



# Certificate of Occupancy

LOCATION 415 FOREST AVE CBL 111 C005001

Issued to Portland Bay Properties Llc /Philip George Date of Issue 12/22/2009

**This is to certify** that the building, premises, or part thereof, at the above location, built — altered — changed as to use under Building Permit No. 09-1185, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

Middle portion of complex - 1st floor

APPROVED OCCUPANCY

Commercial - Day Care  
Use Group : E/B Type : 5B  
IBC 2003

**Limiting Conditions:** Day Care Facility / No More Than 12 Children

This certificate supersedes  
certificate issued

Approved:

12-30-09 *[Signature]*  
.....  
(Date) Inspector

*[Signature]*  
.....  
Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.

# ELECTRICAL PERMIT

## City of Portland, Me.



To the Chief Electrical Inspector, Portland Maine:  
 The undersigned hereby applies for a permit to make electrical installations  
 in accordance with the laws of Maine, the City of Portland Electrical Ordinance,  
 National Electrical Code and the following specifications:

Date 12/10/09  
 Permit # 2009 4743  
 CBL# III CS

LOCATION: 415 Forest Ave. METER MAKE & # \_\_\_\_\_  
 CMP ACCOUNT # \_\_\_\_\_ OWNER Phil George Chenonardo's  
 TENANT \_\_\_\_\_ PHONE # \_\_\_\_\_

**TOTAL EACH FEE**

<b>OUTLETS</b>	Receptacles	<u>3</u>	Switches		Smoke Detector	<u>3</u>	.20
<b>FIXTURES</b>	Incandescent		Fluorescent		Strips		.20
<b>SERVICES</b>	Overhead		Underground		TTL AMPS <800		15.00
	Overhead		Underground		TTL AMPS >800		25.00
<b>Temporary Service</b>	Overhead		Underground		TTL AMPS		25.00
							25.00
<b>METERS</b>	(number of)						1.00
<b>MOTORS</b>	(number of)						2.00
<b>RESID/COM</b>	Electric units						1.00
<b>HEATING</b>	oil/gas units		Interior		Exterior		5.00
<b>APPLIANCES</b>	Ranges		Cook Tops		Wall Ovens		2.00
	Insta-Hot		Water heaters		Fans		2.00
	Dryers		Disposals		Dishwasher		2.00
	Compactors		Spa		Washing Machine		2.00
	Others (denote)						2.00
<b>MISC. (number of)</b>	Air Cond/win						3.00
	Air Cond/cent				Pools/Thermostat		10.00
	HVAC		EMS				5.00
	Signs						10.00
	Alarms/res						5.00
	Alarms/com						15.00
	Heavy Duty(CRKT)						2.00
	Circus/Carnv						25.00
	Alterations						5.00
	Fire Repairs						15.00
E Lights						1.00	
E Generators						20.00	
<b>PANELS</b>	Service		Remote		Main		4.00
	<b>TRANSFORMER</b>	0-25 Kva					5.00
		25-200 Kva					
Over 200 Kva							10.00
						<b>TOTAL AMOUNT DUE</b>	
						<b>MINIMUM FEE/COMMERCIAL 55.00</b>	<b>MINIMUM FEE 45.00</b>

5  
C  
111

**RECEIVED**  
 DEC 10 2009  
 Dept. of Building Inspections  
 City of Portland Maine

CONTRACTORS NAME Bret Gullifer MASTER LIC. # MS-60019307  
 ADDRESS 277 MAIN ST. Westbrook 04092 LIMITED LIC. # \_\_\_\_\_  
 TELEPHONE 840 930 3381

SIGNATURE OF CONTRACTOR Bret Gullifer

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK  
**CITY OF PORTLAND**

**BUILDING INSPECTION  
PERMIT**

**PERMIT ISSUED**

Permit Number: 091185

**NOV 20 2009**

Please Read Application And Notes, If Any, Attached

This is to certify that PORTLAND BAY PROPERTIES LLC / P

has permission to change of use from Office to Day Care Facility/ 12 or under children City of Portland

AT 415 FOREST AVE CT 111 C005001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lath or other closed-in. 2 HOUSING NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

**OTHER REQUIRED APPROVALS**

Fire Dept. CAPT. R. Santean

Health Dept. \_\_\_\_\_

Appeal Board \_\_\_\_\_

Other \_\_\_\_\_  
Department Name

*James Burke* 11/20/09  
Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-1185	Issue Date:	CBL: 111 C005001
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Location of Construction: 415 FOREST AVE	Owner Name: PORTLAND BAY PROPERTIES L	Owner Address: 67 PHIPPS ST	Phone:
Business Name:	Contractor Name: Philip George	Contractor Address: P.O. Box 776 Portland	Phone 8027340290
Lessee/Buyer's Name	Phone:	Permit Type: Change of Use - Commercial	Zone: B-2b

Past Use: Commercial - Office "middle suite"	Proposed Use: Commercial - Day Care - change of use from Office to Day Care Facility/ 12 or under children "middle suite"	Permit Fee: \$145.00	Cost of Work: \$5,000.00	CEO District: 1
		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied *See Conditions	INSPECTION: Use Group: E/B Type: SB IBC-2003	

Proposed Project Description: change of use from Office to Day Care Facility/ 12 or under children Construct new entry 4x4! 4x3 5 tier landing	Signature: (KG)	Signature: JMB 11/20/09
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
Signature: _____ Date: _____		

Permit Taken By: Ldobson	Date Applied For: 10/21/2009	<b>Zoning Approval</b>
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Special Zone or Reviews	Zoning Appeal	Historic Preservation
<input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <i>using Section 14-431 entry</i> <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/>	<input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied	<input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied
Date: 10/28/09 JMB	Date:	Date:

**PERMIT ISSUED**

**NOV 20 2009**

**City of Portland**

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

12/8/09 per Lisa Brown State HFP Program Director  
Day cares are not licensed or inspected by This program.  
These are inspected thru the State Day Care Licensing  
& SFHM. No FSE License or inspection by the  
City - JMB (see Email)

12-22-09 - OK - issue CO (need additional handrail back porch, sanitation room bathroom  
sink, reupholster front railing, (will call when done) by 1/1/10

**Jeanie Bourke - RE: Day Care licensing and inspections**

**From:** "Brown, Lisa (HIP)" <Lisa.Brown@maine.gov>  
**To:** "Jeanie Bourke" <JMB@portlandmaine.gov>  
**Date:** 12/7/2009 10:32 AM  
**Subject:** RE: Day Care licensing and inspections

Hi Jeanie,

We inspect schools and headstart programs but not daycare programs. If there is a program in question, I can have Joel follow-up with you.

Lisa

Lisa Brown

Program Director

Health Inspection Program

Key Bank Plaza 3rd Floor

11 SHS

Augusta, Maine 04333-0011

207-287-5691

[lisa.brown@maine.gov](mailto:lisa.brown@maine.gov)

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**From:** Jeanie Bourke [mailto:JMB@portlandmaine.gov]

use, copying, disclosure, or distribution by other than the intended recipient or authorized agent is prohibited.

**From:** Jeanie Bourke [mailto:JMB@portlandmaine.gov]  
**Sent:** Friday, December 04, 2009 3:16 PM  
**To:** Brown, Lisa (HIP)  
**Subject:** Day Care licensing and inspections

Hi Lisa,

I have a question on license/health inspection responsibility for day cares. It seems we do some, but certainly not all. Is there a threshold per number of occupants, like 12 and under?

This reminds me that the Peaks Island Childrens Workshop did not have a DHHS state license when I inspected it this past year.

Does the DHHS daycare inspector cover these inspections?

We have a new business opening on Forest Ave and they are asking for clarity.

Thanks and have a great weekend...

Jeanie Bourke  
Code Enforcement Officer/Plan Reviewer

City of Portland  
Planning & Urban Development Dept./ Inspections Division  
389 Congress St. Rm 315  
Portland, ME 04101  
[jmb@portlandmaine.gov](mailto:jmb@portlandmaine.gov)  
(207)874-8715

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<b>Permit No:</b> 09-1185	<b>Date Applied For:</b> 10/21/2009	<b>CBL:</b> 111 C005001
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<b>Location of Construction:</b> 415 FOREST AVE	<b>Owner Name:</b> PORTLAND BAY PROPERTIES L	<b>Owner Address:</b> 67 PHIPPS ST	<b>Phone:</b>
<b>Business Name:</b>	<b>Contractor Name:</b> Philip George	<b>Contractor Address:</b> P.O. Box 776 Portland	<b>Phone</b> (802) 734-0290
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Change of Use - Commercial	

<b>Proposed Use:</b> Commercial - Day Care, Middle Suite - change of use from Office to Day Care Facility/ 12 or under children - construct rear entry (4' x 4' landing w/ 3 stairs 4' wide.)	<b>Proposed Project Description:</b> change of use from Office to Day Care Facility/ 12 or under children - construct rear entry (4' x 4' landing w/ 3 stairs 4' wide.)
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**Dept:** Zoning      **Status:** Approved with Conditions      **Reviewer:** Ann Machado      **Approval Date:** 10/28/2009**Note:** Daycare appears to have three rooms. Parking requirement is one space for each room of instruction so three parking spaces needed. Plenty shown on lot. **Ok to Issue:** 

Using section 14-425 allows the 28 sf rear entry; it only extends 4' off the rear of the building.

- 1) Separate permits shall be required for any new signage.
- 2) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

**Dept:** Building      **Status:** Approved with Conditions      **Reviewer:** Jeanine Bourke      **Approval Date:** 11/20/2009**Note:** **Ok to Issue:** 

- 1) Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans.
- 2) Specifications shall be submitted on the rating of the existing fire damper in the dividing wall at the pizza shop. Shall meet 2 hour classification.
- 3) All penetrations through rated assemblies must be protected by an approved firestop system installed in accordance with ASTM 814 or UL 1479, per IBC 2003 Section 712.
- 4) CONDITION ON THE CO...LIMITED TO 5 CHILDREN UNDER THE AGE OF 2-1/2 FOR EDUCATIONAL USE.
- 5) If any food or drink is provided by the day care a separate license is required from the city clerk and the state of Maine. The prep area shall meet the food code and approval of City license is subject to a health inspection.
- 6) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm or HVAC or exhaust systems. Separate plans may need to be submitted for approval as a part of this process.

**Dept:** Fire      **Status:** Approved with Conditions      **Reviewer:** Capt Keith Gautreau      **Approval Date:** 10/29/2009**Note:** **Ok to Issue:** 

- 1) All smoke detectors and smoke alarms shall be photoelectric. Carbon Monoxide detectors are required in the dwelling units by State law.
- 2) Fire Alarm system is required per Life Safety Code 101 16.3.4.1
- 3) System acceptance and commissioning must be co-ordinated with alarm and suppression system contractors and the Fire Department. Call 874-8703 to schedule.
- 4) All construction shall comply with NFPA 101
- 5) Installation of a Fire Alarm system requires a Knox Box to be installed per city ordinance
- 6) The fire alarm system shall comply with NFPA 72 and Fire Department Technical Standard. A compliance letter is required.
- 7) The Fire alarm and Sprinkler systems shall be reviewed by a licensed contractor[s] for code compliance. Compliance letters are required.



<b>Location of Construction:</b> 415 FOREST AVE	<b>Owner Name:</b> PORTLAND BAY PROPERTIES L	<b>Owner Address:</b> 67 PHIPPS ST	<b>Phone:</b>
<b>Business Name:</b>	<b>Contractor Name:</b> Philip George	<b>Contractor Address:</b> P.O. Box 776 Portland	<b>Phone</b> (802) 734-0290
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Change of Use - Commercial	

- 8) Emergency lights and exit signs are required. Emergency lights and exit signs are required to be labeled in relation to the panel and circuit.
- 9) All means of egress to remain accessible at all times
- 10) Application requires State Fire Marshal approval.

