

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

# CITY OF PORTLAND

BUILDING DIVISION

## PERMIT ISSUED

### PERMIT

Permit Number: 100193

MAR 24 2010

Please Read Application And Notes, If Any, Attached

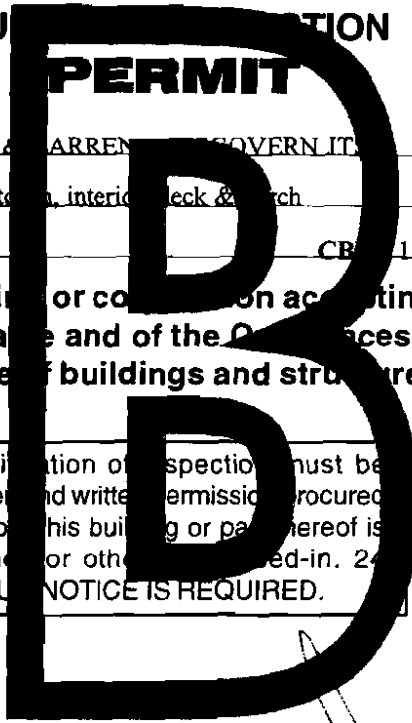
This is to certify that MCGOVERN CHRISTINA L. ARREN MCGOVERN IT

has permission to renovations and remodel to kitchen, interior deck & porch

City of Portland

AT 31 BELMEADE RD CB# 111 C009001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.



Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lathed or otherwise red-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

#### OTHER REQUIRED APPROVALS

Fire Dept. \_\_\_\_\_

Health Dept. \_\_\_\_\_

Appeal Board \_\_\_\_\_

Other \_\_\_\_\_

Department Name

*Sam Kutz* 3/24/10  
Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-0193	Issue Date:	CBL: 111 C009001
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Location of Construction: 31 BELMEADE RD	Owner Name: MCGOVERN CHRISTINA L & D	Owner Address: 31 BELMEADE RD	Phone:
Business Name:	Contractor Name: BK Harding Inc	Contractor Address: 79 Longley Road Westbrook	Phone: 2073291287
Leasee/Buyer's Name	Phone:	Permit Type: Alterations - Dwellings	Zone: R-5

Past Use: Single Family Home	Proposed Use: Single Family Home - renovations and remodel to kitchen, interior, new deck & porch	Permit Fee: \$270.00	Cost of Work: \$25,000.00	CEO District: 1
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Proposed Project Description: renovations and remodel to kitchen, interior, deck & porch  deck 22'x11'4" entry porch 5'x6'8"	FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R3 Type: 5B IRL-2003 Signature: JMB 3/24/10
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Signature:	Signature:
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PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied	Signature:	Date:

Permit Taken By: Idobson	Date Applied For: 03/02/2010	<b>Zoning Approval</b>
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<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.</p>	<p><b>Special Zone or Reviews</b></p> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan  Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: 3/8/10 JMB	<p><b>Zoning Appeal</b></p> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	<p><b>Historic Preservation</b></p> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: JMB
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**PERMIT ISSUED**

MAR 24 2010

City of Portland

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-0193	Date Applied For: 03/02/2010	CBL: 111 C009001
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Location of Construction: 31 BELMEADE RD	Owner Name: MCGOVERN CHRISTINA L & D	Owner Address: 31 BELMEADE RD	Phone:
Business Name:	Contractor Name: BK Harding Inc	Contractor Address: 79 Longley Road Westbrook	Phone: (207) 329-1287
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Dwellings	

Proposed Use: Single Family Home - interior renovations and remodel kitchen, new deck (22' x 11'4") & new porch (5' x 6'8")	Proposed Project Description: interior renovations and remodel kitchen, new deck & new porch
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Dept: Zoning	Status: Approved with Conditions	Reviewer: Ann Machado	Approval Date: 03/08/2010
Note:	Ok to Issue: <input checked="" type="checkbox"/>		
<ol style="list-style-type: none"> <li>1) This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals.</li> <li>2) As discussed during the review process, the property must be clearly identified prior to pouring concrete and compliance with the required setbacks must be established. Due to the proximity of the setbacks of the proposed addition, it may be required to be located by a surveyor.</li> <li>3) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.</li> <li>4) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.</li> </ol>			
Dept: Building	Status: Approved with Conditions	Reviewer: Jeanine Bourke	Approval Date: 03/24/2010
Note:	Ok to Issue: <input checked="" type="checkbox"/>		
<ol style="list-style-type: none"> <li>1) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm or HVAC or exhaust systems. Separate plans may need to be submitted for approval as a part of this process.</li> <li>2) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.</li> </ol>			

