

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached

BUILDING INSPECTION PERMIT

Permit Number: 081046

This is to certify that MASTORAN RESTAURANTS INCORPORATED/Marc C. Bocho
has permission to Replace existing Wood & glass store front w/ aluminum & glass
AT 449 FOREST AVE PL 111 A016001

provided that the person or persons firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission is procured before this building or part thereof is occupied or service is resumed in it. FOUR NO. REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

PERMIT ISSUED

OTHER REQUIRED APPROVALS

Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____
CITY OF PORTLAND
Department Name

9/17/08 *Chety L. N.*
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

39 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 08-1046	Issue Date: 9/17/08	CBL: 111 A016001
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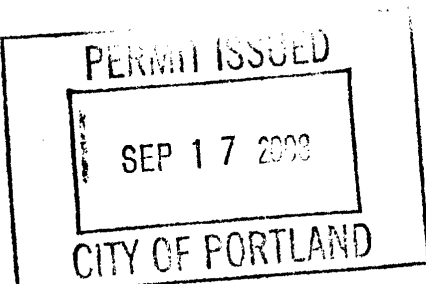
Location of Construction: 49 FOREST AVE	Owner Name: MASTORAN RESTAURANTS IN	Owner Address: 822 LEXINGTON ST SECOND FLO	Phone:
Business Name:	Contractor Name: Marc G Rochon	Contractor Address: 11 Bartlett Place Amesbury	Phone: 6176451596
Applicant/Owner/Buyer's Name	Phone:	Permit Type: Additions - Commercial	Zone: B-2b

Proposed Use: Commercial - "Burger King"	Proposed Use: Commercial - "Burger King" - Replace existing Wood & glass store front & Skylight w/ aluminum & glass	Permit Fee:	Cost of Work: \$0.00	CEO District: 1
		FIRE DEPT: N/A <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: A-2 Type: 5B IBL-3007	

Proposed Project Description: Replace existing Wood & glass store front & Skylight w/ aluminum & glass	Signature: <i>Cass</i>	Signature: <i>CU</i> 9/17/08
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
Signature: _____ Date: _____		

Permit Taken By: L Dobson	Date Applied For: 08/22/2008	Zoning Approval
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<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.</p>	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan exemption Applied for Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>9/25/08</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>9</i>
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>449 Forest Ave Portland ME</u>			
Total Square Footage of Proposed Structure/Area		Square Footage of Lot	
Tax Assessor's Chart, Block & Lot Chart# Block# Lot#	Applicant * <u>must be owner, Lessee or Buyer</u> *		Telephone:
<u>111 A 16</u>	Name <u>Mastoran Restaurants</u> <u>Incorporated</u>		<u>7818930990</u>
	Address <u>833 Lexington St 2nd Fl</u>		
	City, State & Zip <u>Waltham MA 02452</u>		
Lessee/DBA (If Applicable)	Owner (if different from Applicant)	Cost Of Work: \$ <u>17,000.</u>	
<u>Burger King</u>	Name	C of O Fee: \$ _____	
	Address	Total Fee: \$ _____	
	City, State & Zip		
Current legal use (i.e. single family)	<u>fast food restaurant</u>		
If vacant, what was the previous use?	_____		
Proposed Specific use:	_____		
Is property part of a subdivision?	If yes, please name _____		
Project description:	<u>Replace existing store front & skylight - cap wood & glass</u> <u>+0</u> <u>Aluminum & glass</u>		
Contractor's name:	<u>Marc G. Rochon</u>		
Address:	<u>11 Bartlett Place</u>		
City, State & Zip	<u>Amesbury MA 01913</u>	Telephone:	<u>6176451576</u>
Who should we contact when the permit is ready:	<u>Marc G. Rochon</u>	Telephone:	<u>7818930990</u>
Mailing address:	<u>833 Lexington St 2nd Fl Waltham MA 02452</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: Marc G. Rochon Date: 6/26/08

This is not a permit; you may not commence ANY work until the permit is issue

City of Portland, Maine - Building or Use Permit

19 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 08-1046	Date Applied For: 08/22/2008	CBL: 111 A016001
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Business Name:	Contractor Name: Marc G Rochon	Contractor Address: 11 Bartlett Place Amesbury	Phone: (617) 645-1596
Applicant/Buyer's Name	Phone:	Permit Type: Additions - Commercial	

Proposed Use: Commercial - "Burger King" - Replace existing Wood & glass store front & Skylight w/ aluminum & glass	Proposed Project Description: Replace existing Wood & glass store front & Skylight w/ aluminum & glass
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Dept: Zoning	Status: Approved with Conditions	Reviewer: Marge Schmuckal	Approval Date: 08/25/2008
Note:			Ok to Issue: <input checked="" type="checkbox"/>
1) Separate permits shall be required for any new signage.			
2) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work. It is understood that the footprint of the existing building will not be enlarged as well as the existing volume of the building.			
Dept: Building	Status: Approved with Conditions	Reviewer: Chris Hanson	Approval Date: 09/17/2008
Note:			Ok to Issue: <input checked="" type="checkbox"/>
1) Public access to construction area to be limited durring construction			
2) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approrval prior to work.			
Dept: Fire	Status: Not Applicable	Reviewer: Capt Greg Cass	Approval Date: 08/26/2008
Note:			Ok to Issue: <input checked="" type="checkbox"/>

Comments:
8/25/2008-mes: Don't issue permit until planning signs off on a site plan exemption.
8/26/2008-gg: received granted site exemption as of 8/26/08. Gg filed site exemption with permit. (gave ro Jeannie)

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

 X **Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling**

 X **Final inspection required at completion of work.**

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.

Signature of Applicant/Designee

Date

Signature of Inspections Official

Date



APPLICATION FOR EXEMPTION FROM SITE PLAN REVIEW

20080124

Masterson Development Co
Applicant

Application Date

800 Lexington St SE
Applicant's Mailing Address

Project Name/Description

Mr. Robert ... 503-255-1596
Consultant/Agent/Phone Number

774 1st St SE, Portland
Address of Proposed Site

CBL: 111 A016

Description of Proposed Development:

replace existing concrete with blocks
shrub removal

Please Attach Sketch/Plan of Proposal/Development

Criteria for Exemptions:

See Section 14-523 (4) on back side of form

a) Within Existing Structures; No New Buildings, Demolitions or Additions

b) Footprint Increase Less Than 500 Sq. Ft.

c) No New Curb Cuts, Driveways, Parking Areas

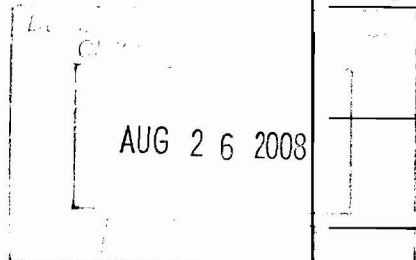
d) Curbs and Sidewalks in Sound Condition/Comply with ADA

e) No Additional Parking/ No Traffic Increase

f) No Stormwater Problems

g) Sufficient Property Screening

h) Adequate Utilities



Applicant's Assessment (Yes, No, N/A)	Planning Office Use Only
	✓
	✓
	✓
	✓
	✓
	✓
	✓
	✓
	✓
	✓

BURGER KING CORPORATION

RESTAURANT FOR

PROJECT NO. B-772 N 199 (L.P. FOSTER)

