

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

Please Read Application And Notes, If Any, Attached

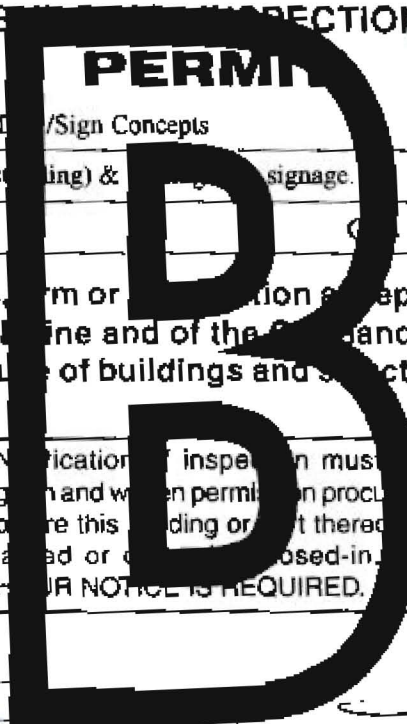
BUILDING INSPECTION

PERMIT ISSUED

Permit Number: 061001
AUG - 7 2006

CITY OF PORTLAND

PERMIT



This is to certify that FLETCHER WENDALL M /Sign Concepts
 has permission to new signage 63 Sq Ft (freestanding) & new signage.
 AT 425 FOREST AVE 111 A010001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permit is procured before this building or part thereof is started or closed-in. **24 HOUR NOTICE IS REQUIRED.**

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____
 Health Dept. _____
 Appeal Board _____
 Other _____
Department Name

[Signature] 8/3/06
 Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

Close out / 11/05/06

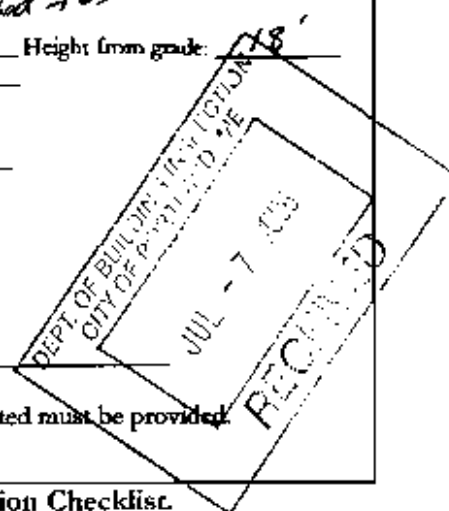
Expiao no final requesto



Signage/Awning Permit Application

If you or the property owner owns real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>425 Forest Ave</u>		
Tax Assessor's Chart, Block & Lot Chart# <u>111</u> Block# <u>A-10</u> Lot# <u>11</u> <u>111 A010001</u>	Owner: <u>Wendell Fletcher</u>	Telephone:
Lessee/Buyer's Name (If Applicable) <u>Steve Cumberces</u> <u>Stavros Pizzeria</u>	Contractor name, address & telephone: <u>Sign Concepts</u> <u>75 Bishop St. Port. 899-6454</u>	Total s.f. of signage x \$2.00 Per s.f. plus \$30.00/\$65.00 For H.D. signage = Total Fee: \$ <u>700</u> <u>\$156</u> Awning Fee = cost of work <u>\$500</u> Total Fee: \$ <u>246</u>
Who should we contact when the permit is ready: <u>Andrew Fark</u> phone: <u>899-6454</u>		
Tenant/allocated building space frontage (feet): Length: <u>53</u> Height: <u>15</u> Lot Frontage (feet) <u>100</u> Single Tenant or Multi Tenant Lot <u>Single</u>		
Current Specific use: _____ If vacant, what was prior use: <u>vacant by store</u> Proposed Use: <u>pizzeria</u>		
Information on proposed sign(s): Freestanding (e.g., pole) sign? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Dimensions proposed: <u>see attached 763 s.f.</u> Height from grade: _____ Bldg. wall sign? (attached to bldg) Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Dimensions proposed: _____		
Proposed awning? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Is awning backlit? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Height of awning: <u>2'</u> Length of awning: <u>10'</u> Depth: <u>2'</u> Is there any communication, message, trademark or symbol on it? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> If yes, total s.f. of panels w/communications, message, trademark or symbol: <u>10</u> s.f.		
Information on existing and previously permitted sign(s): Freestanding (e.g., pole) sign? Yes <input type="checkbox"/> No <input type="checkbox"/> Dimensions: _____ Bldg. wall sign? (attached to bldg) Yes <input type="checkbox"/> No <input type="checkbox"/> Dimensions: _____ Awning? Yes <input type="checkbox"/> No <input type="checkbox"/> Sq. ft. area of awning w/communications: _____		
A site sketch and building sketch showing exactly where existing and new signage is located must be provided. Sketches and/or pictures of proposed signage and existing building are also required.		