<b>Comments:</b>
3/2/2010-ldobson: Will bring in revised plans - proposed deck does not meet rear setback (amachado).
3/5/2010-amachado: Received pdf of revised deck plans. Left vcm for Darren McGovern. Need full size copies and need full plot plan, not jus part of the lot.
3/5/2010-amachado: Received revised plans.
3/22/2010-jmb: Spoke to Darren about details on the stairs and open porch with roof. He will have the architect submit.
3/23/2010-jmb: Joe M. Called, he will email plans for the steps and porch details
3/24/2010-jmb: Received email with pdf plans from Joe M., ok to issue

## **BUILDING PERMIT INSPECTION PROCEDURES**

**Please call 874-8703 or 874-8693 (ONLY)**

**or email: [buildinginspections@portlandmaine.gov](mailto:buildinginspections@portlandmaine.gov)**

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the City of Portland Inspection Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months, if the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue with construction.**

  **X**   **Footing/Building Location Inspection: Prior to pouring concrete or setting precast piers**

  **X**   **Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling**

  **X**   **Final inspection required at completion of work.**

**The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.**

**IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.**



# CITY OF PORTLAND, MAINE

Department of Building Inspections

## Original Receipt

\_\_\_\_\_ 3-2-2010 \_\_\_\_\_

Received from Durren Mc Govern

Location of Work 31 Belmont

Cost of Construction \$ 425000 Building Fee: \_\_\_\_\_

Permit Fee \$ \_\_\_\_\_ Site Fee: \_\_\_\_\_

Certificate of Occupancy Fee: \_\_\_\_\_

Total: 270

Building (I1) \_\_\_\_\_ Plumbing (I5) \_\_\_\_\_ Electrical (I2) \_\_\_\_\_ Site Plan (U2) \_\_\_\_\_

Other \_\_\_\_\_

CBL: 11129

Check #: 1832 Total Collected \$ 270

**No work is to be started until permit issued.  
Please keep original receipt for your records.**

Taken by: P. J. D.

WHITE - Applicant's Copy  
YELLOW - Office Copy  
PINK - Permit Copy



# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>31 Belmeade Rd</u>		
Total Square Footage of Proposed Structure/Area		Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart# <u>111</u> Block# <u>C</u> Lot# <u>9</u>	Applicant *must be owner, Lessee or Buyer* Name <u>Darren McGovern</u> Address <u>31 Belmeade Rd</u> City, State & Zip <u>Portland, Me. 04101</u>	Telephone: <u>207 210 1455</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ _____ C of O Fee: \$ _____ Total Fee: \$ _____
Current legal use (i.e. single family) <u>Single family</u> If vacant, what was the previous use? _____ Proposed Specific use: _____ Is property part of a subdivision? _____ If yes, please name _____ Project description: <u>renovations and remodel of kitchen interior, deck and porch.</u> <u>new porch deck,</u>		
Note will bring in Re Plans -		
Contractor's name: <u>B F Harding Inc.</u>		
Address: <u>79 Langley Rd</u>		
City, State & Zip <u>Westbrook, Me. 04092</u>		Telephone: <u>207 329 1227</u>
Who should we contact when the permit is ready: <u>Darren McGovern</u>		Telephone: <u>207 210 1455</u>
Mailing address: <u>31 Belmeade Rd Portland, Me 04101</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Signature] Date: 3/2/10 RECEIVED

This is not a permit; you may not commence ANY work until the permit is issue

MAR - 2 2010

Dept. of Building Inspections  
City of Portland Maine

Applicant: Darren McGovern

Date: 9/2/10

Address: 31 Belmeade

C-B-L: 111-C-009  
permit # - 10-0193

CHECK-LIST AGAINST ZONING ORDINANCE

Date - house built 1923

Zone Location - R-5

Interior or corner lot -

Proposed Use/Work - add 22' x 11'4" deck; add 6' x 5' entry porch w/ 3 steps - interior renovation

Sevage Disposal - city

Lot Street Frontage - 50' min. - 100' max (ok)

Front Yard - 20' min or average - 58.5' scaled to steps (ok)

Rear Yard - 20' min - 20' stair. (ok)

Side Yard - 2 story - 12' min - 15'6" stair (ok)

Projections -

Width of Lot -

Height -

Lot Area - 6,000 sq ft min - 19,000 sq ft

Lot Coverage/Impervious Surface - 40% = 4000 sq ft

existing	1656
additions -	241.26 (deck 22x11.33)
	333.75 (porch 6.67x5)
	22.5 steps (4.5x5)
	<hr/>
	2261.11 sq ft

Area per Family - 3,000 sq ft (ok)