PORTLAND, ME

ENGINEERING PLAN 81

FIRST AVE PLANNED

DATE: 11/28/82

SCALE: AS SHOWN

BY: J.C. BROWN

ON-SITE SIGN NOTICES

1. SIGNAGE ALONG ROAD

2. CLEARANCE SIGN 8' x 4' (NON-ILLUM.)

3. ORDER STATION

4. BARBER ALONG ROAD

5. DRIVE-YIELD

6. DIRECTIONAL ARROW

7. THANK YOU

8. SIGN ONLY

9. SIGN ONLY

10. ONE WAY SIGN ONLY

11. STOP SIGN

12. DO NOT ENTER

13. NO STOPPING SIGN

14. NO STANDING SIGN

15. NO THROUGH SIGN

16. NO PARKING SIGN

17. NO SWAYING SIGN

18. NO STAY SIGN

19. NO STOPPING SIGN

20. NO STANDING SIGN

LEGEND

1. SITE REFERENCE NOTE

2. BUILDING

3. PROPOSED YARD LIGHT

4. EXISTING CURB

5. PROPOSED CURB

6. EXISTING CURB/OUTLET

7. PROPOSED CURB/OUTLET

8. EXISTING ROAD OR PAVEMENT

9. PROPOSED ROAD OR PAVEMENT

10. EXISTING SPOT ELEVATION

11. PROPOSED SPOT ELEVATION

12. EXISTING ELEVATION

13. PROPOSED ELEVATION

14. EXISTING GROUND ELEVATION

15. PROPOSED GROUND ELEVATION

16. EXISTING GAS LINE

17. PROPOSED GAS LINE

18. EXISTING WATER LINE

19. PROPOSED WATER LINE

20. EXISTING SANITARY LINE

21. PROPOSED SANITARY LINE

22. EXISTING STORM LINE

23. PROPOSED STORM LINE

24. EXISTING ELECTRICAL LINE (LOW OR HIG)

25. PROPOSED ELECTRICAL LINE (LOW OR HIG)

26. EXISTING TELEPHONE LINE (LOW OR HIG)

27. PROPOSED TELEPHONE LINE (LOW OR HIG)

28. EXISTING FIRE ALARM LINE

29. PROPOSED FIRE ALARM LINE

30. EXISTING SIGNAL LINE

31. PROPOSED SIGNAL LINE

32. EXISTING TYPING MACHINE LINE

33. PROPOSED TYPING MACHINE LINE

34. EXISTING TELEVISION LINE

35. PROPOSED TELEVISION LINE

36. EXISTING OTHER UTILITY

37. PROPOSED OTHER UTILITY

38. EXISTING LIGHTNING ROD

39. PROPOSED LIGHTNING ROD

40. EXISTING UNDERGROUND CABLE

41. PROPOSED UNDERGROUND CABLE

42. EXISTING CONCRETE

43. PROPOSED CONCRETE

44. EXISTING ASPHALT

45. PROPOSED ASPHALT

46. EXISTING GRAVEL

47. PROPOSED GRAVEL

48. EXISTING SAND

49. PROPOSED SAND

50. EXISTING DIRT

51. PROPOSED DIRT

52. EXISTING ROCK

53. PROPOSED ROCK

54. EXISTING BUSH

55. PROPOSED BUSH

56. EXISTING TREE

57. PROPOSED TREE

58. EXISTING FENCE

59. PROPOSED FENCE

60. EXISTING DRIVE

61. PROPOSED DRIVE

62. EXISTING PAVEMENT

63. PROPOSED PAVEMENT

64. EXISTING SIDEWALK

65. PROPOSED SIDEWALK

66. EXISTING BIKEWAY

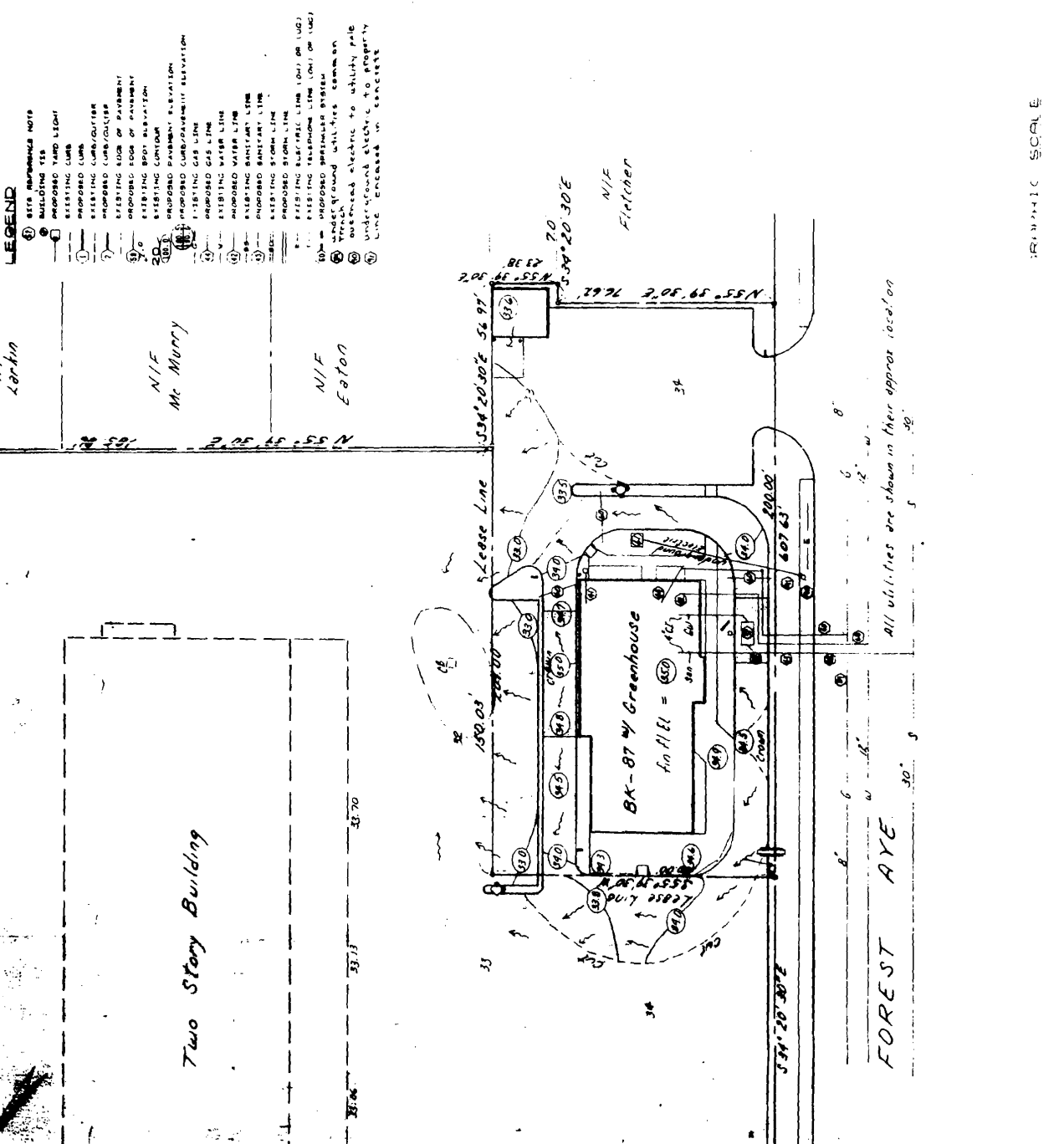
67. PROPOSED BIKEWAY

68. EXISTING TRAMPOLINE

69. PROPOSED TRAMPOLINE

70. EXISTING PLAY SET

71. PROPOSED PLAY SET



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68. EXISTING TRAMPOLINE

69. PROPOSED TRAMPOLINE

70. EXISTING PLAY SET

71. PROPOSED PLAY SET

N.I.F. Village Assoc.

