Form#P04

### DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

| Please Read Application And Please Read RUIL DING_INSPECTION   | ID   |
|--|--|
| Notes, If Any, Attached  | PPERMIT ISSUED   |
| This is to certify thatFLETCHER IRENE E & WDALL M FLETCHER IR JTardy has permission toPizza Restaurant / Tenant fit/ | OCT 6 2005   |
| of the provisions of the Statutes of Laine and or the Oracle nces of   | A0 10001<br>The popul Annual Comply with all the City of Portland regulating and of the application on file in |

Apply to Public Works for street line and grade if nature of work requires such information.

this department.

ification rinsplan on muster on and with an entire permitting or an entire permitting or an entire permitting or an entire permitting of the entire permitteness of the entire permitting of the entire permitteness of the entire permitting of the entire permitteness of the ent

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept.

Health Dept.

Appeal Board

Other

Department Name

PENALTY FOR REMOVING THIS CARD

| City of Portland, Ma  | ine - Buil                            | ding or Use                            | Permi     | it Applicatio                   | n Per              | mit No:                          | Issue Date             | :                           | CBL:   |                      |  |  |
|---|---------------------------------------|--|-----------|---------------------------------|--------------------|----------------------------------|------------------------|-----------------------------|--|----------------------|--|--|
| 389 Congress <b>Street</b> , 04   |                                       | _                                      |           |                                 | ,                  | 05-1323                          | PERMIT                 | ISSII                       | 111  | 40100                | 01                                     |  |
| <b>Location of Construction:</b>  |                                       | Owner Name:                            |           |                                 | Owner              | r Address:                       |                        |                             | Phone:   |                      | -71)                                   |  |
| 425 FOREST AVE  |                                       | FLETCHER I                             | RENE I    | E & WENDAL                      | 48 R               | EVERE ST                         | 0.07                   | C 2001                      | - 143  | 4-                   | ) O Sk                                 |  |
| Business Name:  |                                       | Contractor Name                        |           |                                 |                    | actor Address:                   |                        | 6 200                       | Trione   |                      |  |  |
|   | HardyPond Construction                |  |           |                                 |                    | Riverside S                      | t Suite 11 F           | Portland                    | 20779  | 6066                 |  |  |
| Lessee/Buyer's Name   |                                       | Phone:                                 |           |                                 | Permi              | t Type:<br>cratio <u>ns - Co</u> | ITY OF P               | ORTL                        | AND  | Zo                   | pe: 32                                 |  |
| Past Use:   | ··· · · · · · · · · · · · · · · · · · | Proposed Use:                          |           | <u></u>                         |                    | it Fee:                          | Cost of Wor            | rk                          | CEO Distric  | t:                   |  |  |
| Vacant Space / Convenier  | nce Store                             | Pizza Restaura                         | int / Tei | nant fit-up /                   |                    | \$537.00                         | \$48.3                 |                             | 1  |                      |  |  |
|   |                                       |  |           |                                 | FIRE               | DEPT:                            | Approved               | INSPEC                      | CTION  |                      |  |  |
|   |                                       | ነ                                      |           |                                 | İ                  |                                  | Denied                 | Use Gro                     | oup: <b>///</b>  | Тур                  | e: <b>3</b> 2                          |  |
|   |                                       | ļ                                      |           |                                 | 1                  | L_                               | _] Defiled             |                             | , , ,  | / /                  |  |  |
|   |                                       |  |           |                                 |                    | V 11/2                           | u.T                    |                             | 10/0   | 6/0                  | 5                                      |  |
| <b>Proposed Project Description:</b>  |                                       | •                                      |           |                                 | 1                  | - m K200                         | 7<br>5                 |                             | The state of the s |                      | ************************************** |  |
| Pizza Restaurant / Tenant   | fit-up/                               |  |           |                                 | Signat             | •                                | y es                   | Signatu                     |  | N                    | <u> </u>                               |  |
|   |                                       |  |           |                                 | PEDE               | STRIANACT                        | IVITIES DIS'           | TRICT (F                    | P.A.D.)  |                      | \                                      |  |
|   |                                       |  |           |                                 | Action             | n: Appro                         | ved Ap                 | proved w/                   | Conditions   | Den                  | ied                                    |  |