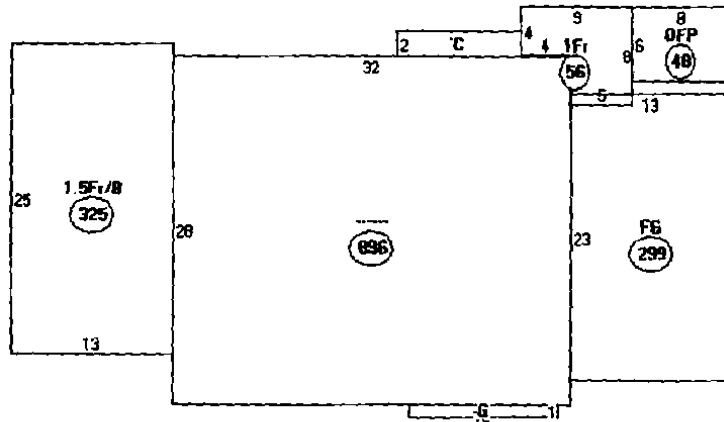
Off-street Parking - one space - OK @ space beyond 20' setback.

Loading Bays -

Site Plan -

Shoreland Zoning/Stream Protection - N/A

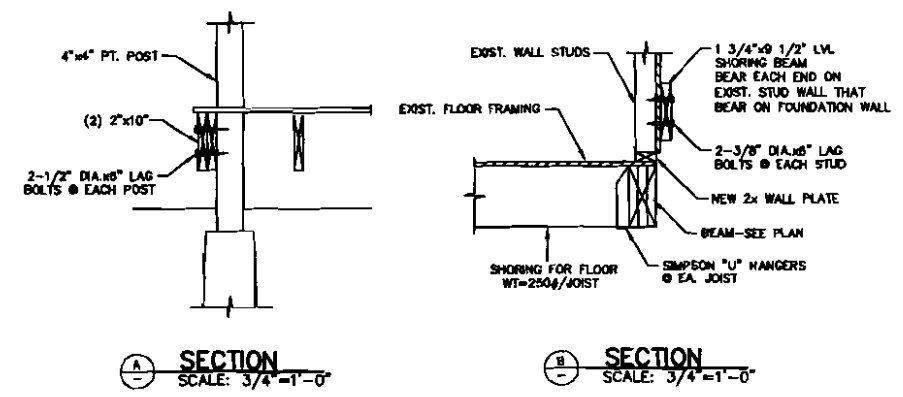
Flood Plains - para 13 - zone C



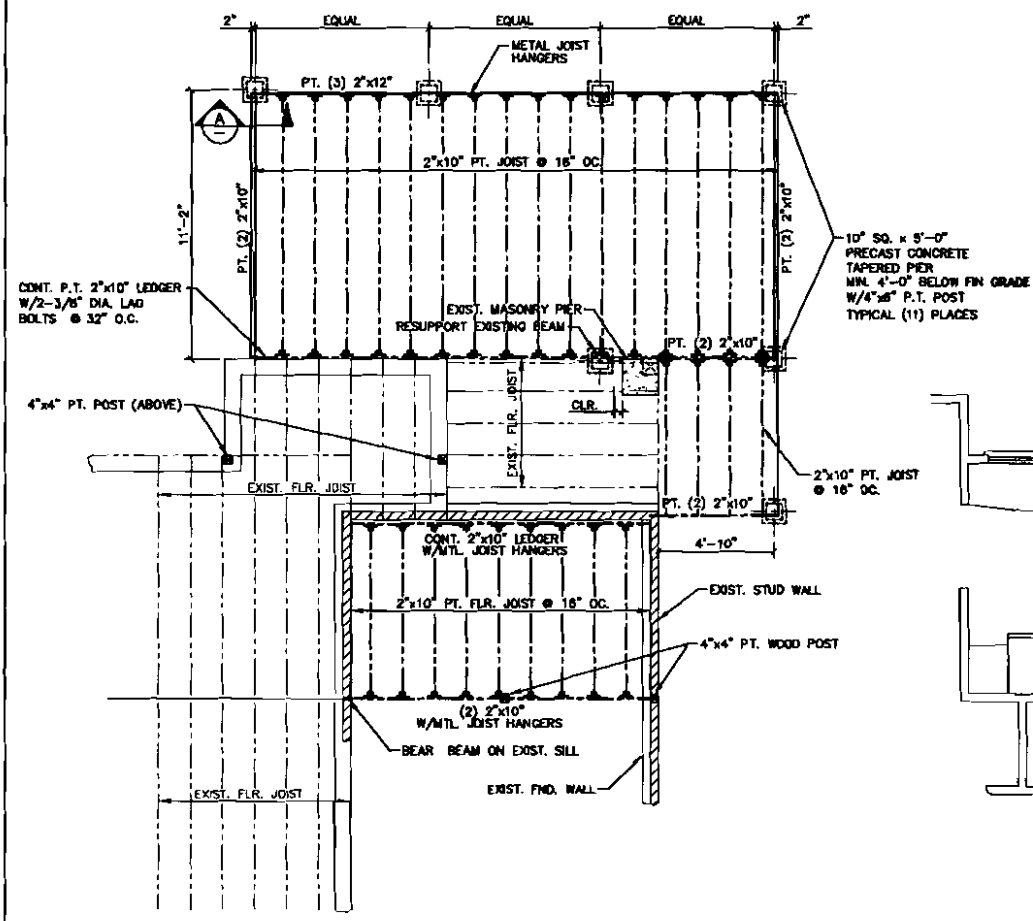
- Descriptor/Area
- A: ---
  - 896 sqft
  - B: 1.5Fr/B
  - 325 sqft
  - C: FBAY
  - 20 sqft
  - D: 1Fr
  - 56 sqft
  - E: DFP
  - 48 sqft
  - F: FG
  - 299 sqft
  - G: 1Fr
  - 12 sqft

