU Wrap Strip" OR EQUAL.

STEEL COLLAR: WRAP STRIP MANUFACTURER'S STEEL COLLAR, FABRICATED FROM .016 INCH THICK GALVANIZED SHEET STEEL. WIDTH TO MATCH WRAP STRIP (1 1/2" MINIMUM), WITH 1 INCH x 2 INCH ANCHOR TABS AND RETAINER TABS. ANCHOR TABS TO BE SYMMETRICALLY OPPOSED AROUND COLLAR, PROVIDE 3 TABS FOR 2 1/2" AND 3" PIPE; PROVIDE 4 TABS FOR 4" PIPE.

INTUMESCENT SEALANT: ONE-PART, INTUMESCENT, LATEX ELASTOMER TESTED TO ASTM E 814. MINIMUM EXPANSION OF 3x AT 1000°F. 3M "FIRE BARRIER SEALANT CP 25WB4" OR EQUAL.

FIRESTOP SEALANT: SINGLE COMPONENT NONCOMBUSTIBLE FIRE RATED SEALANT TESTED TO ASTM E 814. TESTED TO 3000°F. "BOSS 136 FIRESTOP/RAFT SEALANT" MANUFACTURED BY ACCUMETRIC, LLC. OR EQUAL.

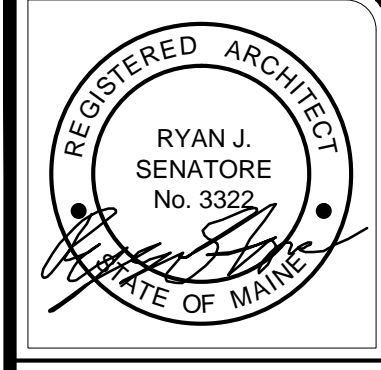
SEALANT SCHEDULE:

INTUMESCENT SEALANT: PROVIDE AT ALL PENETRATIONS THROUGH RATED CONSTRUCTION FOR PENETRATING ITEMS INCLUDING BUT NOT LIMITED TO: PVC PIPE; ROOF LEADER PIPES; GAS PIPES & LINES; SPRINKLER PIPES; ELECTRICAL & COMMUNICATIONS CABLES & WIRES; AND ALARM SYSTEM WIRES. DO NOT USE INTUMESCENT SEALANT AT DOMESTIC HOT WATER OR HYDRONIC HEATING SYSTEM PIPES.

FIRESTOP SEALANT: PROVIDE AT ALL PENETRATIONS THROUGH RATED CONSTRUCTION FOR PENETRATING ITEMS INCLUDING DOMESTIC HOT AND COLD WATER PIPES AND HYDRONIC HEATING SYSTEM PIPES.

NOTE:

FOR LOCATIONS OF RATED CONSTRUCTION, SEE ARCHITECTURAL FLOOR PLANS AND SECTIONS



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Reviewed for Code Compliance Permitting and Inspections Department Approved with Conditions 01/03/2019

SUN TIKI STUDIOS
375 FOREST AVENUE
PORTLAND, MAINE



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565 CONGRESS STREET
PORTLAND, MAINE 04101
207-650-6414
senatore@rsarba.com

CONSULTANTS:

REVISIONS:

