

# A REMODEL OF EXISTING: CODMAN STREET APARTMENTS FOR BAO BAO INVESTMENTS, INC.



### LEGEND:

- CARBON MONOXIDE DETECTOR CEILING / WALL LOCATION (SEE FLOOR PLANS)
- S.M.D. SMOKE DETECTOR CEILING LOCATION CEILING / WALL LOCATION (SEE FLOOR PLANS)
- EXHAUST FAN VENTED TO OUTSIDE
- ILLUMINATED EMERGENCY EXIT SIGN WITH WAYFINDING LIGHTS
- INTERIOR WALL CONSTRUCTION 2X4 WOOD STUD @ 16" O.C. WITH 1/2" GWB EA SIDE. PATCH AND PAINT TO MATCH ADJACENT EXISTING CONDITION TO REMAIN
- EXTERIOR WALL CONSTRUCTION 2X6 WOOD STUD FRAMING @ 16" O.C. WITH 1/2" INT GWB & 3/8" EXT WOOD SHEATHING, MOISTURE BARRIER & SIDING TO MATCH EXISTING
- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE DEMOLISHED
- MEANS OF EGRESS #1
- MEANS OF EGRESS #2
- ELEVATION TAG
- SECTION TAG (MIRRORED TAG AT END OF SECTION)
- SECTION DETAIL TAG
- VERTICAL ELEVATION HEIGHT MARKER

### APPLICABLE BUILDING CODES:

1. M.U.B.E.C. (MAINE UNIFORM BUILDING (AND) ENERGY CODE).
  2. MAINE PLUMBING CODE
  3. N.E.C. NATIONAL ELECTRICAL CODE
  4. N.F.P.A. 101 LIFE SAFETY CODE
- ALL CURRENT VERSIONS UNO
- OCCUPANCY CLASSIFICATION: RESIDENTIAL GROUP R-2 APARTMENT HOUSE
- CONSTRUCTION: TYPE V B, NON-SPRINKLED  
ALLOWABLE HEIGHT: 40 FEET, 2 STORIES (GRAND FATHERED)  
ALLOWABLE AREA: 7,000 SQUARE FEET

### ABBREVIATIONS:

- |        |                                      |
|--------|--------------------------------------|
| AFF    | ABOVE FINISHED FLOOR                 |
| CLG    | CEILING                              |
| C      | CENTERLINE                           |
| CONC   | CONCRETE                             |
| DIA.   | DIAMETER                             |
| DN     | DOWN                                 |
| EQ     | EQUAL                                |
| EXT    | EXTERIOR                             |
| G.C.   | GENERAL CONTRACTOR                   |
| GWB    | GYPSSUM WALLBOARD                    |
| HTR    | HEATER                               |
| INT    | INTERIOR                             |
| ITI    | INSIDE TO INSIDE (DIMENSION)         |
| KD     | KILN DRIED (WOOD)                    |
| MAX    | MAXIMUM                              |
| MDO    | MEDIUM DENSITY OVERLAY (PANEL)       |
| MHT    | (APPARENT) MEAN HIGH TIDE            |
| NFRC   | NATIONAL FENESTRATION RATING COUNCIL |
| OD     | OUT DIAMETER                         |
| O.T.O. | OUT TO OUT (DIMENSION)               |
| PCOD   | POST CURRENT OWNER DEVELOPMENT       |
| P      | PROPERTY LINE                        |
| PT     | PRESSURE TREATED (WOOD)              |
| REF    | REFRIGERATOR                         |
| ROW    | RIGHT OF WAY                         |
| T.O.   | TOP OF                               |
| UNO    | UNLESS NOTED OTHERWISE               |
| W/     | WITH                                 |
| WD     | WOOD                                 |
| WWF    | WELDED WIRE FABRIC                   |
| WTR    | WATER                                |