Please submit all of the information outlined in the Sign/Awning Application Checklist. Failure to do so may result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at www.portlandmaine.gov, stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner or record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: [Signature]

Date: 7/5/06

This is not a permit; you may not commence ANY work until the permit is issued.

freestanding

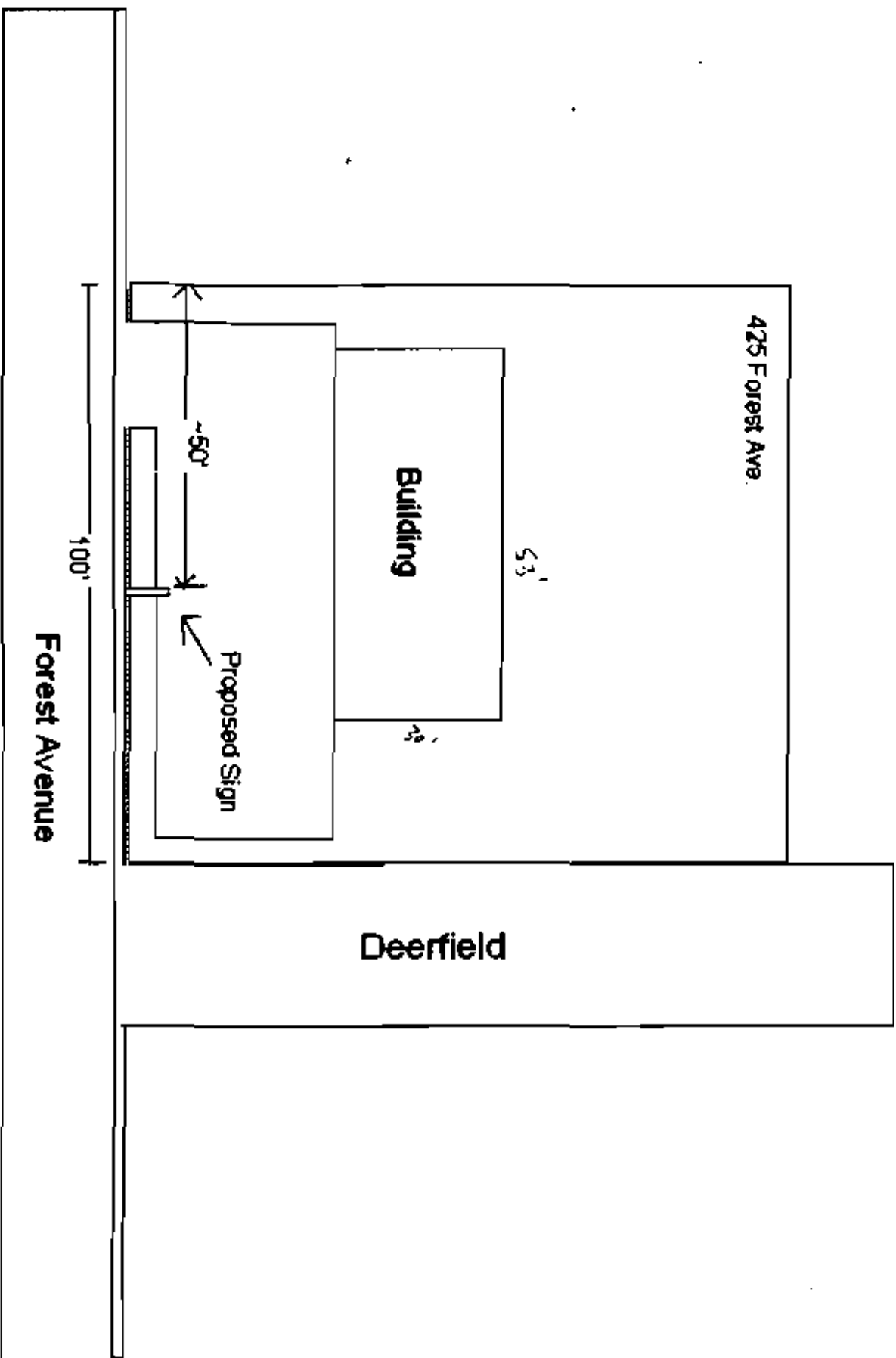
65th max height - 18' max setback 5'

62' sign height - 10' sign setback - email says will be minimum of 5'

Building 2 x 53 = 106 sq ft

OK

any sign = 10'



425 Forest Ave

Building

53'

Proposed Sign

~50'

Deerfield

Forest Avenue

100'

From: "Andrew Earle" <andrew@signconceptsmaine.com>
To: <amachado@portlandmaine.gov>
Date: 7/17/2006 2:03:25 PM
Subject: 425 Forest Ave Stavros Pizzeria signage measurements

Ann,

Attached is the breakdown of the square footage for the sign and how our sign program calculated it. Hope this helps. The property owner has determined where the property line is. We will make sure that the pole wrap is not within the 5' setback.

Andrew Earle
Sign Concepts
Office: 207.899.2820
Cell: 207.899.6454
Fax: 207.878.7790



118 x 92 = 10,856 sq ft 75 x 4 ft

118

8-07



Pole wrap constructed of 1" steel tubing frame to sheathed
 w/ aluminum and painted to match. DIF cabinet
 internally lit with sign lamps. Electrical connection
 provided by others.