DATE: 14 NOVEMBER 2018

PROJECT No. 1829

DRAWN BY: RRT

CHECKED BY: RJS

SCALE: AS NOTED

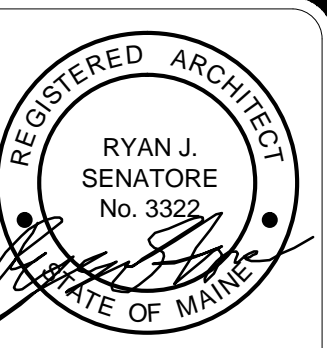
SHEET TITLE:
GENERAL NOTES AND ASSEMBLIES

G1-0



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01/03/2019



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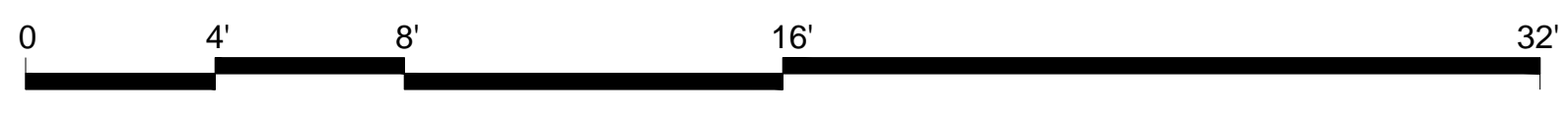
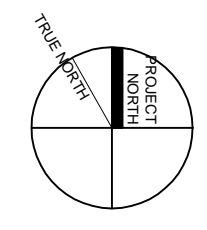
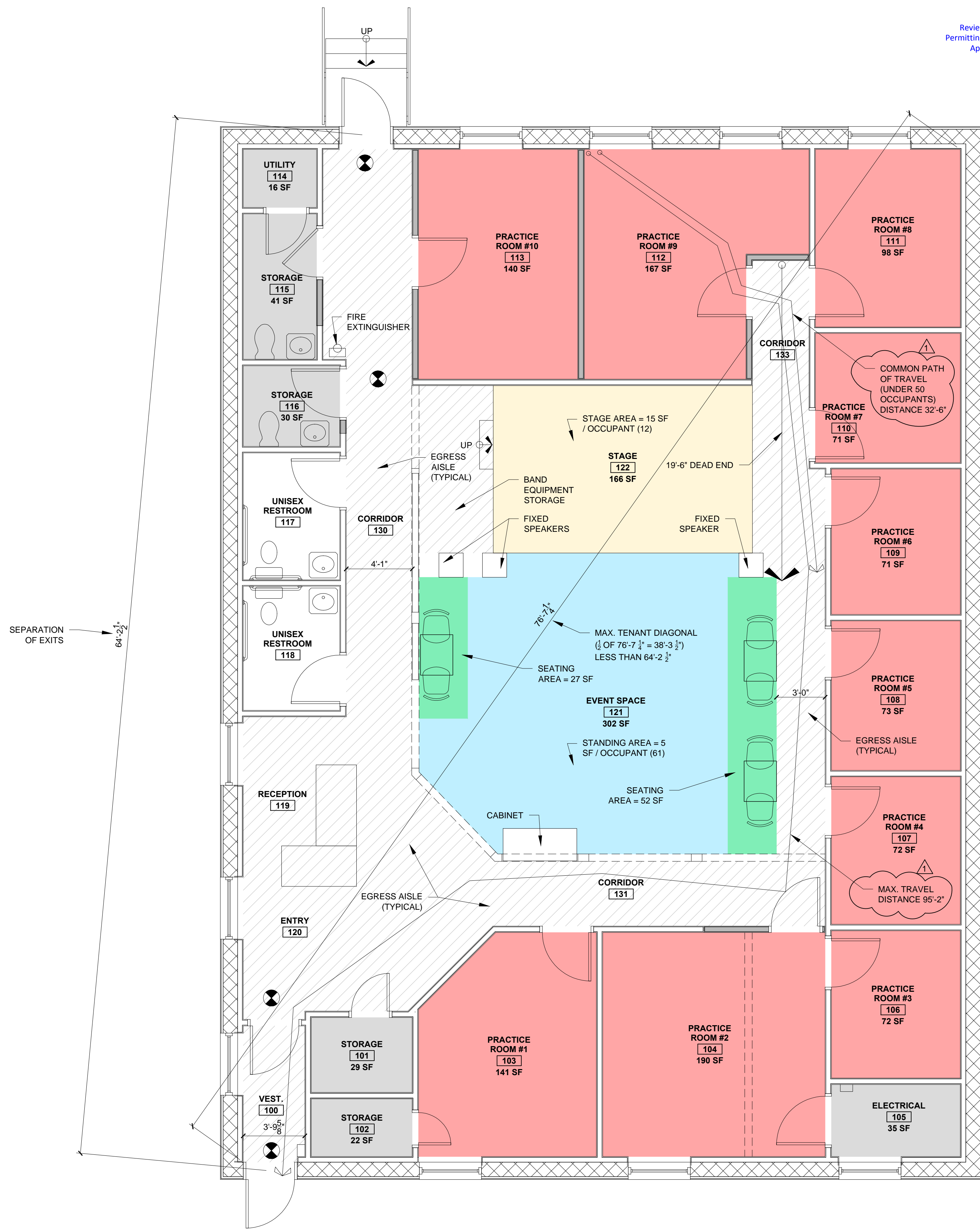
CODE REVIEW LEGEND