**Comments:**

10/27/2009-amachado: Spoke to Philip George. He said that he submitted a siteplan exemption to planning. I need more information on the amount of impervious surface. B-2b is 90% of the lot. Need to know if he can add the 28sf rear entry and still meet the impervious surface requirement. Spoke with Phil and we went over the drawing he submitted. The impervious surface requirement is met with the rear entry addition.

10/28/2009-amachado: Received more information about the amount of impervious surface on the lot. Left vcm for Phil George. Still have a couple of questions.

10/28/2009-amachado: Gave application for site plan exemption to planning.

11/17/2009-gg: received granted site plan exemption as of 11/17/09. Filed with permit (Jeannie). /gg

11/18/2009-jmb: Spoke to Phil G. About getting a letter from the leasee stating the number of children < 2-1/2 years of age to be able to classify the use. Also discussed frost protection at stairs, graspable handrails and 2 hour wall separation assembly design. Put notes on plans per Phil.

11/20/2009-jmb: Phil G. Came into office, submitted letter stating the number of children under 2-1/2 will be under 5 so this is an educational use. Also clarified the 2 hour wall types. Need to provide specs on existing fire damper at east wall to be rated for 2 hours. Ok to issue

## BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY )

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

- Footing/Building Location Inspection: Prior to pouring concrete or setting precast piers
- Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling
- Final/Certificate of Occupancy Including health inspection prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

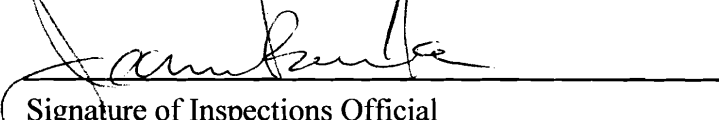
Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

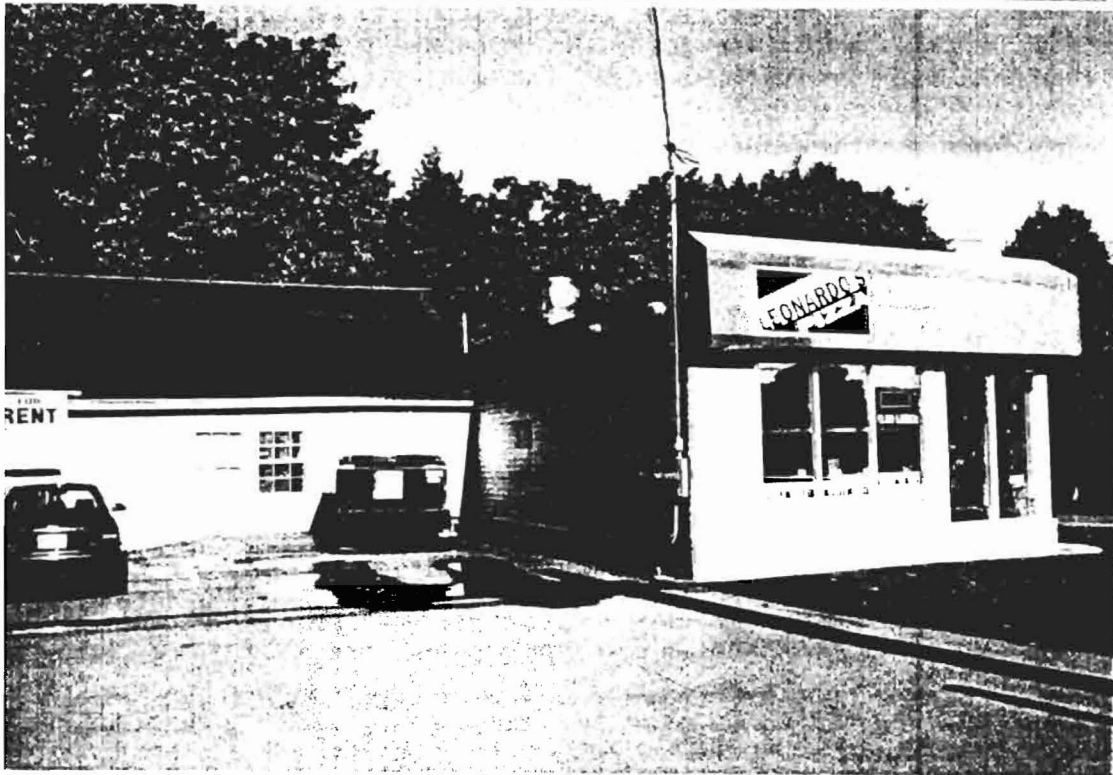
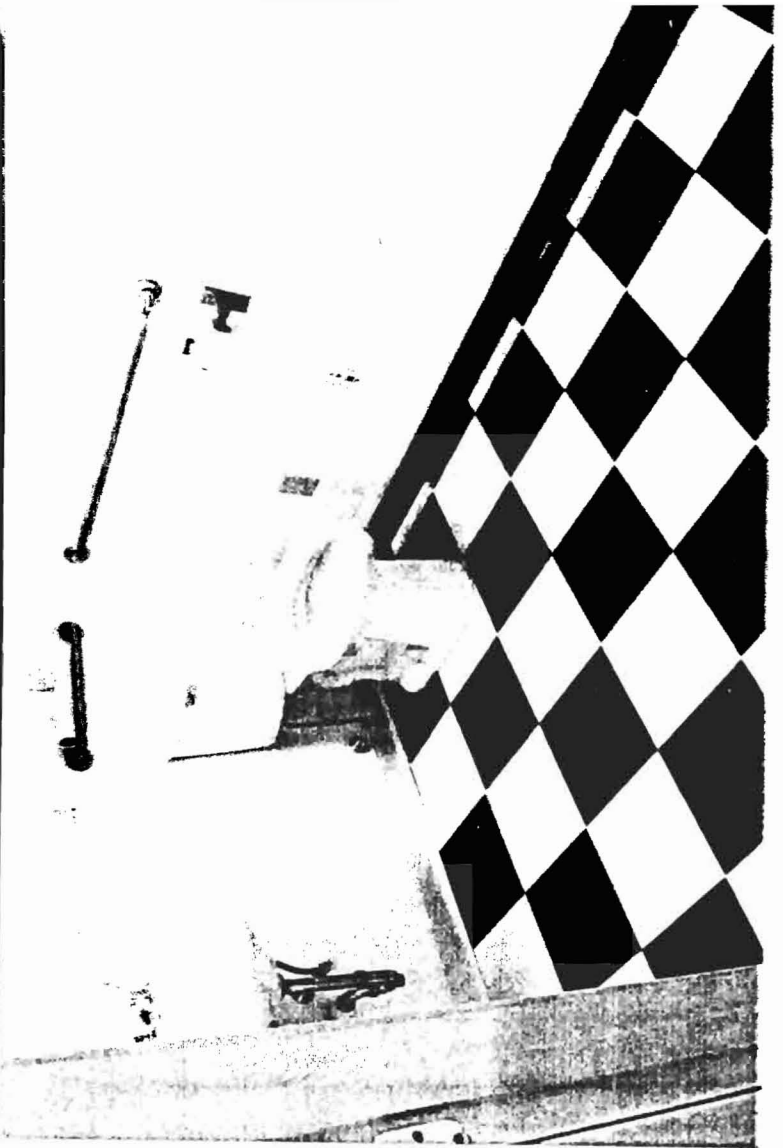
CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.

  
\_\_\_\_\_  
Signature of Applicant/Designee

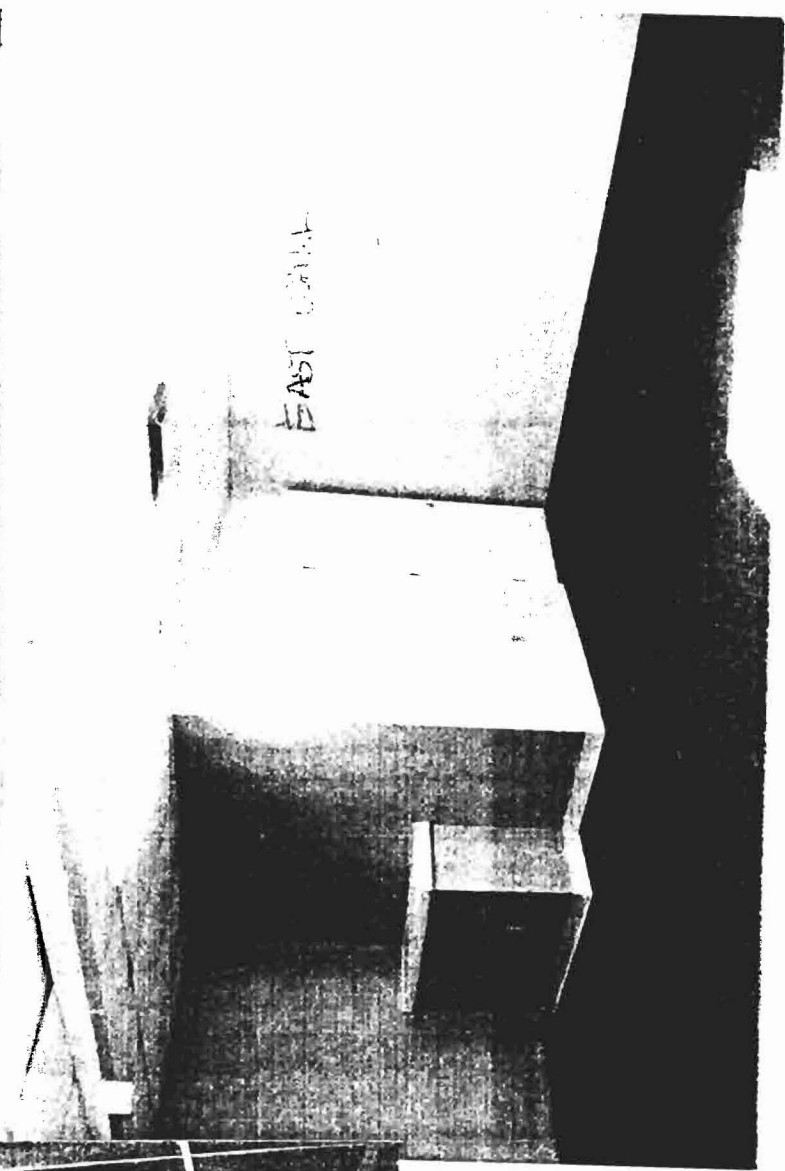
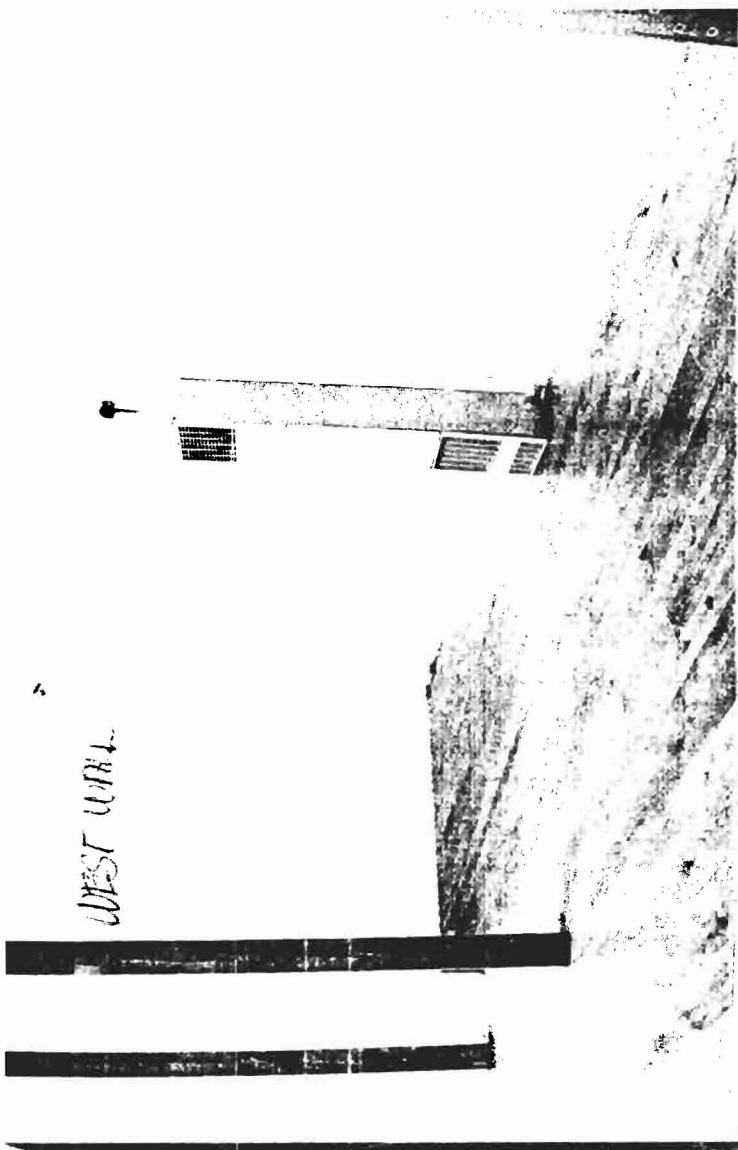
11-20-09  
Date