N.I.F. Larkin

N.I.F. Mr. Murry

N.I.F. Eaton

Two Story Building

BX-87 W Greenhouse

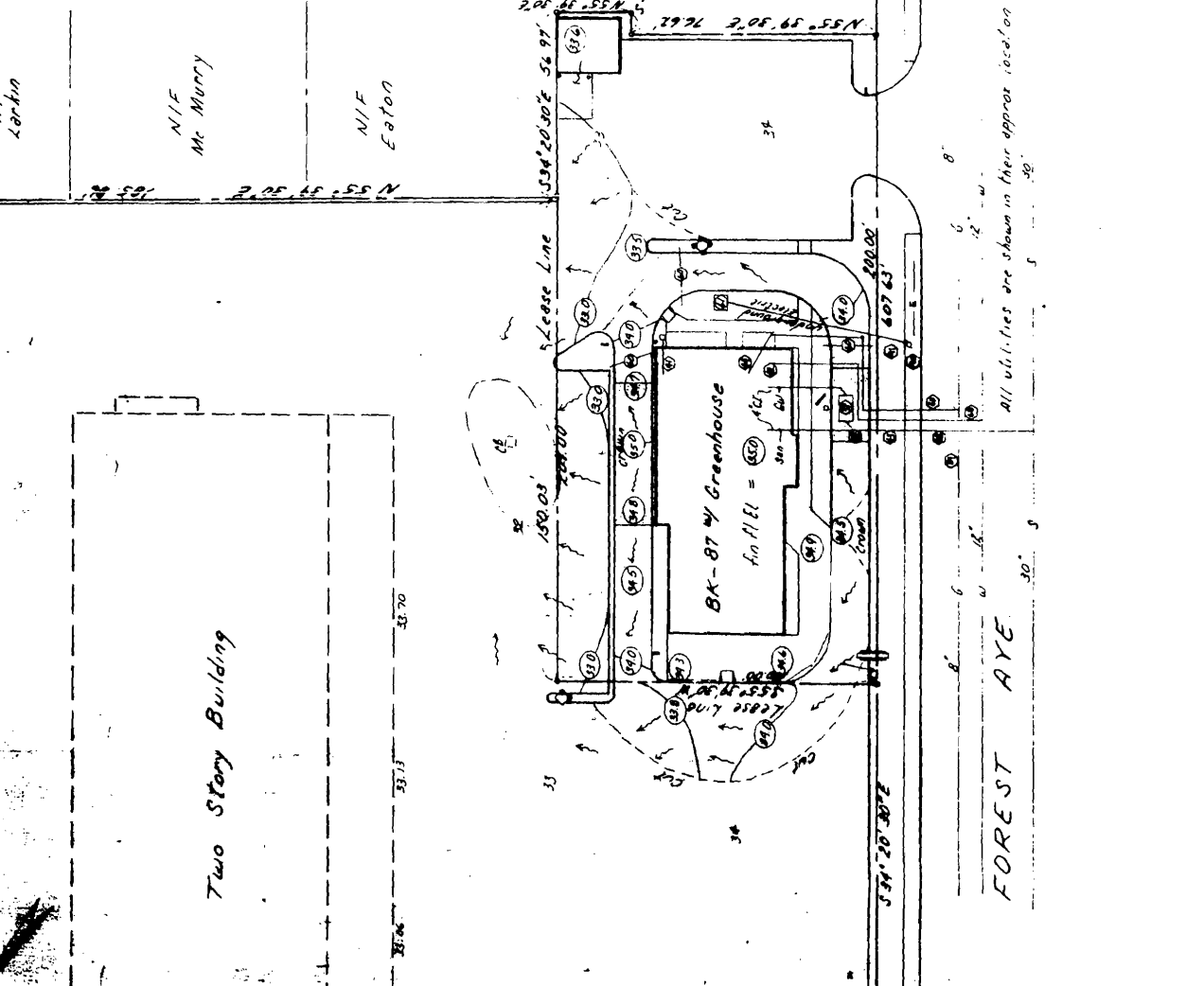
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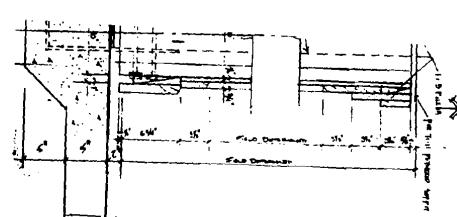
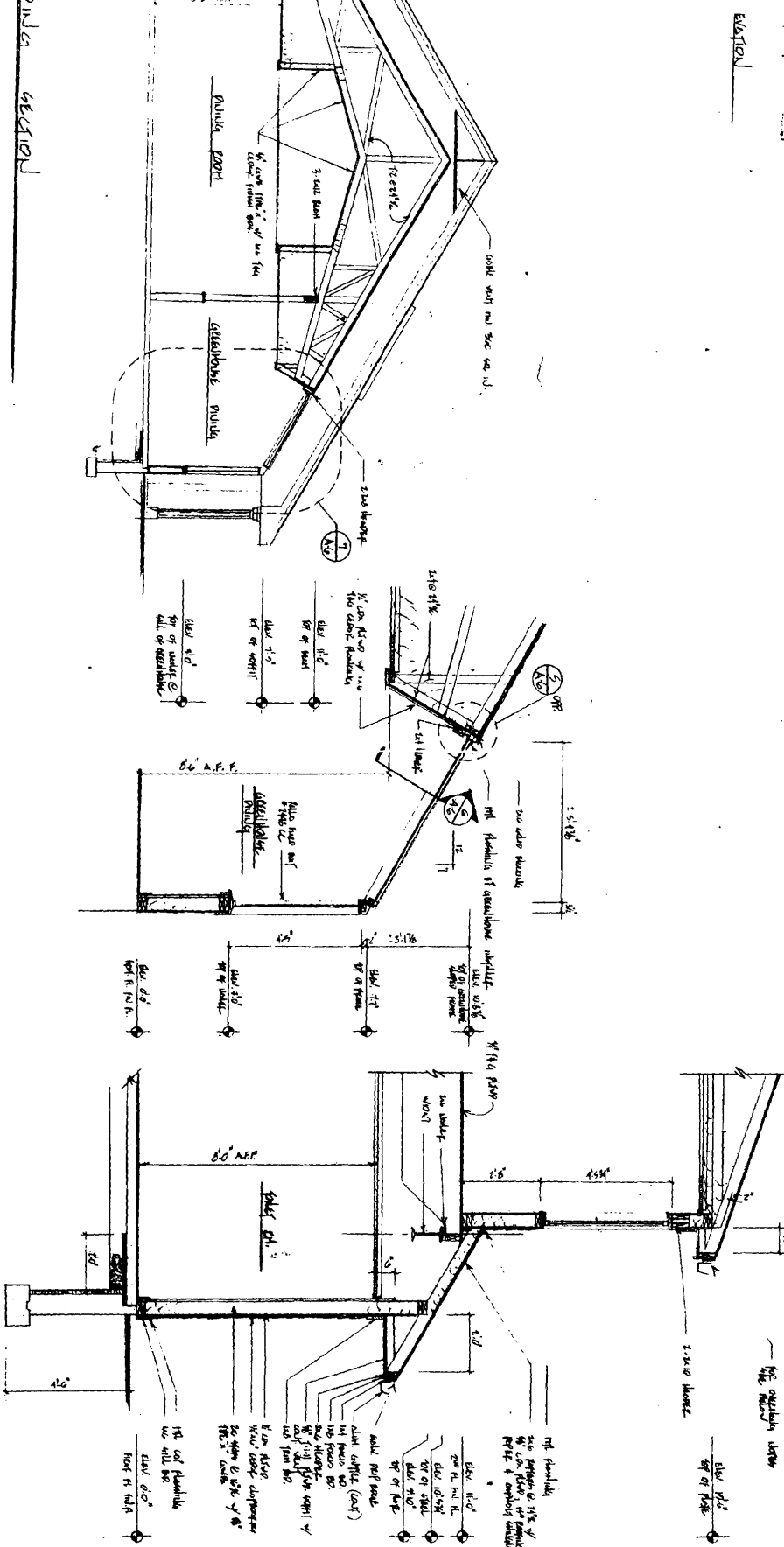
FOREST AVE

FIRST AVE

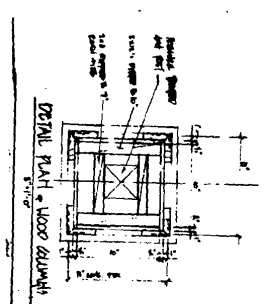
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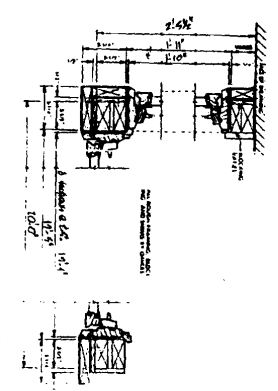
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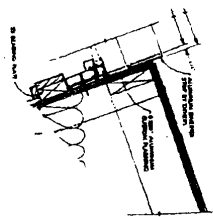
2 Detail (Plate Col.)



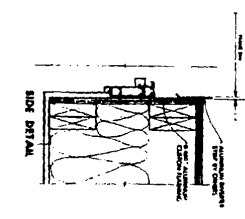
3 WINDOW SECTION DETAILS



4 Detail



5 Detail



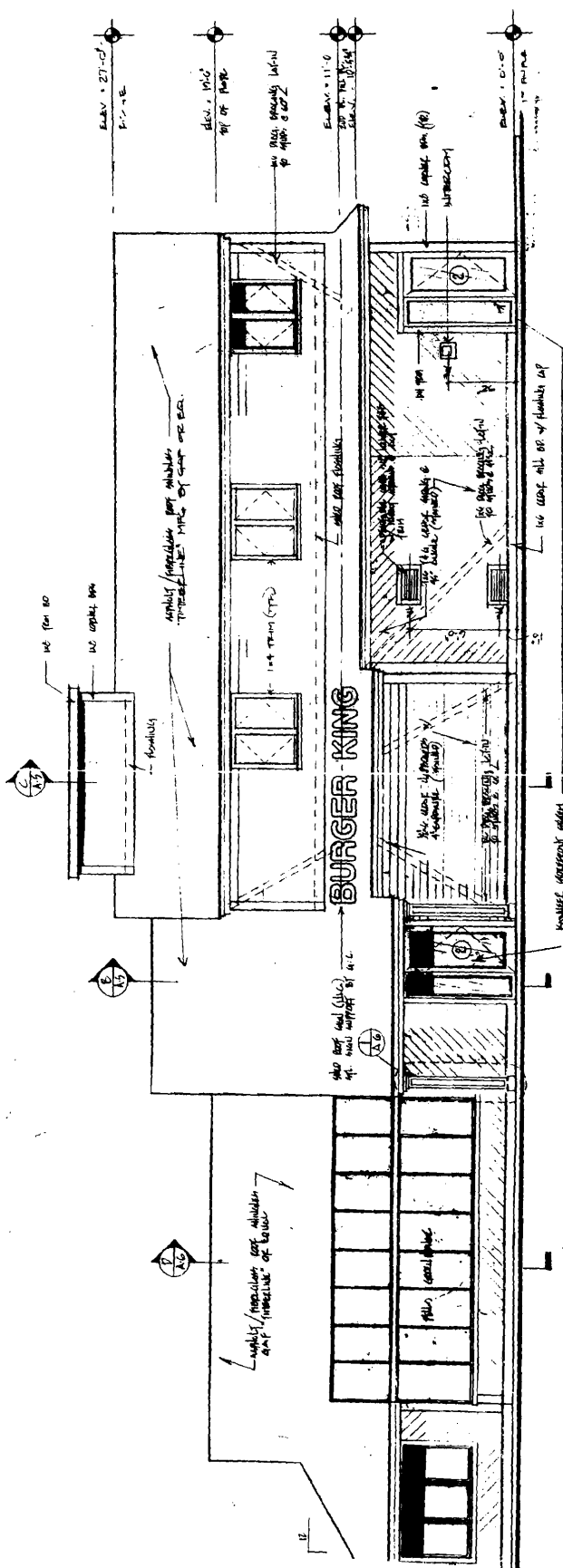
STORE No. 567 B 6772 N	PROPOSED RESTAURANT  PORTLAND, MAINE	MOESER & ASSOCIATES 308 GREAT ROAD P.O. BOX 171 LITTLETON, MA. 017-488-925 ARCHITECT	NO.	DATE	REVISION	BY
			DRAWN BY: GMP	DATE: 4-22-87		