- EXIT SIGN
- FIRE EXTINGUISHER

1
INTERIOR FINISHES TO MEET
CHAPTER 8 OF IBC 2015

AREA / OCCUPANT CALCULATIONS:		
AREA	INTERIOR SF	OCCUPANT LOAD
EVENT SPACE (A-2 ASSEMBLY USE)	302 SF	61 OCCUPANTS
STAGE (A-2 ASSEMBLY USE)	166 SF	12 OCCUPANTS
SEATING AREA (A-2 ASSEMBLY USE)	79 SF	6 OCCUPANTS
RECEPTION	N/A	1 OCCUPANT
STORAGE / UTILITY (BUSINESS USE)	173 SF	1 OCCUPANT
PRACTICE ROOMS (BUSINESS USE)	1,095 SF	11 OCCUPANTS
TOTAL: 92 OCCUPANTS		

SEPARATION OF EXITS
64'-2 1/2"



1 CODE REVIEW PLAN
1/4" = 1'-0"

SUN TIKI STUDIOS
375 FOREST AVENUE
PORTLAND, MAINE



RYAN SENATORE
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565 CONGRESS STREET
PORTLAND, MAINE 04101
207-650-6414
senatorearchitecture.com

CONSULTANTS:

REVISIONS:
REVISION - 12 / 13 / 18

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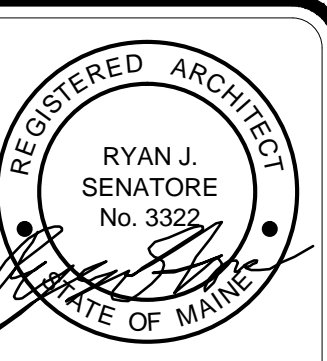
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SHEET TITLE:
CODE REVIEW PLAN

G1-1



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SHEET TITLE:
FLOOR PLAN

A1-0

WALL TYPE 'NA'				
GRAPHIC DEPICTION		DESCRIPTION		
		- LAYER OF SOUND DEADENING GWB (MATCH THICKNESS OF EXISTING) - 2" RESILIENT SOUND CHANNEL - 2x4 WOOD STUDS AT 16" O.C. - CELLULOSE INSULATION (PROVIDE SCRIM AS REQUIRED) - LAYER OF SOUND DEADENING GWB (MATCH THICKNESS OF EXISTING)		
TYPE	FIRE RATING	UL NUMBER	STC RATING	IIC RATING
NA	N/A	N/A	35-39	N/A