  
\_\_\_\_\_  
Signature of Inspections Official

11/20/09  
Date









# Maine State Requirements

- ☐ Licensing Standards for DayCare Centers
- ☐ Licensing Standards for Family DayCare
- ☐ Finance Authority of Main

## Worker Qualifications

**Head Teacher --13 - 24 children:** Must be at least 21 with a high school diploma or equivalent **and** have 12 mos. employment in licensed child day care facility for 13 or more children; **or** 12 mos. experience as an operator of a program for 3 - 12 children (including as a family day care provider) **and** have 6 hours training in child care or early childhood education topics; **or** have 1 year (30 credit hours) college courses including 6 hours in field closely related to caring for children **and** 6 mos. experience **or** CDA.

**Group Leader:** Must be at least 18 and have a CDA; or 6 mos. working experience with a group of 13 or more children; or have 1 year (30 credits) college work in a child related field

## Provider/Child Ratio

### Age Range

- 6 weeks - 9 months
- 18 months
- 27 months
- 3 years - 4 years
- 5 years and older

### Child : Staff Ratio/ Max Group Size

- (4:1) 8
- (5:1) (4:1) 10/12
- (7:1) 21
- (10:1) (8:1) 20/24
- (13:1) NR

### Small Family Child Care Homes

Number of Children Allowed:

Maximum Number of Children to One Provider:

- 3-12 (up to 8 preschool and 2 school-age children, unless all school-age children)
- 4 younger than 30 months
- 6, with no more than 3 younger than 2.5 years plus 2 school-age children
- 8 older than 2.5 years plus 2 school-age children
- 12 school-age children

Provider's Own Children Counted:

No

Max Number of Infants/Toddlers to One Provider:

4 younger than 30 months

### Large Family Child Care Homes

Number of Children Allowed:

No category of facility

Ratio of Children to One Provider:

No category of facility

Provider's Own Children Counted:

No category of facility

## Contact Information

**Child Care Licensing Agency**

**Child Care Subsidy Agency**



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<p><b>BUREAU INFORMATION</b></p> <ul style="list-style-type: none"> <li><a href="#">Fire Marshal's Message</a></li> <li><a href="#">Investigations</a></li> <li><a href="#">Inspections</a> <ul style="list-style-type: none"> <li><a href="#">Assembly Occupancy Regulations</a></li> <li><a href="#">Day Care &amp; Nursery School Regulations</a> <ul style="list-style-type: none"> <li><a href="#">General Requirements</a></li> <li><a href="#">Means of Escape</a></li> <li><a href="#">Group Day Care Homes</a></li> </ul> </li> <li><a href="#">Explosives Regulations</a></li> <li><a href="#">Fireworks Regulations</a></li> <li><a href="#">Current Dance Hall Permits</a></li> <li><a href="#">Current Theater Permits</a></li> <li><a href="#">Approved Fireworks Shows</a></li> <li><a href="#">Licensed Fireworks Technicians</a></li> </ul> </li> <li><a href="#">Plans Review</a></li> <li><a href="#">Fire Sprinklers</a></li> <li><a href="#">Maine Fire Incident Reporting System</a></li> <li><a href="#">Maine Fire Protection Services Commission</a></li> <li><a href="#">Fire Service Rules &amp; Laws</a></li> <li><a href="#">Research &amp; Reports</a></li> <li><a href="#">Personnel Directory</a></li> </ul>	<p style="text-align: right;">Home &gt; <a href="#">Inspections Division</a> &gt; <a href="#">Day Care &amp; Nursery School Regulations</a> &gt; <a href="#">Group Day Care Homes</a></p> <h3 style="text-decoration: underline;">Group Day Care Homes</h3> <p>Group Day care facilities are less restrictive in most cases than centers because of the number of clients involved. With a maximum number of twelve (12) clients these facilities are often found in the family home. The requirements for a secondary means of escape from all rooms used for day-care purposes still remains.</p> <p>Figure #3 will give the provider an idea of the requirements and placement of smoke detectors that will be required in a group day-care setting. Smoke detectors must be installed in all areas used for day-care and in all napping rooms used by the day-care clients. In new Group Day Care Homes smoke detectors must be installed on all floor levels of the building. All smoke detectors must be supplied power by the building electrical system. In existing day care facilities one required smoke detector must be supplied by the building electrical system. Again in all existing day care facilities, all floor levels must have a smoke detector. All single station smoke detectors, (detectors not interconnected with other detectors or connected to a fire alarm panel) must be tested on a monthly basis and a record kept at the facility.</p> <p>New smoke detectors are available which are generally powered by the building electrical service and also have a battery contained within which will keep them effective even during a power outage. All new installation of smoke detectors require that they are powered by the building electrical supply and must have a battery back up.</p> <p>Four Group Day Care Homes (7-12 clients) the basement level and the main floor level must be separated. The door may be at the top or bottom of the stairs and must conform to one of the following: The door must be an ul listed 20-minute fire rated door. It may also be a 1-3/4 inch solid wood door. Either door must also have a self-closing device on it that will automatically close the door.</p> <p>If basements are used for day care purposes an exit with a normal side hinged door (not a bulkhead) must be provided to allow exiting directly to the outside. Remember, all rooms used for day care purposes must have a same egress window or door as required for all other floor levels. Normal basement windows installed during construction are most often too small to meet these requirements. Many new homes in the State of Maine are being constructed with a residential sprinkler system installed at the time of construction. These residential sprinklers systems have been proven in many other states to be life safety systems. With the decreased expense these systems have becomes popular with developers of childcare and health care facilities. Many exceptions to fire codes exist when fully sprinkler protected facilities are changed to other uses saving the developer and clients a lot of money in some cases.</p>
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# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>415 FOREST AVE. PORTLAND, ME</u>		
Total Square Footage of Proposed Structure/Area	Square Footage of Lot	Number of Stories
Tax Assessor's Chart, Block & Lot Chart# <u>111</u> Block# <u>C</u> Lot#	Applicant * <b>must</b> be owner, Lessee or Buyer* Name <u>PHILIP GEORGE</u> Address <u>P.O. BOX 776</u> City, State & Zip <u>PORTLAND, ME. 04104</u>	Telephone: <u>802-734-0290</u>
Lessee/DBA (If Applicable) <u>DEPT. OF BUILDING INSPECTIONS</u> <u>CITY OF PORTLAND MAINE</u>	Owner (if different from Applicant) Name <u>PORTLAND BAY PROPERTIES</u> Address <u>67 PHIPPS ST.</u> City, State & Zip <u>PORTLAND ME</u>	Cost Of Work: \$ <u>5,000</u> C of O Fee: \$ <u>75</u> Total Fee: \$ <u>145</u>
Current legal use (i.e. single family) <u>OFFICE</u> Number of Residential Units <u>NONE</u> If vacant, what was the previous use? <u>OFFICE</u> Proposed Specific use: <u>SMALL FAMILY DAY CARE FACILITY</u> Is property part of a subdivision? <u>NO</u> If yes, please name _____ Project description: <u>SMALL FAMILY DAY CARE FACILITY / 12 OR UNDER CHILDREN</u> <u>need to construct rear entry</u>		
Contractor's name: <u>PHILIP GEORGE</u>		
Address: <u>P.O. BOX 776, PORTLAND, ME, 04104</u>		
City, State & Zip <u>SAME</u>		Telephone: <u>802-734-0290</u>
Who should we contact when the permit is ready: <u>PHIL GEORGE</u>		Telephone: <u>802-734-0290</u>
Mailing address: <u>247 FAIRWAY DR., SOUTH BURLINGTON, VT. 05403</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: Philip George Date: 10-21-09

This is not a permit; you may not commence ANY work until the permit is issue



B-2-b

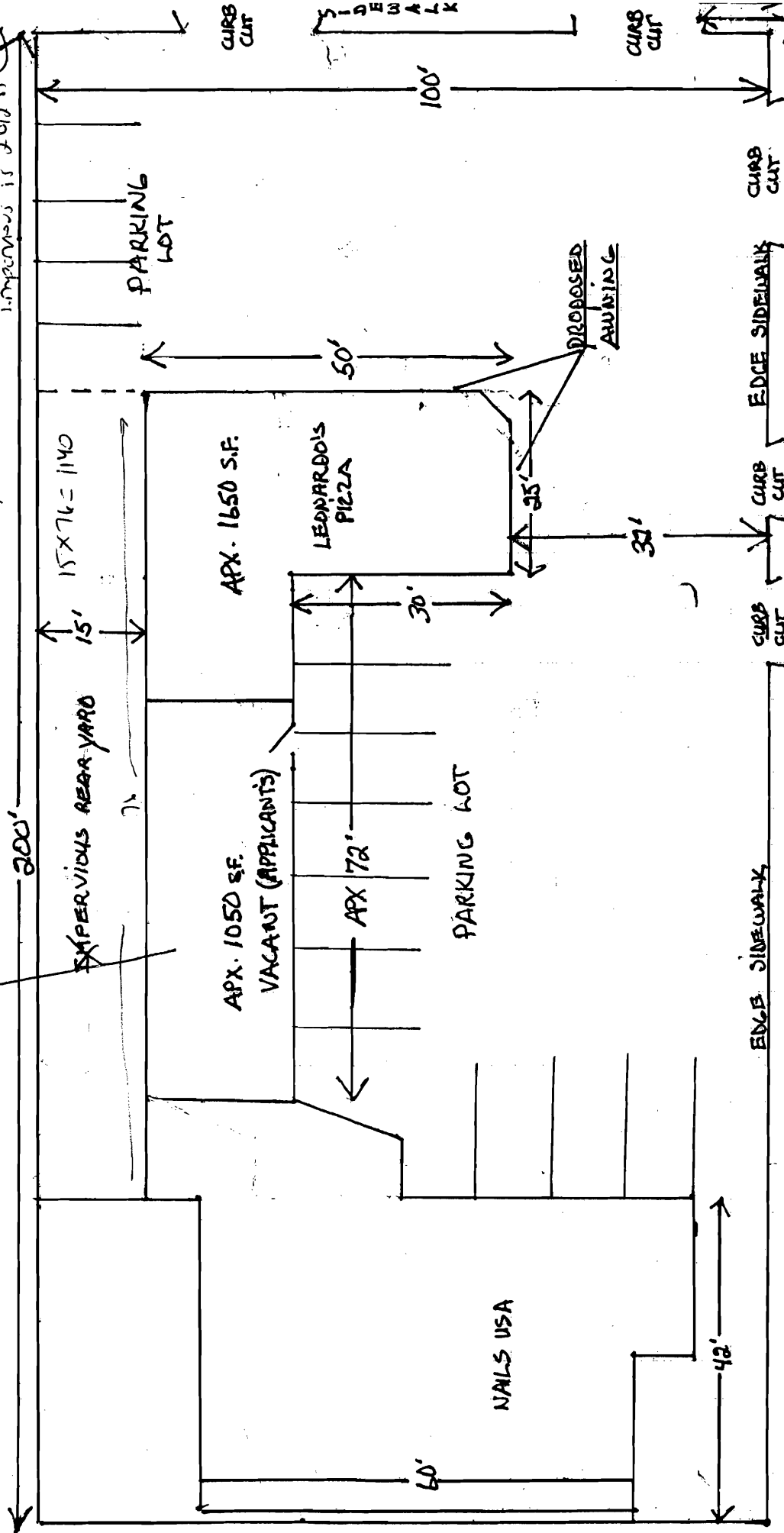
- no min. lot size
- front yard - N/A.
- rear yard - 30' child's R5
- 10' rear yard - 10' child's M-425.