= 1656

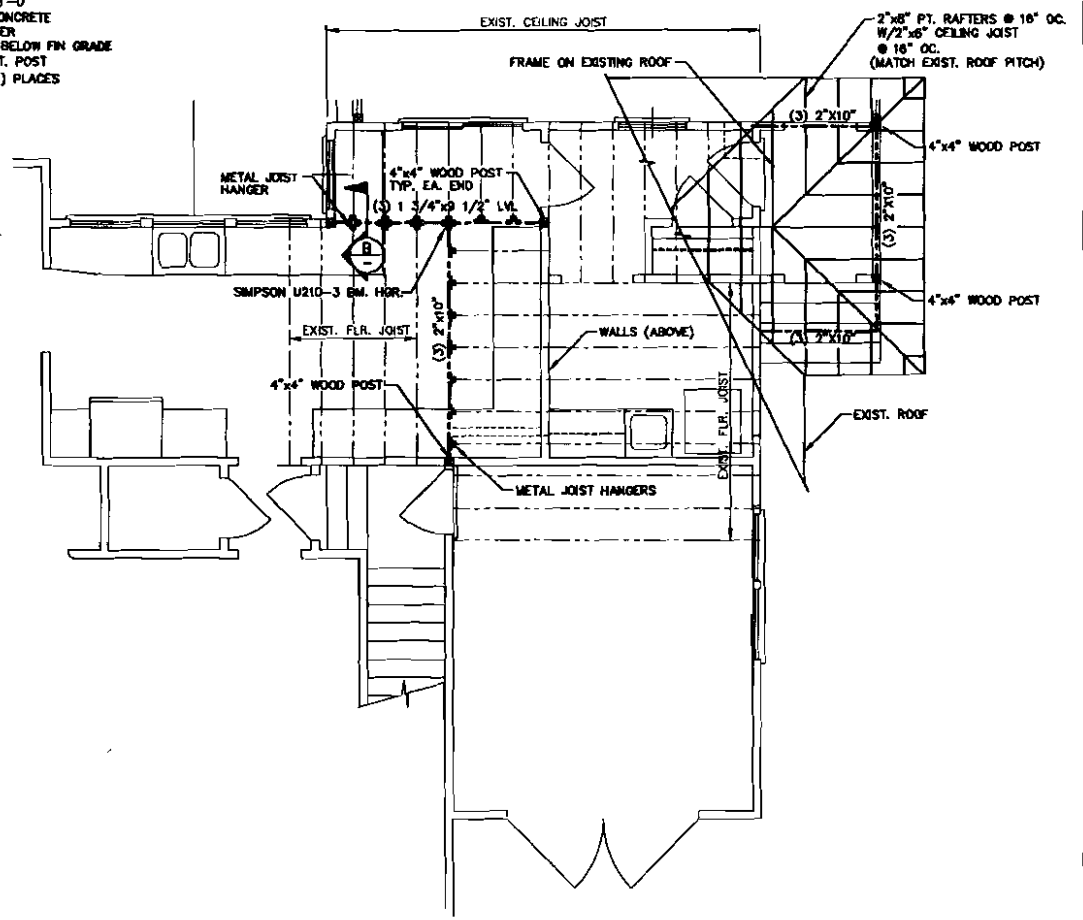




- NOTES
1. INSTALL (1) 1 3/4"x9 1/2" LVL TEMPORARY BEAM ATTACHING TO EA. JOIST.
  2. NAIL BUILT-UP BEAMS TOGETHER W/3 ROWS 16d 12" OC.