SIGN Concepts
 VISUAL COMMUNICATION EXPERTS

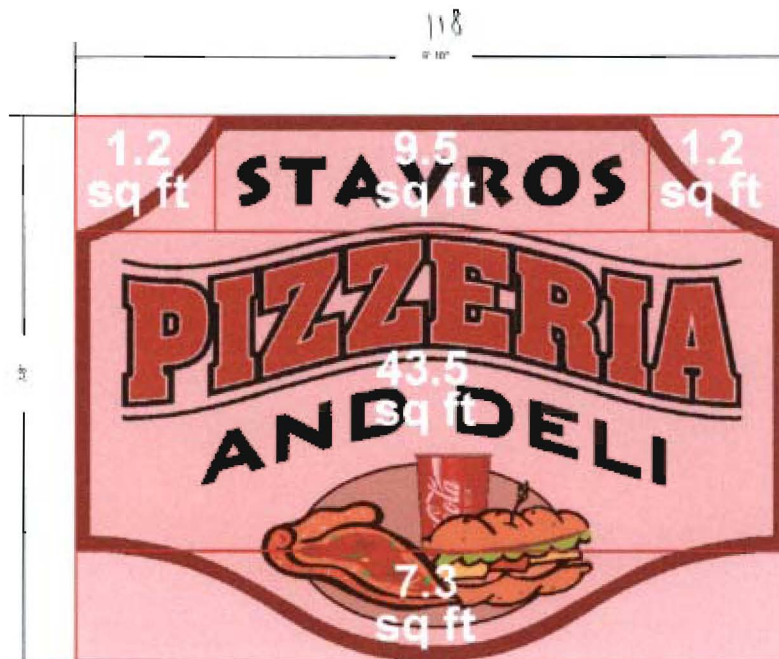
Date	8/12/06	Scale	1" = 1'
Drawing #	1	Sales Rep.	AE
Rev #	xx	Rev Date	00/00/06
Appr'd by:			

Stavros Pizzeria and Deli

- 1 - DIF 7'-8" x 8'-10" internally illuminated sign
- custom fabricated aluminum body cabinet
- finish @ facem
- vinyl copy & graphics w/ digitally printed pictorial
- aluminum pole wrap
- 8" steel pole to sleeve over existing pole

*total square footage
 for the entire face
 is 63 S.F.*

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SIGNConcepts
Design, Fabrication, Installation, Maintenance

Date:	6/1/2006	Scale:	1" = 1'
Drawing #:	1	Sales Rep.:	AF
Rev. #:	01	Rev. Date:	02/02/06

Approved by:

Stavros Pizzeria and Deli

11 - Off 7'-4" x 9'-10" internally illuminated poster sign.
 Custom fabricated aluminum body cabinet.
 Power@ faces.
 Vinyl copy & graphics w/ digitally printed pictorial.
 Aluminum post top.
 1/2" steel pole to secure existing pole.

This design is the exclusive property of Sign Concepts, LLC and cannot be copied, exhibited or shown to anyone outside of your organization without the prior consent of Sign Concepts, LLC. Copyright © 2006.