PROMISED SMALL FAMILY CHILD CARE HOME/12 CHILDREN OR LESS

side yard - ~~none~~ (010)

Impervious surface - 95% of 15,000 = 13,500 sq ft

needs 1500 sq ft off non-impervious.  
 2010-28 = 114,000 sq ft  
 \* see plan submitted for letter by - area that is impervious is 2010 sq ft



415 FOREST AVENUE

SITE PLAN



**LEONARDO'S PIZZA**  
P.O. Box 776 Portland, Maine 04104 (207) 775-4444

Date: October 27, 2009  
To: Ann Machado  
Re: Phil George/Leonardo's Pizza  
415 Forest Avenue  
Portland, Me

Hello Ann,

Thanks for the inquiry concerning our application for the day care center at 415 forest Avenue. I've measured and calculated the square footage of the impervious area for our lot. It's located as the "rear yard set back" in the rear of the building, parallel with forest Avenue and perpendicular to Bellmead. According to my calculations, there is 2,012 square feet of impervious area, mostly behind the building. I hope these drawings are adequate for your consideration. Additionally, I'm faxing a copy of the "Application for Exemption from Site Plan Review" that you asked about. Please let me know if you need anything else. I do appreciate your work on our project.

Regards,  
Phil George  
1-802-734-0290

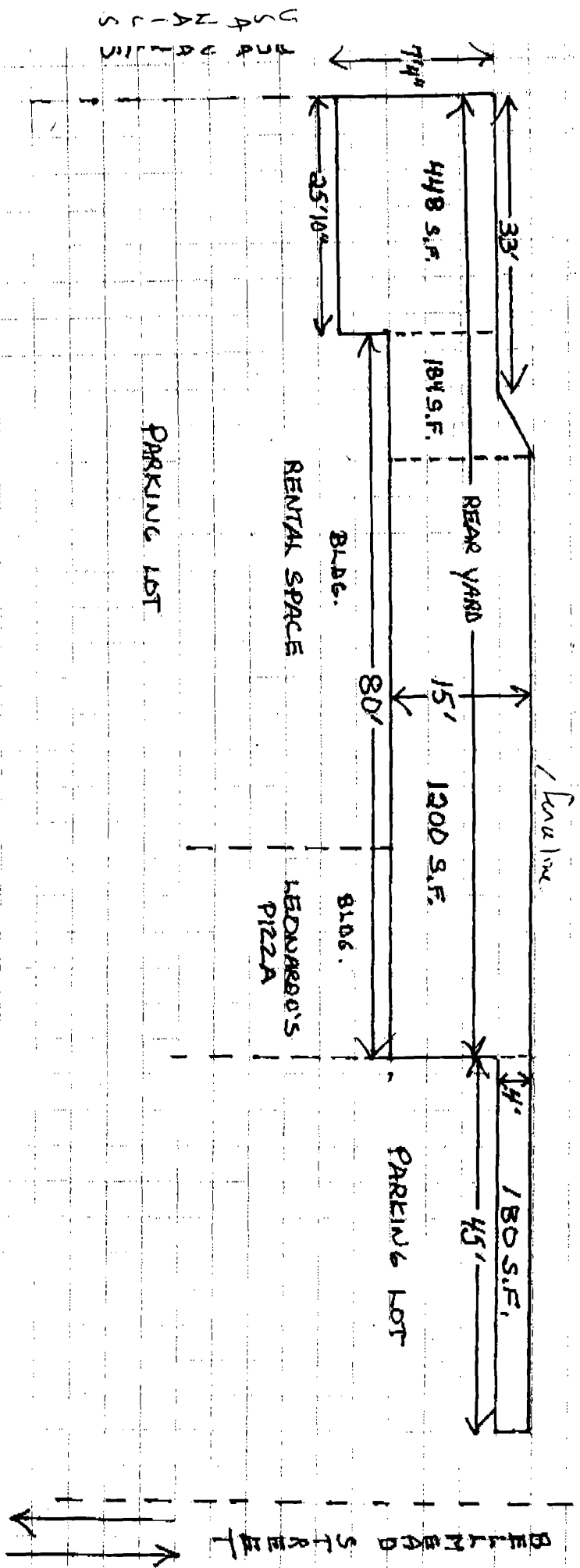
TOTAL PAGES, THREE

001 2 8 010

210' 1" WIDE AT FOREST AVENUE  
 1 SQUARE = 4 FEET  
 REAR YARD IMPERVIOUS SET BACK

TOTAL IMPERVIOUS AREA  
 2,012 SQUARE FEET

— total non impervious surface



FOREST AVENUE

BELMONT STREET

OCT 28 2000

Date: 11-19-2009

To: City of Portland

Re: Day Care Facility, 415 Forest Ave.

To whom it may concern:

I, Magnifique Butera, have applied to the State of Maine for a license to operate a Small Family Day Care Facility at a space located 415 Forest Avenue, Portland Maine. I hope to be operating by January 1, 2010. My child care facility will accommodate up to twelve children. Initially, we will have eight children. Three of the eight children will be younger than 2 1/2 years old and five of the eight children will be older than 2 1/2 years old. As we add additional children, the age relationship will remain the same.

Respectively,

  
Magnifique Butera

**RECEIVED**

NOV 20 2009

Dept. of Building Inspections  
City of Portland Maine

- 26.1.3.1. Three (3) staff may care for up to twelve (12) children if all are under the age of two (2) years; or
- 26.1.3.2. Three (3) staff may care for up to twelve (12) children if all are over the age of two (2) years; or
- 26.1.3.3. Three (3) staff may care for up to nine (9) children under the age of two (2) years, plus three (3) children over two (2) years old, for a maximum of twelve (12) total children.

26.1.4. **Combination of ages.** When there is a combination of ages within a group, the group size and the number of required staff shall be determined based on the age of the youngest child.

Age of children	1 staff – minimum staff to child ratios	2 staff – minimum staff to child ratios	3 staff – minimum staff to child ratios
All children 6 weeks to 2 years old.	1:4	2:8	3:12
All children 24 months and older	1 staff for 8 children under five years; plus 2 children over five years	2:12	3:12
All children over 5 years old (school age)	1:12	2:12	3:12
Mixed ages	1 staff for 3 children under two years plus 3 children two to five years plus 2 children over five years. <b>Maximum is 6 plus 2 school age children total.</b>	2 staff for 6 children under 2 years plus 6 children over two years old. <b>Maximum is 12 children total.</b>	3 staff for 12 children including no more than 9 children under two years of age. <b>Maximum is 12 children total.</b>

26.2. **Staff training.** All Small Childcare Facilities must provide for twelve (12) hours of ongoing training per year for all childcare staff.

*orders*

## **26. STAFF CHILD REQUIREMENTS, Small Childcare Facility**

### **26.1. Staff-Child Ratios for Small Childcare Facilities**

- 26.1.1. The maximum number of children to be assigned to one (1) adult.** The maximum number of children to be assigned to one adult, exclusive of service staff (clerical, cooking and maintenance) shall be as follows: (this includes pre-school children related to the operator or staff by blood, marriage or adoption)
- 26.1.1.1.** If all children are under two (2) years of age, one staff may care for up to four (4) children;
  - 26.1.1.2.** One (1) staff may care for up to eight (8) children between the ages of two (2) years and five (5) years old plus two (2) children over the age of five (5) years;
  - 26.1.1.3.** One (1) staff may care for up to twelve (12) children who are over the age of five (5) years; or
  - 26.1.1.4.** One (1) staff may care for up to three children under the age of two (2) years, plus up three (3) children between the ages of two (2) and five (5) years, plus up to two (2) children over the age of five (5) years.
- 26.1.2. The maximum number of children to be assigned to two (2) adults.** The maximum number of children to be assigned to two (2) adults, exclusive of service staff (clerical, cooking and maintenance) shall be as follows:
- 26.1.2.1.** If all children are under two (2) years of age, two (2) staff may care for up to eight (8) children; or
  - 26.1.2.2.** Two (2) staff may care for up to twelve (12) children over the age of two (2) years old; or
  - 26.1.2.3.** Two (2) staff may care for up to six (6) children under the age of two (2) years, plus up to six (6) children over two (2) years old, for a maximum of twelve (12) total children.
- 26.1.3. The maximum number of children to be assigned to three (3) adults.** The maximum number of children to be assigned to three (3) adults, exclusive of service staff (clerical, cooking and maintenance) shall be as follows:



Office of State Fire Marshal

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Inspections Division

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SMALL FAMILY DAY CARE / 415 FOREST AVE. PORTLAND  
FIRE DEPARTMENT

PHILIP GEORGE (OWNER LEONARDO'S PIZZA)  
PO. BOX 776, 415 FOREST AVE.  
PORTLAND, ME  
CELL: 802-734-0290

STRUCTURE'S USE: SMALL FAMILY DAY CARE  
SQUARE FOOTAGE: 1100 SF.

FIRE PROTECTION:

EXISTING: EMERGENCY & EXIT LIGHTING (INDICATED ON PLAN)  
PROPOSED: SMOKE DETECTORS

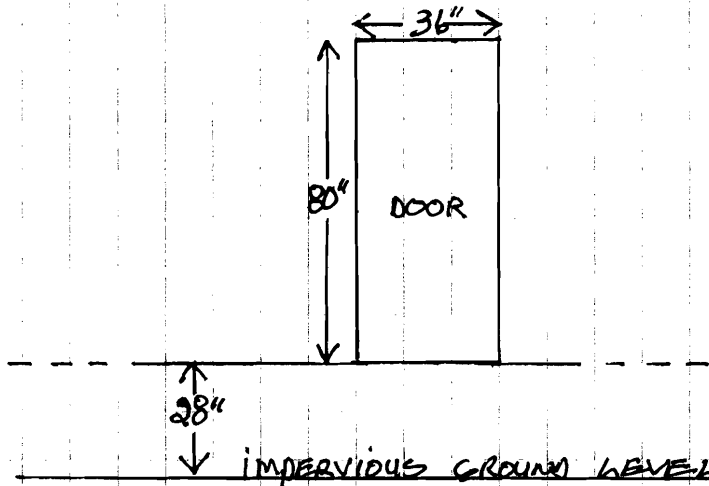
TRAVEL DISTANCE: AFX 50 FEET

SINGLE STORY WITH OPERABLE WINDOWS FOR  
EMERGENCY EXIT.