NO. DATE	REVISION

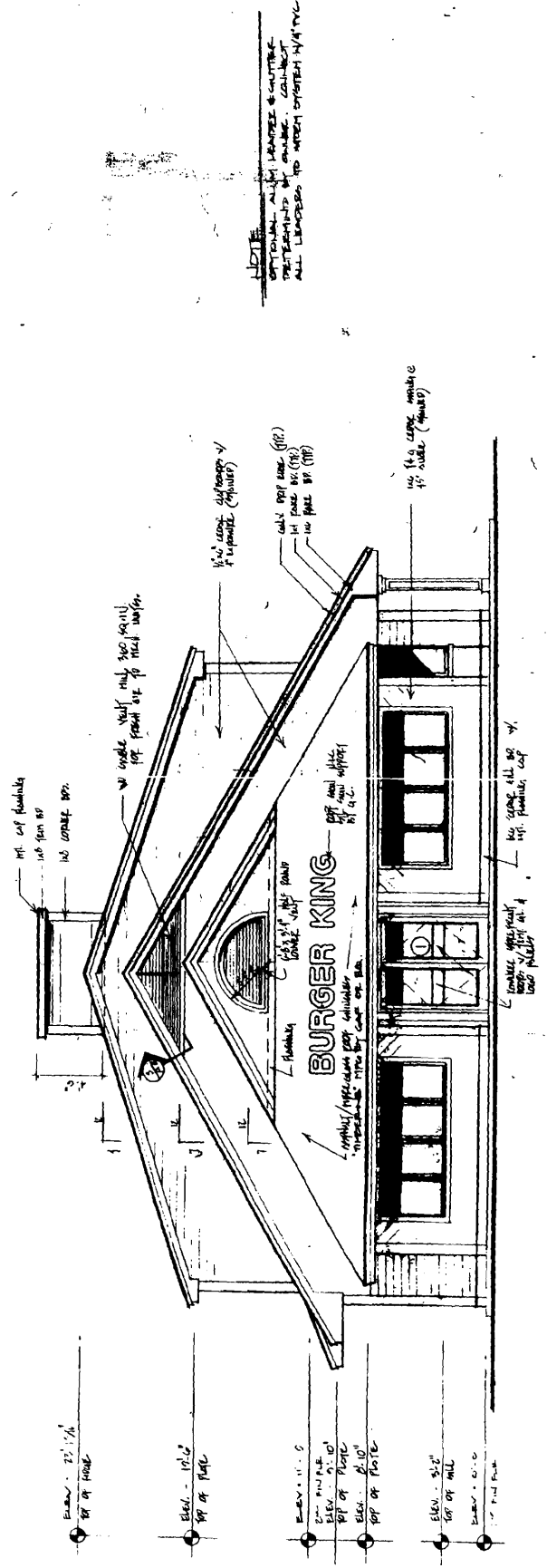
MOESER & ASSOCIATES
 ARCHITECT
 2000 RIVER ROAD, WILMINGTON, DE 19804
 TEL: 302-478-1100

PROPOSED RESTAURANT
 REPTLAND MAINE

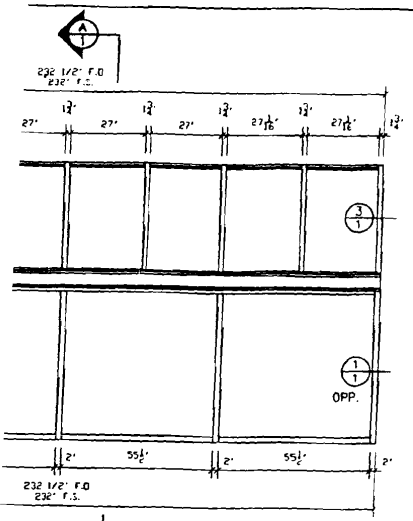
A6772
 STORE NO. 5878



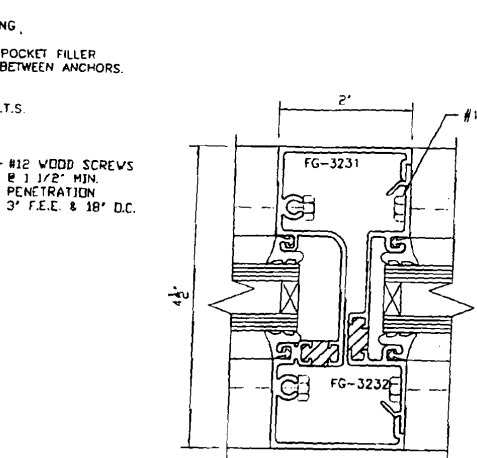
SOUTHWEST ELEVATION



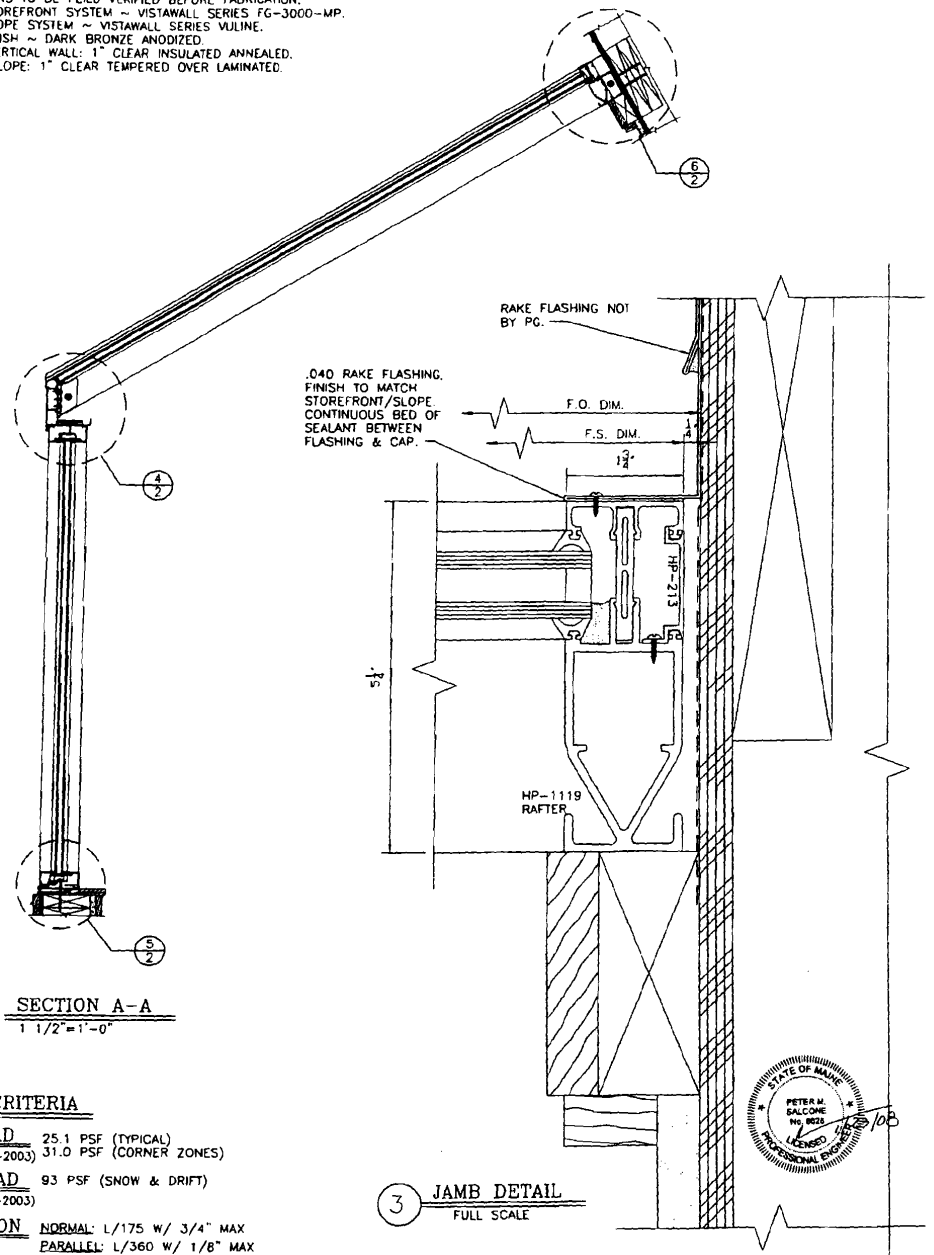
NOTE
 ALL DIMENSIONS TO UNLESS OTHERWISE SPECIFIED
 ALL MATERIALS TO MATCH EXISTING MATERIAL



- GENERAL NOTES:**
1. ALL DIMENSIONS TO BE FIELD VERIFIED BEFORE FABRICATION.
 2. ALUMINUM STOREFRONT SYSTEM ~ VISTAWALL SERIES FG-3000-MP.
 3. ALUMINUM SLOPE SYSTEM ~ VISTAWALL SERIES VULINE.
 4. ALUMINUM FINISH ~ DARK BRONZE ANODIZED.
 5. GLAZING ~ VERTICAL WALL: 1" CLEAR INSULATED ANNEALED. SLOPE: 1" CLEAR TEMPERED OVER LAMINATED.