### DETAILED GENERAL NOTES:

1. DETAILED SCOPE AS REQUIRED BY CITY OF PORTLAND, MAINE'S PLANNING AND URBAN DEVELOPMENT DEPARTMENT ZONING SPECIALIST MS. ANN MACHADO IN HER LETTER, DATED AUGUST 5, 2011 ADDRESSED TO THE PROJECT OWNER AND CLIENT HOWARD (A.K.A. CHENGLUI) YEE, RESIDING AT 120 BAXTER BOULEVARD, PORTLAND, MAINE 04101. THIS IS A REMODEL OF AN EXISTING APARTMENT HOUSE. ALL NEW FIXTURES, FURNISHINGS, CASEWORK, HARD FLOOR FINISHES, CASEWORK AND REPLACEMENT WINDOWS, SOME MINOR WALL REMOVAL AND MINOR WALL INSTALLATION, AND INTERIOR PAINTING. NO CHANGE OF OCCUPANCY USE, QUANTITY OF THREE (3) LIVING UNITS ASSOCIATED WITH PORTLAND'S EXPIRED PREVIOUS BUILDING PERMIT #: 100317 ISSUED MAY 5, 2010 AND SIGNED BY BOTH THE CITY OF PORTLAND, MAINE'S FIRE DEPARTMENT CAPTAIN AND CITY OF PORTLAND DIRECTOR OF BUILDING AND INSPECTION SERVICES.
2. REMOVE ALL EXISTING AND REPLACE AS REQUIRED (UNLESS OTHERWISE NOTED):
  - WINDOWS, EXCEPT UPPERMOST FLOOR, WITH ELLISON SERIES 1300 VINYL CLAD DOUBLE HUNG NFRC CERTIFIED UNITS WITH INSULATED ENERGY STAR RATED UNITS, WITH LOW-E, ARGON FILLED UNITS WITH A VISIBLE TRANSMITTANCE FACTOR OF 0.49, U-FACTOR OF 0.32, AND SOLAR HEAT GAIN COEFFICIENT OF 0.29 GLAZING. EXTERIOR 5/8" VINYL APPLIED MUNTINS.
  - DOORS WITH EXTERIOR METAL CLAD INSULATED BY TIMELY MANUFACTURING OF LOS ANGELES, CALIFORNIA, WITH INTERTEX'S WARLOCK HERSHEY 1-1/2 HOUR FIRE RESISTANCE RATING. INTERIOR DOORS ARE 1-3/8" THICK, 6'-8" TALL SOLID POPLAR WOOD STILE & RAIL UNITS AWDI CERTIFIED UNITS. ALL DOORS AND DOOR FRAMES LOCATED IN FIRE RATED WALL ASSEMBLIES (AS SHOWN ON PLAN) ARE TO BE MANUFACTURED BY JELD-WEN, INC. WITH INTERTEX'S WARLOCK HERSHEY 90 MIN FIRE RESISTANCE RATING OF 90 MINUTES, GRADE B DOOR, WHICH MEETS UL 10B OR UL 10C/ NFPA 252 RATING STANDARDS, WITH THREE SPRING-LOADED, SELF-CLOSING ACTION HINGES.
  - KITCHEN CABINETS ARE STOCK WOOD PREFABRICATED UNITS MANUFACTURED BY AMERICAN WOODMARK CORPORATION, WITH KITCHEN CABINET MANUFACTURER'S ASSOCIATION (KCA) CERTIFICATION, MEETING ANSI/KCMA A161.1-2000 STANDARDS THAT ARE ALSO ENVIRONMENTAL STEWARDSHIP PROGRAM ESP 01-06 KCMA CERTIFIED. LAYOUT DESIGNED ON SEPTEMBER 24, 2009, SUPPLIED AND INSTALLED BY HOME DEPOT.
  - COUNTER TOPS WITH DARK CUSTOM CUT SOLID MARBLE SLABS
  - PLUMBING FIXTURES WITH KOHLER MANUFACTURES UNITS
  - APPLIANCES WITH U.L. LISTINGS LABELS CONSPICUOUSLY DISPLAYED, BY MANUFACTURERS OF EITHER OR COMBINATION OF GENERAL ELECTRIC, LG, INCORPORATED, NUTONE, OR INSINKERATOR. ALL APPLIANCES TO HAVE STAINLESS STEEL EXTERIOR FINISH WITH BLACK ACCENTS.
  - KITCHEN AND BATHROOM FLOOR FINISHES ARE EITHER CERAMIC OR STONE TILE.
3. PATCH AND PAINT ALL WALLS AND CEILINGS WITH ONE COAT PRIMER AND TWO COATS OF LATEX PAINT
4. REMOVE ALL NON-FUNCTIONAL, BROKEN, NON-CODE COMPLIANT AND UNSAFE ELECTRICAL ITEMS AND REPLACE AS NEEDED (INCLUDING BUT NOT EXCLUSIVELY):
  - LIGHT FIXTURES MEETING U.L. LISTING CERTIFICATION
  - ELECTRICAL PANELS AND SUB-PANELS MANUFACTURED BY SIEMEN'S OR SQUARE D AND HAVE A U.L. LISTED CERTIFICATION LABEL CONSPICUOUSLY DISPLAYED.
5. WALL OUTLETS MEETING U.L. LISTING CERTIFICATION
6. WALL SWITCHES MEETING U.L. LISTING CERTIFICATION
7. REMOVE ALL EXISTING SMOKE DETECTORS AND CARBON MONOXIDE DETECTORS.
8. INSTALL NFPA COMPLIANT, U.L. LISTED PHOTO-EYE SMOKE DETECTORS AND CARBON MONOXIDE DETECTORS, AND EMERGENCY EXIT LIGHTING WITH DUAL POWERED HARDWIRED AC / BATTERY BACKUP UNITS, ALL WIRED WITH INTERCONNECTING ALARMS TO EACH LEVEL AS INDICATED ON DRAWINGS PER CITY OF PORTLAND MAINE'S FIRE SAFETY ORDINANCE.
9. REMOVE ALL INTERIOR WALL BOARD WITH, OR SUSPICION OF, MOLD, MILDEW, OR MOISTURE DAMAGE. REPLACE WITH BLUEBOARD IN TILED AREAS, CEMENTITIOUS BOARD IN WET AREAS, AND MOISTURE RESISTANT GYPSUM WALL BOARD IN ALL REMAINING AREAS.
10. INSTALL FRONTPOINT SECURITY SOLUTIONS ANTI-INTRUSION HOME ALARM SYSTEM TIED BACK TO FRONTPOINTS CENTRAL SYSTEM SERVICED WITH PHONE NUMBER (877) 80-ALARM AND WWW.MYFRONTPOINT.COM.
11. BEDROOMS AND INTERIOR STAIRS TO HAVE NEW CARPET. ALL OTHER LIVING AREAS WITH WOOD FLOORS TO BE REFINISHED.

### SHEET INDEX:

- G-0.0 COVER SHEET
- C-0.1 SITE PLAN
- D-1.0 BASEMENT AND FIRST FLOOR DEMO PLANS
- D-1.1 SECOND FLOOR DEMO PLAN
- A-1.0 BASEMENT AND FIRST FLOOR PLANS
- A-1.1 SECOND AND THIRD FLOOR PLANS
- A-5.0 SOUTH DECK FRAMING DETAILS
- A-5.1 HOT TUB DECK PLANS, ELEVATIONS, AND DETAILS
- A-6.0 DOOR AND WINDOW TYPES AND SCHEDULES

ALL CONDITIONS ARE DOCUMENTED AS EXISTING ON DEC 25, 2010 BY PROJECT ARCHITECT OF THAT SAME DATE HIRE AFTER CITY OF PORTLAND'S PLANNING & DEVELOPMENT DEPARTMENT INSPECTIONS DIVISION FIELD INVESTIGATION AND AFTER ACTUAL CONSTRUCTION. PRIOR TO THAT DATE CONDITIONS ARE UNKNOWN BY ARCHITECT WHO ASKED BOTH OWNER AND PORTLAND CEO. NEITHER PARTY GAVE ADDITIONAL INFORMATION TO ARCHITECT TO DOCUMENT IN THIS SET OF DRAWINGS ARE TO THE BEST OF THE ARCHITECT'S LIMITED PAST PROJECT KNOWLEDGE.