PROPOSED REAR DOOR EXIT

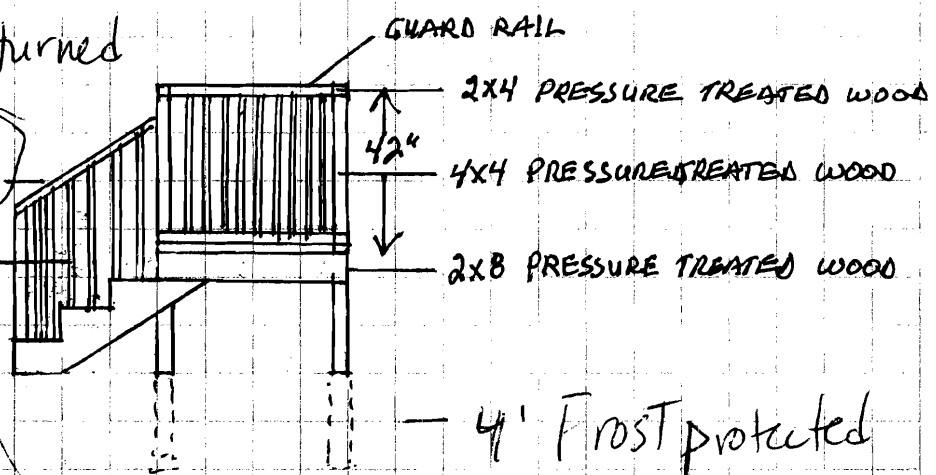


NEAR EXIT STAIRWAY



PLATFORM & STAIRS

both sides, graspable, returned  
34"-38"  
36" HIGH RAILING  
BALUSTAS SPACED LESS THAN 4" APART  
STAIRS 48" WIDE

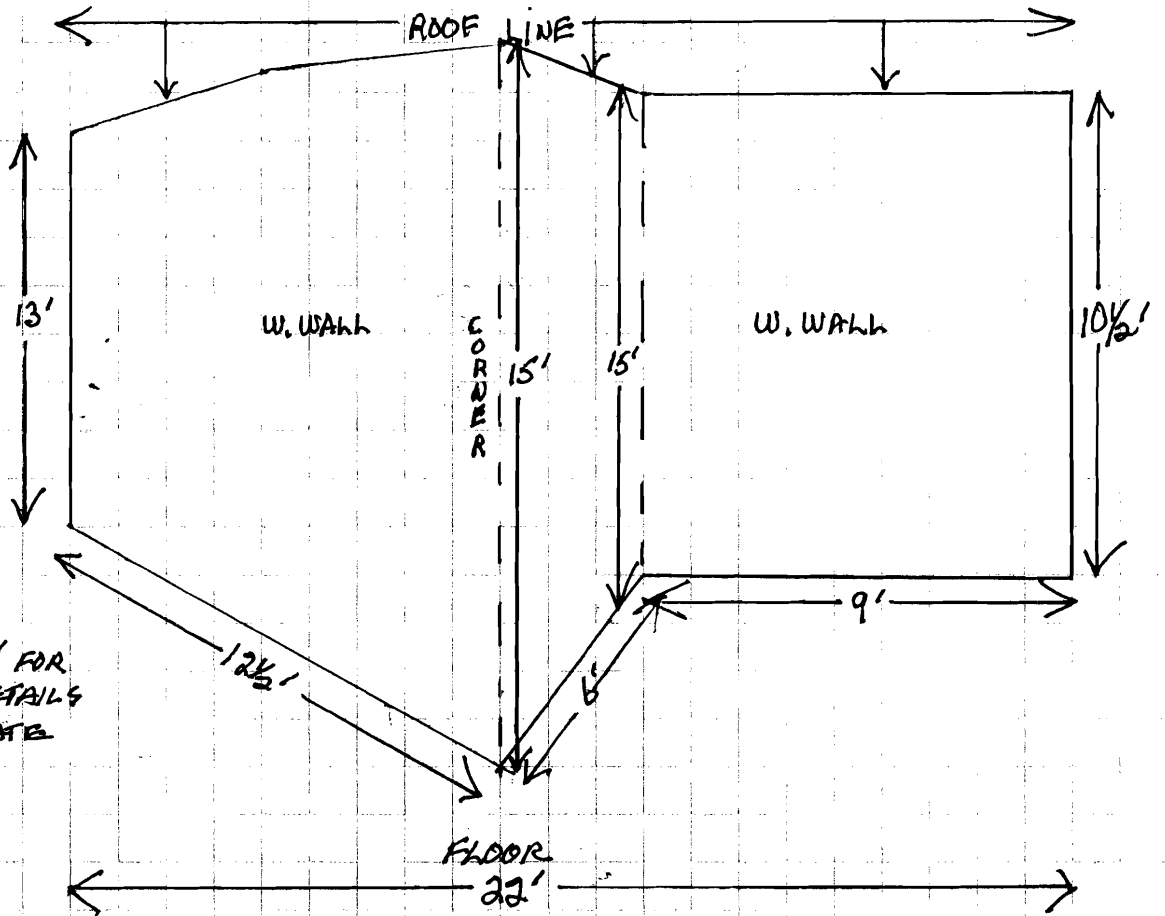


PLATFORM OUTSIDE DOOR  
48" X 48"

A MATERIAL TO BE  
PRESSURE TREATED WOOD

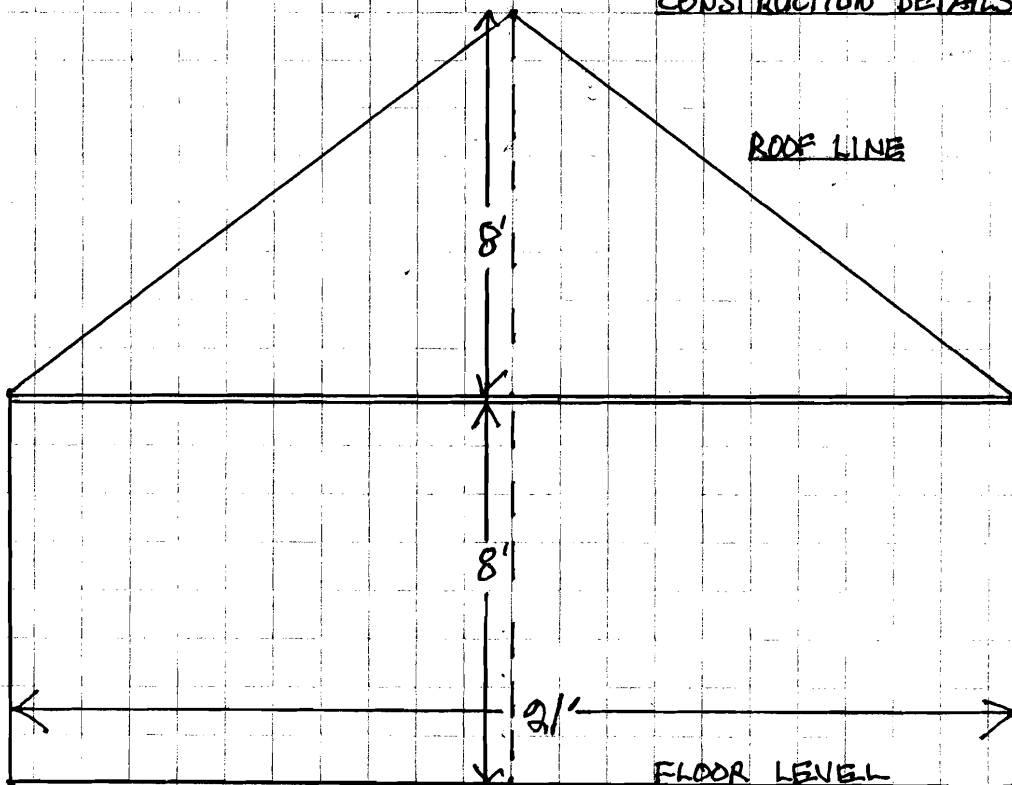
4' Frost protected  
Per Phil G  
11/18/09

FIRE SEPARATION 2-HOUR WEST WALL / FLOOR TO ROOF



REFER TO "PLAN" FOR  
CONSTRUCTION DETAILS  
ACCORDING TO STATE  
FIRE MARSHAL

2-HOUR FIRE SEPARATION WALL / EAST SIDE / FLOOR TO ROOF  
CONSTRUCT 1 HOUR WALL BUTTED TO EXISTING 1 HOUR WALL  
CONSTRUCTION DETAILS ON PLAN



# 091185 permis #



# Application for Exemption from Site Plan Review

Portland, Maine

Department of Planning and Urban Development, Planning Division and Planning Board

PROJECT NAME: SMALL FAMILY CHILD CARE FACILITY / 12 OR UNDER CHILDREN

PROJECT ADDRESS: 415 FOREST AVE., PORTLAND, ME. (NEXT TO LEONARDO'S PIZZA)

PROJECT DESCRIPTION: (Please Attach Sketch/Plan of Proposal/Development)

SMALL DAY CARE FACILITY, MOSTLY PRE-SCHOOL, UNDER 12 CHILDREN  
TENANT HAS BEEN LICENSED SINCE 2002 - adding rear entry - 4x4 landing  
4x5 stairs

CHART/BLOCK/LOT: 111 C 5

### CONTACT INFORMATION:

#### OWNER/APPLICANT

Name: PHILIP GEORGE  
Address: 415 FOREST AVE.  
P.O. BOX 716, PORTLAND, ME  
Zip Code: 04101 / 04104  
Work #: 802-734-0290  
Cell #: 802-734-0290  
Fax #: 802-658-5533  
Home #: 802-658-5533  
E-mail: SARCO1000@GMAIL.COM

#### CONSULTANT/AGENT

Name: SAME  
Address: \_\_\_\_\_  
Zip Code: \_\_\_\_\_  
Work #: \_\_\_\_\_  
Cell #: \_\_\_\_\_  
Fax #: \_\_\_\_\_  
Home #: \_\_\_\_\_  
E-mail: \_\_\_\_\_

RECEIVED  
OCT 28 2009

Dept. of Building Inspections  
City of Portland Maine

#### Criteria for Exemptions:

(See Section 14-523 (4) on page 2 of this application)

- a) Is the proposal within existing structures?
- b) Are there any new buildings, additions, or demolitions?
- c) Is the footprint increase less than 500 sq. ft.?
- d) Are there any new curb cuts, driveways or parking areas?
- e) Are the curbs and sidewalks in sound condition?
- f) Do the curbs and sidewalks comply with ADA?
- g) Is there any additional parking?
- h) Is there an increase in traffic?
- i) Are there any known stormwater problems?
- j) Does sufficient property screening exist?
- k) Are there adequate utilities?

Applicant's Assessment  
Y(yes), N(no), N/A

YES  
NO  
NO  
NO  
YES  
YES  
YES  
NO  
NO  
YES  
YES

Planning Division  
Use Only

yes - except landing  
yes  
small addition for landing  
no  
yes  
yes  
no  
no  
no  
yes  
yes

#### Planning Division Use Only

Exemption Granted  Partial Exemption \_\_\_\_\_ Exemption Denied \_\_\_\_\_

The applicant shall obtain all required building permits from the Inspections Division  
Planner's Signature Barbara Washburn Date November 12, 2009

**PROVISION OF PORTLAND CITY CODE  
14-523 (SITE PLAN ORDINANCE)  
RE: EXEMPTIONS FROM SITE PLAN REVIEW**

**Sec. 14-523. Approval required.**

No person shall undertake any development without obtaining approval therefore under this article.

- (4) The Planning authority shall exempt from review under all standards in this article developments that meet all of the following requirements:
- a. The proposed development will be located within existing structures, and there will be no new buildings, demolitions, or building additions other than those permitted by subsection b of this section;
  - b. Any building addition shall have a new building footprint expansion of less than five hundred (500) square feet;
  - c. The proposed site plan does not add any new curb cuts, driveways, or parking areas; the existing site has no more than one (1) curb cut and will not disrupt the circulation flows and parking on-site; and there will be no drive-through services provided;
  - d. The curbs and sidewalks adjacent to the lot are complete and in sound condition, as determined by the public works authority, with granite curb with at least four (4) inch reveal, and sidewalks are in good repair with uniform material and level surface and meet accessibility requirements of the Americans with Disabilities Act;
  - e. The use does not require additional or reduce existing parking, either on or off the site, and the project does not significantly increase traffic generation;
  - f. There are no known stormwater impacts from the proposed use or any existing deficient conditions of stormwater management on the site;
  - g. There are no evident deficiencies in existing screening from adjoining properties; and
  - h. Existing utility connections are adequate to serve the proposed development and there will be no disturbance to or improvements within the public right-of-way.