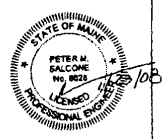


2 VERT. MULL. DETAIL
FULL SCALE



3 JAMB DETAIL
FULL SCALE

- DESIGN CRITERIA**
- WIND LOAD** 25.1 PSF (TYPICAL)
(ASCE7-02 & IBC-2003) 31.0 PSF (CORNER ZONES)
- SNOW LOAD** 93 PSF (SNOW & DRIFT)
(ASCE7-02 & IBC-2003)
- DEFLECTION** NORMAL: L/175 W/ 3/4" MAX
PARALLEL: L/360 W/ 1/8" MAX



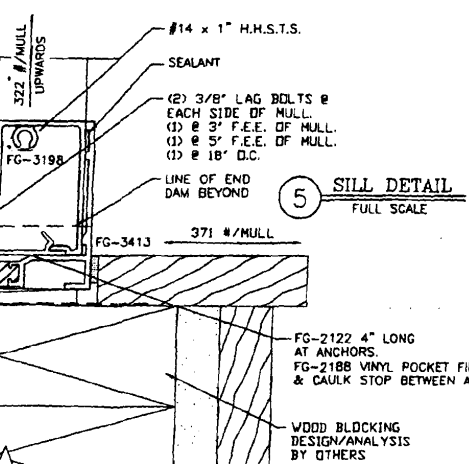
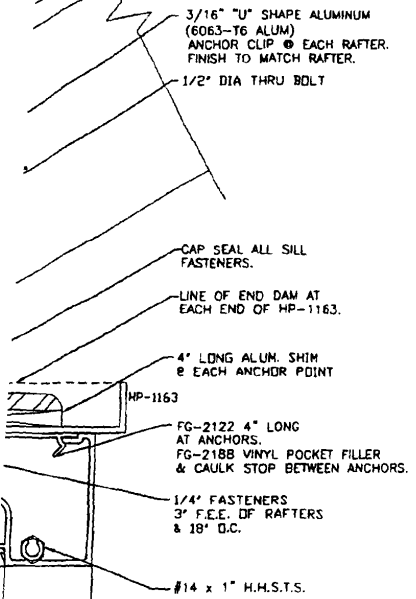
PG Portland Glass.
A Glass Doctor Company

PG PORTLAND GLASS
812 CONGRESS STREET
PORTLAND, ME 04102
PHONE: (207) 774-9851
FAX: (207) 774-9855

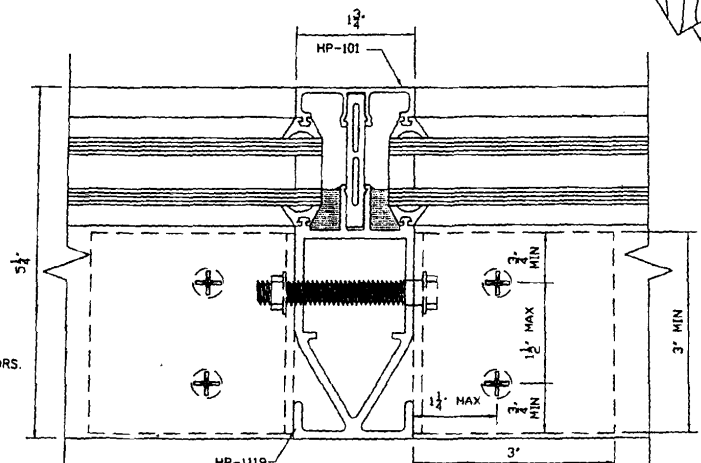
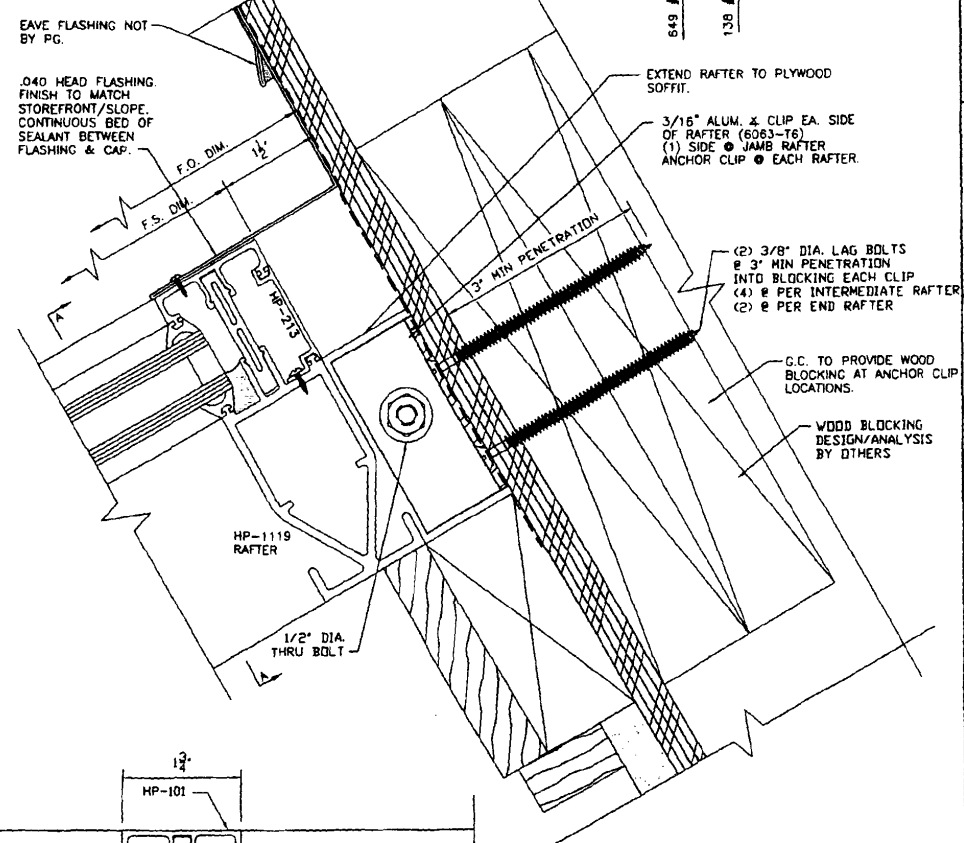
LAST REVISED: 1/16/08
JOB NAME: BURGER KING - PORTLAND, ME

SYMBOLS: ELEVATION NUMBER SHEET NUMBER	REVISIONS:		JOB NAME: BURGER KING PORTLAND, ME	DATE: 11/15/07	SHEET NUMBER
	NO. DATE DESCRIPTION	NO. DATE DESCRIPTION	ARCHITECT: MOESER & ASSOCIATES	SCALE: AS NOTED	1 of 2

4 TRANSITION DETAIL
FULL SCALE



6 HEAD DETAIL
FULL SCALE



PG Portland Glass.
A Glass Doctor Company

PG PORTLAND GLASS
832 CONGRESS STREET
PORTLAND, ME 04102
PHONE: (207) 774-9851
FAX: (207) 774-9855

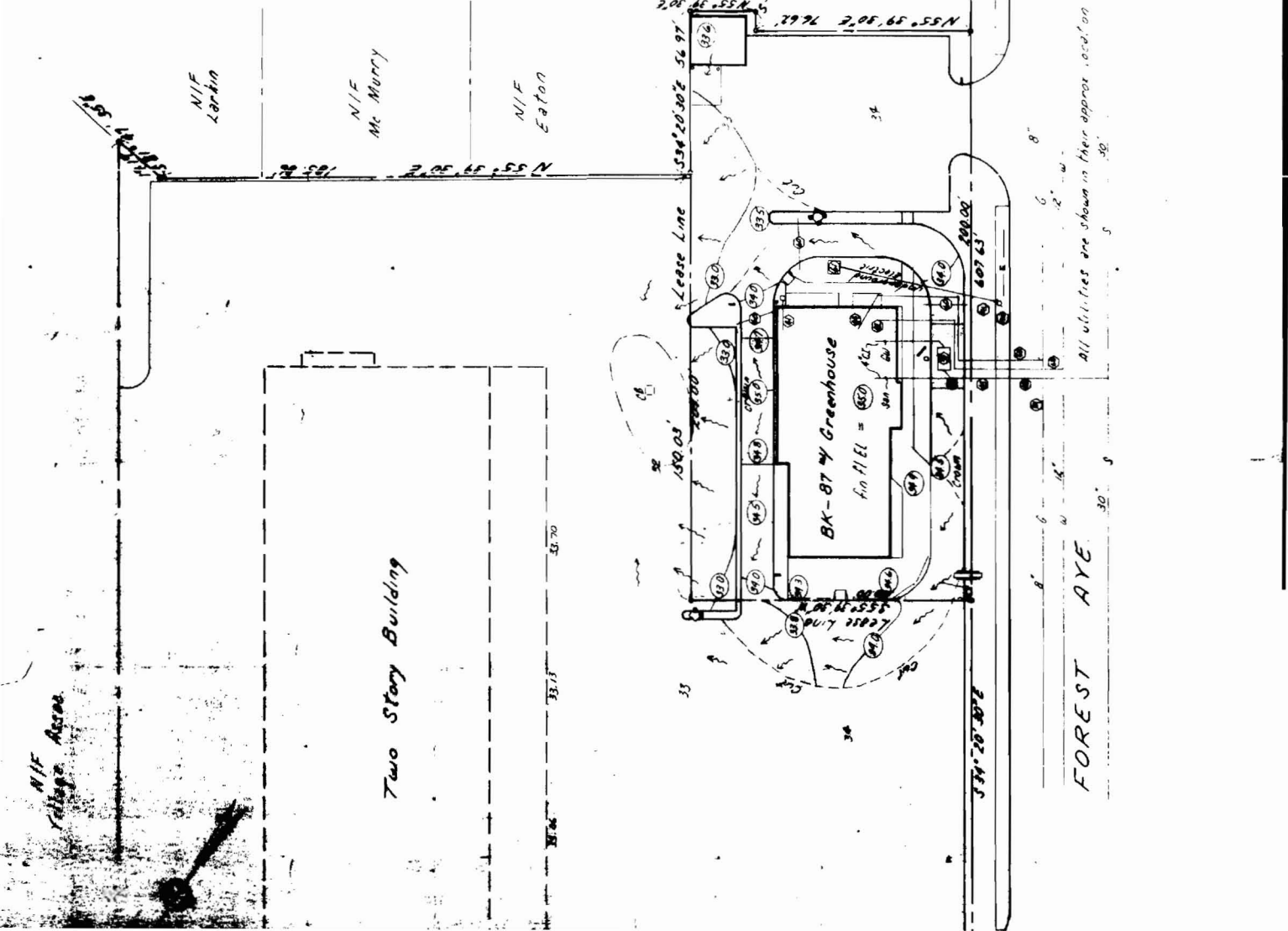
LAST REVISED: 1/16/08
JOB NAME: BURGER KING - PORTLAND, ME

SYMBOLS:		REVISIONS:		JOB NAME:	DATE:	SHEET NUMBER
	ELEVATION NUMBER	NO.	DATE:	BURGER KING	11/15/07	2 OF 2
	SHEET NUMBER	DESCRIPTION:	DESCRIPTION:	PORTLAND, ME	SCALE:	
	DETAIL NUMBER			MOESER & ASSOCIATES	AS NOTED	
				CONTRACTOR:	DRAWN BY:	
				MASTORAN CORPORATION	R.L. HUNTLEY	