PARTIAL 1ST FLOOR FRAMING PLAN



PARTIAL 2ND FLOOR FRAMING PLAN & ROOF FRAMING

ENGINEERING DESIGN PROFESSIONALS  
Consulting Engineers  
P.O. BOX 878, FRENCHVILLE, MAINE 04852 (207) 887-8800

**EDP**

**McGOVERN RESIDENCE**  
31 Belvidere Road  
Portland, Maine  
FRAMING PLANS

Drawn by: Larry Whitcomb, P.E.	Date: JMB
Checked by:	Date: 09-09-10
Scale:	
Sheet No.:	<b>S1</b>

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MAR 24 2010

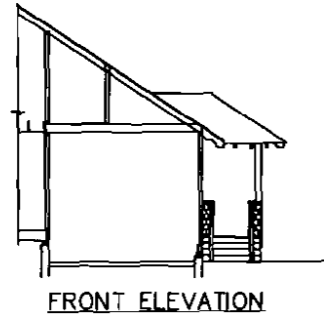
Dept. of Building Inspections  
City of Portland Maine

ALL DRAWINGS, PLANS, SKETCHES ETC. ARE PROVIDED TO OUR CLIENTS BASED UPON INFORMATION PROVIDED BY THE CLIENT AND DRAWN IN ACCORDANCE WITH COMMON BUILDING PRACTICES. NONE OF THE EMPLOYEES OF MORIN DRAFTING ARE REGISTERED ARCHITECTS, STRUCTURAL ENGINEERS OR LAND SURVEYORS. CLIENTS SHALL BE REVIEWED AND APPROVED BY APPROPRIATE REGISTERED PROFESSIONALS, IF NOT, SHALL BE RESPONSIBILITY OF CONTRACTOR OR OWNER. ALL NOTING, SPECIFICATION AND DIMENSIONS SHALL BE REVIEWED BY CLIENT/CONTRACTOR BEFORE WORK BEGINS. ALL CHANGES SHALL BE BROUGHT TO THE ATTENTION OF MORIN DRAFTING. IF PLANS ARE NOT VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE CONSTRUCTION BEGINS MORIN DRAFTING SHALL BE HELD HARMLESS. IN ALL EVENTS DAMAGES SHALL BE LIMITED TO THE COST OF THE PLANS. MORIN DRAFTING ASSUMES NO LIABILITY FOR CONSTRUCTION DEFECTS, CHANGES AND/OR REVISIONS TO PLANS.

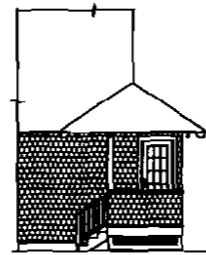
**GENERAL CONSTRUCTION NOTES:**

(THE FOLLOWING NOTES ARE FOR INFORMATIONAL USE ONLY. THEY SHOULD NOT BE INTERPRETED AS CODE OR VIEWED AS THE COMPLETE CODE. THE CONTRACTOR IS RESPONSIBLE FOR REVIEWING THE TOWN ADOPTED CODE BEFORE ANY CONSTRUCTION BEGINS.)