WALL LEGEND	
	EXISTING WALL
	NEW WALL

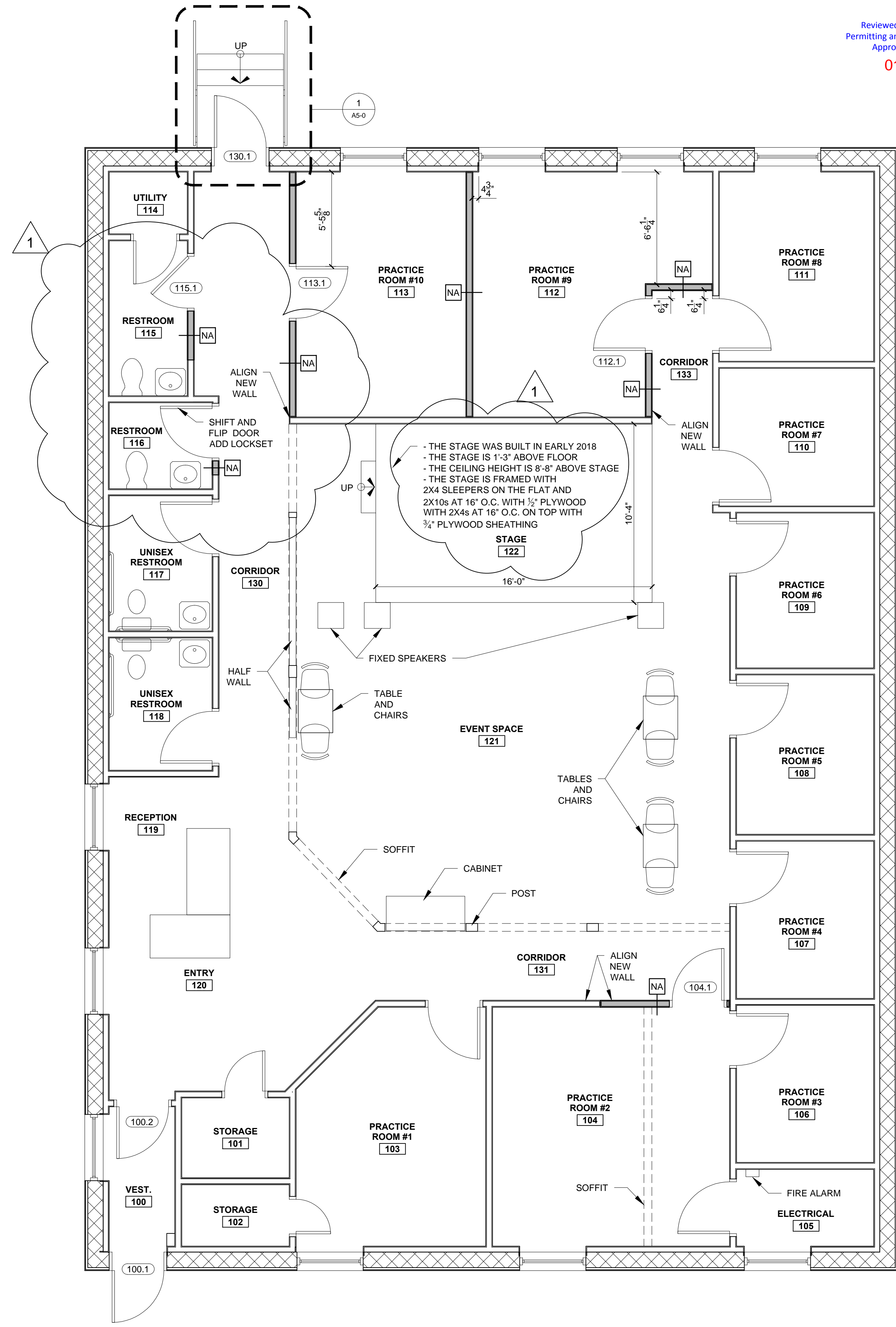
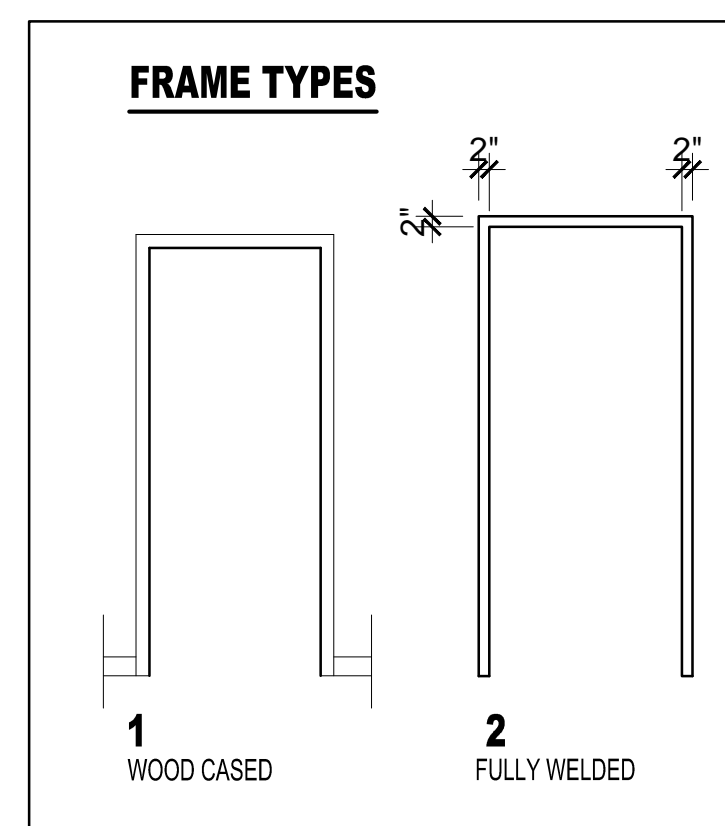
A INTERIOR