### Sheet Notes

1. SEE GENERAL NOTES ON COVER SHEET.
2. ALL PCOD WAS DONE WITHOUT A BLDG. PERMIT AND IS DOCUMENTED IN THIS SET RETROACTIVELY FOR CITY CEO.
3. ALL WORK PREVIOUSLY DONE (WITHOUT BUILDING PERMIT) AFTER CURRENT OWNER IS SHOWN AS NEW WORK EVEN IF IT CURRENTLY EXISTS, PER PORTLAND CODE ENFORCEMENT OFFICE.

No.	Revision / Issue	Date

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DEVELOPER:  
BAO BAO INVESTMENT, INC.  
PORTLAND, ME 04101  
TEL (207) 879-7600

AN APARTMENT RENOVATION FOR:  
CODMAN ST. APARTMENTS  
17 CODMAN STREET  
PORTLAND, ME 04103

### REVISIONS:

- AUGUST 31, 2011

Issued: JULY 15, 2011

Scale: AS NOTED

Drawn By: MA & SPR

Reviewed By:

GENERAL COVER

G-0.0

**SITE ZONING ANALYSIS:**

PROPERTY CBL: ACCESSOR MAP NO. 129, LOT G, PLOT 11  
 DATE: 1890 ORIGINAL BUILDING CONSTRUCTION STARTED  
 PARCEL: 17  
 ZONE: R-3 RESIDENTIAL, MEDIUM DENSITY  
 FLOOD MAP: 2009 FEMA NFIP FIRM MAP INDEX NUMBER: 23005IND2A, PANEL 716  
 MAP #: 23005C0716F  
 NOT IN FLOOD PLAIN  
 AREAS:  
 MINIMUM PROPERTY AREA: 6,500 S.F.  
 ACTUAL PROPERTY TOTAL = 7,130 S.F.  
 BUILDING TOTAL FLOOR AREA = 3,096 S.F.  
 EXISTING BUILDING FOOTPRINT AT GRADE = 1,068 S.F.  
 PROPOSED ADDITIONAL FOOTPRINT AT GRADE = 0 S.F.  
 PROPOSED TOTAL BUILDING FOOTPRINT = 1,696 S.F.  
 PROPOSED PERCENTAGE INCREASE = 0%

MAXIMUM LOT COVERAGE: THIRTY-FIVE (35) PERCENT OF LOT AREA  
 EXISTING LOT COVERAGE = FIFTEEN (15) PERCENT  
 PROPOSED LOT COVERAGE = ZERO(0) PERCENT INCREASE

EXISTING IMPERVIOUS PAVING = 1,031 S.F.  
 PROPOSED IMPERVIOUS PAVING INCREASE = 0

EXISTING PERVIOUS PAVING = 164 S.F.  
 PROPOSED PERVIOUS PAVING CHANGE = 0 S.F.

HEIGHTS: EXISTING BUILDING 3 STORIES TALL  
 MAXIMUM ALLOWED HEIGHT = 35 FT.  
 PROPOSED HEIGHT CHANGE = NONE

SETBACKS: FRONT = 25 FT. (AVERAGE ADJACENT RULE N/A BEFORE 1957)  
 REAR = 25 FT. (PRIMARY AND ATTACHED)  
 5 FT. (ACCESSORY AND DETACHED STRUCTURES)  
 SIDES = 14 FT. (2 STORIES) 1 FT. ALLOWED DECREASE FOR 1 FT. INCREASE ON OPPOSITE SIDE. 8 FT. WIDE MINIMUM.

NOTE: THIS SITE PLAN IS BASED ONLY ON PORTLAND, MAINE'S TAX ASSESSOR MAPS AND PORTLAND, MAINE'S G.I.S. MAP DATA AND NOT BASED ON ANY LEGAL SURVEY AND LOCATIONS ARE ONLY OXIMATE. THIS DRAWING IS FOR DISCUSSIONARY PURPOSES ONLY NOT A LEGAL DRAWING FOR DETERMINING LEGAL PROPERTY LOCATIONS.

**Sheet Notes**

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- TREES NOT SHOWN FOR CLARITY, PER CITY CEO

