

# DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read  
Application And  
Notes, If Any,  
Attached

BUILDING INSPECTION

PERMIT

Permit Number: 070636

This is to certify that PORTLAND BAY PROPERTIES LLChas permission to Upgrade smoke wall to fire wall, add exterior door, enlarge window, interior renovations & change bathroomAT 415 FOREST AVE

City 111 C005001

PERMIT ISSUED

JUL 9 2007

provided that the person or persons who accept this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission is procured before this building or part thereof is occupied or service is rendered. FOUR NOTICES REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

## OTHER REQUIRED APPROVALS

Fire Dept. Craig Cruz

Health Dept. \_\_\_\_\_

Appeal Board \_\_\_\_\_

Other \_\_\_\_\_

Department Name

Jamie Bomke 7/9/07  
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

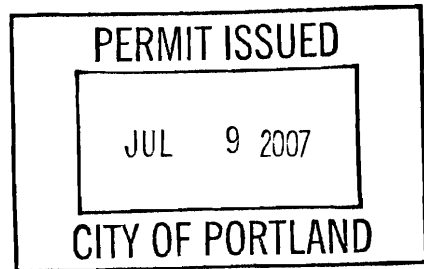
Permit No: 07-0636	Issue Date:	CBL: 111 C005001
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Location of Construction: 415 FOREST AVE	Owner Name: PORTLAND BAY PROPERTIES L	Owner Address: 67 PHIPPS ST	Phone:
Business Name:	Contractor Name:	Contractor Address:	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: <i>Change of use</i> Alterations - Commercial	Zone: <b>B2b</b>

Past Use: Commercial - Retail - Amendment to permit # 070154 <i>mortgage office</i>	Proposed Use: <i>Change of use other to retail establishment.</i> Commercial - Retail - Upgrade smoke wall to firewall, add exterior entry door, enlarge window, interior renovations & change bathroom location	Permit Fee:	Cost of Work: \$8,000.00	CEO District: 1
Proposed Project Description: <i>Change of use to retail establishment.</i> Upgrade smoke wall to firewall, add exterior entry door, enlarge window, interior renovations & change bathroom location <b>"Leonardo's Pizza"</b>		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: <b>B</b> Type: <b>SB</b> <i>Take out</i> <i>IBC-2003</i> Signature: <i>JMB 7/9/07</i>	
		Signature: <i>Greg Carr</i>		
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)				
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied				
Signature: _____ Date: _____				

Permit Taken By: Idobson	Date Applied For: 05/30/2007	<b>Zoning Approval</b>		
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<ol style="list-style-type: none"> <li>This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</li> <li>Building permits do not include plumbing, septic or electrical work.</li> <li>Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</li> </ol>	<b>Special Zone or Reviews</b> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <i>change use with</i> <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>6/6/07</i>	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	<b>Historic Preservation</b> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: _____
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**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<b>Permit No:</b> 07-0636	<b>Date Applied For:</b> 05/30/2007	<b>CBL:</b> 111 C005001
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<b>Location of Construction:</b> 415 FOREST AVE	<b>Owner Name:</b> PORTLAND BAY PROPERTIES L	<b>Owner Address:</b> 67 PHIPPS ST	<b>Phone:</b>
<b>Business Name:</b> Leonardo's Pizza	<b>Contractor Name:</b>	<b>Contractor Address:</b>	<b>Phone:</b>
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Change of Use - Commercial	

<b>Proposed Use:</b> Commercial - Change of use - office to retail establishment- "Leonardo's Pizza" - Upgrade smoke wall to firewall, add exterior entry door, enlarge window, interior renovations & change bathroom location	<b>Proposed Project Description:</b> Upgrade smoke wall to firewall, add exterior entry door, enlarge window, interior renovations & change bathroom location
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**Dept:** Zoning      **Status:** Approved with Conditions      **Reviewer:** Marge Schmuckal      **Approval Date:** 06/06/2007

**Note:** Permit #07-0070 was issued to Phil Coupe (Cartridge World) for a change of use from office to retail. Phil Coupe is no longer leasing the space so the change of use process was never completed and the legal use at this point is still an office.(a machado)      **Ok to Issue:**

- 1) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

**Dept:** Building      **Status:** Approved with Conditions      **Reviewer:** Jeanine Bourke      **Approval Date:** 07/09/2007

**Note:**      **Ok to Issue:**

- 1) This comment is from the ICC for another project on use classification and separation. It states how a "take out" food establishment is classified.  
Regarding the Pharmacy as a Business Occupancy  
1 - As the use was described to be a professional pharmacy and not a drug store, John informed us that it would be considered a business occupancy. John said that this was similar to a take-out food establishment being classified as a Business Occupancy in lieu of Assembly.
- 2) The wall is allowed to be 1 hour based on the occupancy classification of the pizza take out as "B" as long as the adjacent office/professional space is maintained.
- 3) All penetrations through rated assemblies must be protected by an approved firestop system installed as tested in accordance with ASTM 814 or UL 1479, per IBC 2003 Section 712.
- 4) Separate permits are required for any electrical, plumbing, or HVAC systems.  
Separate plans may need to be submitted for approval as a part of this process.
- 5) Need drawing from FMC Cadd for the bathroom in the adjacent space

**Dept:** Fire      **Status:** Approved      **Reviewer:** Capt Greg Cass      **Approval Date:** 06/07/2007

**Note:**      **Ok to Issue:**

**Comments:**

7/6/2007-jmb: Phill George called about the permit status. Chris H. Has been reviewing the plans and had requested designed plans based on the scope of the work and project costs. This plan was received from FMC Cadd on 6/29/07. Will need a reduced copy.

7/6/2007-jmb: Spoke to Lee at FMC Cadd to verify the type of construction, shows 1B, the B-type wall is listed as 1-hour, needs to be 2 hour to separate A-2 from M uses. He will make the changes and pdf the file.

7/6/2007-jmb: Left voicemail w/Phil George to verify the abutting business and if work is associated in there, also to verify the grease trap.



# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>415 Forest Ave,</u>		
Total Square Footage of Proposed Structure <u>1/1</u>		Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart#      Block#      Lot# <u>111 C005001</u>	Owner: <u>Portland Bay Properties</u>	Telephone:
Lessee/Buyer's Name (If Applicable) <u>Phil George</u>	Applicant name, address & telephone: <u>Phil George</u> <u>PO Box 486</u> <u>Burlington, VT 05402</u> <u>802-734-0290</u>	Cost Of Work: <u>+ 8000<sup>00</sup></u> Fee: <u>\$ 100<sup>00</sup></u> C of O Fee: \$ _____
Current legal use (i.e. single family) <u>Retail</u>	If vacant, what was the previous use? _____	
Proposed Specific use: <u>Retail</u>	Is property part of a subdivision? _____ If yes, please name _____	
Project description: <u>Upgrade smoke wall (permit # 070154) to Firewall. Add exterior entry door. Enlarge existing window. Remove interior non supporting partitions. Construct interior non supporting partitions. Attach exterior awnings over windows + door. Relocate bathroom.</u>		
Contractor's name, address & telephone: _____		
Who should we contact when the permit is ready: <u>Phil George</u>		Phone: <u>802-734-0290</u>
Mailing address: _____		

**Please submit all of the information outlined in the Commercial Application Checklist.  
Failure to do so will result in the automatic denial of your permit.**

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>[Signature]</u>	Date: <u>5-22-07</u>
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**This is not a permit; you may not commence ANY work until the permit is issued.**

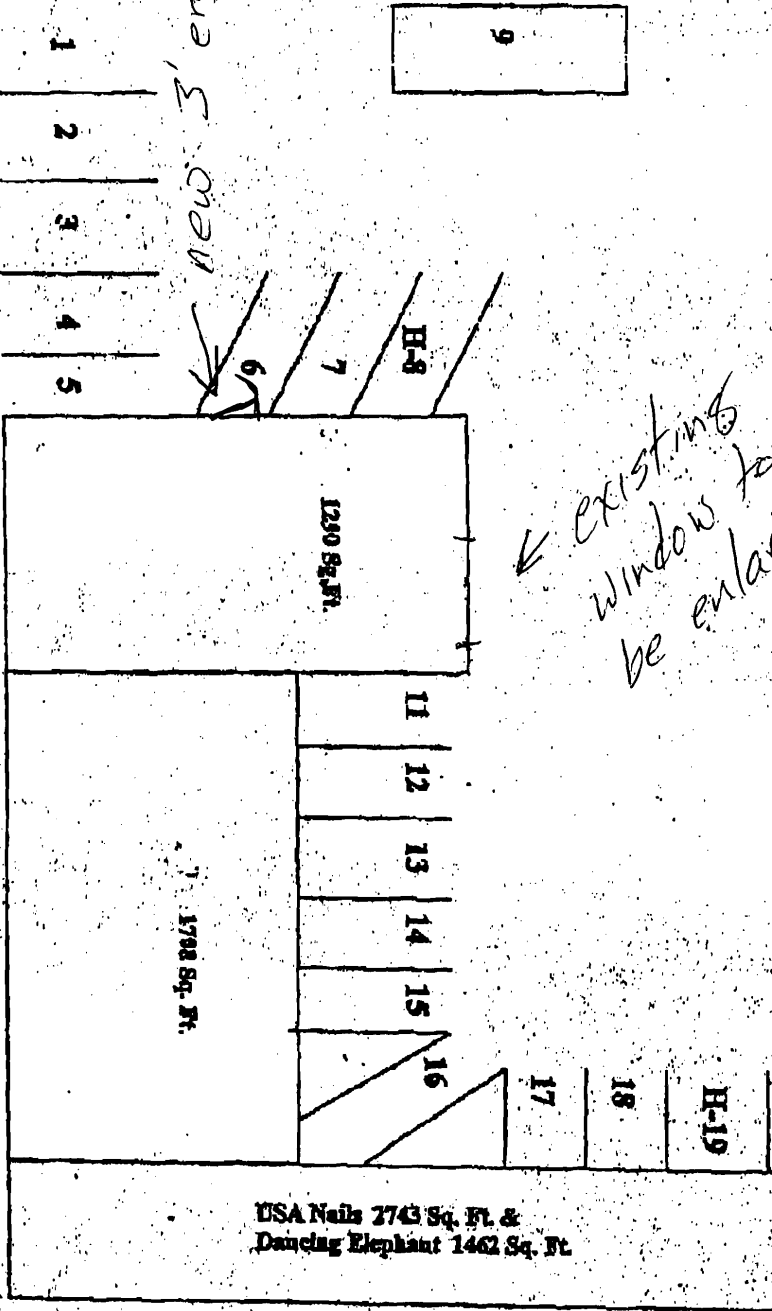
412 N. 1st Ave. 10  
Proposed Parking Plan  
Exhibit A