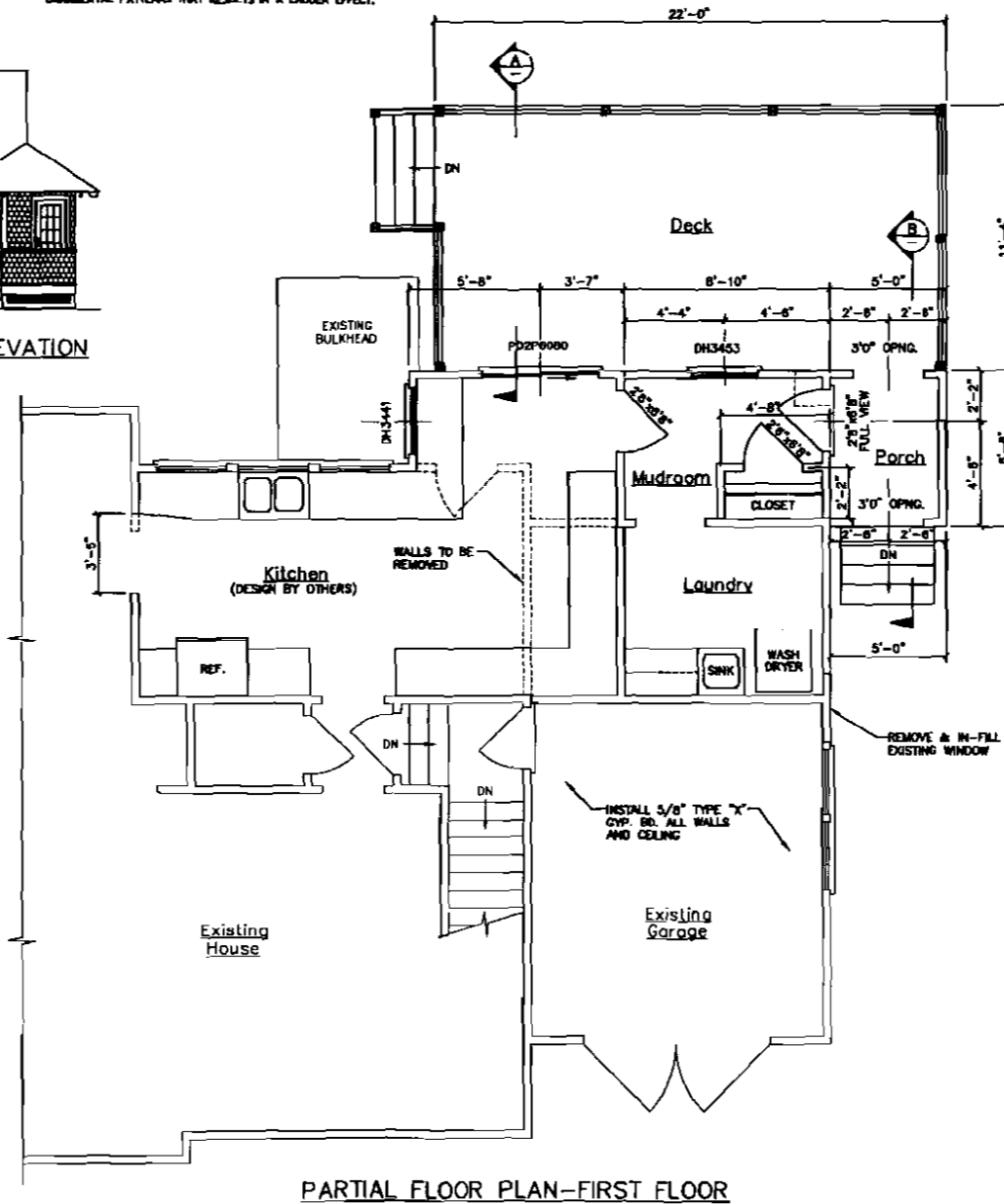
1. ALL FASTENED CONNECTIONS SHALL COMPLY WITH THE CODE FASTENER SCHEDULE.
2. ALL STAIRS SHALL COMPLY WITH THE TOWN ADOPTED STAIR CODE. OPEN SIDES OF STAIRS WITH TOTAL RISE OF MORE THAN 30" ABOVE FLOOR OR GRADE SHALL HAVE GUARDS NOT LESS THAN 36" ABOVE SURFACE OF TREADS. OPENINGS BETWEEN BALUSTERS SHALL BE LESS THAN 4". GUARDS SHALL NOT BE CONSTRUCTED WITH HORIZONTAL RAILS OR ORNAMENTAL PATTERNS THAT RESULTS IN A LADDER EFFECT. STAIRS SHALL BE A MIN. OF 36" WIDE WITH A MAXIMUM RISE HEIGHT OF 7 3/4" AND A MINIMUM TREAD DEPTH OF 10". STAIRS SHALL BE CONSTRUCTED OF (3) 2"x12" P.T. STRINGERS.
3. ALL ENTRANCE DOORS FROM GARAGE TO HOUSE SHALL BE (1) SWING-OUT DOORS.
4. PORCHES, BALCONIES RAISED FLOOR SURFACES MORE THAN 30" ABOVE FLOOR OR GRADE SHALL HAVE GUARDS NOT LESS THAN 36" IN HEIGHT OPENINGS BETWEEN BALUSTERS SHALL BE LESS THAN 4". GUARDS SHALL NOT BE CONSTRUCTED WITH HORIZONTAL RAILS OR ORNAMENTAL PATTERNS THAT RESULTS IN A LADDER EFFECT.



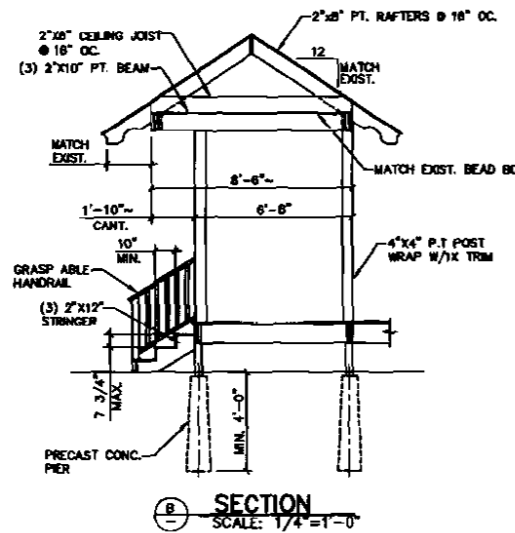
FRONT ELEVATION



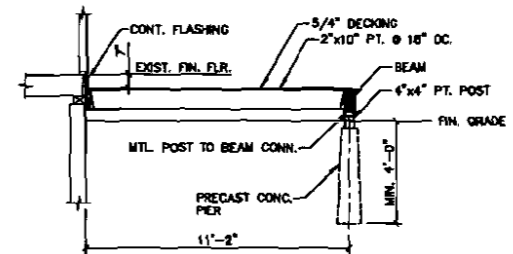
SIDE ELEVATION



PARTIAL FLOOR PLAN—FIRST FLOOR



SECTION B SCALE: 1/4"=1'-0"