NOTES:

- ALL DOOR HARDWARE TO BE "LEVER TYPE"
- ALL DOORS TO HAVE SOLID CORES

2 DOOR TYPES
1/4" = 1'-0"

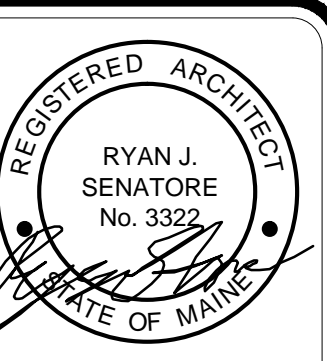
DOOR SCHEDULE															
DOOR NO.	DOOR					FRAME					GENERAL				
	TYPE	WIDTH	HEIGHT	THICKNESS	INSULATED	TYPE	MATERIAL	THRESHOLD	HEAD	JAMB	SILL	CLOSER	FIRE RATING (MINUTES)	TEMPERED	REMARKS
100.1	-	-	-	-	-	-	-	-	-	-	-	-	-	-	EXISTING DOOR - ADD PANIC HARDWARE
100.2	-	-	-	-	-	-	-	-	-	-	-	-	-	-	EXISTING DOOR - ADD PANIC HARDWARE
104.1	A	3'-0"	6'-8"	1-3/4	Y	2	STL	-	-	-	-	-	-	-	-
112.1	A	3'-0"	6'-8"	1-3/4	Y	2	STL	-	-	-	-	-	-	-	-
113.1	A	3'-0"	6'-8"	1-3/4	Y	2	STL	-	-	-	-	-	-	-	-
115.1	A	3'-0"	6'-8"	1-3/4	Y	2	STL	-	-	-	-	Y	-	-	LOCKSET
130.1	-	-	-	-	-	-	-	-	-	-	-	-	-	-	EXISTING DOOR - ADD PANIC HARDWARE