Applicant's designated parking spaces

Forest Avenue

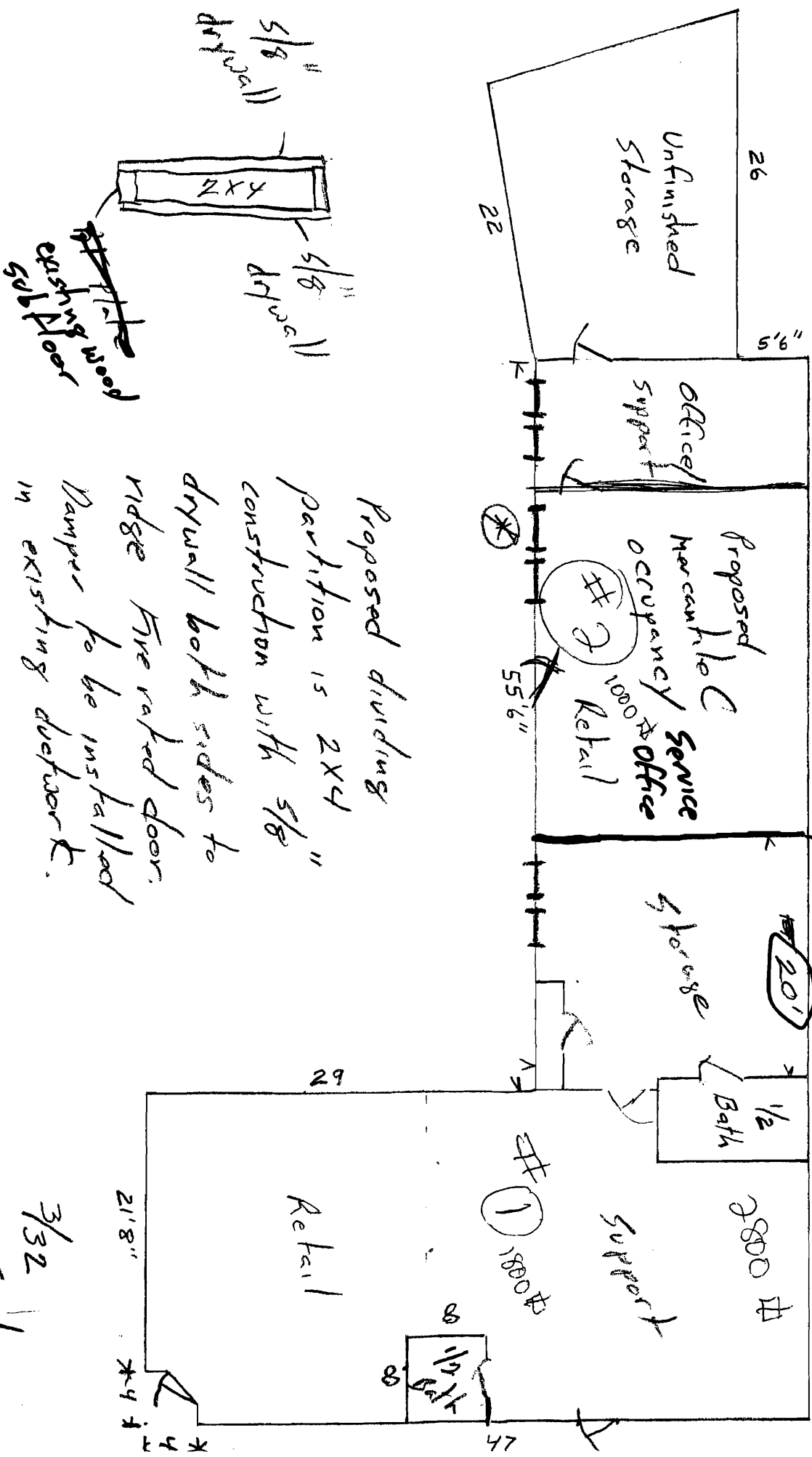
Belmeade Road

18 Total Parking Spaces: 1 Full Access, 7 Handicap Access only



Firewall  
details

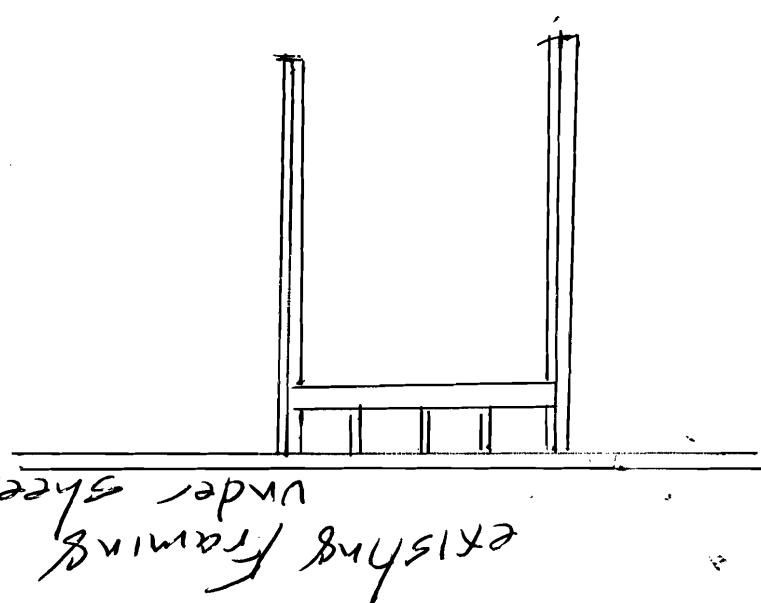
⊛ Windows 40 X 50 interior  
Double hung



Foot Note

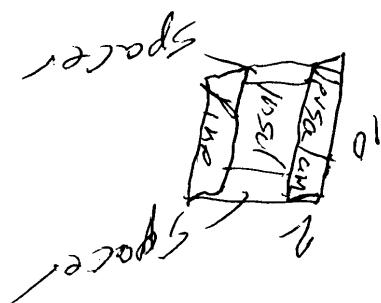
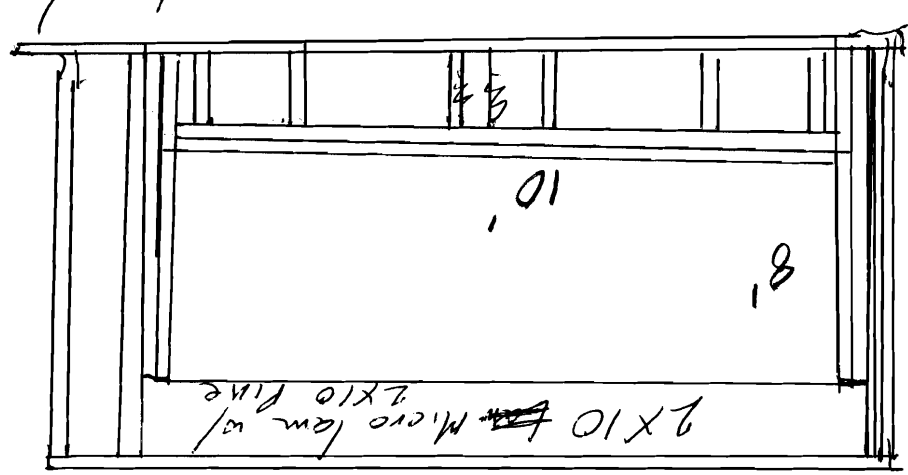
3/32  
Scale

16" OC.  
 2x4 construction  
 exterior door  
 3' x 6 8"  
 New entry  
 existing framing  
 under sheetrock  
~~16" header~~  
 header



Existing  
 2x4 16 o.c.  
 openings to  
 be enlarged.  
 New  
 2x10  
 header  
 w/ double  
 jacks +  
 double  
 sill

2x4 construction  
 16" OC



Header  
 detail

Job Name: Coupe  
 Address: 415 Forest Ave  
 City, State, Zip: Portland,  
 Customer: Brian Schidzig  
 Code reports: ESR-1040

File Name: BC CALC Project  
 Description: FB02  
 Specifier:  
 Designer:  
 Company: Rufus Deering Lumber Company  
 Misc: Window Header on gable wall

1	
	10-00-00
B0, 3-1/2" LL 600 lbs DL 173 lbs	B1, 3-1/2" LL 600 lbs DL 173 lbs

Total Horizontal Product Length = 10-00-00

Tag	Description	Load Type	Ref.	Start	End	Live 100%	Dead 90%	Snow 115%	Wind 133%	Roof Live 125%	Trib.
1	Standard Load	Unf. Area (psf)	Left	00-00-00	10-00-00	40	10				03-00-00

Controls Summary	Value	% Allowable	Duration	Load Case	Span Location
Pos. Moment	1760 ft-lbs	25.2%	100%	1	1 - Internal
End Shear	606 lbs	19.2%	100%	1	1 - Left
Total Load Defl.	L/993 (0.115")	48.4%		1	1
Live Load Defl.	L/1279 (0.089")	37.5%		1	1
Max Defl.	0.115"	23.1%		1	1
Span / Depth	12.1	n/a			1

Bearing Supports	Dim. (L x W)	Value	% Allow Support	% Allow Member	Material
B0 Post	3-1/2" x 1-3/4"	773 lbs	n/a	16.8%	Unspecified
B1 Post	3-1/2" x 1-3/4"	773 lbs	n/a	16.8%	Unspecified

**Cautions**

Column at Bearing B0 analyzed for bearing only, column analysis has not been performed.  
 Column at Bearing B1 analyzed for bearing only, column analysis has not been performed.