SECTION A SCALE: 1/4"=1'-0"



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 MAR 24 2010  
 Dept. of Building Inspections  
 City of Portland Maine

MORIN DRAFTING GORHAM, ME. 318-1177

McGovern Residence  
 31 Balmeade Rd., Portland, Maine

FLOOR PLAN—FIRST FLOOR

DRAWN: J. MORIN

SCALE: 1/4"=1'-0"

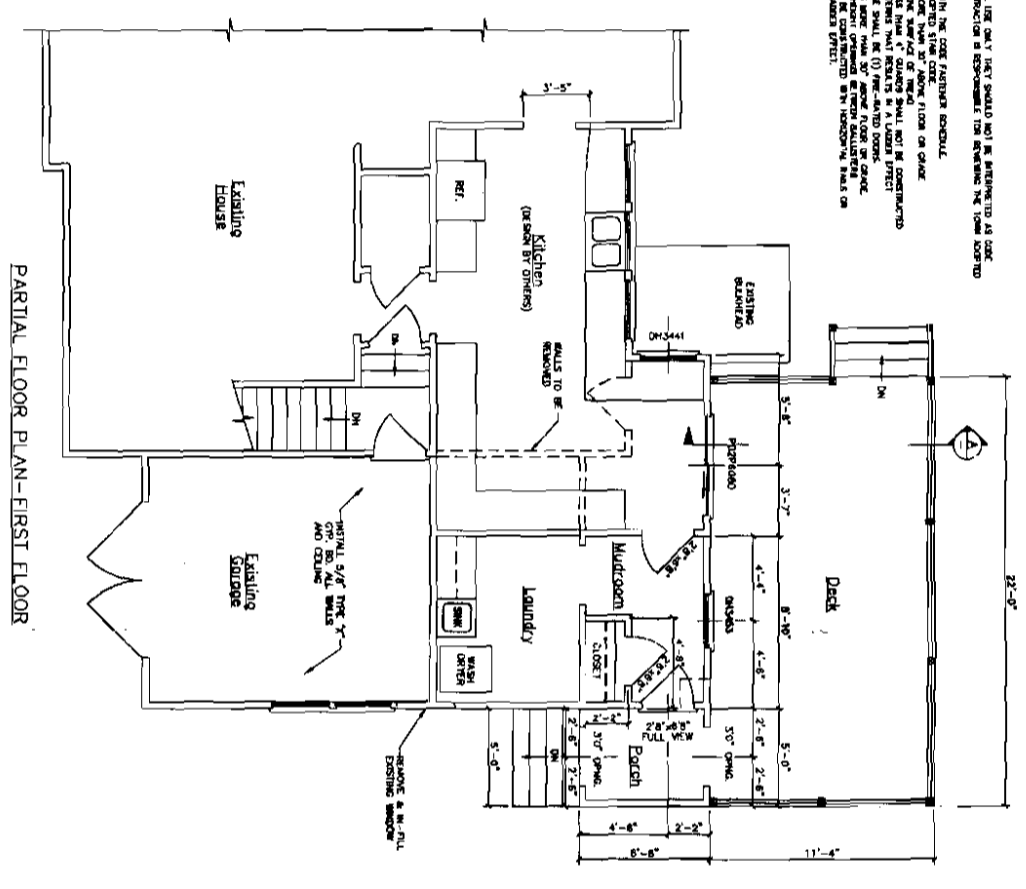
DATE: 03-06-10

PLAN NO:

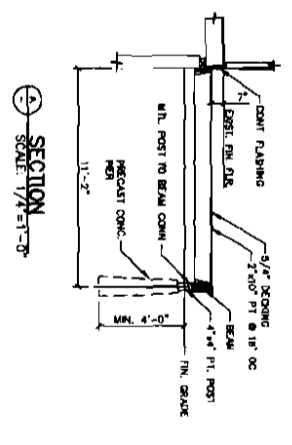
A1

ALL DRAWINGS, PLANS, SPECIFICATIONS, ETC. ARE DEEMED TO BE COMPLETE AND NOT SUBJECT TO BE REVISIONED BY THE CLIENT AND SHALL BE ACCORDINGLY REVISIONED BY THE ARCHITECT. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE DRAWINGS AND SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE SAME. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE SAME. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE SAME.