- IN SITE SIGNATURES**
- BURDEN ARMS LOAD
 - CLEARANCE SIGN 8'-0" (VORN-ILLINOIS)
 - ORDER STATION
 - BURDEN ARMS LOAD
 - DRIVE-TURN
 - DIRECTIONAL ARROW
 - TRUCK TURN
 - EXIT ONLY
 - NO EXIT
 - ONE WAY
 - RIGHT TURN ONLY
 - DO NOT ENTER
 - MESSAGE/STREET DATA SIGN

- LEGEND**
- ① SEE REFERENCE NOTE
 - ② EXISTING TIE
 - ③ EXISTING TIE
 - ④ EXISTING TIE
 - ⑤ EXISTING CURB/CUTBACK
 - ⑥ EXISTING CURB/CUTBACK
 - ⑦ EXISTING ROOM OF PAVEMENT
 - ⑧ EXISTING ROOM OF PAVEMENT
 - ⑨ EXISTING FOOT ELEVATION
 - ⑩ EXISTING CURB/CUTBACK
 - ⑪ EXISTING CURB/CUTBACK
 - ⑫ EXISTING CURB/CUTBACK
 - ⑬ EXISTING CURB/CUTBACK
 - ⑭ EXISTING CURB/CUTBACK
 - ⑮ EXISTING CURB/CUTBACK
 - ⑯ EXISTING CURB/CUTBACK
 - ⑰ EXISTING CURB/CUTBACK
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- 1. 1" = 10' (ON L&D)
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- 100. 1" = 10' (ON L&D)

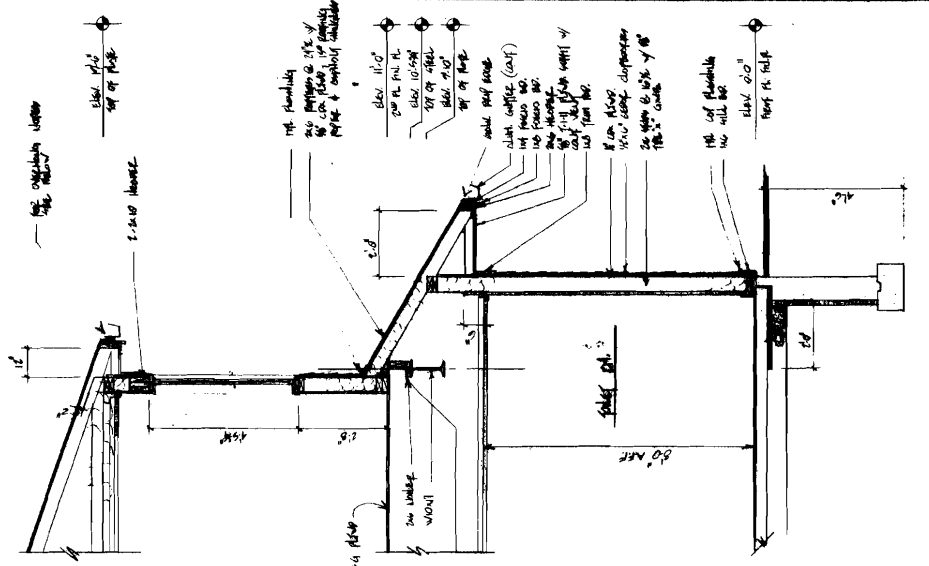
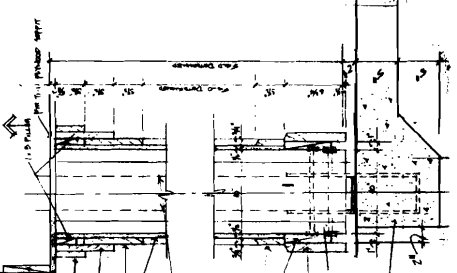
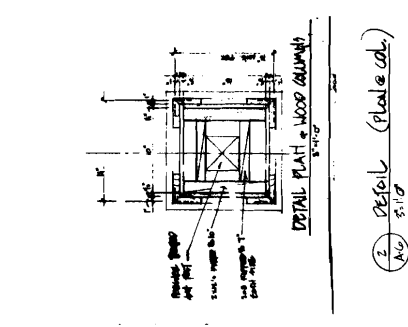
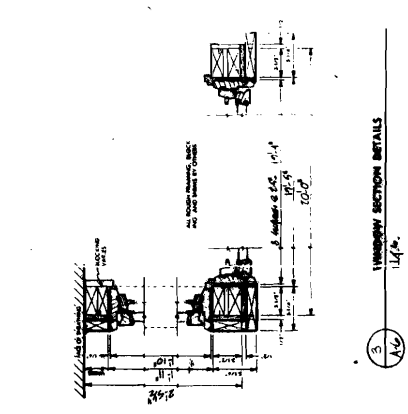
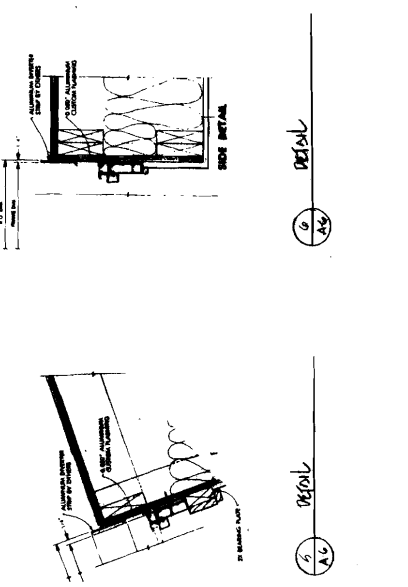


All utilities are shown in their approx location

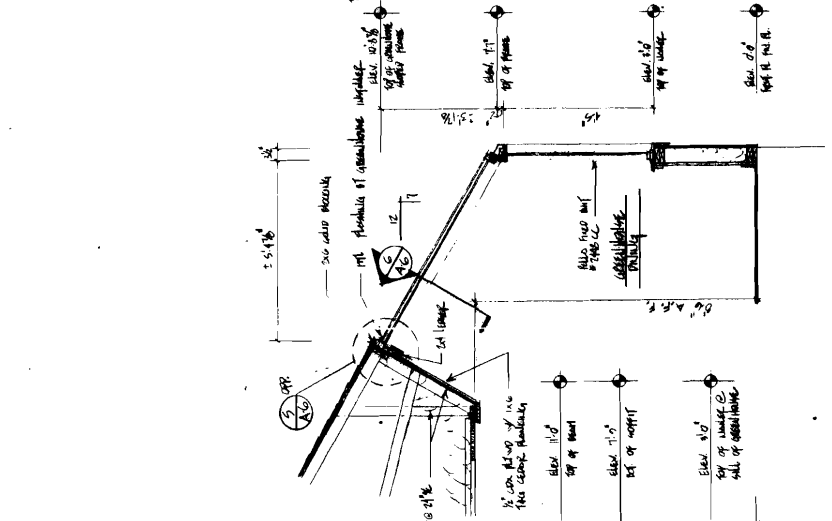
GRAPHIC SCALE

BURGER KING
RESTAURANT FOR
CORPORATION

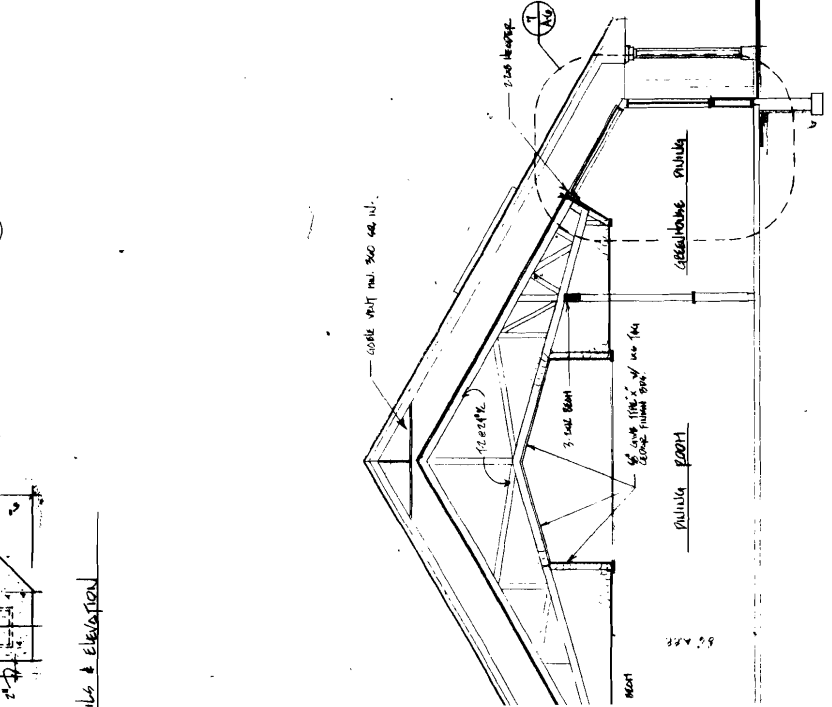
JAMES LEE WATSON
Professional Engineer
9-6772 N. 179th Parkway
11 ENGINEERING PLAN
FOREST AVE PLANN
PORTLAND, ME
PHONE 253-8817