|   |                                       |  |           |                                 | Signa              | ture:                            |                        |                             | Date:  |                      |  |  |
| Permit Taken By:  |                                       | pplied For:                            |           |                                 | Zoning Approval    |                                  |                        |                             |  |                      |  |  |
| ldobson   | 0911                                  | 212005                                 |           |                                 |                    |                                  |                        |                             |  |                      |  |  |
|   |                                       |  | Spe       | ecial Zone or Revi              | iews               | Zoni                             | ng Appeal              |                             | Historic I   | Preserva             | tion                                   |  |
|   |                                       |  |           | horeland                        |                    | Variance                         |                        | Not in District or Lands    |  |                      | Landmar                                |  |
|   |                                       |  | □ w       | Vetland                         | Miscellaneous      |                                  |                        |                             | Does Not Require Review  |                      |  |  |
|   |                                       |  | ☐ FI      | lood Zone                       |                    | Conditi                          | onal Use               |                             | Requires   | Review               |  |  |
|   |                                       |  | <br>      | ubdivision                      |                    | Interpretation                   |                        |                             | Approved   | d                    |  |  |
|   |                                       |  |           | ite Plan                        |                    | Approved                         |                        |                             | Approved w/Conditi   |                      |  |  |
|   |                                       |  |           | ne i lan                        |                    | Applov                           |                        | Approved with characters is |  |                      |  |  |
|   |                                       |  | Maj [     | Mand MN                         | 19.                | Denied                           |                        |                             | Denied   |                      |  |  |
|   |                                       |  | 101       | wys a                           | 1                  | 73                               |                        |                             |  |                      | )                                      |  |
|   |                                       |  | Date:     | V14/05                          |                    | Date:                            |                        | )2                          | ate:   | /                    |  |  |
|   |                                       |  |           | ٠ ،                             |                    |                                  |                        |                             | ./   |                      |  |  |
|   |                                       |  |           |                                 |                    |                                  |                        |                             |  |                      |  |  |
|   |                                       |  |           |                                 |                    |                                  |                        |                             |  |                      |  |  |
|   |                                       |  |           |                                 |                    |                                  |                        |                             |  |                      |  |  |
|   |                                       |  | (         | CERTIFICAT                      | ION                |                                  |                        |                             |  |                      |  |  |
| 1 hereby certify that I am th   | ne owner of                           | record of the na                       | med pro   | operty, or that t               | the prop           | oosed work i                     | s authorized           | by the                      | owner of re  | cord an              | nd that                                |  |
| I have been authorized by turisdiction. In addition, if shall have the authority to e | the owner to<br>a permit fo           | o make this appli<br>or work described | ication a | as his authorize application is | d agent<br>issued, | t and I agree I certify that     | to conform the code of | to all ap<br>ficial's a     | plicable la<br>uthorized r   | ws of the<br>epresen | nis<br>ntative                         |  |
| such permit.  | inci ali ale                          | as covered by St                       | ien hett  | ini at any 15480                | madie II           | iour to emion                    | ce the provi           | 131011 01                   | ine couc(s)  | appine               | 1010 10                                |  |
| SIGNATURE OF APPLICANT  |                                       |  |           | ADDRES                          | SS                 |                                  | DATE                   |                             | F  | PHONE                |  |  |
|   |                                       |  |           |                                 |                    |                                  |                        |                             |  |                      |  |  |
|   |                                       |  |           |                                 |                    |                                  |                        |                             |  |                      |  |  |

