

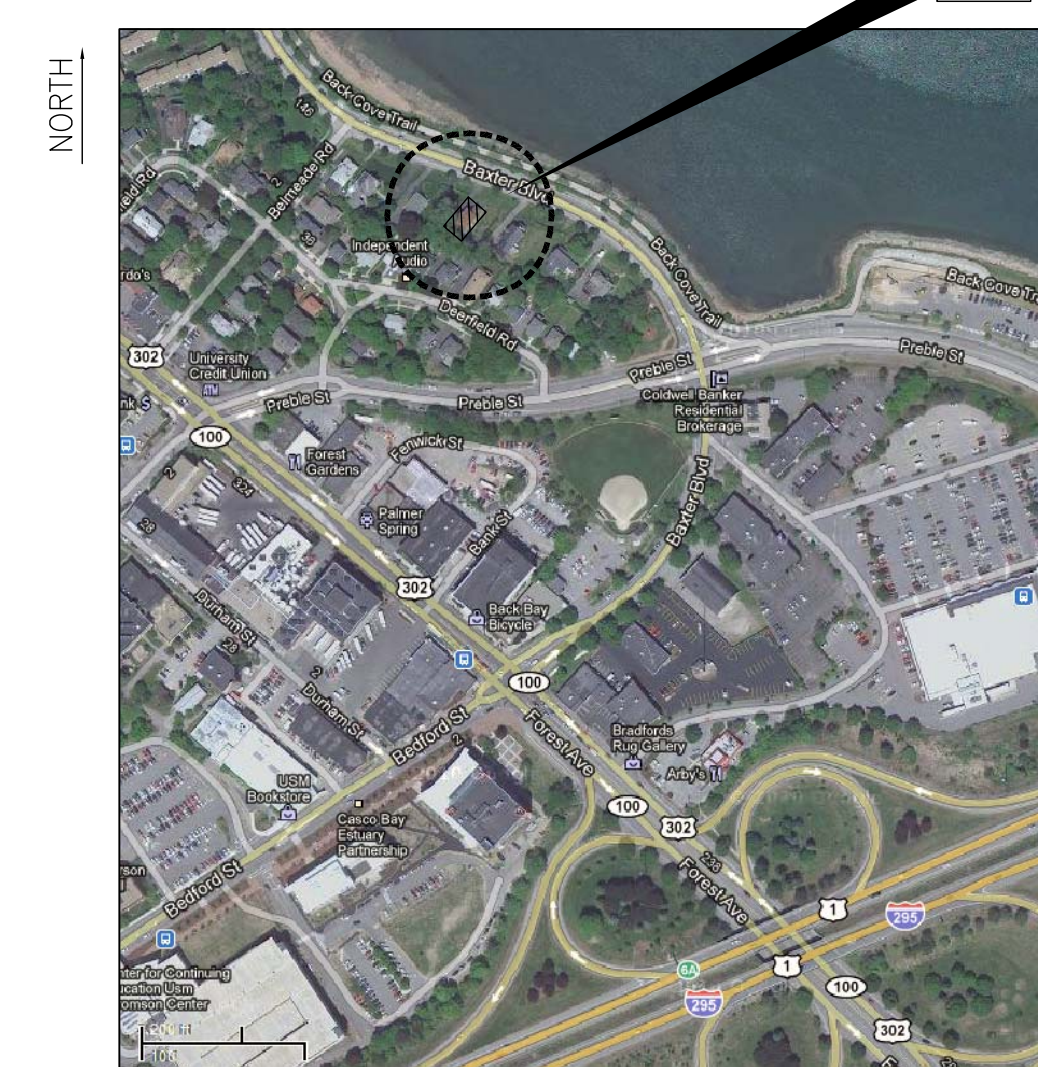
A REMODEL OF EXISTING: HOWARD YEE RESIDENCE

120 BAXTER BOULEVARD
PORTLAND, MAINE 04101



PHOTOGRAPH OF EXISTING SOUTH FACES

VICINITY MAP:



LEGEND:

- CARBON MONOXIDE DETECTOR CEILING / WALL LOCATION (SEE FLOOR PLANS)
- SMOKE DETECTOR CEILING LOCATION CEILING / WALL LOCATION (SEE FLOOR PLANS)
- EXHAUST FAN VENTED TO OUTSIDE
- ILLUMINATED EMERGENCY EXIT SIGN WITH WAYFINDING LIGHTS
- INTERIOR WALL CONSTRUCTION 2X4 WOOD STUD @ 16" O.C. WITH 1/2" GWB EA SIDE. PATCH AND PAINT TO MATCH ADJACENT EXISTING CONDITION TO REMAIN
- EXTERIOR WALL CONSTRUCTION 2X6 WOOD STUD FRAMING @ 16" O.C. WITH 1/2" INT GWB & 5/8" EXT WOOD SHEATHING, MOISTURE BARRIER & SIDING TO MATCH EXISTING
- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE DEMOLISHED
- MEANS OF EGRESS #1
- MEANS OF EGRESS #2
- ELEVATION TAG
- SECTION TAG (MIRRORED TAG AT END OF SECTION)
- SECTION DETAIL TAG
- VERTICAL ELEVATION HEIGHT MARKER

APPLICABLE BUILDING CODES:

1. M.U.B.E.C. (MAINE UNIFORM BUILDING [AND] ENERGY CODE)
 2. MAINE PLUMBING CODE
 3. N.E.C. NATIONAL ELECTRICAL CODE
 4. N.F.P.A. 101 LIFE SAFETY CODE (ALL CURRENT VERSIONS UNO)
- OCCUPANCY CLASSIFICATION: RESIDENTIAL GROUP R-3
ONE-FAMILY DWELLING
- CONSTRUCTION TYPE: V-B, NON-SPRINKLED
- ALLOWABLE HEIGHT: THREE (3) STORIES ABOVE GRADE PLANE
FORTY (40) FEET ABOVE GRADE PLANE
- ALLOWABLE AREA PER STORY ABOVE GRADE: UNLIMITED
- SEE SHEET AS-1 FOR PORTLAND, ME ZONING CODE ANALYSIS

ABBREVIATIONS:

- AFF ABOVE FINISHED FLOOR
- CLG CEILING
- C CENTERLINE
- CONC CONCRETE
- DIA. DIAMETER
- DN DOWN
- EQ EQUAL
- EXT EXTERIOR
- G.C. GENERAL CONTRACTOR
- GWB GYPSUM WALLBOARD
- HTR HEATER
- INT INTERIOR
- ITI INSIDE TO INSIDE (DIMENSION)
- KD KILN DRIED (WOOD)
- MAX MAXIMUM
- MDO MEDIUM DENSITY OVERLAY (PANEL)
- MHT (APPARENT) MEAN HIGH TIDE
- NFRC NATIONAL FENESTRATION RATING COUNCIL
- OD OUT DIAMETER
- O.T.O. OUT TO OUT (DIMENSION)
- PCOD POST CURRENT OWNER DEVELOPMENT
- P PROPERTY LINE
- PT PRESSURE TREATED (WOOD)
- REF REFRIGERATOR
- ROW RIGHT OF WAY
- T.O. TOP OF
- UNO UNLESS NOTED OTHERWISE
- W/ WITH
- WD WOOD
- WWF WELDED WIRE FABRIC
- WTR WATER

SHEET INDEX:

- G-1 COVER SHEET
- AS-1 ARCHITECTURAL SITE PLAN
- D-0 LOWER LEVEL DEMOLITION PLAN
- A-0 LOWER LEVEL EXISTING FLOOR PLAN
- A-1 MAIN GROUND EXISTING FLOOR PLAN
- A-2 UPPER EXISTING FLOOR PLAN
- A-3 ATTIC AREA FLOOR PLAN AND SECTION

DETAILED GENERAL NOTES:

1. ALL CONDITIONS ARE DOCUMENTED AS EXISTING ON DEC 25, 2010 BY PROJECT ARCHITECT OF THAT SAME DATE. HIRE AZELER CITY OF PORTLAND'S PLANNING & DEVELOPMENT DEPARTMENT INSPECTIONS DIVISION FIELD INVESTIGATION AND AFTER ACTUAL CONSTRUCTION. PRIOR TO THAT DATE CONDITIONS ARE UNKNOWN BY ARCHITECT WHO ASKED BOTH OWNER AND PORTLAND CEO. NEITHER PARTY GAVE ADDITIONAL INFORMATION TO ARCHITECT TO DOCUMENT IN THIS SET OF DRAWINGS ARE TO THE BEST OF THE ARCHITECT'S LIMITED PAST PROJECT KNOWLEDGE.
2. DETAILED SCOPE AS REQUIRED BY CITY OF PORTLAND, MAINE'S PLANNING AND URBAN DEVELOPMENT DEPARTMENT ZONING SPECIALIST MS. ANN MACHADO IN HER LETTER, DATED AUGUST 5, 2011 ADDRESSED TO THE PROJECT OWNER AND CLIENT HOWARD (A.K.A. CHENGLU) YEE, RESIDING AT 120 BAXTER BOULEVARD, PORTLAND, MAINE 04101. THIS IS A REMODEL OF AN EXISTING PRIVATE SINGLE-FAMILY RESIDENCE.
3. ALL NEW FIXTURES, FURNISHINGS, CASEWORK, LAMINATE WOOD AND CERAMIC TILE FLOOR FINISHES, CASEWORK. SOME MINOR WALL REMOVAL AND MINOR WALL INSTALLATION (SEE PLANS), AND INTERIOR PAINTING. NO CHANGE OF OCCUPANCY USE AS A SINGLE-FAMILY RESIDENCE
4. REMOVE ALL EXISTING AND REPLACE AS REQUIRED (UNLESS OTHERWISE NOTED):
 - 4.1. FLOOR CABINETS ARE STOCK WOOD PREFABRICATED UNITS MANUFACTURED BY AMERICAN WOODMARK CORPORATION, WITH KITCHEN CABINET MANUFACTURER'S ASSOCIATION (KCA) CERTIFICATION, MEETING ANSI/KCMA A161.1-2000 STANDARDS THAT ARE ALSO ENVIRONMENTAL STEWARDSHIP PROGRAM ESP 01-06 KCMA CERTIFIED. LAYOUT DESIGNED ON SEPTEMBER 24, 2009, SUPPLIED AND INSTALLED BY HOME DEPOT.
 - 4.2. COUNTER TOPS WITH DARK CUSTOM CUT SOLID MARBLE SLABS
 - 4.3. BATHROOM PLUMBING FIXTURES WITH KOHLER MANUFACTURED UNITS
 - 4.4. BATHROOM CEILING EXHAUST FAN/LIGHT UNIT WITH U.L. LISTINGS LABELS CONSPICUOUSLY DISPLAYED, MANUFACTURED BY NUTONE
 - 4.5. BATHROOM FLOOR FINISH IS CERAMIC TILE.
 - 4.6. PATCH AND PAINT ALL WALLS AND CEILINGS WITH ONE COAT PRIMER AND TWO COATS OF LATEX PAINT
 - 4.7. REMOVE ALL NON-FUNCTIONAL, BROKEN, NON-CODE COMPLIANT AND UNSAFE ELECTRICAL ITEMS AND REPLACE AS NEEDED (INCLUDING BUT NOT EXCLUSIVELY):
 - 4.8. LIGHT FIXTURES MEETING U.L. LISTING CERTIFICATION
 - 4.9. ELECTRICAL PANELS AND SUB-PANELS MANUFACTURED BY SIEMEN'S OR SQUARE D AND HAVE A U.L. LISTED CERTIFICATION LABEL CONSPICUOUSLY DISPLAYED.
 - 4.10. WALL OUTLETS MEETING U.L. LISTING CERTIFICATION
 - 4.11. WALL SWITCHES MEETING U.L. LISTING CERTIFICATION
 - 4.12. REMOVE ALL EXISTING SMOKE DETECTORS AND CARBON MONOXIDE DETECTORS.
 - 4.13. INSTALL NFPA COMPLIANT, U.L. LISTED PHOTO-EYE SMOKE DETECTORS AND CARBON MONOXIDE DETECTORS, AND EMERGENCY EXIT LIGHTING WITH DUAL POWERED HARDWIRED AC / BATTERY BACKUP UNITS. ALL WIRED WITH INTERCONNECTING ALARMS TO EACH LEVEL AS INDICATED ON DRAWINGS PER CITY OF PORTLAND MAINE'S FIRE SAFETY ORDINANCE.
 - 4.14. REMOVE ALL INTERIOR WALL BOARD WITH, OR SUSPICION OF, MOLD, MILDEW, OR MOISTURE DAMAGE. REPLACE WITH BLUEBOARD IN TILED AREAS, CEMENTITIOUS BOARD IN WET AREAS, AND MOISTURE RESISTANT GYPSUM WALL BOARD IN ALL REMAINING AREAS.