6264 ft

9.5
 7.3
 43.5
 12
 12

 6274 ft

DEPT. OF BUILDING INSPECTION
 CITY OF PORTLAND, ME

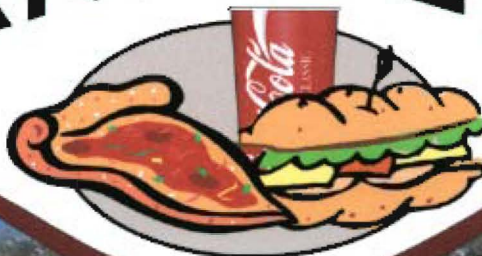
JUL 17 2006

RECEIVED

STAVROS

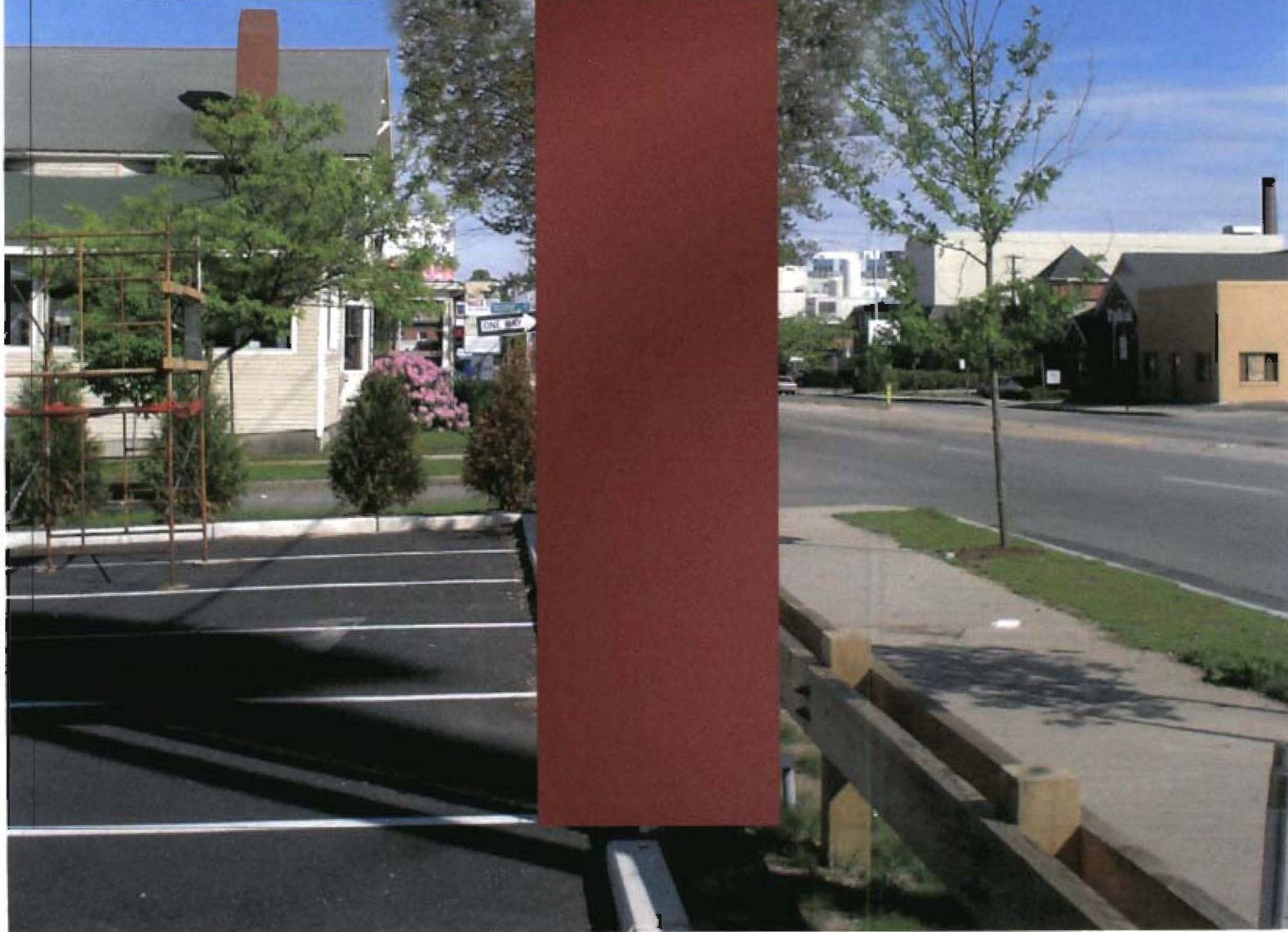
PIZZERIA

AND DELI



18'-0"

7'-8"







101 SOUTH McCALL ROAD, ENGLEWOOD, FL 34223-3253 / 941-474-0223 / FAX: 941-475-9840 / 800-255-0094

WHOLESALE:

SIGN EXTRUSIONS

July 7, 2006

SIGN KITS

VACUUM FORMED
SIGN FACES

TO: Andrew/Sign Concepts

AWNING
EXTRUSIONS

FROM: Joyce Martineau, Ext. 207

AWNING KITS

SIGN EXTRUSIONS

RE: Sunbrella Fabric

SIGN KITS

Pages 2

VACUUM FORMED
SIGN FACES

AWNING
EXTRUSIONS

Andrew: Sunbrella is a non-flame retardant fabric.
Sunbrella Firesist fabric is flame resistance.
I have attached a sheet on Sunbrella Firesist fabric.

AWNING KITS
EXTRUSIONS

SIGN EXTRUSIONS

SIGN KITS

Thank you for your continued interest in Milliken.

VACUUM FORMED
SIGN FACES

AWNING
EXTRUSIONS

AWNING KITS

SIGN EXTRUSIONS

SIGN KITS

VACUUM FORMED
SIGN FACES

AWNING
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SIGN EXTRUSIONS

SIGN KITS

VACUUM FORMED
SIGN FACES

AWNING
EXTRUSIONS

AWNING KITS
EXTRUSIONS



DESCRIPTION

DESCRIPTION

WEIGHT

WIDTH

COLOR

DURABILITY / AVERAGE LIFE SPAN

SURFACE

UNDERSIDE

TRANSPARENCY LEVEL

ABRASION RESISTANCE

FLEXIBILITY

FABRIC IDENTIFICATION

FLAME RESISTANCE (FR)

Woven fabric made of 100% SEF/PLUS® Self-extinguishing fibers. These are modacrylic solution dyed fibers. P
Approximately 9.25 oz. per square yard
374 grams per square meter
60 inches or 152.4 cm
Very resistant to ultraviolet rays & color degradation (see warranty). Most colors tested up to 1500 hours in fadeometer with minimal or no change. Fade resistant to most chemicals.

5-10 years (Depends on climate & proper use of fabric.)

Plain weave. Excellent fire resistance.

Same as top surface, both sides alike.

Light shades translucent for good illuminated use.

Good.

Excellent in both hot & very cold conditions. Will not crack or peel.

Contrasting marker yarn in selvage gives positive identification.

Fabric does not melt/drip & is inherently flame retardant passing the following flame retardant requirements:

- California State Fire Marshall's Test Procedure #801 Title 19, Registration #F258-01
- NFPA 70
- Values for flame spread and smoke density are Class A or Class 1 building material.
- FAA 25.853(a) interior aircraft seats and furnishings
- FMVSS302 Auto. bus train
- CRA-84 Test walls and roof
- New York Board of Standards 294-40-30
- UFAC Upholstered furniture
- NFPA 1975 Fireman's station uniform IFMS 8903-191) and institutional blankets.
- UL 214 Certification (U.S.)
- CAN/UL 2100 Certification (Canada)

MILDEW RESISTANT

Excellent. Fabric will not support growth of mold/mildew. Mold/mildew on exterior surfaces easily removed.