| City of Portland, Maine  | e - Buil            | lding or Use     | Permi        | t Applicatio      | n   P | ermit No:                | Issue Date   | :        | CBL:          |                        |
|--|---------------------|------------------|--------------|-------------------|-------|--------------------------|--------------|----------|---------------|------------------------|
| 389 Congress Street, 0410  | 1 Tel: (            | (207) 874-8703   | , Fax:       | (207) 874-871     | 6     | 05-1323                  | PERMIT       | 18811    | FD 111        | A010001                |
| Location of Construction:  |                     | Owner Name:      |              |                   | Own   | er Address:              | 1 1011111111 |          | Thomas        |                        |
| 425 FOREST AVE   |                     | FLETCHER I       | RENE I       | E & WENDAL        | 48    | REVERE ST                |              |          | - 11-43       | 2-500                  |
| Business Name:   | <del></del>         | Contractor Name  | :            |                   | Cont  | ractor Address:          | OCT          | 6 200    | Phone         |                        |
|  | 103                 | 9 Riverside S    | t Suite 11 F | ortland           | 20779 | 6066                     |              |          |               |                        |
| Lessee/Buyer's Name  |                     | Phone:           |              | T                 | Pern  | ait Type:                | TV OF D      | ADTI     | AND           | Zone:                  |
|  |                     |                  |              |                   | Alı   | teratio <u>ns - Co</u> i | mmercial     | ORTL     | AIYU          | 1132                   |
| Past Use:  |                     | Proposed Use:    |              | <u> </u>          | Perr  | mit Fee:                 | Cost of Wor  | ·k       | CEO District  | :                      |
| Vacant Space / Convenience   | Store               | Pizza Restaura   | ınt / Tei    | nant fit-up/      | ľ     | \$537.00                 | \$48,33      |          | 1             | Ì                      |
| •  |                     |                  |              |                   | FIR   |                          | Approved     |          | CTION:        |                        |
|  |                     |                  |              |                   |       |                          | Denied       | Use Gr   | oup A2        | Туре: 🍣                |
|  |                     |                  |              |                   |       |                          |              |          |               |                        |
|  |                     |                  |              |                   |       | 1./                      |              |          | 10/1          | 105                    |
| Proposed Project Description:  |                     |                  |              |                   | 1     | - Jukelle                | 4            |          |               |                        |
| Pizza Restaurant / Tenant fit-   | -up/                |                  |              |                   | Sign  | ature                    | 400          | Signatu  | ıre ( LL      | (LLX                   |
|  | -                   |                  |              |                   | PED   | ESTRIAN ACT              | IVITIES DIST | FRICT (1 | P.A.D.)       | 7                      |
|  |                     |                  |              |                   | Acti  | on Annro                 | wad : An     | round ou | /Conditions [ | Denied                 |
|  |                     |                  |              |                   | Acu   | on Appro                 | veu App      | noveu w  | Conditions [  | Dellieu                |
|  |                     |                  |              |                   | Sign  | nature:                  |              |          | Date:         |                        |
| Permit Taken By:   | Date A <sub>1</sub> | pplied For:      |              |                   |       | Zoning                   | Approva      | ıl       |               |                        |
| ldobson  | 09/12               | 2/2005           |              |                   |       |                          | , <b>FF</b>  |          |               |                        |
|  | -                   |                  | Spe          | cial Zone or Revi | ews   | Zoni                     | ng Appeal    |          | Historic P    | reservation            |
|  |                     |                  |              | noreland          |       | Varianc                  | e            |          | Not in Dis    | strict <b>or</b> Landm |
|  |                     |                  |              |                   |       |                          |              |          |               |                        |