A PERSONAL RESIDENTIAL USE ONLY FOR HOWARD YEE

120 BAXTER BOULEVARD, PORTLAND, MAINE 04101
HOWARD YEE - OWNER

REVISIONS:

- 1 01 OCTOBER 2011
- 2 18 JANUARY 2012

DATE:

15 JULY 2011

DRAWN BY:

SPR

SCALE:

AS NOTED 0 1/4" 1"

FULL SIZE

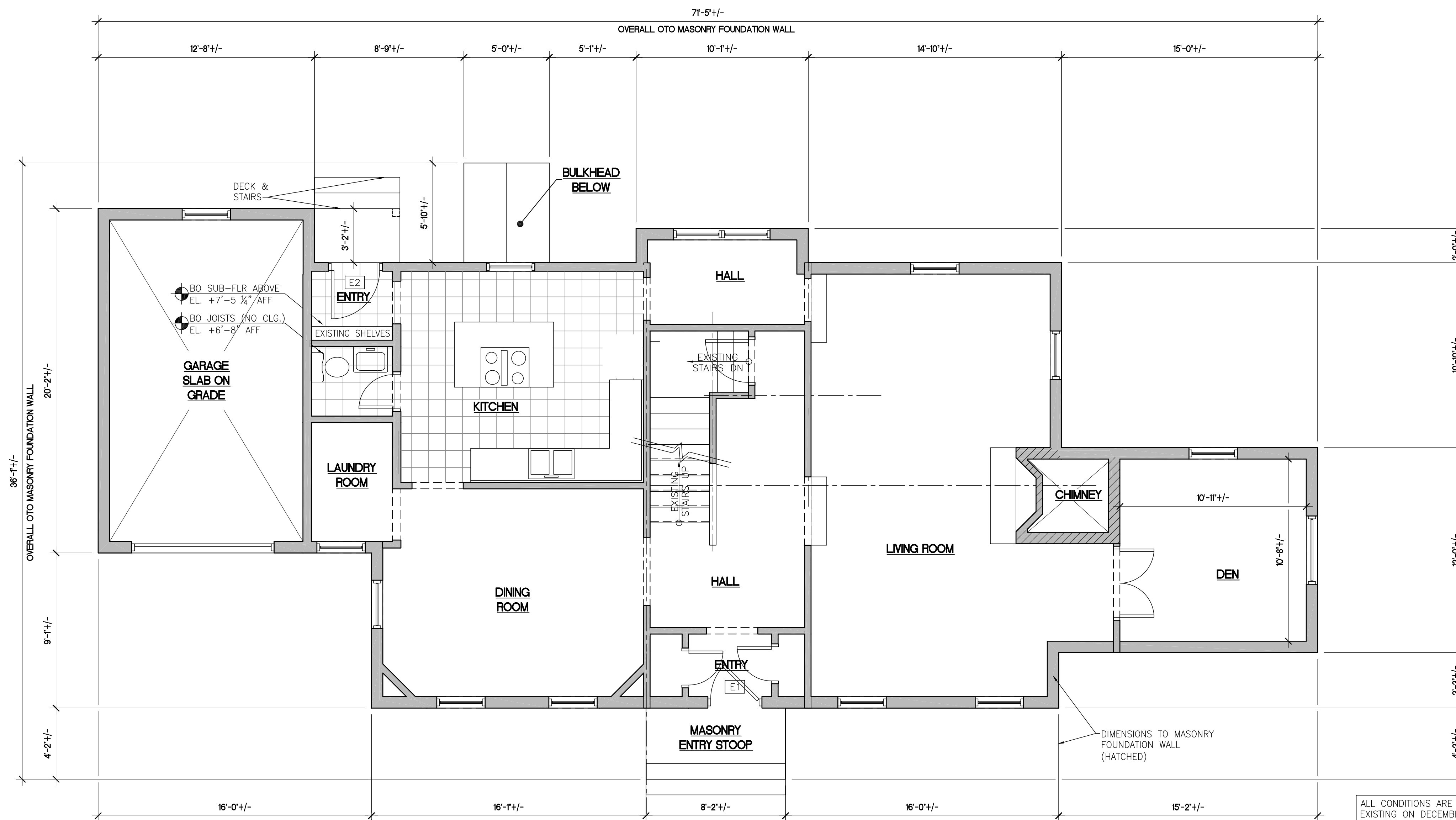
DRAWING NAME:

PROJECT COVER SHEET

SHEET:

G-1

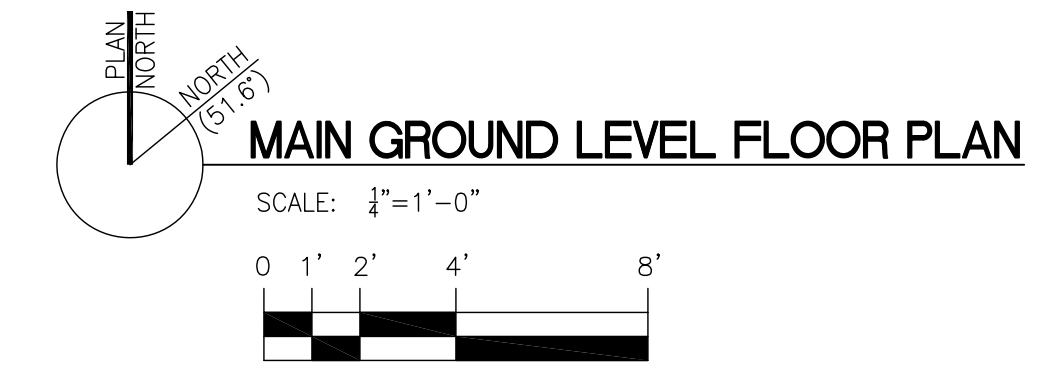
SHEET: 1 OF 7



ALL CONDITIONS ARE DOCUMENTED AS EXISTING ON DECEMBER 22, 2010. ALL DIMENSIONS TO BE FIELD VERIFIED

- ABBREVIATIONS:**
- AFF ABOVE FINISHED FLOOR
 - BO BOTTOM OF
 - CLG. CEILING
 - C CENTERLINE
 - CONC. CONCRETE
 - DEMO DEMOLISH
 - DN. DOWN
 - GWB GYPSUM WALL BOARD
 - HTR. HEATER
 - MHT (APPARENT) MEAN HIGH TIDE
 - OD OUTSIDE DIAMETER
 - PL PROPERTY LINE
 - TO TOP OF
 - REF. REFRIGERATOR
 - ROW RIGHT OF WAY
 - WTR. WATER

- LEGEND:**
- EXISTING FRAMED WALL TO BE DEMOLISHED
 - EXISTING FRAMED WALL TO REMAIN
 - EXISTING MASONRY WALL TO REMAIN



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120 BAXTER BOULEVARD, PORTLAND, MAINE 04101
HOWARD YEE - OWNER

- REVISIONS:**
- 1 01 OCTOBER 2011
 - 2 18 JANUARY 2012

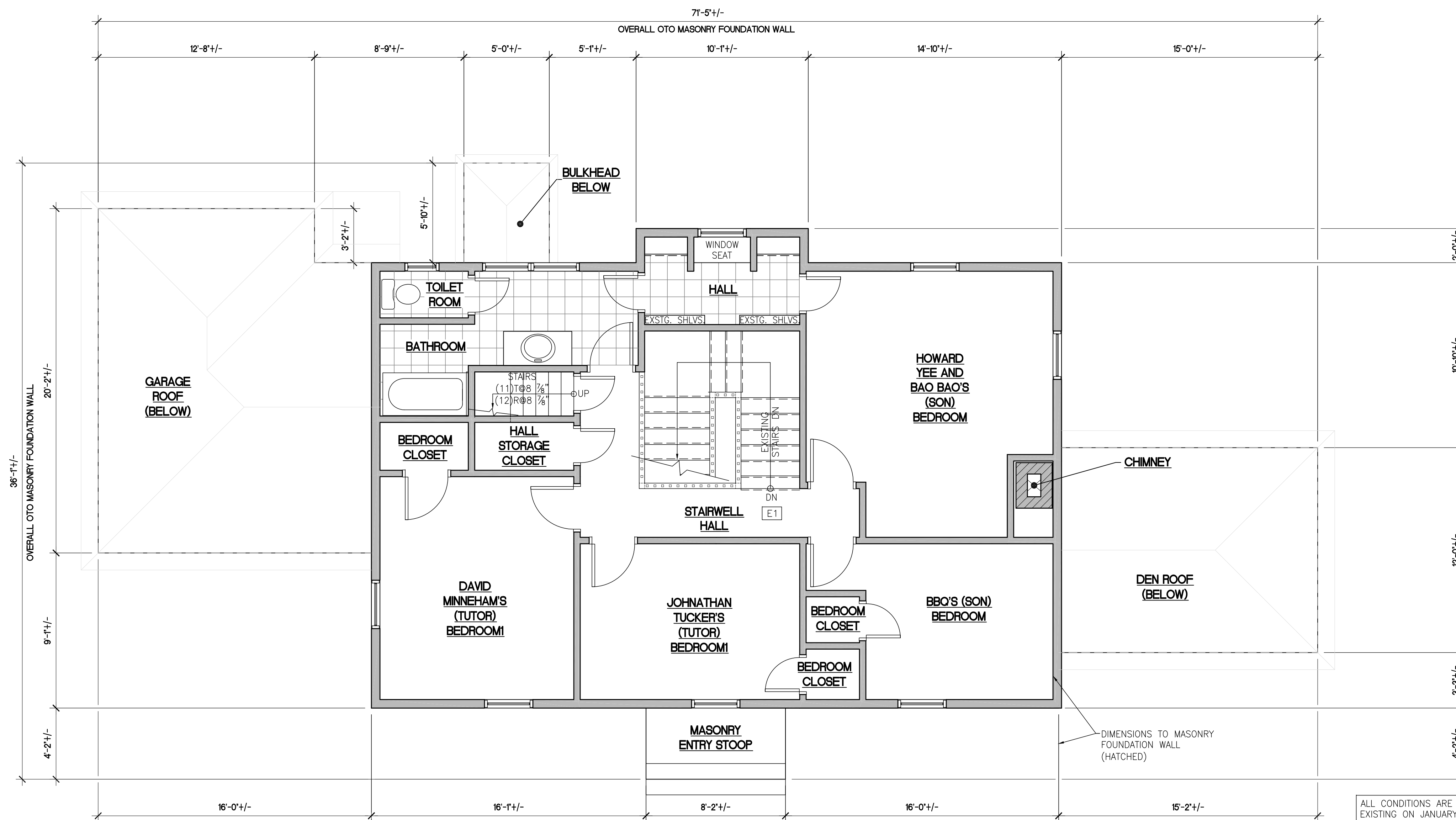
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15 JULY 2011
DRAWN BY:
SPR
SCALE:
1/4"=1'-0" FULL SIZE