1 FIRST FLOOR PLAN
1/4" = 1'-0"



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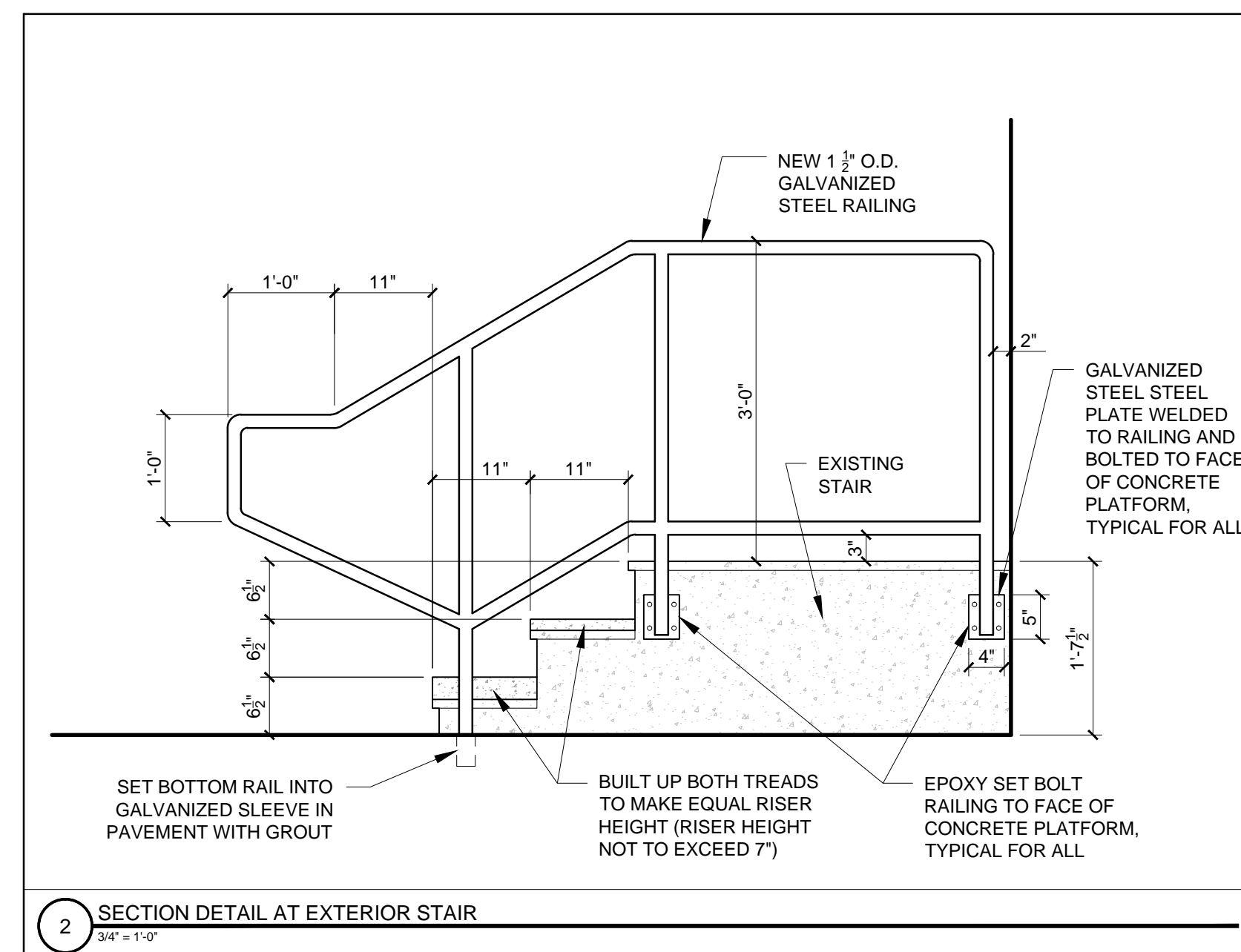
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