| 2. Building permits do not   | include i           | olumbing         | $\square$ w  | etland            |       | Miscella                 | aneous       |          | Does Not      | Require Revie          |
| septic or electrical work.   | meraac <sub>l</sub> | gramonig,        |              |                   |       |                          |              |          | •             |                        |
| 3. Building permits are voice  | d if work           | s is not started | Flood Zone   |                   |       | Conditional Use          |              |          | Requires I    | Review                 |
| within six (6) months of   |                     |                  |              |                   |       |                          |              |          | -             |                        |
| False information may in   |                     | a building       | Subdivision  |                   |       | Interpretation           |              |          | Approved      |                        |
| permit and stop all work.  |                     |                  |              |                   |       |                          |              |          |               |                        |
|  |                     |                  | ☐ Si         | te Plan           |       | Approve                  | ed           |          | Approved      | w/Conditions           |
|  |                     |                  |              |                   |       |                          |              |          | ,             |                        |
|  |                     |                  | Maj [        | Mind: MM          |       | Denied                   |              |          | Denied {      |                        |
|  |                     |                  | al           | with a            | S     | 1175                     |              |          | 7             | $\checkmark$           |
|  |                     |                  | Date:        | 0/4/05            | a     | - Sate:                  |              | ).       | ate:          | )                      |
|  |                     |                  | ·            | 211/03            |       | '/                       |              |          |               | /                      |
|  |                     |                  |              |                   |       |                          |              |          |               |                        |
|  |                     |                  |              |                   |       |                          |              |          |               |                        |
|  |                     |                  |              |                   |       |                          |              |          |               |                        |
|  |                     |                  |              |                   |       |                          |              |          |               |                        |
|  |                     |                  | C            | CERTIFICATI       | ON    |                          |              |          |               |                        |
| 1 hereby certify that I am the o   |                     |                  |              |                   |       |                          |              |          |               |                        |
| I have been authorized by the  |                     |                  |              |                   |       |                          |              |          |               |                        |
| jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representati |                     |                  |              |                   |       |                          |              |          |               |                        |
| shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) a such permit.   |                     |                  |              |                   |       |                          |              |          | appiicabie t  |                        |
| carn permin  |                     |                  |              |                   |       |                          |              |          |               |                        |
|  |                     |                  |              |                   |       |                          |              |          |               |                        |
| SIGNATURE OF APPLICANT   |                     |                  |              | ADDRES            | S     |                          | DATE         |          | PI            | HONE                   |
|  |                     |                  |              |                   |       |                          |              |          |               |                        |