A developer claiming exemption under this subsection shall submit a written request for exemption stating that the proposed meets all of the provisions in standards a-h of this subsection, including an itemized statement by a qualified professional. Upon receipt of such a request, the planning authority will visit the site to verify that the exemption is applicable due to compliance with the standards. The planning authority, after consultation with the public works authority, shall render a written decision within twenty (20) working days after receipt of a written request for exemption that contains all the information required by this subsection. If a full exemption is granted, the application shall be approved without further review under this article, and no performance guarantee shall be required. The planning authority may require full site plan review of a project that meets the criteria of this subsection if it determined that there is a substantial public interest in the project.

In the event that the planning authority determines that standards a and b of this subsection and at least four (4) of the remaining standards have been met, the planning authority shall review the site plan under the review standards in section 14-526 that are affected by the standards in this subsection that have not been met. An application that receives review by the planning board shall receive a complete review under the standards of section 14-526. The planning authority shall notify an applicant in writing that full or partial site plan review is required, the reasons for the decision, and the information that will be required for site plan review.

**IMPORTANT NOTICE TO APPLICANT**

**An Exemption from site plan review does not exempt this proposal from other approvals or permits, nor is it an authorization for construction. You should first check with the Building Inspections Office, Room 315, City Hall (874-8703), to determine what other City permits, such as a building permit, will be required.**

**Planning Barbara Barhydt**

11/16/2009

The site plan exemption is granted for 415 Forest Avenue to create a rear entry and landing for a day care center with one condition of approval:

1. The applicant shall obtain all required building permits from the Inspections Division.



# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>415 FOREST AVE. PORTLAND, ME</u>		
Total Square Footage of Proposed Structure/Area	Square Footage of Lot	Number of Stories
Tax Assessor's Chart, Block & Lot Chart# <u>111</u> Block# <u>C</u> Lot# <u>5</u>	Applicant * <b>must</b> be owner, Lessee or Buyer* Name <u>PHILIP GEORGE</u> Address <u>P.O. BOX 776</u> City, State & Zip <u>PORTLAND, ME. 04104</u>	Telephone: <u>802-734-0290</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name <u>PORTLAND BAY PROPERTIES</u> Address <u>67 PHIPPS ST.</u> City, State & Zip <u>PORTLAND ME</u>	Cost Of Work: \$ <u>5,000</u> C of O Fee: \$ <u>75</u> Total Fee: \$ <u>145</u>
Current legal use (i.e. single family) <u>OFFICE</u> Number of Residential Units <u>NONE</u> If vacant, what was the previous use? <u>OFFICE</u> Proposed Specific use: <u>SMALL FAMILY DAY CARE FACILITY</u> Is property part of a subdivision? <u>NO</u> If yes, please name _____ Project description: <u>SMALL FAMILY DAY CARE FACILITY / 12 OR UNDER CHILDREN</u>		
Contractor's name: <u>PHILIP GEORGE</u> Address: <u>P.O. BOX 776, PORTLAND, ME, 04104</u> City, State & Zip <u>SAME</u> Telephone: <u>802-734-0290</u> Who should we contact when the permit is ready: <u>PHIL GEORGE</u> Telephone: <u>802-734-0290</u> Mailing address: <u>247 FAIRWAY DR., SOUTH BURLINGTON, VT. 05403</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

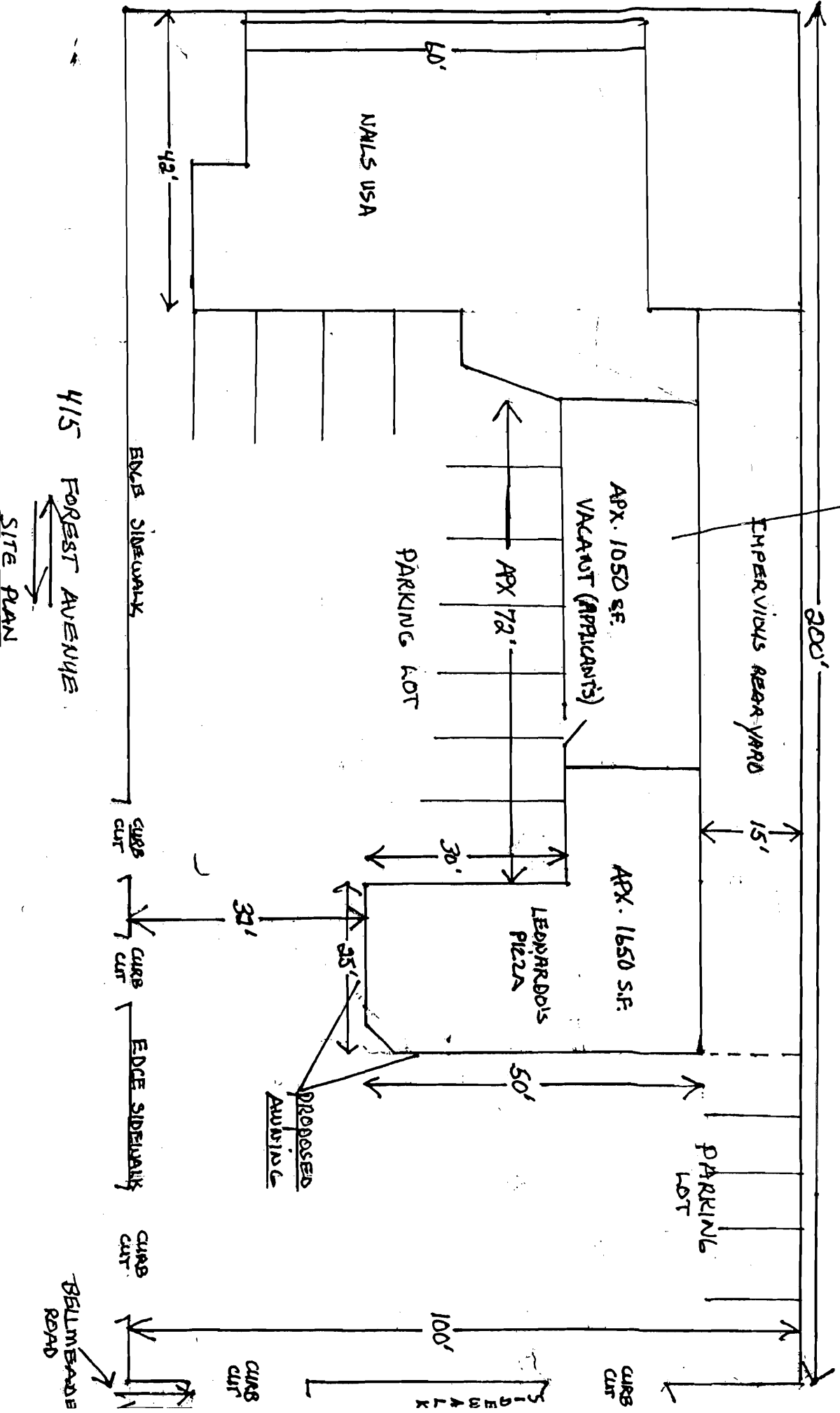
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I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: Philip George Date: 10-21-09

This is not a permit; you may not commence ANY work until the permit is issue

PROPOSED SMALL FAMILY CHILD  
CARE HOME / 12 CHILDREN OR LESS



415 FOREST AVENUE  
SITE PLAN

BELMONT ROAD

EDGE SIDEWALK

CURB CUT

CURB CUT

EDGE SIDEWALK

CURB CUT

CURB CUT

CURB CUT

SIDEWALK

N/A/S USA

APX. 1050 S.F.  
VACANT (APPLICATIONS)

PARKING LOT

PERVIOUS REAR YARD

APX. 1650 S.F.

LEPPARD'S  
PIZZA

PARKING  
LOT

PROPOSED  
ANNEX

415 FOREST AVENUE

SITE PLAN

BELMONT ROAD

EDGE SIDEWALK

CURB CUT

CURB CUT

EDGE SIDEWALK

CURB CUT

CURB CUT

CURB CUT

SIDEWALK

N/A/S USA

APX. 1050 S.F.  
VACANT (APPLICATIONS)

PARKING LOT

PERVIOUS REAR YARD

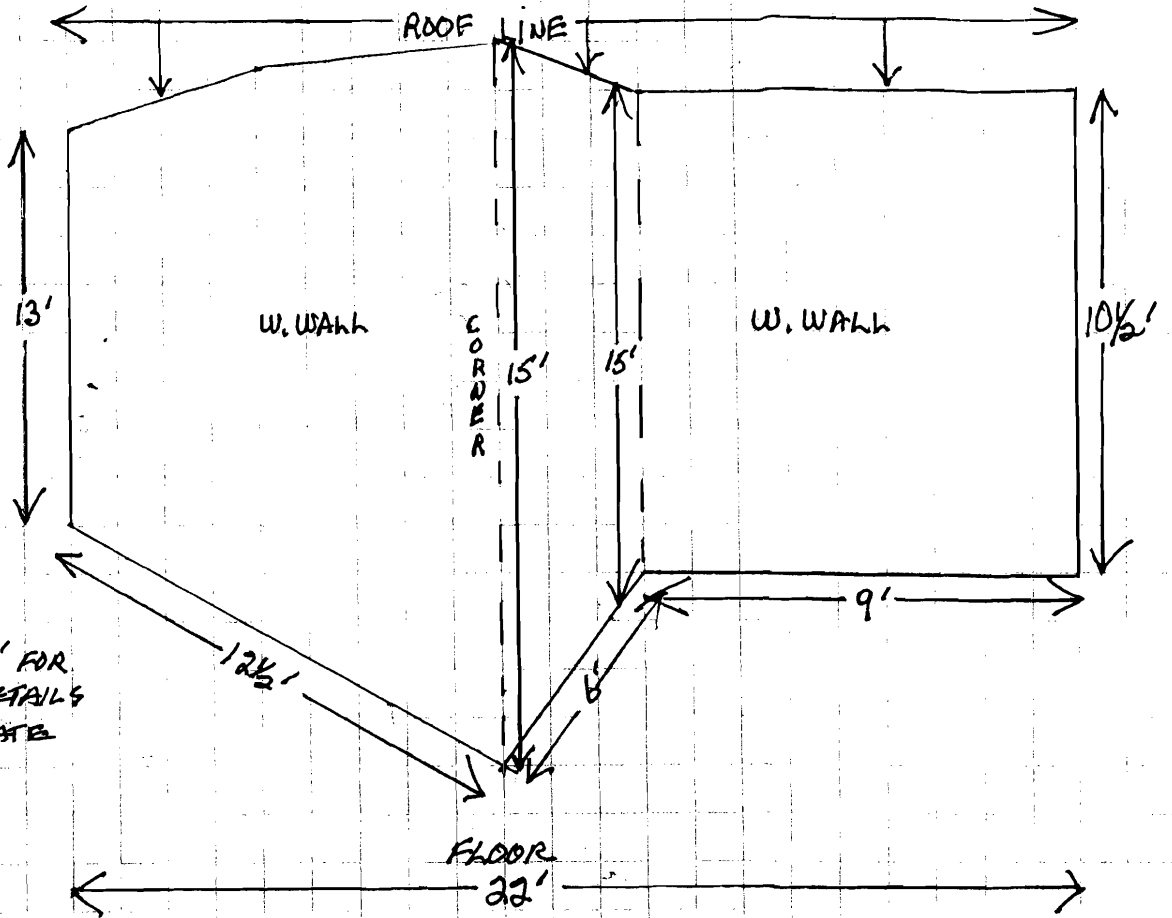
APX. 1650 S.F.