**Notes**

Design meets User specified (L/480) Total load deflection criteria.  
 Design meets User specified (L/480) Live load deflection criteria.  
 Design meets arbitrary (0.5") Maximum load deflection criteria.

**Disclosure**

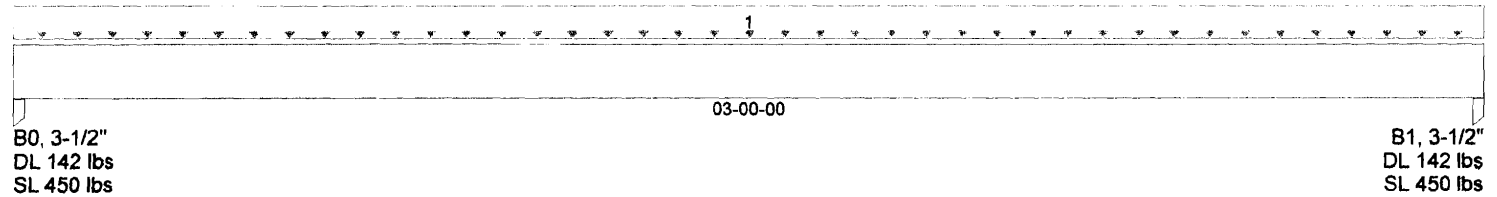
Completeness and accuracy of input must be verified by anyone who would rely on output as evidence of suitability for particular application. Output here based on building code-accepted design properties and analysis methods. Installation of BOISE engineered wood products must be in accordance with current Installation Guide and applicable building codes. To obtain Installation Guide or ask questions, please call (800)232-0788 before installation.

BC CALC®, BC FRAMER®, AJS™, ALLJOIST®, BC RIM BOARD™, BC®, BOISE GLULAM™, SIMPLE FRAMING SYSTEM®, VERSA-LAM®, VERSA-RIM PLUS®, VERSA-RIM®, VERSA-STRAND®, VERSA-STUD® are trademarks of Boise Wood Products, L.L.C.



Job Name: Coupe  
 Address: 415 Forest Ave  
 City, State, Zip: Portland,  
 Customer: Brian Schidzig  
 Code reports: ESR-1040

File Name: BC CALC Project  
 Description: RB01  
 Specifier:  
 Designer:  
 Company: Rufus Deering Lumber Company  
 Misc: Door Header 3'



Total Horizontal Product Length = 03-00-00

<b>Load Summary</b>						Live	Dead	Snow	Wind	Roof Live	Trib.
Tag	Description	Load Type	Ref.	Start	End	100%	90%	115%	133%	125%	
1	Standard Load	Unf. Area (psf)	Left	00-00-00	03-00-00		15	50			06-00-00

<b>Controls Summary</b>						
	Value	% Allowable	Duration	Load Case	Span Location	
Pos. Moment	319 ft-lbs	6.6%	115%	3	1 - Internal	
End Shear	239 lbs	8.6%	115%	3	1 - Left	
Total Load Defl.	L/9020 (0.003")	5.3%		3	1	
Live Load Defl.	L/11872 (0.003")	4.0%		3	1	
Max Defl.	0.003"	0.7%		3	1	
Span / Depth	4.2	n/a			1	

<b>Bearing Supports</b>						
	Dim. (L x W)	Value	% Allow Support	% Allow Member	Material	
B0 Post	3-1/2" x 1-3/4"	592 lbs	n/a	12.9%	Unspecified	
B1 Post	3-1/2" x 1-3/4"	592 lbs	n/a	12.9%	Unspecified	

<b>Slope and Cut Length</b>					
	Slope	Facia Depth	Horiz. Length	Product Length	
Plumb Cut with Hanger to dbl. top plate	2/12	3-1/2"	03-00-00	03-01-11	

**Cautions**

Column at Bearing B0 analyzed for bearing only, column analysis has not been performed.  
 Column at Bearing B1 analyzed for bearing only, column analysis has not been performed.