SECTION 1
A/C



SECTION 2
A/C



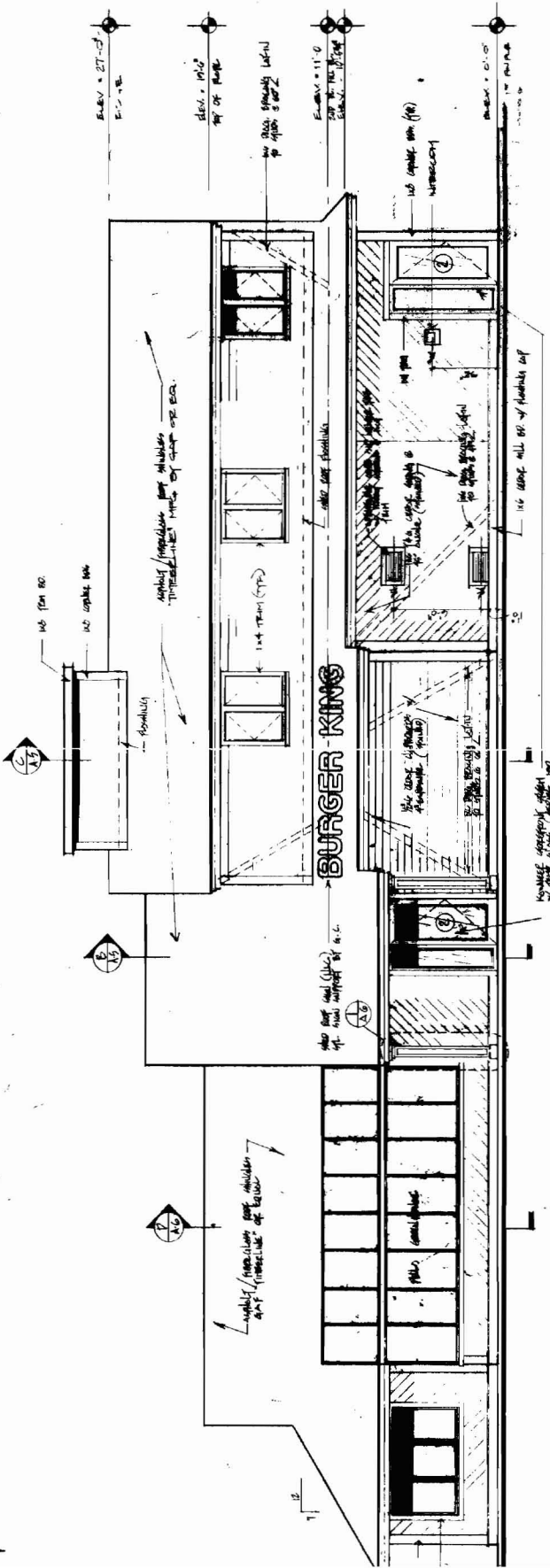
SECTION 3
A/C

NO. DATE	REVISION

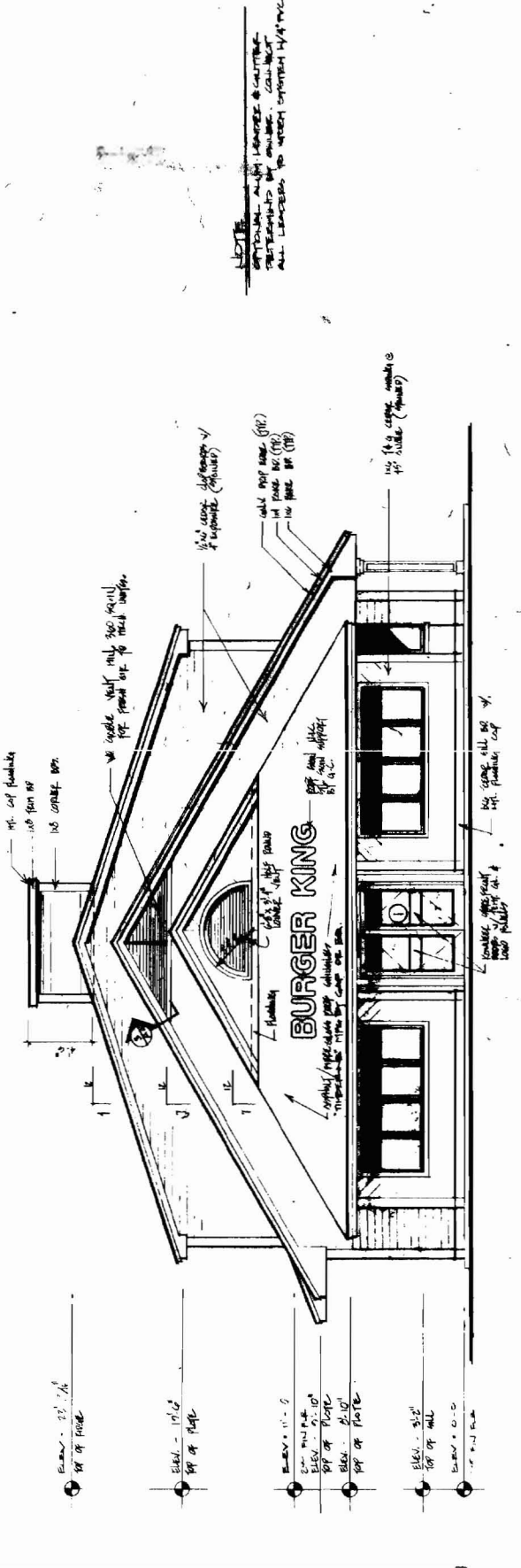
MOESER & ASSOCIATES
 ARCHITECT
 1000 RIVER ROAD IN LITTLETON, COLORADO

PROPOSED RESTAURANT
 1000 RIVER ROAD

A6722
 STORE NO. 3578
 ELEVATION

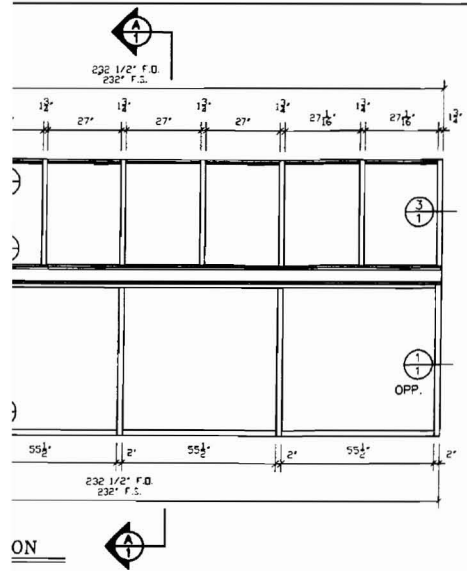


SOUTH ELEVATION
 SCALE 1/8" = 1'-0"



NORTH ELEVATION
 SCALE 1/8" = 1'-0"

NOTE:
 ALL DIMENSIONS TO CENTER UNLESS OTHERWISE SPECIFIED.
 ALL MATERIALS TO BE USED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES.



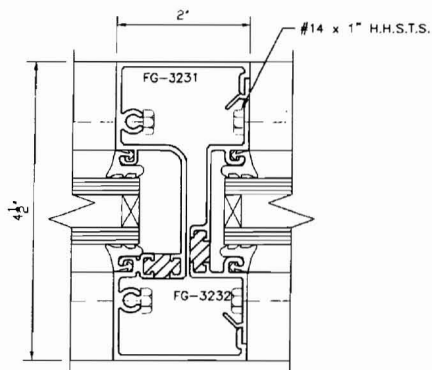
GENERAL NOTES:

1. ALL DIMENSIONS TO BE FIELD VERIFIED BEFORE FABRICATION.
2. ALUMINUM STOREFRONT SYSTEM ~ VISTAWALL SERIES FG-3000-MP.
3. ALUMINUM SLOPE SYSTEM ~ VISTAWALL SERIES VULINE.
4. ALUMINUM FINISH ~ DARK BRONZE ANODIZED.
5. GLAZING ~ VERTICAL WALL: 1" CLEAR INSULATED ANNEALED.
SLOPE: 1" CLEAR TEMPERED OVER LAMINATED.

2 4" LONG,
40RS.
9 VINYL POCKET FILLER
< STOP BETWEEN ANCHORS.

1" H.H.S.T.S.

#12 WOOD SCREWS
@ 1 1/2" MIN
PENETRATION
3" F.E.E. & 18" D.C.