CHEMICAL RESISTANCE

Fabric highly resistant to acids, alkalis, & solvents.

WATER REPELLENCY

Excellent.

OIL RESISTANCE

Good.

SEWABILITY

Excellent.

HEAT SEALING

Can be heat sealed using sealing iron & heat source such as radio frequency bar type welder.

MATERIAL CLASSIFICATION

DESCRIPTION

WEIGHT

WIDTH

COLOR

DURABILITY / AVERAGE LIFE SPAN

SURFACE

UNDERSIDE

TRANSPARENCY LEVEL

ABRASION RESISTANCE

FLEXIBILITY

FABRIC IDENTIFICATION

FLAME RESISTANCE (FR)

solution dyed fibers with a fluorocarbon finish.

Woven fabric made of 100% SEF/PLUS® solution dyed fibers with a fluorocarbon finish.

Approximately 10.25 oz. per square yard
348 grams per square meter.

60 inches or 152.4 cm

Very resistant to ultraviolet rays & color degradation (see warranty). Most colors tested up to 1500 hours in fadeometer with minimal or no change. Fade resistant to most chemicals.

5-10 years (Depends on climate & proper use of fabric.)

Plain weave

Coated with acrylic/urethane

Light shades translucent for good illuminated use.

Good.

Excellent in both hot & very cold conditions. Will not crack or peel.

Contrasting marker yarn in selvage gives positive identification.

Fabric does not melt/drip & is inherently flame retardant passing the following flame retardant requirements:

- California State Fire Marshall's Test Procedure #801 Title 19, Section 1227, Registration # (submit upon request)
- NFPA 701-99 Test Method 2
- ASTM E-84-00a - Values for flame spread and smoke density are Class A or Class 1 building material.
- FAA 25.853(b) interior aircraft seats and furnishings
- FMVSS302 Auto. bus train
- CRA-84 Test walls and roof
- New York Board of Standards 294-40-30
- UFAC Upholstered furniture
- UL 214 Certification (U.S.)
- CAN/UL 2100 Certification (Canada)
- Outside North America - Consult Glen Raven for Specifications.

MILDEW RESISTANT

Excellent. Fabric will not support growth of mold/mildew. Mold/mildew on exterior surfaces easily removed.

CHEMICAL RESISTANCE

Fabric highly resistant to acids, alkalis, & solvents.

WATER REPELLENCY

Superior.

OIL RESISTANCE

Good.

SEWABILITY

Excellent.

HEAT SEALING

Can be heat sealed using sealing iron & heat source such as radio frequency bar type welder.

SUNBRELLA FIRESIST™ PLUS™ five year limited warranty

This warranty is valid only if its accompanying certificate is completed and mailed within 30 days of installation. This warranty covers the fabric becoming faded or discolored from normal exposure conditions including sunlight, mildew, rot and atmospheric chemicals. It does not cover damage caused by fire, water, or other abnormal conditions. The warranty covered runs for 5 years from the date of the original installation. Call the dealer from whom you purchased the product to inspect the installation. The dealer will contact the manufacturer if necessary. This warranty gives you specific legal rights and you may also have other rights which vary from state to state.



GUINNESS
Deli Sandwiches • Salads
Wines • Beers • Lottery
Fresh Fruits & Vegetables
SPECIAL TUESDAY
RE ESNURE EATIS



GUINNESS

Hot Sausages • Meat
Wings • Burgs • Larders
Pasta • Panini • Vegetables

DELISHIOUS EATS





CITY OF PORTLAND, MAINE

Department of Building Inspections

7.7 2006

Received from John Corbett

Location of Work 175 Franklin St

Cost of Construction \$ _____

Permit Fee \$ 200

Building (I1) _____ Plumbing (I5) _____ Electrical (I2) _____ Site Plan (U2) _____

Other _____

CBL: 111730

Check #: 20620 Total Collected \$ 206.00

THIS IS NOT A PERMIT

No work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be granted. PRESERVE THIS RECEIPT. In case permit cannot be granted the amount of the fee will be refunded upon return of the receipt less \$10.00 or 10% whichever is greater.

WHITE - Applicant's Copy
YELLOW - Office Copy
PINK - Permit Copy



DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME

AUG - 7 2006

RECEIVED

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information

Card Number 1 of 1
Parcel ID 111 A010001
Location 425 FOREST AVE
Land Use RETAIL & PERSONAL SERVICE

Owner Address FLETCHER WENDALL M JR
 48 REVERE ST
 PORTLAND ME 04103

Book/Page /
Legal 111-A-10-11
 FOREST AVE 423-429
 9839 SF

Current Assessed Valuation For Fiscal Year 2008

Land	Building	Total
\$153,050	\$52,280	\$205,330

Estimated Assessed Valuation For Fiscal Year 2007*

Land	Building	Total
\$161,200	\$89,180	\$250,380

* Value subject to change based upon review of property status as of 4/1/06.
 The tax rate will be determined by City Council in May 2006.