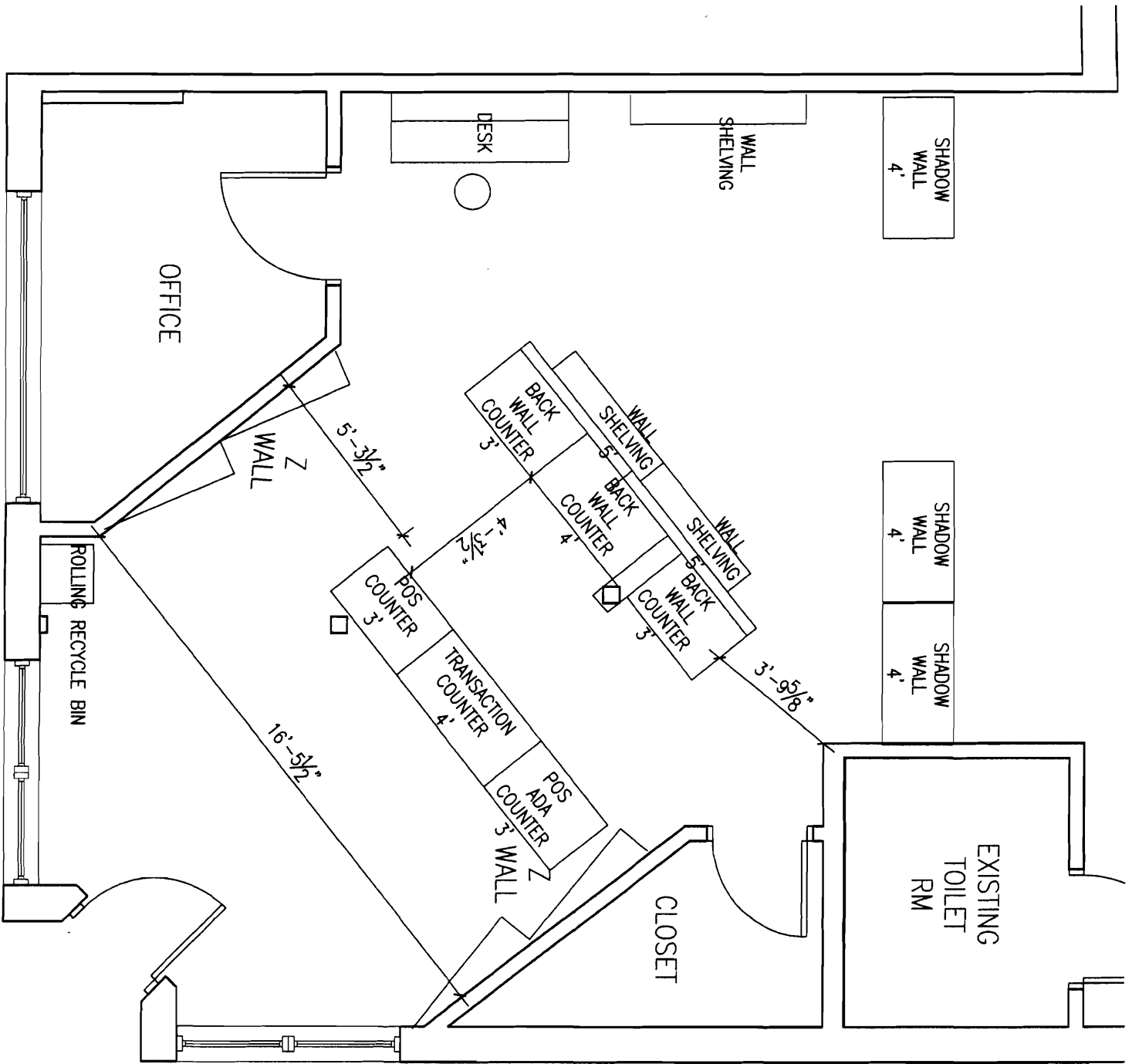
**Notes**

Design meets User specified (L/480) Total load deflection criteria.  
 Design meets User specified (L/480) Live load deflection criteria.  
 Design meets arbitrary (0.5") Maximum load deflection criteria.

**Disclosure**

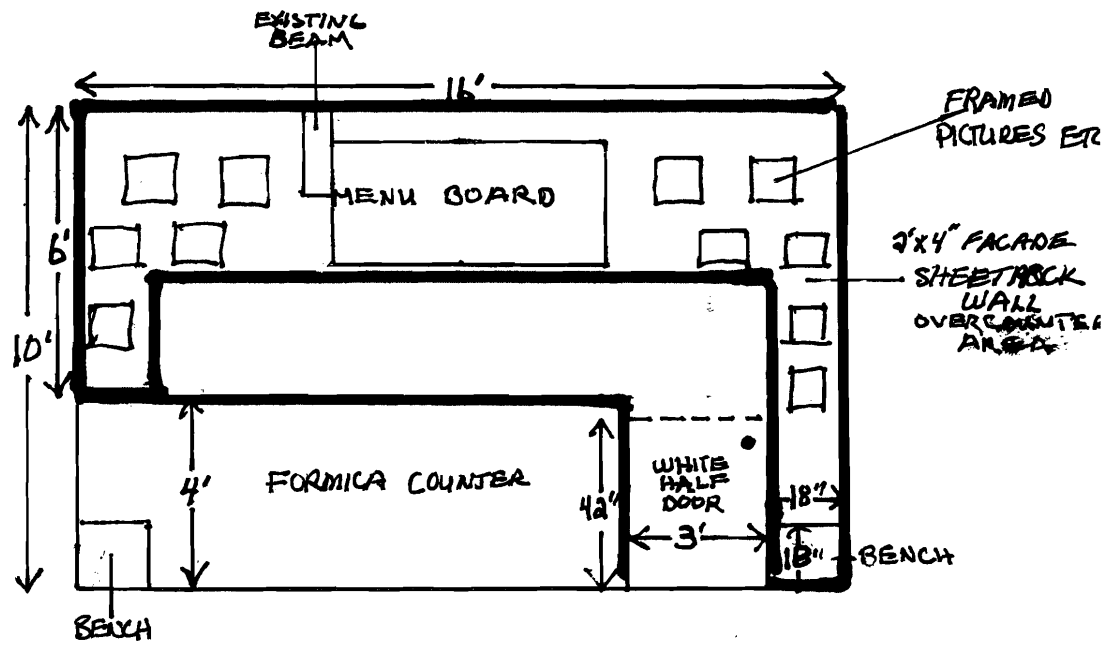
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*Existing non supporting partitions to be removed.*

ELEVATION  
RIGHT FRONT COUNTER AREA

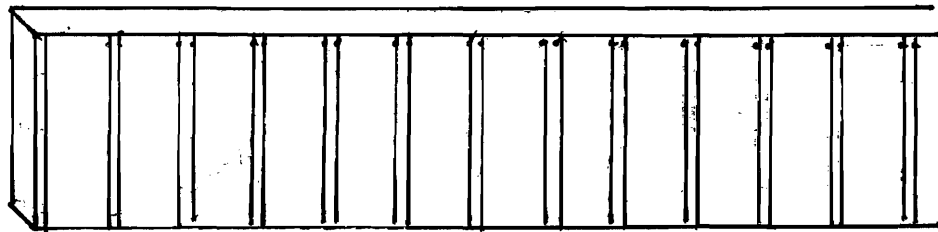


FRONT COUNTER WALLS

CONSTRUCTION:

DEPICTED ON DRAWING IN GREEN

2" X 6" WOOD FRAME, 16" CENTER  
COVERED W/ 3/4" WOOD PARTICLE BOARD  
FINISHED W/ WHITE LAMINATE  
TOPS ON COUNTERS      3/4" PLYWOOD  
FINISHED WIDTH, 7"

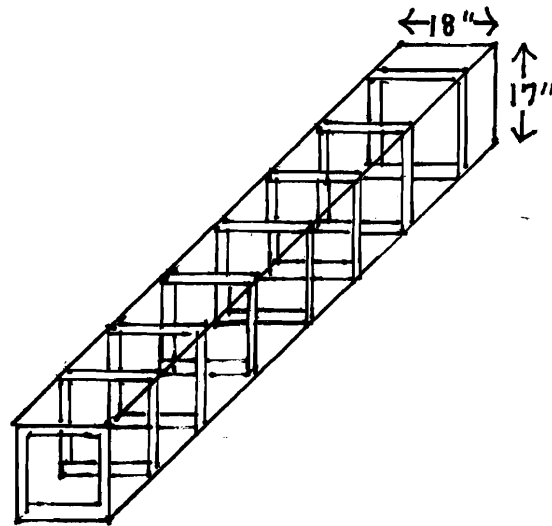


CUSTOMER BENCH SEATS

CONSTRUCTION:

2" X 4" WOOD FRAME  
COVERED W/ 3/4 PLYWOOD  
TRIM DETAIL & PAINTED

DEPICTED ON DRAWING  
IN YELLOW

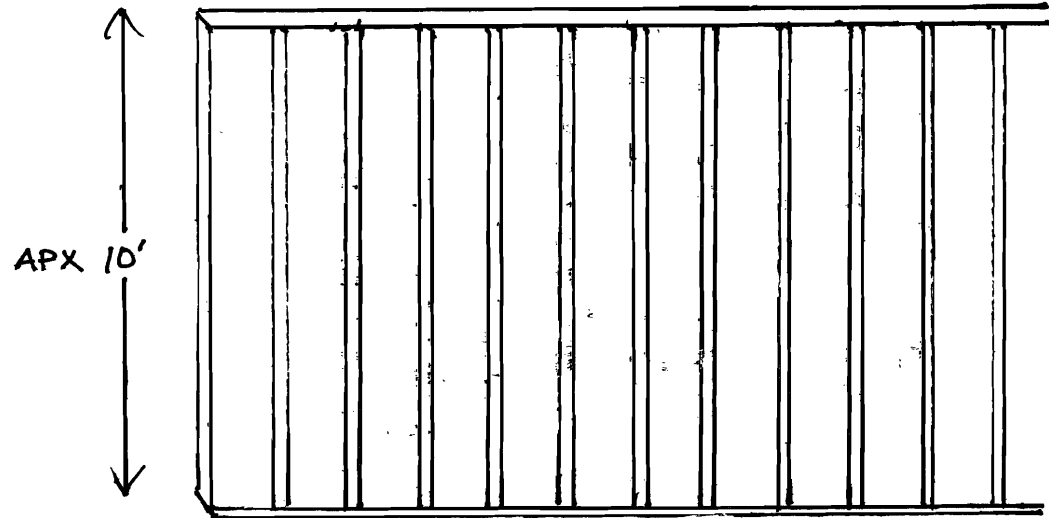


NON SUPPORTING WALLS  
INTERIOR

CONSTRUCTION:

2" X 4" WOOD FRAME, 16" CENTER,  
1/2" SHEETROCK, TAPED,  
SANDED & PAINTED

DEPICTED ON DRAWING  
IN RED COLOR

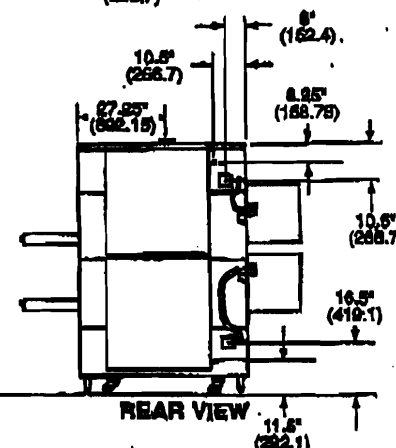
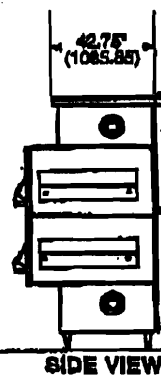
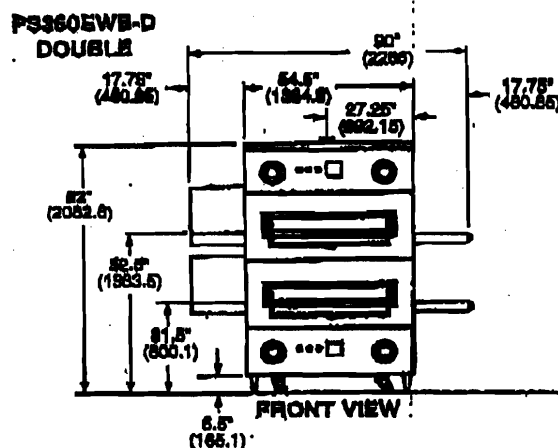
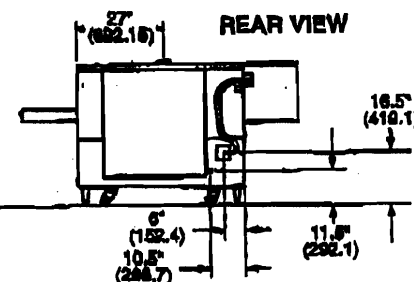
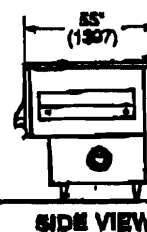
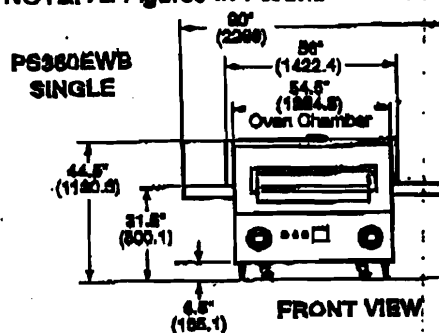


# Middleby Marshall Model PS360EWB Direct Gas Fired Conveyor Oven

Baking chamber opening: 3,878 (98.42 mm).  
Scale .25" (6.35 mm) = 1" (304.8 mm) approx.

NOTE: All Figures In Parentheses Are In Millimeters

## TOP VIEW OF BOTH THE PS360EWB SINGLE AND PS360EWB-D DOUBLE



### RECOMMENDED MINIMUM CLEARANCES

Rear of Oven to Wall	Left Conveyor Extension to Wall	Right Conveyor Extension to Wall (control panel side)
1" (25.4)	0"	0"

### GENERAL INFORMATION

	Heating Zone	Bake Chamber	Bake Width	Height	Width	Depth	Max. Operating Temp.	Bake Time Range	Ship Wt. (lbs.)	Ship Cube per cavity
PS360EWB Single	54.5" (1384.3)	18.86 sq. ft. (1,548 sq. m)	44" (1117.8)	44.5" (1130.5)	80" (2032)	63" (1600.2)	550° (267°C)	4 min. to 29 min., 50 sec.	1676	158 ft <sup>3</sup>
PS360EWB Double	108" (2743.2)	33.3 sq. ft. (3,083 sq. m)	44" (1117.8)	82" (2082.6)	80" (2032)	63" (1600.2)	550° (267°C)	4 min. to 29 min., 50 sec.	3350	158 ft <sup>3</sup>

### GAS SUPPLY PROVIDED BY CUSTOMER

	Min. Gas Pipe Size	Gas Valves (full flow gas shut-off valve)	Req'd Supply Gas Pressure	Power
Natural Gas 1 or 2 ovens	2" (50.8) NPT	.75" (19.05) to each oven	8" (192.4) to 14" (355.6) water column	170,000 BTU/HR per cavity
Propane Gas 1 or 2 ovens	1.5" (38.1) NPT	.75" (19.05) to each oven	11.5" (292.1) to 14" (355.6) water column	170,000 BTU/HR per cavity

### ELECTRICAL RATINGS

	Voltage	Phase	HZ	Ampe	Grounding	Breakers
Electric Range (Gas Fired Ovens)	208 or 240	1	60/50	15"	3 pole, 4 wire	per local codes

\*The gas supply pressures shown are for ovens installed in North America. The required gas supply pressures of other locations are dependent on local gas type and on all applicable local codes.