DATE

PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE

| 389 Congress Street, 04101 Tel  Location of Construction: 425 FOREST AVE  Business Name:  Lessee/Buyer's Name   | Owner Name:                              | RENE I   | (207) 874-871<br>E & WENDAL         | 6 Owner Ad<br>48 REV       | dress:                  | PERMIT                    | ISSUED                        | 111<br>Phone:             | A01000                |              |
|---|--|----------|-------------------------------------|----------------------------|-------------------------|---------------------------|-------------------------------|---------------------------|-----------------------|--------------|
| 425 FOREST AVE Business Name: Lessee/Buyer's Name Past Use:   | FLETCHER II Contractor Name HardyPond Co | :        | E & WENDAL                          | Owner Ad                   | dress:                  |                           |                               |                           | 2                     |              |
| Business Name:  Lessee/Buyer's Name  Past Use:  | Contractor Name HardyPond Co             | :        | E & WENDAL                          | 48 REV                     | BRE ST                  |                           |                               | 11 /7                     | MI'I \                | ~717         |
| Lessee/Buyer's Name Past Use:   | HardyPond Co                             |          |                                     |                            | . I                     | 0.07                      | -c -200E                      | 1170                      | ひつ                    | 502          |
| Past Use:   |  | nstruct  |                                     | Contracto                  | 1 1                     | . UUT                     | 6 2005                        | Phone                     |                       |              |
| Past Use:   | Phone:                                   |          | ion                                 |                            |                         | St Suite 11 F             | ortland                       | 20779                     | 6066                  |              |
| !   |  |          |                                     | Permit Ty<br>Alterati      | 1 1                     | IIIY OF P                 | ORTLAN                        | ID                        |                       | )2-1         |
|   | Proposed Use:                            |          |                                     | Permit Fe                  | e:                      | Cost of Wor               | rk (CE                        | O Distric                 | t:                    |              |
| Vacant Space / Convenience Store  | Pizza Restaura                           | nt / Ter | nant fit-up/                        |                            | 537.00                  | \$48,3                    | 35.00                         | 1                         |                       |              |
|   |  |          |                                     | FIRE DE                    | PT:                     | Approved Denied           | INSPECTI<br>Use Group         | A2                        | Тур                   | 50           |
| Proposed Project Description:   |  |          |                                     | 1                          | Kill                    | ey                        | /                             | 10/                       | 6L9                   | <b>5</b> )   |
| Pizza Restaurant / Tenant fit-up /  |  |          |                                     | Signature:                 | Met D                   | 405                       | Signature;                    | 100                       | WY /W                 | M            |
| 1122a Rostaarant, Tonant It up,   |  |          |                                     |                            | IANACT                  | TIVITIES DIST             |                               | D.))                      | 7                     | 7            |
|   |  |          |                                     | Action:                    | Appro                   |                           | proved w/Cor                  |                           | Deni                  | ied          |
|   |  |          |                                     | Signature:                 |                         |                           | Da                            | te:                       |                       |              |
| Permit Taken By: Date   | Applied For:                             |          |                                     |                            |                         | a Annrove                 |                               |                           |                       |              |
| · ·   | 12/2005                                  |          |                                     | Zoning Approval            |                         |                           |                               |                           |                       |              |
| 1. This permit application does no  | ot praclude the                          | Spe      | cial Zone or Revie                  | ews                        | Zon                     | ing Appeal                |                               | Historic Presenvation     |                       |              |
| Applicant(s) from meeting app<br>Federal Rules.   |  | ☐ Sh     | oreland                             | Variance                   |                         |                           | t                             | Not in District or Landma |                       |              |
| 2. Building permits do not includ septic or electrical work.  | e plumbing,                              | □ w      | etland                              | Miscellaneous              |                         |                           |                               | Does No                   | t Require             | Review       |
| 3. Building permits are void if we within six (6) months of the da  |  | ☐ Flo    | ood Zone                            | Conditional Use            |                         |                           |                               | Requires                  | Review                |              |
| False information may invalidate permit and stop all work   | te a building                            | ☐ Su     | bdivision                           | Interpretation             |                         |                           |                               | Approve                   | d                     |              |
|   |  | ☐ Sit    | te Plan                             | [                          | Approv                  | ved                       |                               | Approve                   | i w/Co <del>ndi</del> | itions       |
|   | WAN CAN<br>014/05                        |          | Denied                              |                            | Date:                   | Denied                    |                               | ,                         |                       |              |
|   |  |          | 1 1                                 |                            |                         | -                         |                               | /                         |                       |              |
|   |  |          | /                                   |                            |                         |                           |                               |                           |                       |              |
|   |  | C        | ERTIFICATI                          | ON                         |                         |                           |                               |                           |                       |              |
| I hereby certify that I am the owner of I have been authorized by the owner jurisdiction. In addition, if a permit shall have the authority to enter all a such permit. | to make this appli<br>for work described | cation a | as his authorized application is is | d agent and<br>ssued, I ce | d I agree<br>rtify that | to conform<br>the code of | to all appli<br>ficial's auth | cable la<br>orized 1      | ws of the<br>epresen  | is<br>tative |
| SIGNATURE OF APPLICANT  |  |          | ADDRESS                             | S                          |                         | DATE                      |                               | ]                         | PHONE                 |              |