Building Information

Wdg #	Year Built	# Units	Wldy Sq. Ft.	Identical Units
1	1955	1	1590	1

Total Acres	Total Buildings Sq. Ft.	Structure Type	Building Name
0.226	1590	RETAIL - SINGLE OCCUPANCY	MAINE MADE / GUISSE

Exterior/Interior Information

Section	Levels	Area	Use
1	01/01 0/0	1590	RETAIL STORE

Height	Walls	Heating	A/C
13	CONC. BLOCK	HOT AIR NONE NONE NONE NONE NONE NONE	CENTRAL NONE NONE NONE NONE NONE NONE

Building Other Features

Size	Structure Type	Identical Units
-------------	-----------------------	------------------------

Yard Improvements

Year Built	Structure Type	Length or Sq. Ft.	# Units
1970	ASPHALT PARKING	8200	1

Sales Information

Date	Type	Price	Book/Page
05/01/1997	LAND + BLDING		13092-034

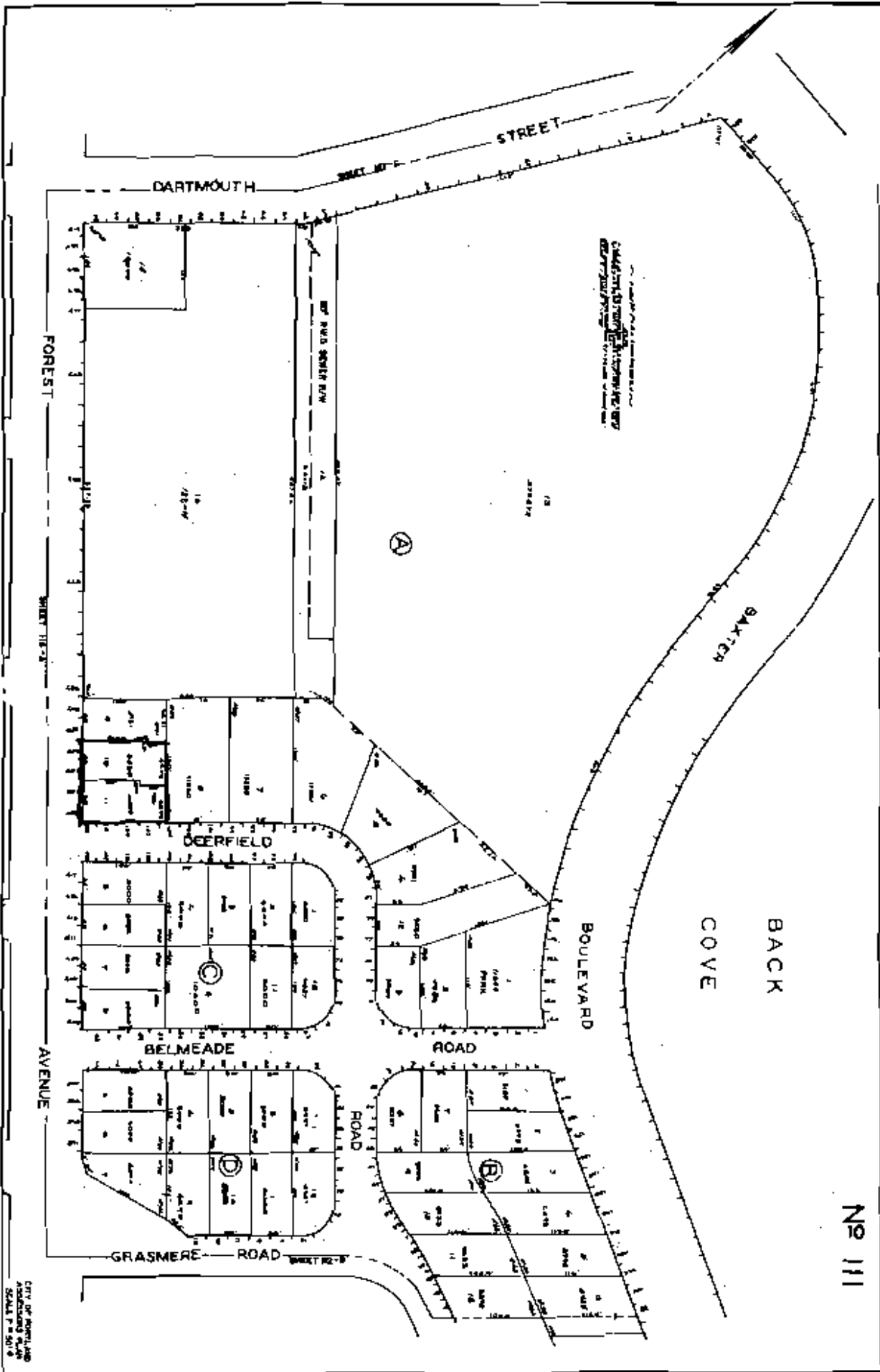
Picture and Sketch

[Picture](#) [Sketch](#) [Tax Map](#)

[Click here](#) to view Tax Roll Information.

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or [e-mailed](#).





No 111

July 7, 2006

To Whom it May Concern:

I grant permission to my future tenant, Stavros Pizzeria, to install building awnings and a pylon road sign on my property at 425 Forest Ave.

Sincerely,

Wendell Fletcher
Property Owner

Wendell Fletcher

48 Revere St.

Portland 04103



Signage/Awning Permit Application Checklist

All of the following information is required and must be submitted. Checking off each item as you prepare your application package will ensure your package is complete and will help to expedite the permitting process.