**Middleby  
Marshall.**  
A MIDDLEBY COMPANY

Middleby Marshall Inc.  
1400 Toastmaster Dr.  
Elgin, IL 60120 USA  
1-800-323-5575  
FAX (800) 835-4725

# GAS OVEN ROUGH-IN

## UTILITY ROUGH-IN DIMENSIONS AND POSITIONING

### FOR PS310 and PS360 SERIES OVENS

<b>CAUTION</b>
IT IS REQUIRED THAT THE OVEN BE PLACED UNDER A VENTILATION HOOD FOR ADEQUATE AIR SUPPLY AND VENTILATION.
<b>GAS SUPPLY &amp; ELECTRICAL SUPPLY PROVIDED BY CUSTOMER</b>
<b>DO NOT USE CONDUIT FOR GROUND</b>

**CIRCUIT BREAKER**

20 Amp circuit breaker for each cavity. Wire each cavity separately.

**ELECTRICAL SPECIFICATIONS**

208-240V main blower motors, 1 Ph, 8 Amp draw, 50/60 Hz, 120V control circuit, 3 pole, 4 wire system per cavity (2 hot, 1 neut, 1 grd).

or

EXPORT: 208-240V or 200-220V main blower motors, 1 Ph, 8 Amp draw, 50/60 Hz, 120V transformer control circuit, 2 pole, 3 wire system per cavity (2 hot, 1 grd).

**GAS RATING**

Models PS310, PS360 - 135,000 BTU/Hour, 34,020kcal/HR, 40KW/HR

**MINIMUM GAS METER RATINGS**

600 Cu.FL/Hour (17m<sup>3</sup>/h) for 1 or 2 oven cavities.

1200 Cu.FL/Hour (34m<sup>3</sup>/h) for 3 or 4 oven cavities.

Minimum rating may not take other gas appliances into consideration. Gas consumption varies at each site. Total BTU/HR (kcal/hr) must be calculated on high flame oil of each appliance to determine if meter needs to be larger.

**MINIMUM GAS PIPE SIZE**

Natural: 2" (51mm) ID for 1 or 2 oven cavities with runs up to 200 ft.(61m).

or

2-1/2" (64mm) ID for 3 or 4 oven cavities with runs up to 200 ft.(61m)

Must be a dedicated line.

Runs over 200 ft. consult factory

Propane: 1-1/2" (38mm) ID for 1 or 2 oven cavities with runs up to 200 ft.(61m).

or

2" (51mm) ID for 3 or 4 oven cavities with runs up to 200 ft.(61m).

Must be a dedicated line.

Runs over 200 ft. consult factory

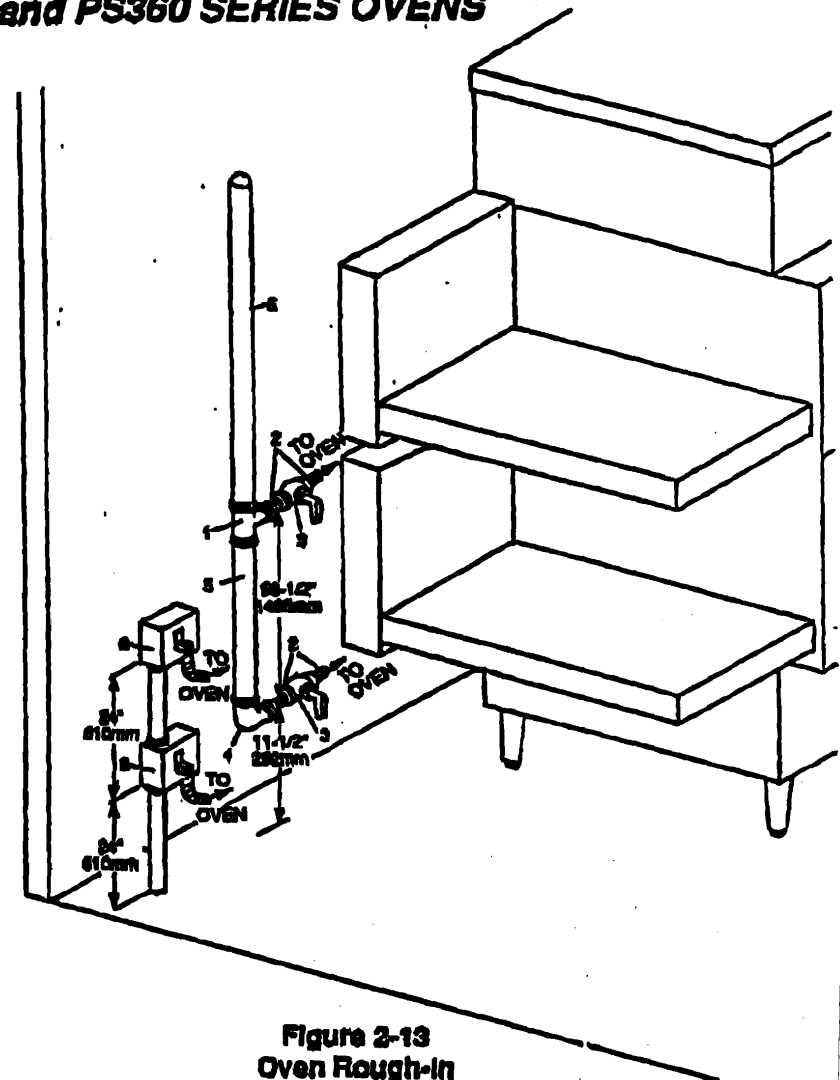


Figure 2-13  
Oven Rough-In

**GAS VALVES**

3/4" (19mm) ID full flow gas shut-off valve.

A separate connection and valve must be provided for each oven.