- GENERAL CONSTRUCTION NOTES:**
1. ALL FINISHES SHALL BE AS SHOWN ON THE DRAWINGS UNLESS OTHERWISE NOTED.
  2. ALL FINISHES SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS.
  3. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS.
  4. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS.



PARTIAL FLOOR PLAN—FIRST FLOOR



MORIN DRAFTING CORP., WE 318-1177  
 McCovern Residence  
 31 Behrens Rd., Portland, Maine

FLOOR PLAN—FIRST FLOOR

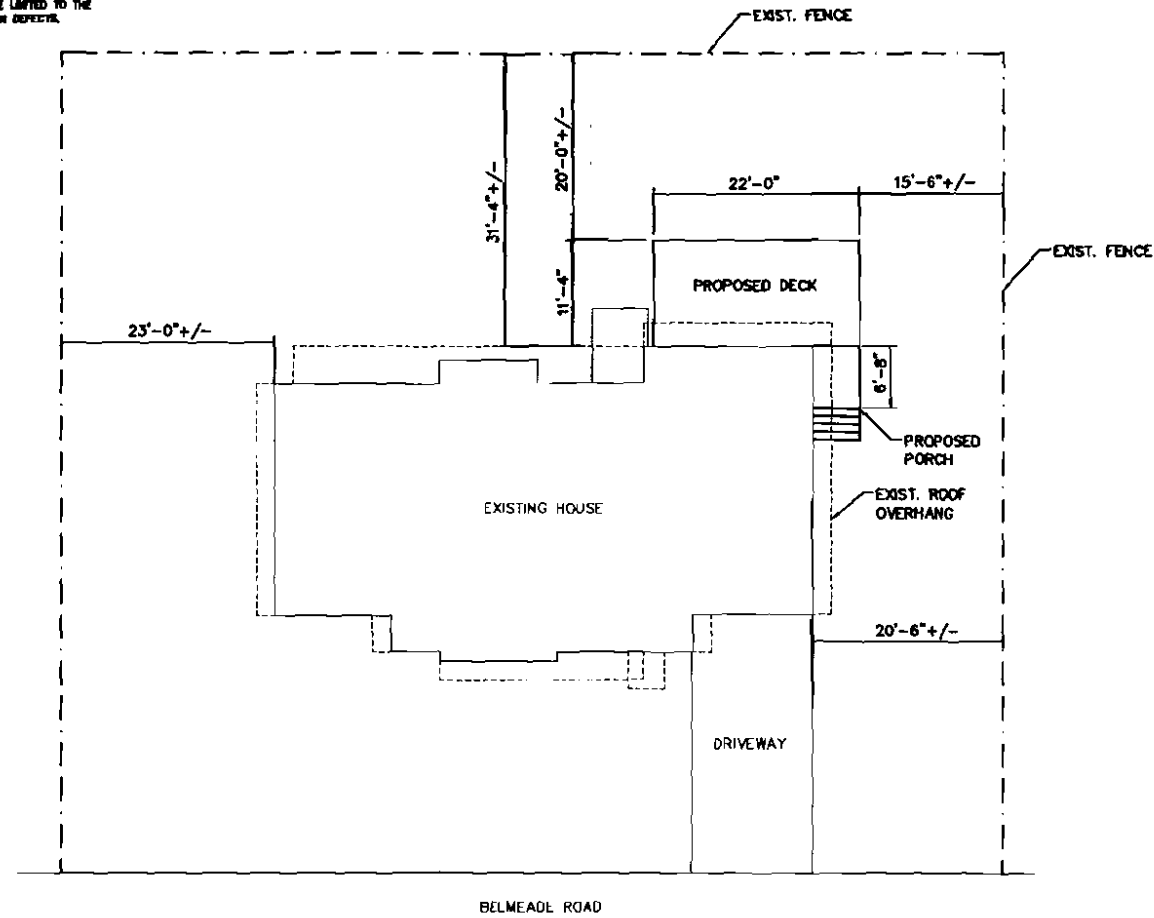
DRAWN: J. MORIN  
 SCALE: 1/4"=1'-0"  
 DATE: 03-05-10  
 PLAN NO. A1

**RECEIVED**

MAR - 5 2010

Dept. of Building Inspections  
 City of Portland Maine

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SITE LAYOUT

MORIN DRAFTING GORHAM, ME. 318-1177	
McGovern Residence 31 Belmeade Rd., Portland, Maine	
SITE LAYOUT	
DRAWN: J. MORIN	C1
SCALE: 1"=10'-0"	
DATE: 03-05-10	
PLAN NO:	