LEPPARD'S  
PIZZA

PARKING  
LOT

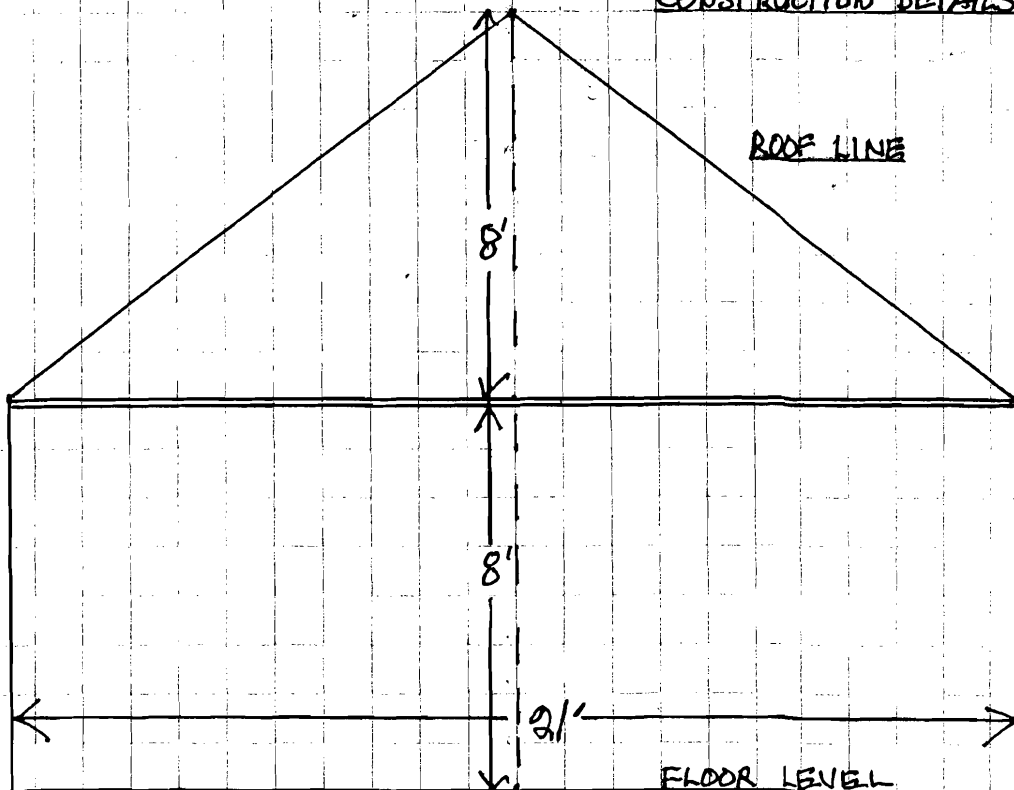
PROPOSED  
ANNEX

FIRE SEPARATION 2-HOUR WEST WALL / FLOOR TO ROOF



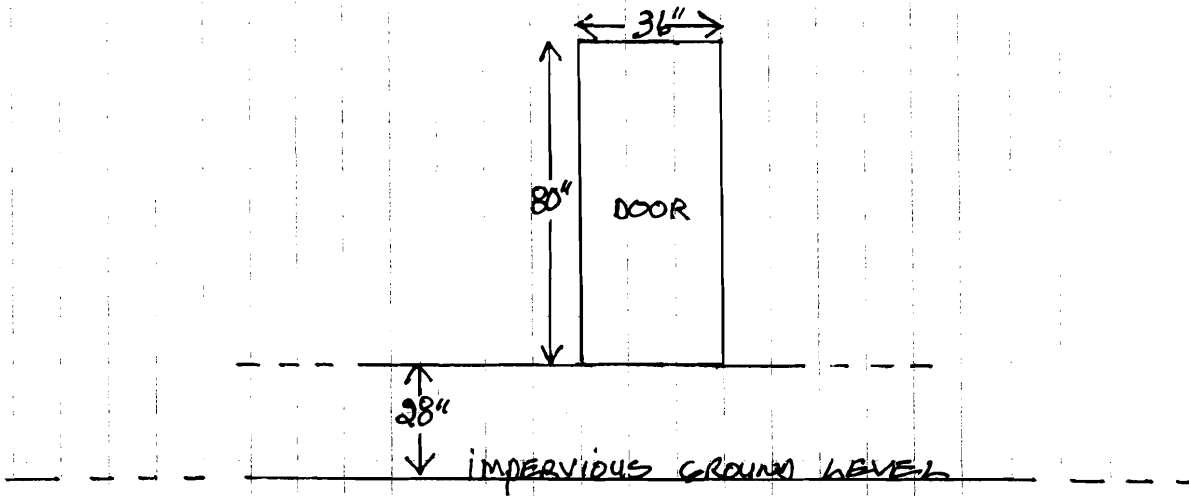
REFER TO "PLAN" FOR  
CONSTRUCTION DETAILS  
ACCORDING TO STATE  
FIRE MARSHAL

2-HOUR FIRE SEPARATION WALL / EAST SIDE / FLOOR TO ROOF  
CONSTRUCT 1 HOUR WALL BUTTED TO EXISTING 1 HOUR WALL  
CONSTRUCTION DETAILS ON PLAN

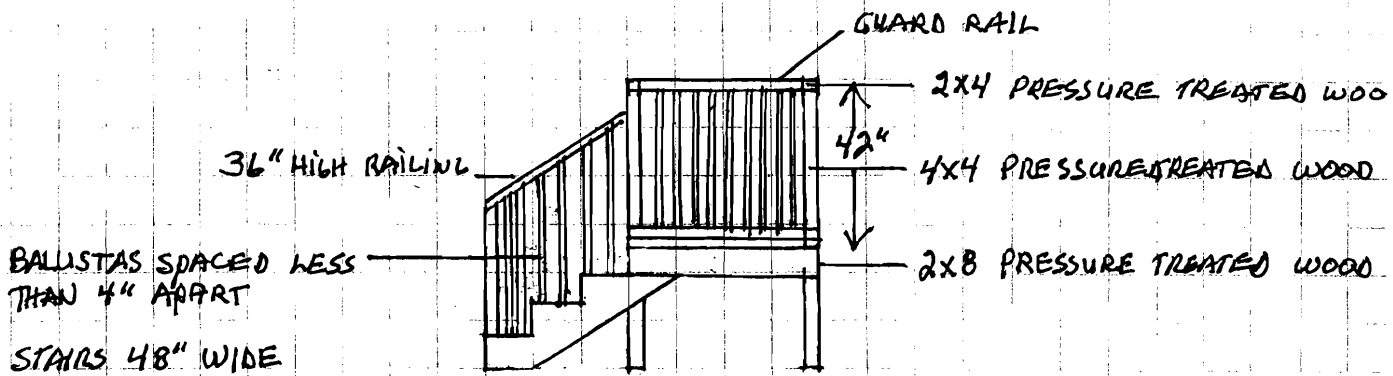




REAR EXIT STAIRWAY



PLATFORM & STAIRS



PLATFORM OUTSIDE DOOR  
48" X 48"

A MATERIAL TO BE  
PRESSURE TREATED WOOD

SMALL FAMILY DAY CARE / 415 FOREST AVE. PORTLAND  
FIRE DEPARTMENT

PHILIP GEORGE (OWNER LEONARDO'S PIZZA)  
PO. BOX 776, 415 FOREST AVE.  
PORTLAND, ME  
CELL: 802-734-0290

STRUCTURE'S USE: SMALL FAMILY DAY CARE  
SQUARE FOOTAGE: 1100 SF.

FIRE PROTECTION:

EXISTING: EMERGENCY & EXIT LIGHTING (INDICATED O. PLAN)  
PROPOSED: SMOKE DETECTORS

TRAVEL DISTANCE: AFX 50 FEET

SINGLE STORY WITH OPERABLE WINDOWS FOR  
EMERGENCY EXIT.

PROPOSED REAR DOOR EXIT



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# Maine

## State Requirements

- ☐ Licensing Standards for DayCare Centers
- ☐ Licensing Standards for Family DayCare
- ☐ Finance Authority of Main

### Worker Qualifications

**Head Teacher --13 - 24 children:** Must be at least 21 with a high school diploma or equivalent **and** have 12 mos. employment in licensed child day care facility for 13 or more children; **or** 12 mos. experience as an operator of a program for 3 - 12 children (including as a family day care provider) **and** have 6 hours training in child care or early childhood education topics; **or** have 1 year (30 credit hours) college courses including 6 hours in field closely related to caring for children **and** 6 mos. experience **or** CDA.

**Group Leader:** Must be at least 18 and have a CDA; or 6 mos. working experience with a group of 13 or more children; or have 1 year (30 credits) college work in a child related field

### Provider/Child Ratio

#### Age Range

- 6 weeks - 9 months
- 18 months
- 27 months
- 3 years - 4 years
- 5 years and older

#### Child : Staff Ratio/ Max Group Size

- (4:1) 8
- (5:1) (4:1) 10/12
- (7:1) 21
- (10:1) (8:1) 20/24
- (13:1) NR

#### Small Family Child Care Homes

Number of Children Allowed:

Maximum Number of Children to One Provider:

3-12 (up to 8 preschool and 2 school-age children, unless all school-age children)

4 younger than 30 months

6, with no more than 3

younger than 2.5 years plus 2 school-age children

8 older than 2.5 years plus 2 school-age children

12 school-age children

Provider's Own Children Counted:

No

Max Number of Infants/Toddlers to One Provider:

4 younger than 30 months

#### Large Family Child Care Homes

Number of Children Allowed:

No category of facility

Ratio of Children to One Provider:

No category of facility

Provider's Own Children Counted:

No category of facility

### Contact Information

Child Care Licensing Agency

Child Care Subsidy Agency



BUREAU INFORMATION

Fire Marshal's Message

Investigations

Inspections

Assembly Occupancy Regulations

Day Care & Nursery School Regulations

General Requirements

Means of Escape

Group Day Care Homes

Explosives Regulations

Fireworks Regulations

Current Dance Hall Permits

Current Theater Permits

Approved Fireworks Shows

Licensed Fireworks Technicians

Plans Review

Fire Sprinklers

Maine Fire Incident Reporting System

Maine Fire Protection Services Commission

Fire Service Rules & Laws

Research & Reports

Personnel Directory

Home > Inspections Division > Day Care & Nursery School Regulations > Group Day Care Homes

**Group Day Care Homes**

Group Day care facilities are less restrictive in most cases than centers because of the number of clients involved. With a maximum number of twelve (12) clients these facilities are often found in the family home. The requirements for a secondary means of escape from all rooms used for day-care purposes still remains.

Figure #3 will give the provider an idea of the requirements and placement of smoke detectors that will be required in a group day-care setting. Smoke detectors must be installed in all areas used for day-care and in all napping rooms used by the day-care clients. In new Group Day Care Homes smoke detectors must be installed on all floor levels of the building. All smoke detectors must be supplied power by the building electrical system. In existing day care facilities one required smoke detector must be supplied by the building electrical system. Again in all existing day care facilities, all floor levels must have a smoke detector. All single station smoke detectors, (detectors not interconnected with other detectors or connected to a fire alarm panel) must be tested on a monthly basis and a record kept at the facility.

New smoke detectors are available which are generally powered by the building electrical service and also have a battery contained within which will keep them effective even during a power outage. All new installation of smoke detectors require that they are powered by the building electrical supply and must have a battery back up.

Four Group Day Care Homes (7-12 clients) the basement level and the main floor level must be separated. The door may be at the top or bottom of the stairs and must conform to one of the following: The door must be an ul listed 20-minute fire rated door. It may also be a 1-3/4 inch solid wood door. Either door must also have a self-closing device on it that will automatically close the door.