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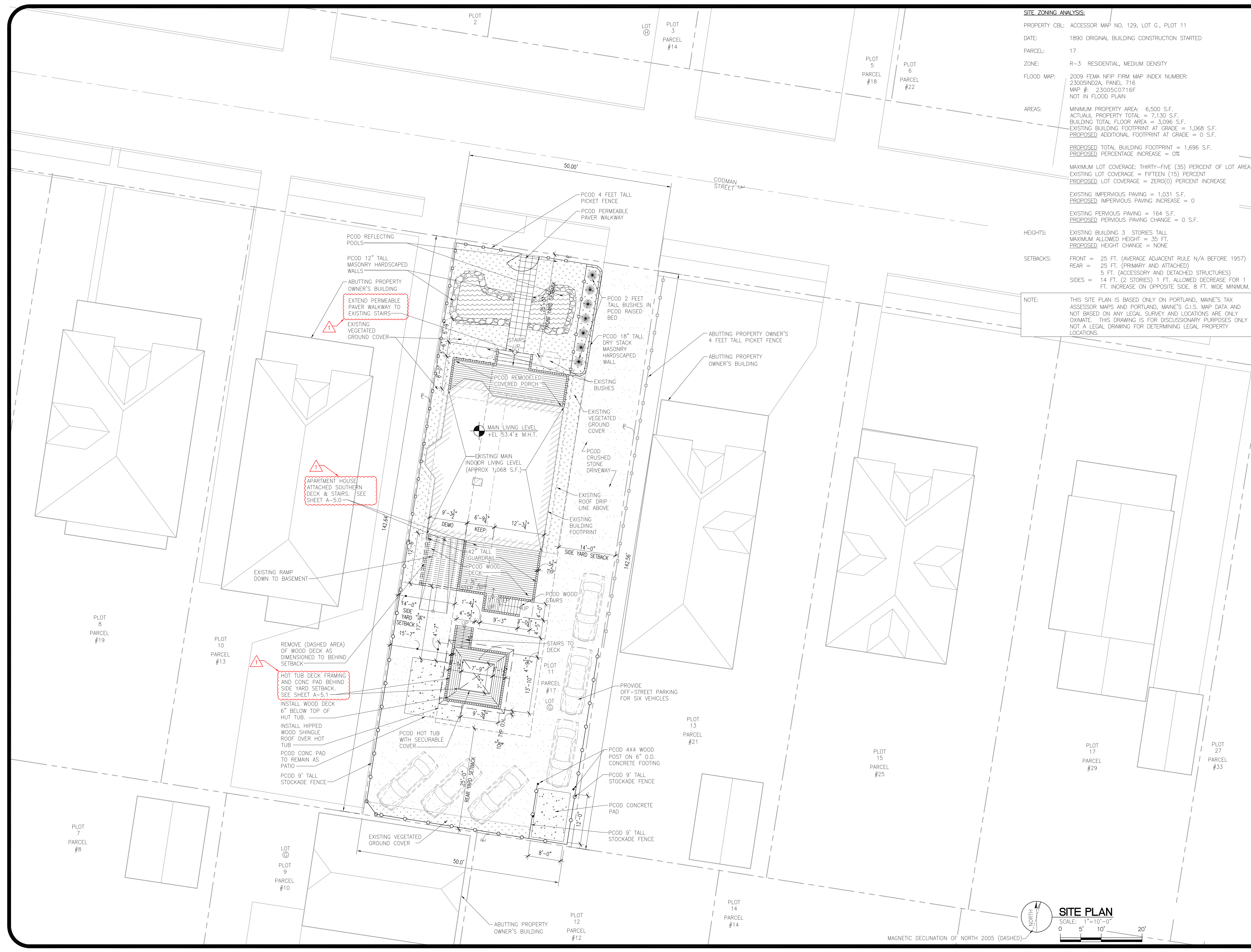
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**Drawn By:** MA & SPR  
**Reviewed By:**  
 SITE PLAN  
**A-0.1**



**SITE PLAN**  
 SCALE: 1" = 10'-0"  
 0 5' 10' 20'  
 MAGNETIC DECLINATION OF NORTH 2005 (DASHED)

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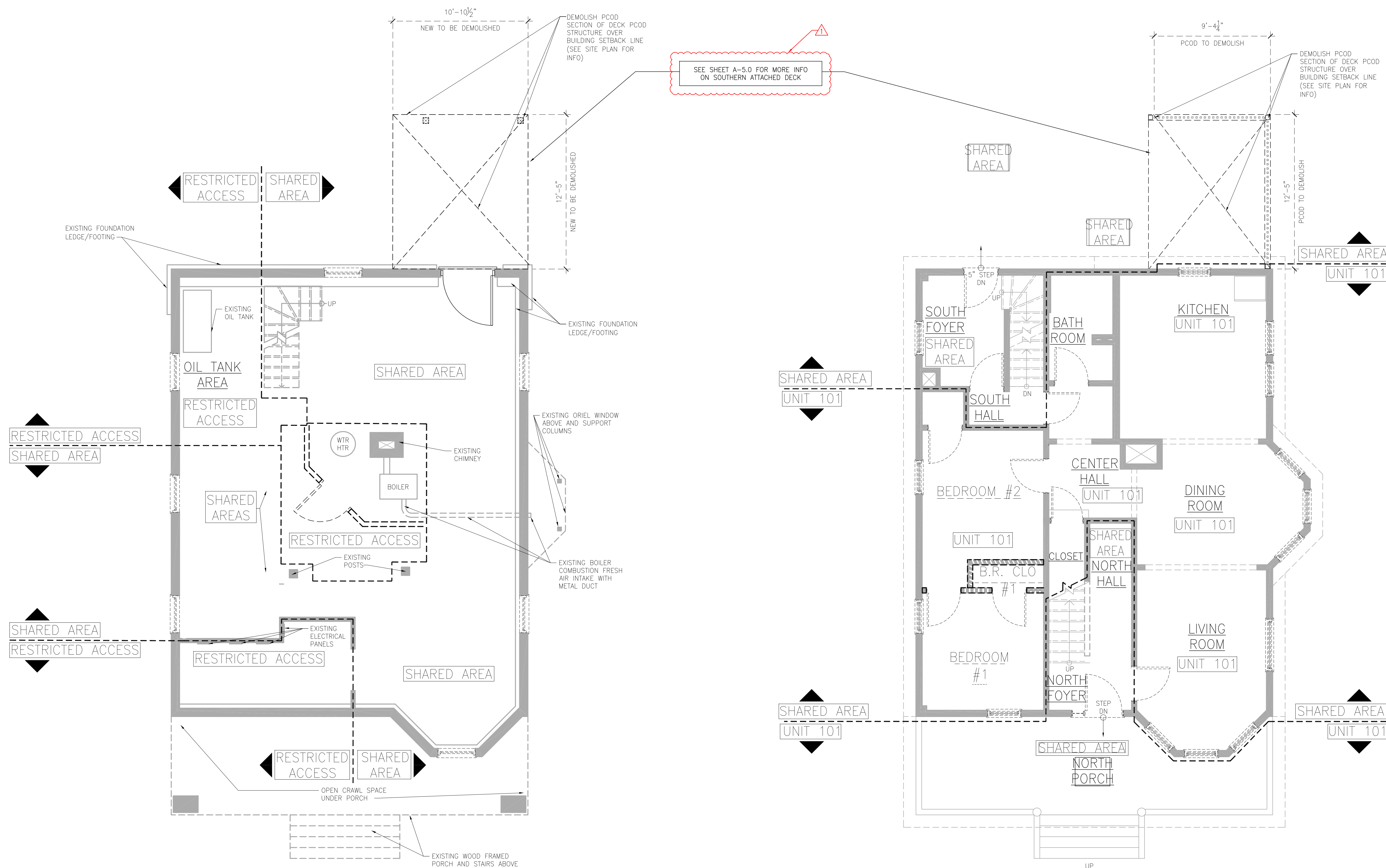
Scale: AS NOTED 