DRAWING NAME:
MAIN GROUND LEVEL FLOOR PLAN

SHEET:

A-1

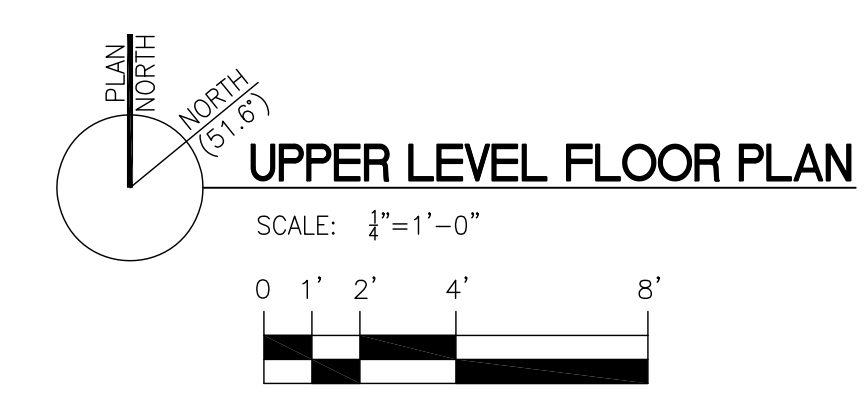
SHEET: 5 OF 7



ALL CONDITIONS ARE DOCUMENTED AS EXISTING ON JANUARY 18, 2012. ALL DIMENSIONS TO BE FIELD VERIFIED

- ABBREVIATIONS:**
- AFF ABOVE FINISHED FLOOR
 - BO BOTTOM OF
 - CLG. CEILING
 - C. CENTERLINE
 - CONC. CONCRETE
 - DEMO DEMOLISH
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A PERSONAL RESIDENTIAL USE ONLY FOR HOWARD YEE
 120 BAXTER BOULEVARD, PORTLAND, MAINE 04101
 HOWARD YEE - OWNER