If basements are used for day care purposes an exit with a normal side hinged door (not a bulkhead) must be provided to allow exiting directly to the outside. Remember, all rooms used for day care purposes must have a same egress window or door as required for all other floor levels. Normal basement windows installed during construction are most often too small to meet these requirements. Many new homes in the State of Maine are being constructed with a residential sprinkler system installed at the time of construction. These residential sprinklers systems have been proven in many other states to be life safety systems. With the decreased expense these systems have becomes popular with developers of childcare and health care facilities. Many exceptions to fire codes exist when fully sprinkler protected facilities are changed to other uses saving the developer and clients a lot of money in some cases.

LEONARDO'S PIZZA

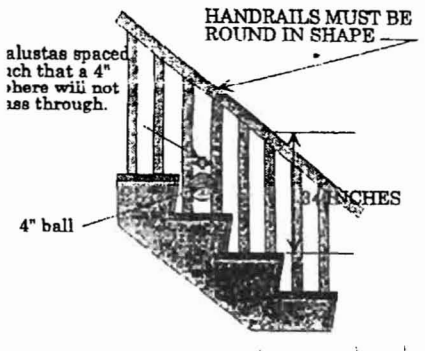
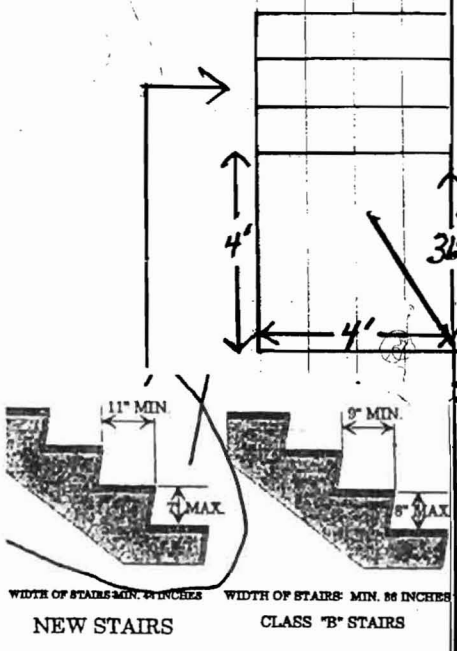
ONE HOUR RATED WALL EXISTING

1-HOUR RATED ASSEMBLY  
5/8 TYPE X GWB EACH SIDE  
2X4 WOOD STUDS, 16" O.C.  
ADDITIONAL, RESULTING  
IN 2-HOUR RATED WALL

BATH

590 S.F. +/-

ENTRANCE  
415 FOREST AVE



EXISTING HVAC,  
ELECTRICAL & PLUMBING

GAS HEATER

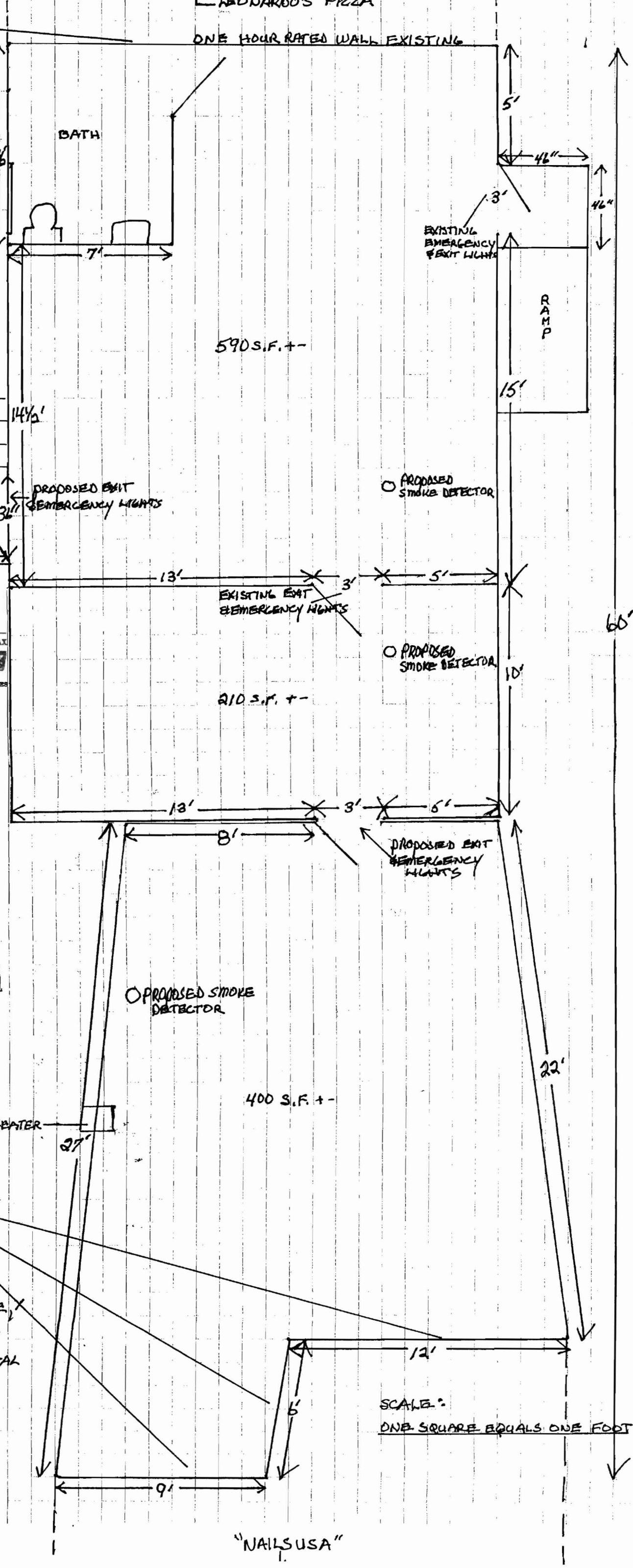
2-HOUR RATED ASSEMBLY  
2-LAYERS 5/8 GWB EACH SIDE,  
2X4 WOOD STUDS, 16" O.C.  
FIRE SEPARATING WALL  
REC. BY STATE FIRE MARSHAL

400 S.F. +/-

210 S.F. +/-

SCALE:  
ONE SQUARE EQUALS ONE FOOT

"NAILSUSA"

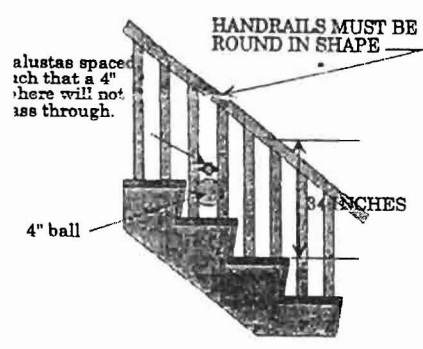
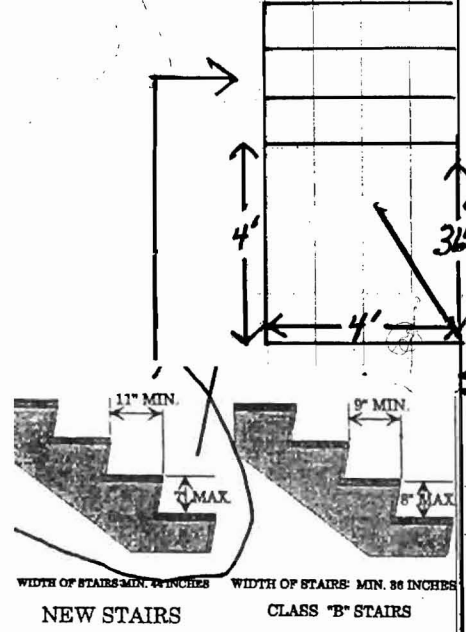


LEONARDO'S PIZZA

ONE HOUR RATED WALL EXISTING

1-HOUR RATED ASSEMBLY  
W/5/8 TYPE X GWB EACH SIDE  
ADDITIONAL, RESULTING  
IN 2-HOUR RATED WALL

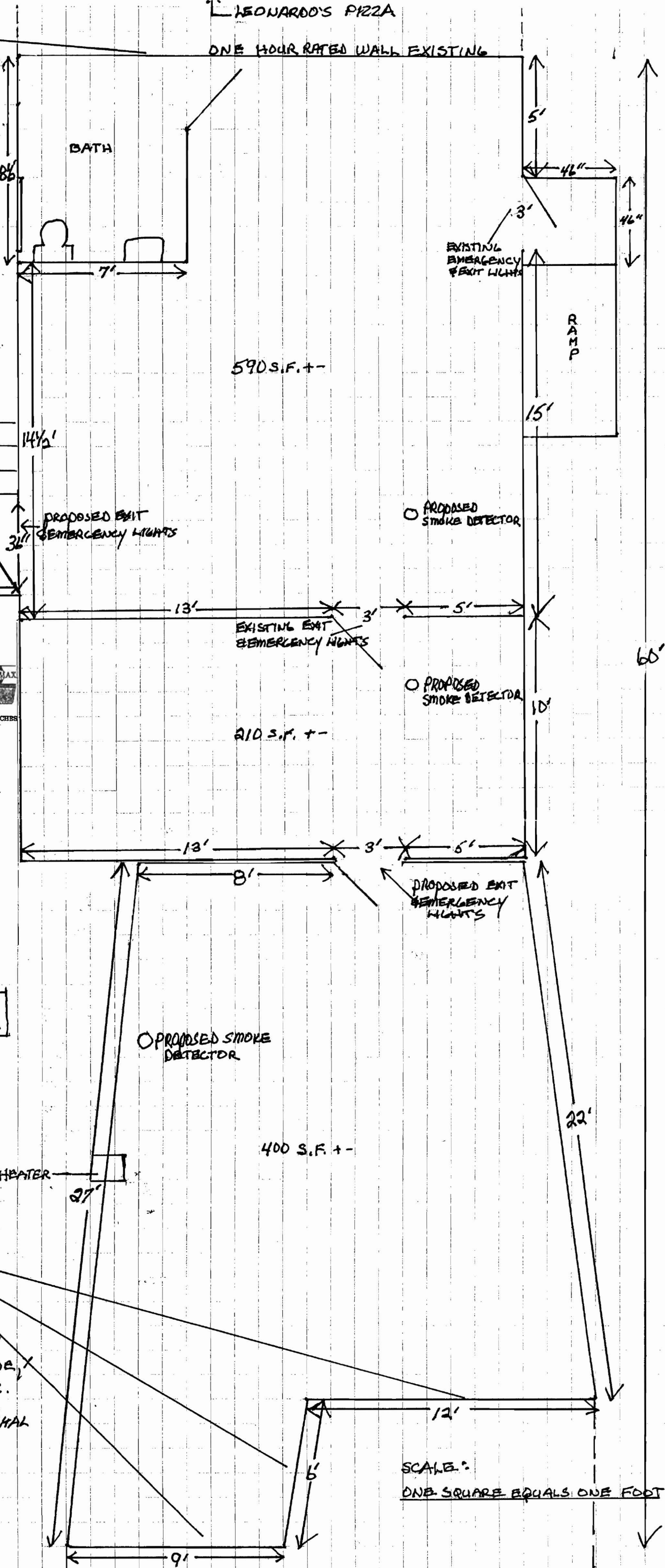
3 rooms  
one parking space  
for each room  
Need 3.



EXISTING HVAC,  
ELECTRICAL & PLUMBING

GAS HEATER

2-HOUR RATED ASSEMBLY  
2-LAYERS 5/8 GWB EACH SIDE,  
2x4 WOOD STUDS, 16" O.C.  
FIRE SEPARATING WALL  
REC. BY STATE FIRE MARSHAL



SCALE:  
ONE SQUARE EQUALS ONE FOOT

"NAILSUSA"