Drawn By: MA & SPR

Reviewed By:

BASEMENT & FIRST FLOOR  
 DEMOLITION PLANS

**D-1.0**



**BASEMENT FLOOR DEMOLITION PLAN**  
 SCALE: 1/4" = 1'-0"  


**FIRST FLOOR DEMOLITION PLAN**  
 SCALE: 1/4" = 1'-0"  


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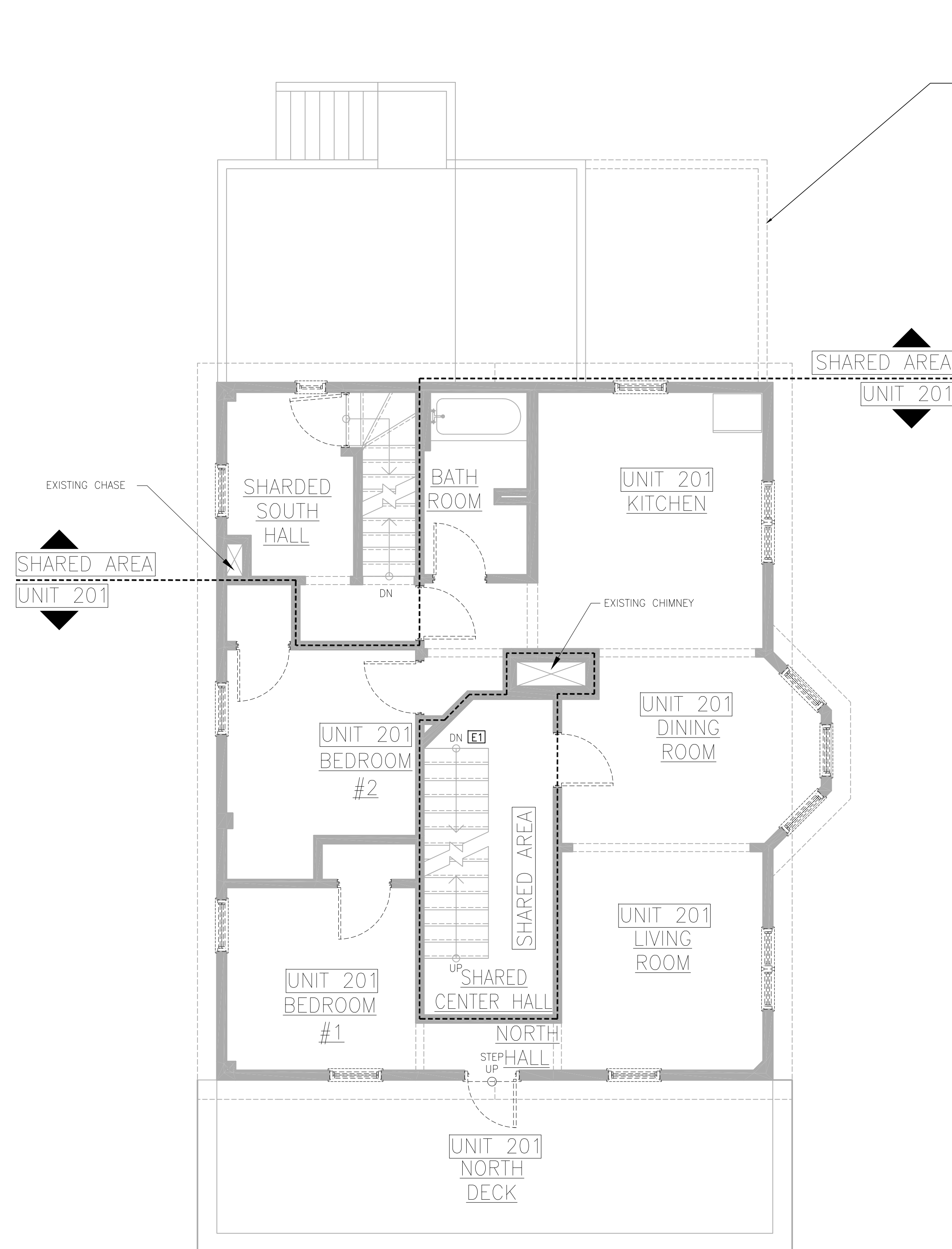
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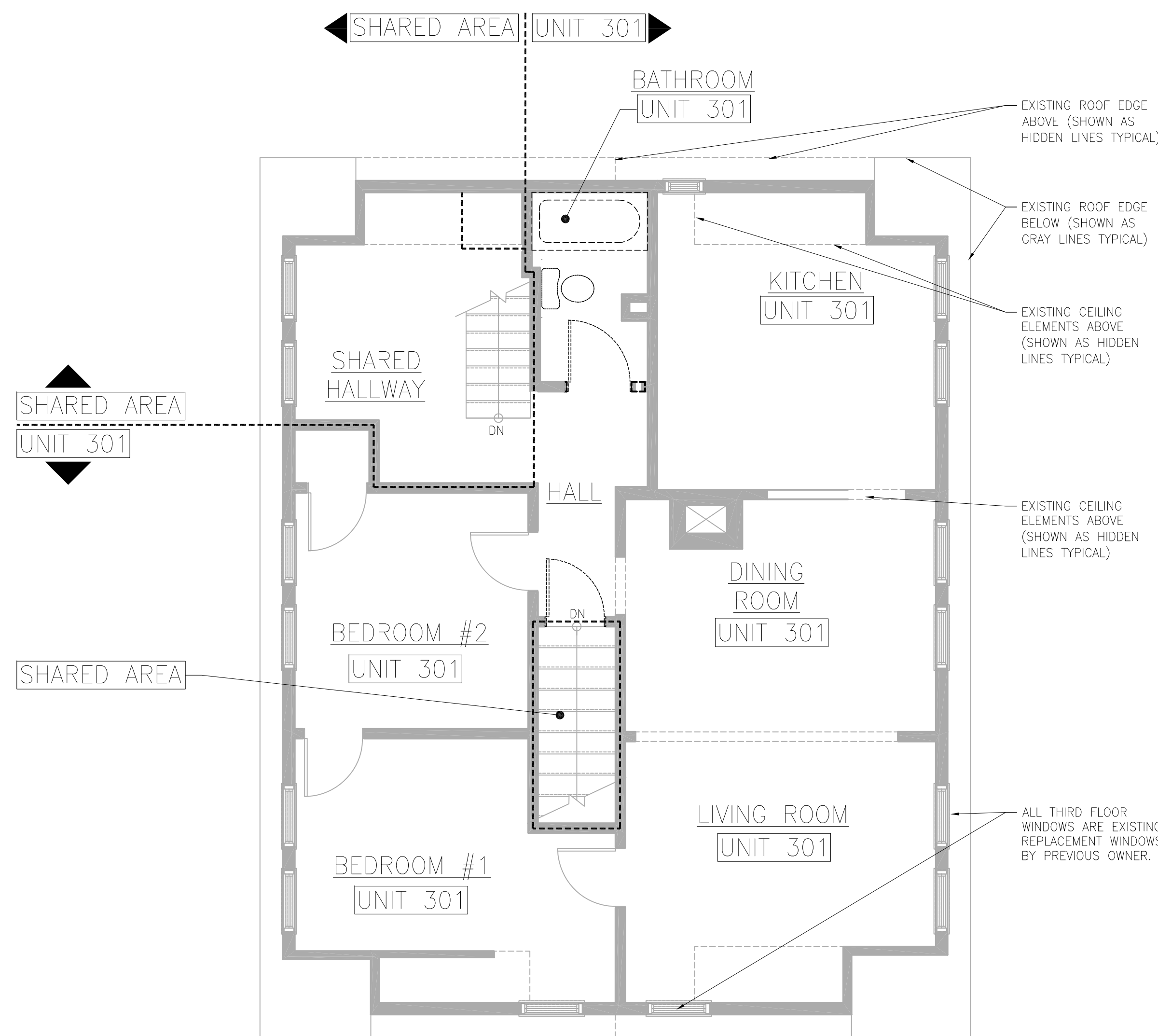
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SECOND & THIRD FLOOR  
DEMOLITION PLANS