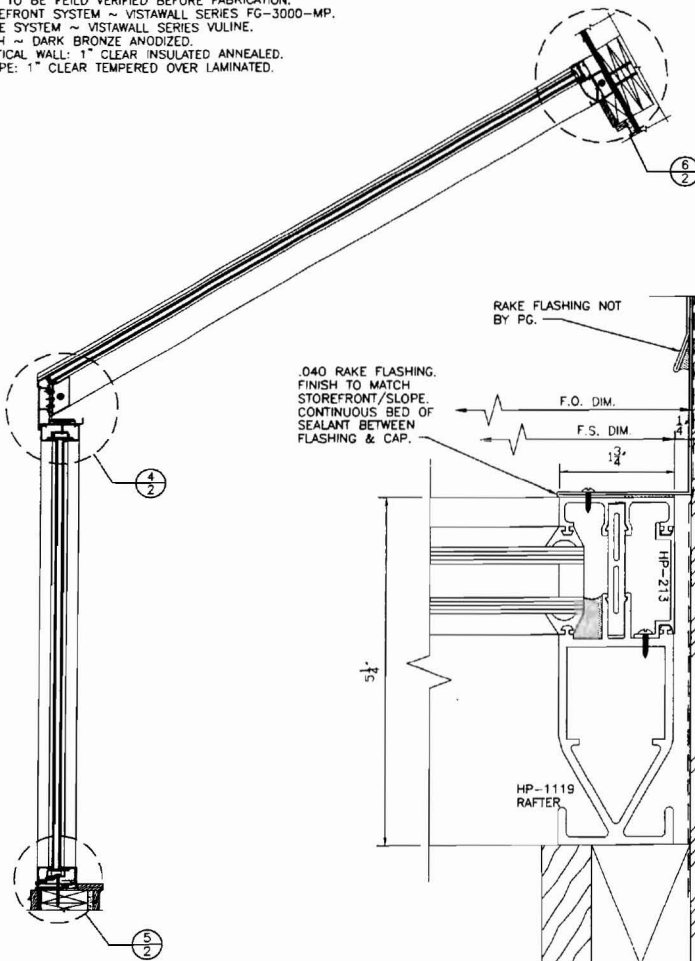
SECTION A-A
1 1/2" = 1'-0"

DESIGN CRITERIA

WIND LOAD 25.1 PSF (TYPICAL)
(ASCE7-02 & IBC-2003) 31.0 PSF (CORNER ZONES)

SNOW LOAD 93 PSF (SNOW & DRIFT)
(ASCE7-02 & IBC-2003)

DEFLECTION NORMAL: L/175 W/ 3/4" MAX
PARALLEL: L/360 W/ 1/8" MAX



PG Portland Glass.
A Glass Doctor Company

PG PORTLAND GLASS
832 CONGRESS STREET
PORTLAND, ME 04102
PHONE: (207) 774-9851
FAX: (207) 774-9855

LAST REVISED: 1/16/08

JOB NAME: BURGER KING - PORTLAND, ME

SYMBOLS:

- ELEVATION NUMBER SHEET NUMBER
- DETAIL NUMBER SHEET NUMBER

REVISIONS:

NO.	DATE:	DESCRIPTION:	NO.	DATE:	DESCRIPTION:

JOB NAME:	BURGER KING PORTLAND, ME	DATE:	11/15/07
ARCHITECT:	MOESER & ASSOCIATES	SCALE:	AS NOTED
CONTRACTOR:	MASTORAN CORPORATION	DRAWN BY:	R.L. HUNTLEY

SHEET NUMBER	1 OF 2
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4 TRANSITION DETAIL
FULL SCALE

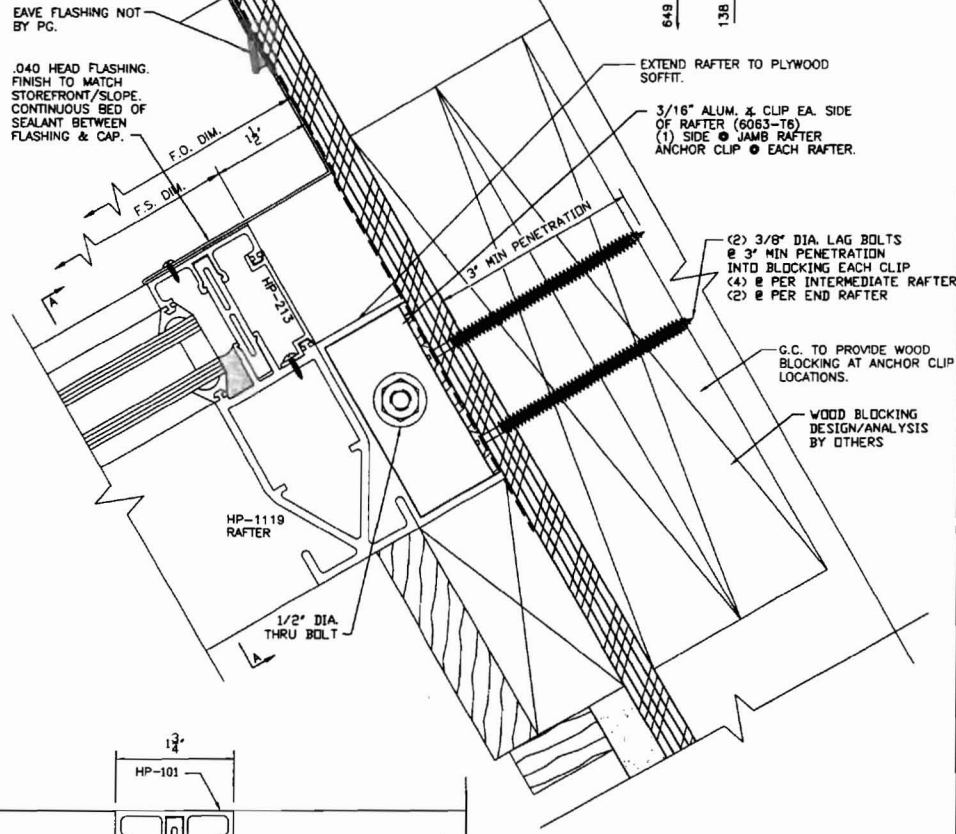
3/16" "U" SHAPE ALUMINUM (6063-T6 ALUM) ANCHOR CLIP @ EACH RAFTER. FINISH TO MATCH RAFTER.
1/2" DIA THRU BOLT

1" MIN

CAP SEAL ALL SILL FASTENERS.
LINE OF END DAM AT EACH END OF HP-1163.
4" LONG ALUM. SHIM @ EACH ANCHOR POINT
HP-1163
FG-2122 4" LONG AT ANCHORS. FG-2188 VINYL POCKET FILLER & CAULK STOP BETWEEN ANCHORS.
1/4" FASTENERS 3" F.E.E. OF RAFTERS & 18" O.C.
#14 x 1" H.H.S.T.S.

#14 x 1" H.H.S.T.S.
SEALANT
(2) 3/8" LAG BOLTS @ EACH SIDE OF MULL.
(1) @ 3" F.E.E. OF MULL.
(1) @ 5" F.E.E. OF MULL.
(1) @ 18" O.C.
LINE OF END DAM BEYOND
5 SILL DETAIL
FULL SCALE

FG-3413 371 #/MULL
FG-2122 4" LONG AT ANCHORS. FG-2188 VINYL POCKET FILLER & CAULK STOP BETWEEN ANCHORS.
WOOD BLOCKING DESIGN/ANALYSIS BY OTHERS



EAVE FLASHING NOT BY PG.
.040 HEAD FLASHING. FINISH TO MATCH STOREFRONT/SLOPE. CONTINUOUS BED OF SEALANT BETWEEN FLASHING & CAP.

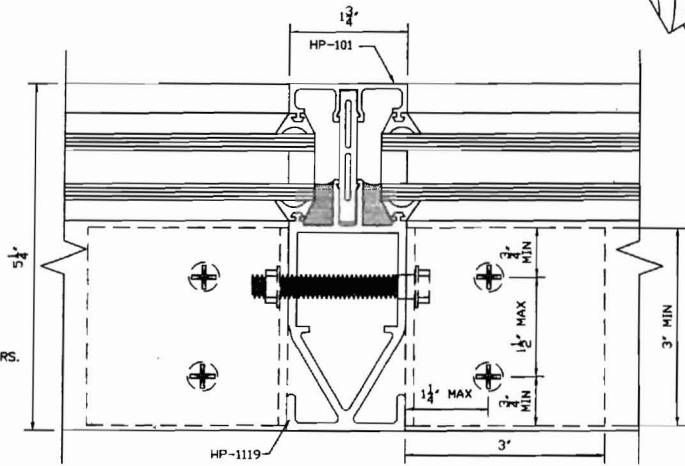
648 #/RAFTER
138 #/RAFTER
727 #/RAFTER

EXTEND RAFTER TO PLYWOOD SOFFIT.
3/16" ALUM. X CLIP EA. SIDE OF RAFTER (6063-T6) (1) SIDE @ JAMB RAFTER ANCHOR CLIP @ EACH RAFTER.

(2) 3/8" DIA. LAG BOLTS @ 3" MIN PENETRATION INTO BLOCKING EACH CLIP
(4) @ PER INTERMEDIATE RAFTER
(2) @ PER END RAFTER

C.C. TO PROVIDE WOOD BLOCKING AT ANCHOR CLIP LOCATIONS.

WOOD BLOCKING DESIGN/ANALYSIS BY OTHERS



7 RAFTER DETAIL A-A
FULL SCALE



PG PORTLAND GLASS
832 CONGRESS STR
PORTLAND, ME 04101
PHONE: (207) 774-9800
FAX: (207) 774-9855

PG Portland Glass.
A Glass Doctor Company

LAST REVISED: 1/18/08
JOB NAME: BURGER KING - PORTLAND, ME

SYMBOLS:

- ELEVATION NUMBER SHEET NUMBER
- DETAIL NUMBER SHEET NUMBER

REVISIONS:

NO.	DATE:	DESCRIPTION:	NO.	DATE:	DESCRIPTION:
1			1		
2			2		
3			3		
4			4		
5			5		

JOB NAME:	BURGER KING PORTLAND, ME	DATE:	11/15/07
ARCHITECT:	MOESER & ASSOCIATES	SCALE:	AS NOTED
CONTRACTOR:	MASTORAN CORPORATION	DRAWN BY:	R.L. HUNTLEY

SHEET NUMBER	2 OF 2
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