- Certificate of Liability listing the City as additional insured if any portion of the sign abuts or encroaches on any public right of way, or can fall into any public right of way.
- Letter of permission from the owner indicating the permissions granted and the tenant/space building frontage.
- A sketch plan of lot indicating location of buildings, driveways and any abutting streets or rights of way, lengths of building frontages, street frontages and all existing setbacks. Please indicate on the plan all existing and proposed signs with their dimensions and specific locations. Be sure to include distance from the ground and building facade dimensions for any signage attached to the building.
- A sketch or photo of any proposed sign(s) indicating content, dimensions, materials, source of illumination, construction method as well as specifics of installation/attachment.
- Certificate of flammability required for awning or canopy.
- A UL# is required for lighted signs at the time of final inspection.
- Pre-application questionnaire completed and attached.

N/A Photos of existing signage

- Details for sign fastening, attachment or mounting in the ground.

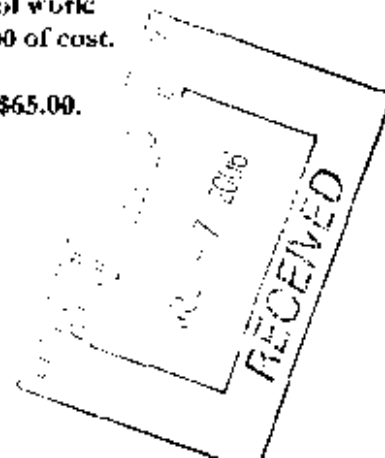
*Sign pole will be steered over existing steel pole and welded on.
18" W x 3' D x 3' H concrete base. Pole will steer through sign cabinet and*

Permit fee for signage or awning-with-signage: \$30.00 plus \$2.00 per square foot of sign.

*and
be welded.*

Permit fee for awning-without-signage is based on cost of work
\$30.00 for the first \$1,000.00, \$9.00 per additional \$1,000.00 of cost.

Base application fee for any Historic District signage is \$65.00.



ACORD CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)
07/07/2006

PRODUCER
C P Curtis Insurance Agency
P.O. Box 129
18 Main Street
Bowdoinham ME 04003

INSURED
Sign Concepts LLC
75 Bishop Street
Windham, ME 04092

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

INSURERS AFFORDING COVERAGE	NAIC #
INSURER A: Hanover	
INSURER B:	
INSURER C:	
INSURER D:	
INSURER E:	

COVERAGES

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSURANCE TYPE	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YYYY)	POLICY EXPIRATION DATE (MM/DD/YYYY)	LIMITS
A	<input checked="" type="checkbox"/> GENERAL LIABILITY <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR	ZDP8184278 00	11/12/2005	11/12/2008	EACH OCCURRENCE \$ 1,000,000 DAMAGE TO RENTED PREMISES (Per occurrence) \$ 100,000 MED EXP (Per one person) \$ 5,000 PERSONAL & ADV INJURY \$ 1,000,000 GENERAL AGGREGATE \$ 2,000,000 PRODUCTS - COMMODITY AGG \$ 2,000,000
	<input type="checkbox"/> AUTOMOBILE LIABILITY ANY AUTO ALL OWNED AUTOS SCHEDULED AUTOS HIRED AUTOS NON-OWNED AUTOS				COMBINED SINGLE LIMIT (EA ACCIDENT) \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$
	<input type="checkbox"/> GARAGE LIABILITY ANY AUTO				AUTO ONLY - EA ACCIDENT \$ OTHER THAN AUTO ONLY: AGG \$
	<input type="checkbox"/> UMBRELLA LIABILITY <input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE <input type="checkbox"/> UMBRELLA <input checked="" type="checkbox"/> RETENTION				EACH OCCURRENCE \$ AGGREGATE \$ \$ \$
	<input type="checkbox"/> WORKERS COMPENSATION AND EMPLOYERS LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/OWNER EXCLUDED? If yes, describe under SPECIAL PROVISIONS below OTHER				<input type="checkbox"/> WC STATUS <input type="checkbox"/> OTH-ER E.L. EACH ACCIDENT \$ E.L. DISEASE - EA EMP/PER \$ E.L. DISEASE - POLICY LIMIT \$

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES / EXCLUSIONS ADDED BY ENDORSEMENT / SPECIAL PROVISIONS

Sign Installation

City of Portland is being added as Additional Insured

CERTIFICATE HOLDER

City of Portland
389 Congress Street
Portland, ME 04101

CANCELLATION

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING NUMBER WILL ENDEAVOR TO MAIL 10 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL NOT BE CONSIDERED AS WAIVER OF ANY CLAIM UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE
Melanie S. Munsell

IMPORTANT

If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must be endorsed. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

DISCLAIMER

The Certificate of Insurance on the reverse side of this form does not constitute a contract between the issuing insurer(s), authorized representative or producer, and the certificate holder, nor does it affirmatively or negatively amend, extend or alter the coverage afforded by the policies listed thereon.