REVISIONS:
 2 18 JANUARY 2012

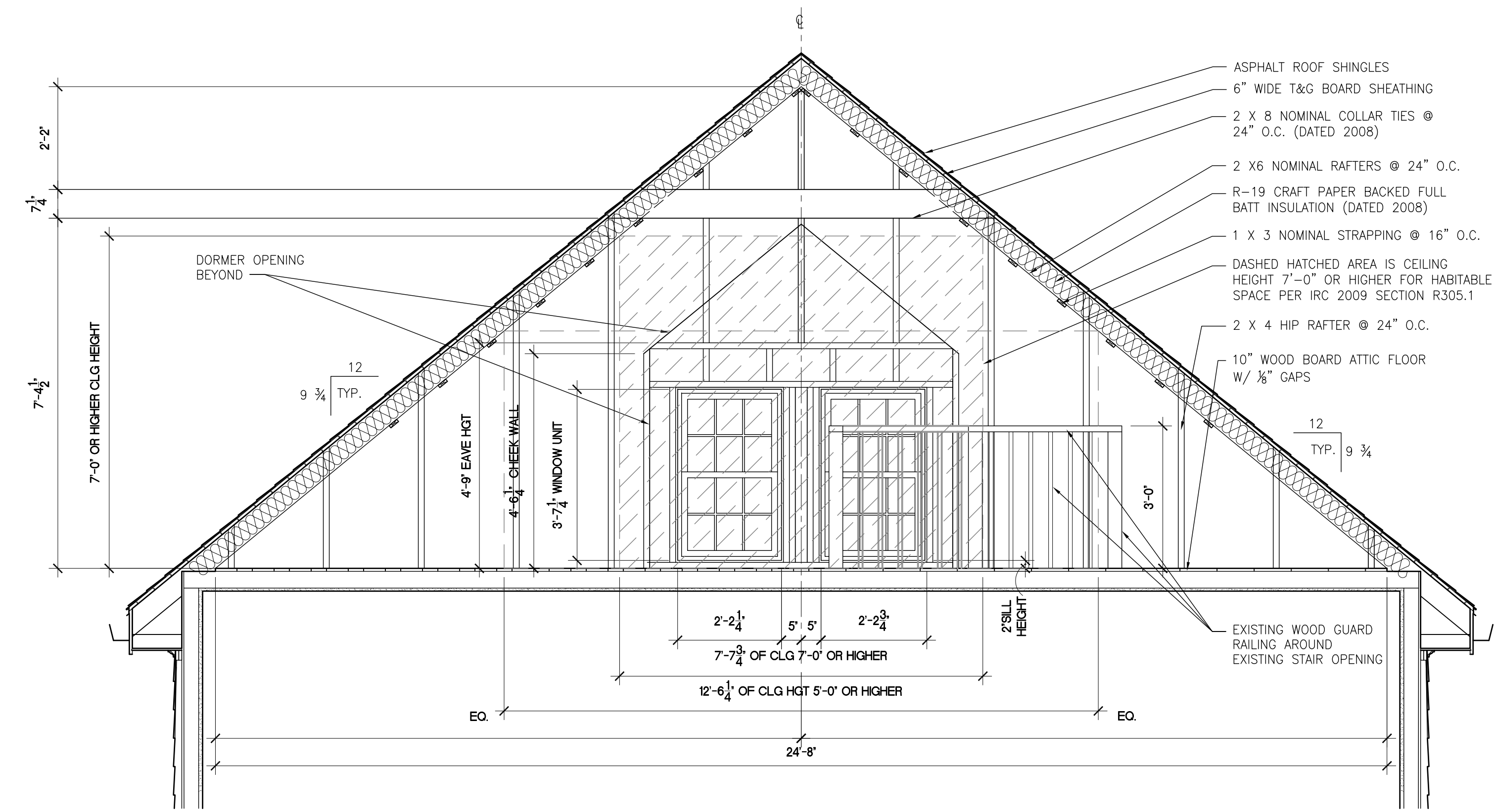
DATE:
 15 JULY 2011
 DRAWN BY:
 SPR
 SCALE:
 1/4"=1'-0" FULL SIZE

DRAWING NAME:
 UPPER LEVEL FLOOR PLAN

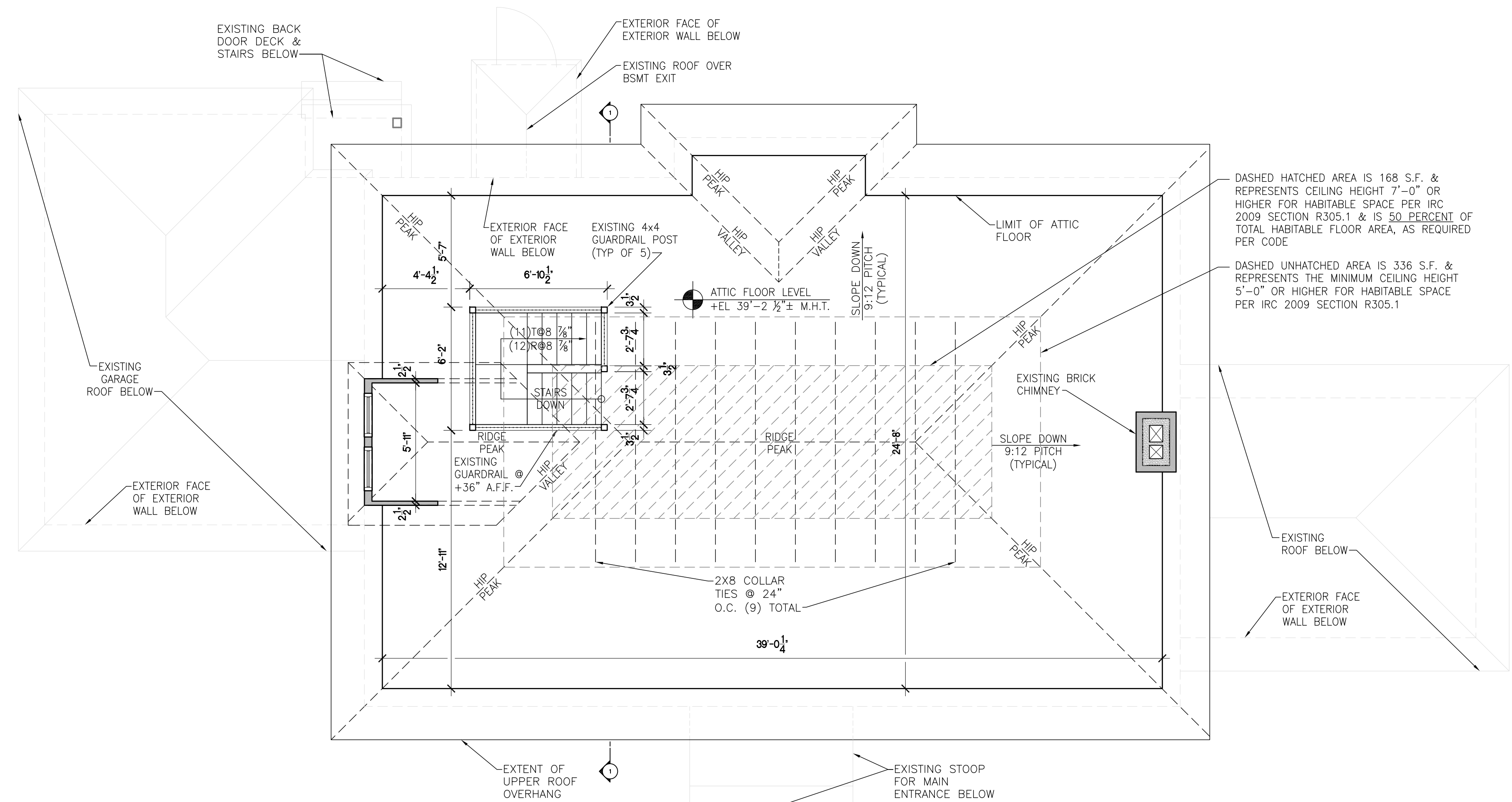
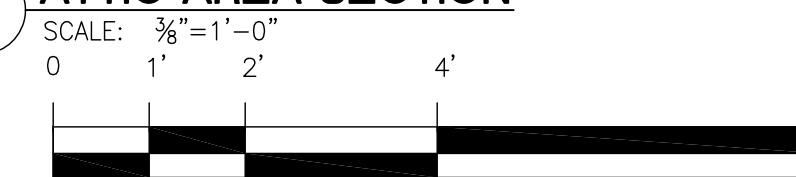
SHEET:

A-2

SHEET: 6 OF 7



1 ATTIC AREA SECTION



ATTIC FLOOR PLAN

SCALE: $\frac{1}{4}'' = 1'-0''$

A PERSONAL RESIDENTIAL USE ONLY FOR HOWARD YEE

120 BAXTER BOULEVARD, PORTLAND, MAINE 04101
HOWARD YEE - OWNER

REVISIONS:

- 1 01 OCTOBER 2011
- 2 18 JANUARY 2012

DATE: 15 JULY 2011
 DRAWN BY: SPR
 SCALE: AS NOTED FULL SIZE
 DRAWING NAME: ATTIC FLOOR PLAN AND SECTION

SHEET:

A-3

SHEET: 5 OF 7