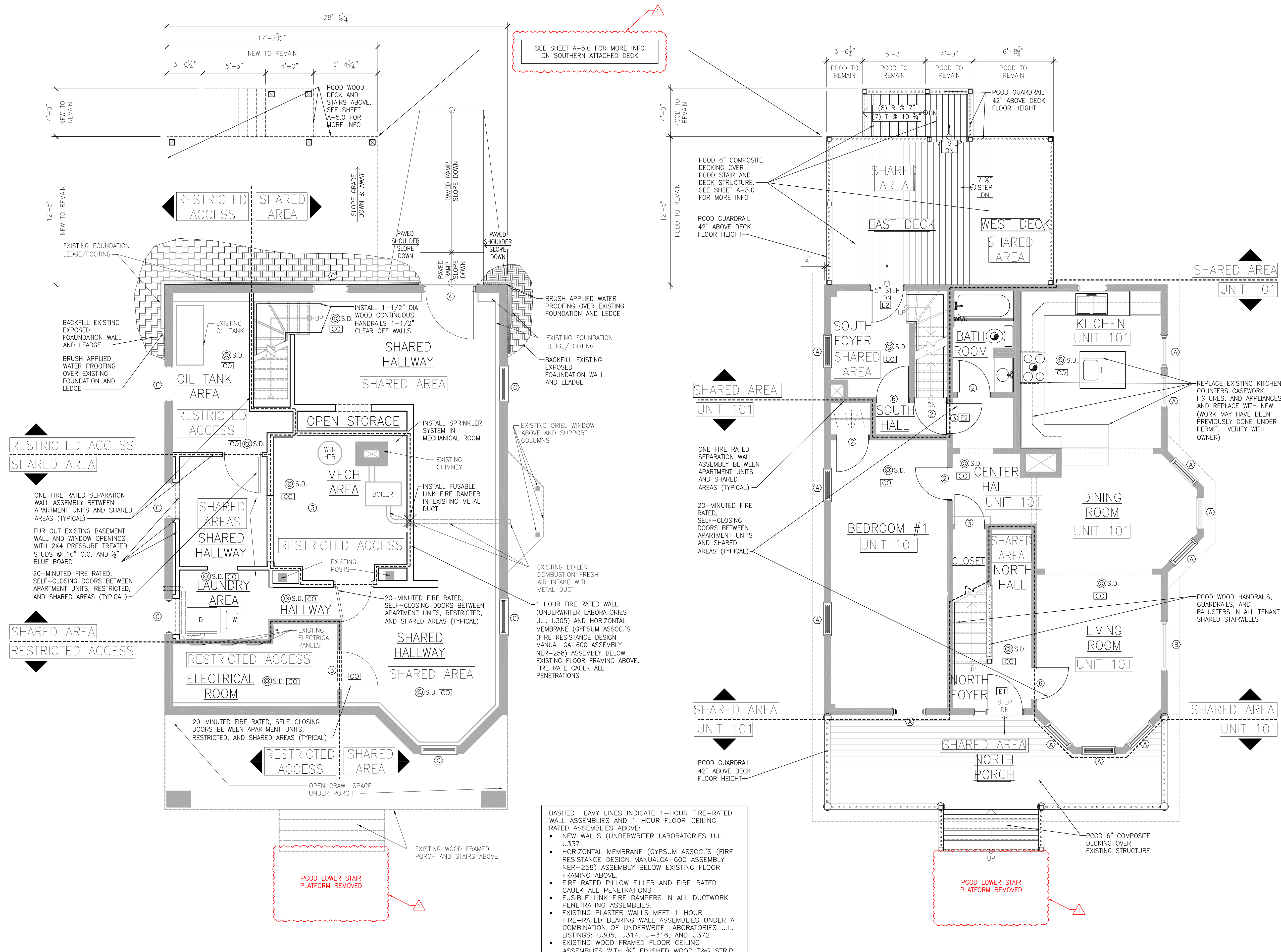
**D-1.1**



**SECOND FLOOR DEMOLITION PLAN**  
SCALE: 3/4" = 1'-0"



**THIRD FLOOR DEMOLITION PLAN**  
SCALE: 3/4" = 1'-0"



SEE SHEET A-5.0 FOR MORE INFO ON SOUTHERN ATTACHED DECK

PCOD 6" COMPOSITE DECKING OVER PCOD STAIR AND DECK STRUCTURE. SEE SHEET A-5.0 FOR MORE INFO

PCOD GUARDRAIL 42" ABOVE DECK FLOOR HEIGHT

REPLACE EXISTING KITCHEN COUNTERS CASEWORK, FIXTURES, AND APPLIANCES AND REPLACE WITH NEW (WORK MAY HAVE BEEN PREVIOUSLY DONE UNDER PERMIT. VERIFY WITH OWNER)