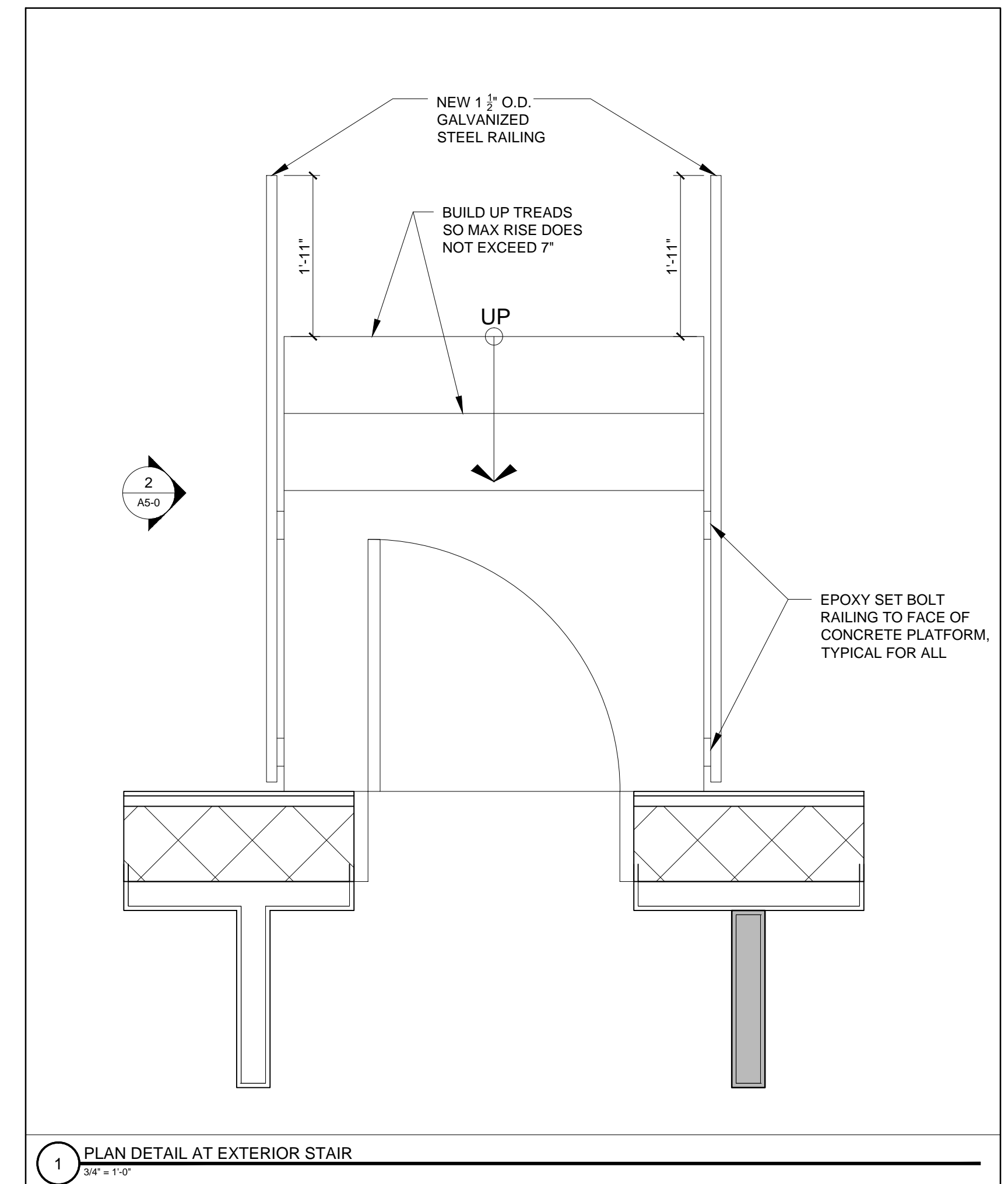
SCALE: AS NOTED

SHEET TITLE:
 DETAILS

A5-0



2 SECTION DETAIL AT EXTERIOR STAIR
 3/4" = 1'-0"



1 PLAN DETAIL AT EXTERIOR STAIR
 3/4" = 1'-0"