ACORD CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)
07/07/2006

PRODUCER
C P Curtis Insurance Agency
P.O. Box 129
18 Main Street
Bowdoinham ME 04006

INSURED
Sign Concepts LLC
75 Bishop Street
Windham, ME 04092

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

INSURERS AFFORDING COVERAGE	NAIC #
INSURER A: Hannover	
INSURER B:	
INSURER C:	
INSURER D:	
INSURER E:	

COVERAGES

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR. APL. LTR. SYMB.	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YYYY)	POLICY EXPIRATION DATE (MM/DD/YYYY)	LIMITS
A	GENERAL LIABILITY <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PRO. ACCT. <input type="checkbox"/> LOC.	ZDP8184278 00	11/12/2005	11/12/2006	EACH OCCURRENCE \$ 1,000,000 DAMAGE TO RENTED PREMISES (Commercial) \$ 100,000 MED EXP (Accident Injury) \$ 5,000 PERSONAL & ADV INJURY \$ 1,000,000 GENERAL AGGREGATE \$ 2,000,000 PRODUCTS - COMP/OP AGG \$ 2,000,000
	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS				COMBINED SINGLE LIMIT (Per accident) \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$
	GARAGE LIABILITY <input type="checkbox"/> ANY AUTO				AUTO ONLY - SR ACCIDENT \$ OTHER THAN GARAGE \$ AUTO ONLY: AGG \$
	UMBRELLA LIABILITY <input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE <input type="checkbox"/> DEDUCTIBLE <input type="checkbox"/> RETENTION \$				EACH OCCURRENCE \$ AGGREGATE \$ \$ \$
	WORKERS COMPENSATION AND EMPLOYERS LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/OWNER EXCLUDED? If yes, describe under SPECIAL PROVISIONS below. OTHER				<input type="checkbox"/> INC STATUS <input type="checkbox"/> OTH-ER TOLLY LIMITS E.L. EACH ACCIDENT \$ E.L. DISEASE - PER EMPLOYEE \$ E.L. DISEASE - POLICY LIMIT \$

DESCRIPTION OF OPERATIONS / LOCATIONS (VEHICLES / EXCLUSIONS) ADDED BY ENDORSEMENT / SPECIAL PROVISIONS

Sign Installation

CERTIFICATE HOLDER

City of Portland
300 Congress Street
Portland, ME 04101

CANCELLATION

SINCE IF ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL endeavor to MAIL 10 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILS TO DO SO SHALL BECOME SO CANCELLATION OR LIABILITY OF ANY KIND UPON THE ISSUING ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE
Melanie S. Munsell

IMPORTANT

If the certificate holder is an **ADDITIONAL INSURED**, the policy(ies) must be endorsed. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

If **SUBROGATION IS WAIVED**, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

DISCLAIMER

The Certificate of Insurance on the reverse side of this form does not constitute a contract between the issuing insurer(s), authorized representative or producer, and the certificate holder, nor does it affirmatively or negatively amend, extend or alter the coverage afforded by the policies listed thereon.

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 06-1001	Date Applied For: 07/07/2006	CEU: 111 A010001
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Location of Construction: 425 FOREST AVE	Owner Name: FLETCHER WENDALL M JR	Owner Address: 48 REVERE ST	Phone:
Business Name:	Contractor Name: Sign Concepts	Contractor Address: 9 Storm Dr Windham	Phone: (207) 899-6454
Lessor/Buyer's Name:	Phone:	Permit Type: Signs - Permanent	

Proposed Use: Stavros Pizzeria & Deli- new signage 63 Sq Ft (freestanding sign) & awning with signage	Proposed Project Description: new signage 63 Sq Ft (freestanding) & awning with signage.
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Dept: Zoning	Status: Approved with Conditions	Reviewer: Am Machado	Approval Date: 07/18/2006
Note:	Ok to Issue: <input checked="" type="checkbox"/>		
1) This permit is being issued with the understanding that the freestanding sign will be placed a minimum of 5' from the property line.			

Dept: Building	Status: Approved with Conditions	Reviewer: Tammy Munson	Approval Date: 08/03/2006
Note:	Ok to Issue: <input checked="" type="checkbox"/>		
1) Signage Installation to comply with Chapter 11 of the IBC 2003 building code.			

Comments:

7/13/2006-amachado: Left message with Andrew at Sign Concepts. Need Scalable sign plan to show exactly how the actual face is 63" and we need plot plan to indicate that the free standing sign is a minimum of 5' from the property line.

8/2/2006-amachado: Left message with Andrew from Sign Concepts. He called on 8/1/02 to say that they wanted to use the pole from the previous business, but it is not five feet from the property line. I told him that if only the pole is left and not the frame then they have lost the nonconforming use of the sign location and that the new sign must be located at least five feet from the front property line.

8/7/2006-amachado: Owner & tenant brought in picture which shows that the old sign and frame still exist so the location for the new sign is legally nonconforming and can be less than 5' from the property line.

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months. If the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

- Footing/Building Location Inspection: Prior to pouring concrete
- Re-Bar Schedule Inspection: Prior to pouring concrete
- Foundation Inspection: Prior to placing ANY backfill
- Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling
- Final/Certificate of Occupancy: Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

U/A If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

U/A CERTIFICATE OF OCCUPANCIES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED

X *Joseph Moore*
Signature of Applicant/Designee
Constance Martin Hamlin
Signature of Inspection Official

8-9-06
Date
8-9-06
Date

CBL: 129 F013 Building Permit # 060813