- DASHED HEAVY LINES INDICATE 1-HOUR FIRE-RATED WALL ASSEMBLIES AND 1-HOUR FLOOR-CEILING RATED ASSEMBLIES ABOVE:
- NEW WALLS (UNDERWRITER LABORATORIES U.L. U337)
  - HORIZONTAL MEMBRANE (GYPSUM ASSOC.'S (FIRE RESISTANCE DESIGN MANUAL GA-600 ASSEMBLY NER-25B) ASSEMBLY BELOW EXISTING FLOOR FRAMING ABOVE.
  - FIRE RATED PILLOW FILLER AND FIRE-RATED CAULK ALL PENETRATIONS
  - FUSIBLE LINK FIRE DAMPERS IN ALL DUCTWORK PENETRATING ASSEMBLIES.
  - EXISTING PLASTER WALLS MEET 1-HOUR FIRE-RATED BEARING WALL ASSEMBLIES UNDER A COMBINATION OF UNDERWRITER LABORATORIES U.L. LISTINGS: U305, U314, U-316, AND U372.
  - EXISTING WOOD FRAMED FLOOR CEILING ASSEMBLIES WITH 3/4" FINISHED WOOD T&G STRIP FLOORING OVER 3/4" WOOD T&G SUB FLOORING OVER 2"x10" WOOD JOISTS @ 16" O.C., OVER PLASTER LATH CEILING FINISHES UNDER UNDERWRITER LABORATORIES U.L. LISTINGS: L501, L502, L507, L508, L512, L513, L514, L515, L516, L519, L522, L523, L525, L526, L532, L533, L535, L536, L537, AND L557 WITH PROPER FIRE PILLOW FILLER AND FIRE-RATED CAULK AT ALL PENETRATIONS.
  - 20-MINUTE FIRE-RATED U.L. "B" LABEL DOOR AND FRAME ASSEMBLY WITH CLOSURE AND LATCH IN FIRE-RATED WOOD BLOCKING.