**REQUIRED SUPPLY GAS PRESSURE**

Natural: 6" to 12" (152 to 305mm) water column

Propane: 11.5" to 12" (292 to 305mm) water column

**SUGGESTED**

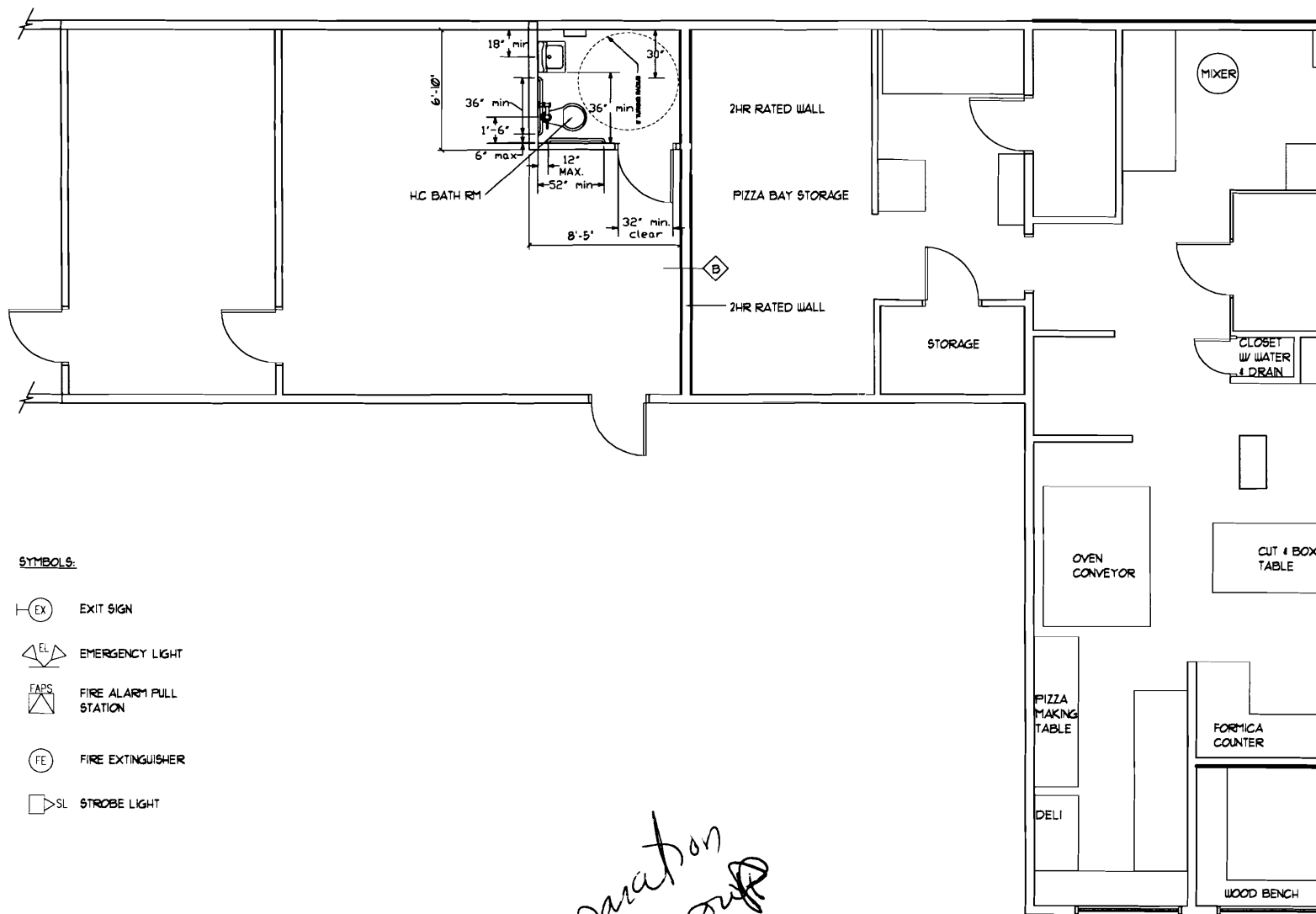
If space permits service should be located to the left of the ovens to allow access to switches and valves.

**User Supplied Items:**

ITEM	DESCRIPTION
1*	2"(51mm) X 2"(51mm) X 3/4"(19mm) TEE
2	3/4"(19mm) X 3"(76mm) NIPPLE
3	3/4" (19mm) FULLFLOW GAS SHUT-OFF VALVE
4*	2"(51mm) X 3/4"(19mm) 90° REDUCER ELBOW
5*	2"(51mm) ID GAS SUPPLY PIPE LINE-NATURAL GAS
6	15 AMP TOGGLE SWITCH - 2 POLE for GAS

\*NOTE: You must use 2-1/2" diameter pipe (Items 1, 4 & 5) for tandem ovens.





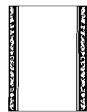
**SYMBOLS:**

-  EXIT SIGN
-  EMERGENCY LIGHT
-  FIRE ALARM PULL STATION
-  FIRE EXTINGUISHER
-  STROBE LIGHT

2 EQUIPMENT PLAN  
10'-7-0"

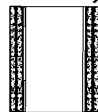
*can be 1 hr  
Based on use separation  
B → B group*

111C



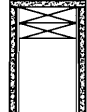
1 LAYER 5/8 GWB EA. SIDE  
MIN 2x4 WOOD STUDS @ 16" O.C.

**A** TYPICAL NON-RATED WALL  
1'-0" x 7'-0"



2-HOUR RATED ASSEMBLY UL DESIGN, #411  
2 LAYERS TYPE-X GWB EA. SIDE  
MIN 2x4 WOOD STUDS @ 16" O.C.

**B** TYPICAL 2-HOUR RATED WALL  
1'-0" x 7'-0"



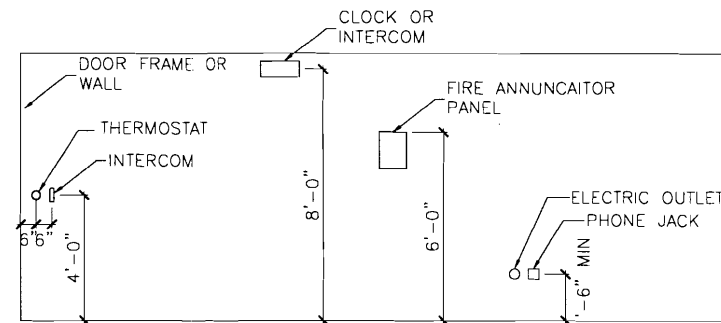
48" HIGH WALL  
1 LAYER 5/8 GWB EA. SIDE  
MIN 2x4 WOOD STUDS @ 16" O.C.

**C** TYPICAL NON-RATED HALF-WALL  
1'-0" x 7'-0"

 NEW WALL



AREA TO KEEP CLEAR FOR  
EGRESS



ELECTRICAL & FIRE PROTECTION  
DEVICES  
TYPICAL UNLESS NOTED OTHER

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