**BASEMENT FLOOR PLAN**  
SCALE: 1/4"=1'-0"

**FIRST FLOOR PLAN**  
SCALE: 1/4"=1'-0"

Sheet Notes

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- SEE SITE PLAN FOR DECK, PORCH AND STAIR LOCATION DIMENSIONS

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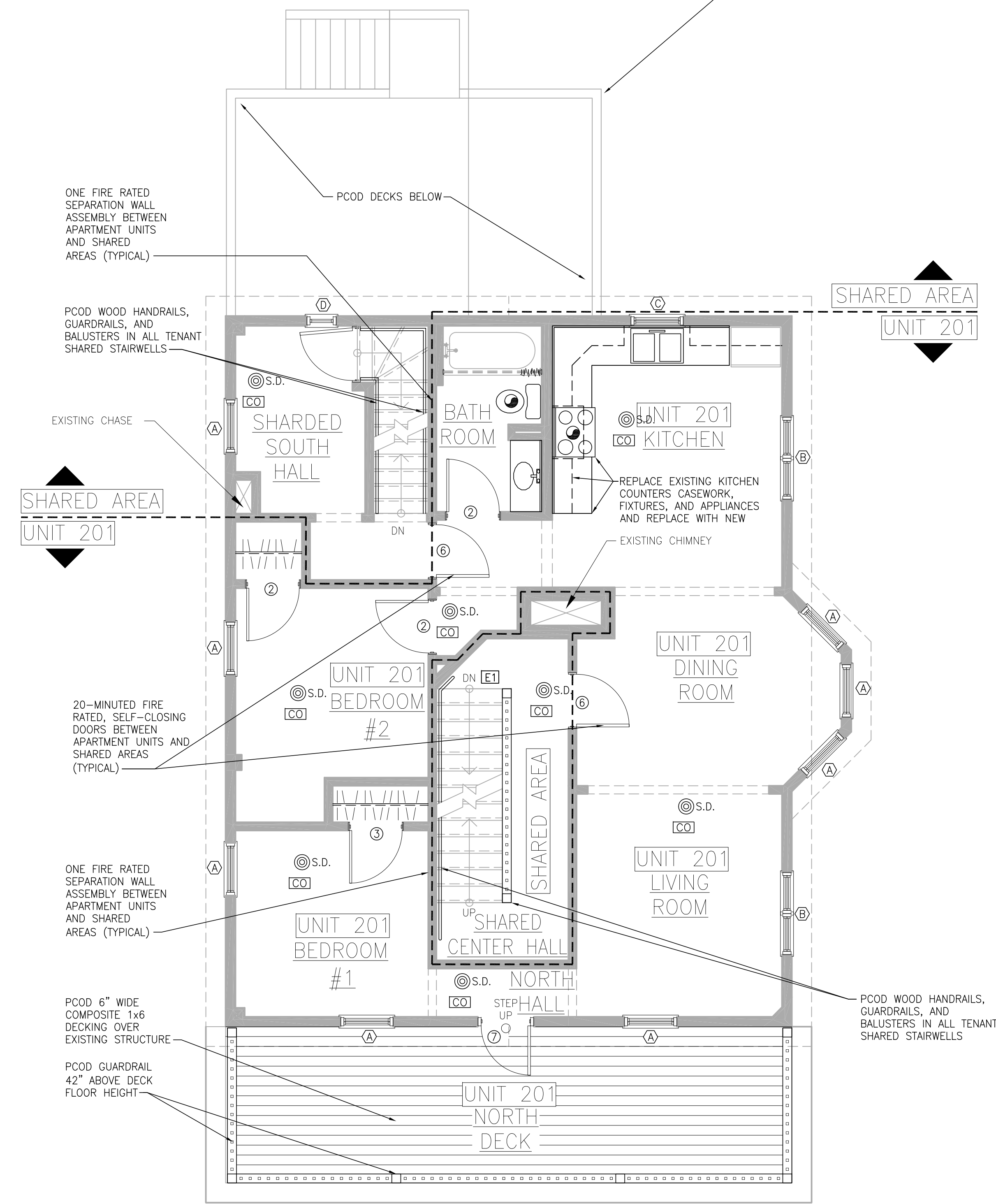
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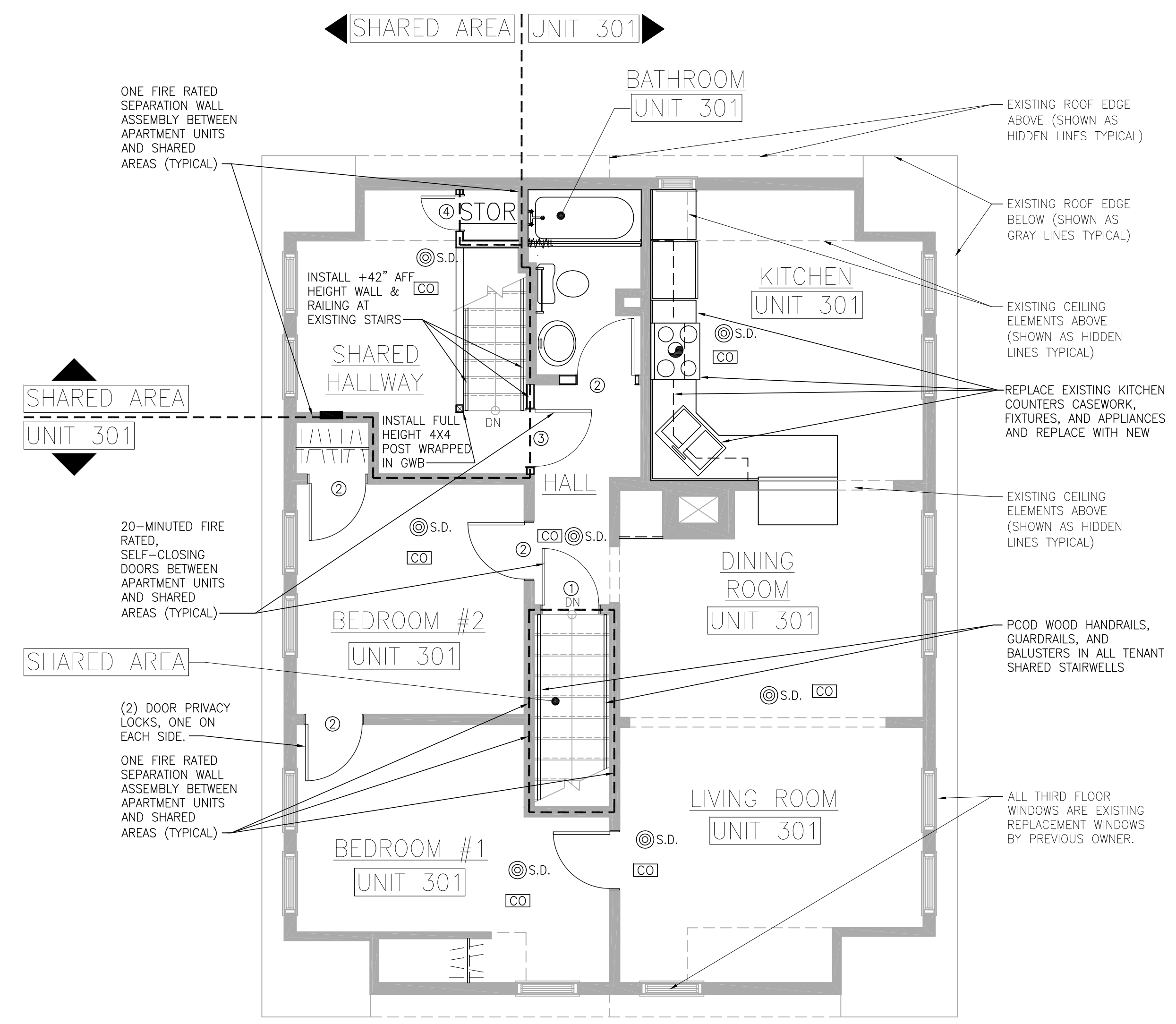
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  - HORIZONTAL MEMBRANE (GYPSUM ASSOC.'S (FIRE RESISTANCE DESIGN MANUALGA-600 ASSEMBLY NER-258) ASSEMBLY BELOW EXISTING FLOOR FRAMING ABOVE.
  - FIRE RATED PILLOW FILLER AND FIRE-RATED CAULK ALL PENETRATIONS
  - FUSIBLE LINK FIRE DAMPERS IN ALL DUCTWORK PENETRATING ASSEMBLIES.
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  - 20-MINUTE FIRE-RATED U.L. "B" LABEL DOOR AND FRAME ASSEMBLY WITH CLOSURE AND LATCH IN FIRE-RATED WOOD BLOCKING.

SEE SHEET A-5.0 FOR MORE INFO ON SOUTHERN ATTACHED DECK



**SECOND FLOOR PLAN**  
SCALE: 1/4"=1'-0"  
0 2' 4' 8'



**THIRD FLOOR PLAN**  
SCALE: 1/4"=1'-0"  
0 2' 4' 8'

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**Drawn By:** MA & SPR

**Reviewed By:**

SECOND & THIRD FLOOR PLANS

**A-1.1**