| City of Portland Ma              | ine - Building or Use I                                       | Permit                  | Permit No:              | Date Applied For:      | CBL:                    |
|----------------------------------|---|-------------------------|-------------------------|------------------------|-------------------------|
|                                  | 101 Tel: (207) 874-8703                                       |                         | 16 05-1323              | 09/12/2005             | 111 A010001             |
| Location of Construction:        | Owner Name:   | , ,                     | Owner Address:          |                        | Phone:                  |
| 425 FOREST AVE                   | FLETCHER I  | RENE E & WENDAI         | 48 REVEREST             |                        |                         |
| Business Name:                   | Contractor Name:  |                         | Contractor Address:     |                        | Phone                   |
|                                  | HardyPond Co.   |                         |                         | Suite 11 Portland      | (207) 797-6066          |
| Lessee/Buyer's Name              | Phone:  |                         | Permit Type:            |                        |                         |
|                                  |   |                         | Alterations - Con       | nmercial               |                         |
| Proposed Use:                    |   | Prop                    | sed Project Description | ]:                     |                         |
| Pizza Restaurant / Tenant        | fit-up/   | -                       | a Restaurant / Tenar    |                        |                         |
|                                  | Г   |                         |                         | 1                      |                         |
|                                  |   |                         |                         |                        |                         |
|                                  |   |                         |                         |                        |                         |
|                                  |   |                         |                         |                        |                         |
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|                                  |   |                         |                         |                        |                         |
|                                  |   |                         |                         |                        |                         |
|                                  |   |                         |                         |                        |                         |
|                                  |   |                         |                         |                        |                         |
|                                  |   |                         |                         |                        |                         |
|                                  |   |                         |                         |                        |                         |
|                                  |   |                         |                         |                        | <b>✓</b>                |
|                                  |   |                         |                         |                        | •                       |
|                                  |   |                         |                         |                        |                         |
| The applicant propose            | es to utilize the existing Kitch                              | nen Exhaust system      |                         |                        |                         |
|                                  | to diffice the existing fines                                 |                         |                         |                        |                         |
| <b>Dept:</b> Fire                | Status: Approved  | Review                  | er: Jay Kelley          | Approval I             | Date: 10/04/2005        |
| Note:                            |   |                         |                         |                        | Ok to Issue:            |
| 1) Hood system required          | for pizza oven.   |                         |                         |                        |                         |
| 2) Maintzin all NFPA li          | e safety codes Emergency 1                                    | iohting / exit signs /f | re extinguishers/ etc   |                        |                         |
|                                  |   |                         | Te extinguishers, etc.  | •                      |                         |
| <b>Dept:</b> DRC                 | Status: Approved  | Review                  | er: Jay Reynolds        | Approval I             | <b>Date:</b> 07/01/2005 |
| Note:                            |   |                         |                         |                        | Ok to Issue:            |
|                                  |   |                         |                         |                        |                         |
|                                  |   |                         |                         |                        |                         |
| <b>Dept:</b> Planning            | <b>Status:</b> Approved with Co                               | onditions Review        | er: Jay Reynolds        | Approval I             | <b>Date:</b> 07/01/2005 |
| Note:                            |   |                         |                         |                        | Ok to Issue:            |
| 1)                               |   |                         |                         |                        |                         |
| 1. 3A Catch basin wit            | h a granite curb inlet shall be                               | installed in Deerfield  | l Road, downstream      | of the entrance, in ac | ccordance with the      |
| Public Works standar             | ds.   |                         |                         |                        |                         |
| 2) 2. The dumpster pad           | and enclosure shall be reloc                                  | ated as requested in y  | our June 14th letter.   |                        |                         |
| Comments:                        |   |                         |                         |                        |                         |
|                                  | . 1 1 1 1   | , 1:                    |                         | 999 G 1/ GG            | 11.6.                   |
| 10/5/2005-mjn: Need sea wlowner. | ting plans, local exhaust info                                | ( or cooking equipm     | ent info) grease trap?  | ??? Spoke w/ GC and    | left two messages       |
|                                  |   | _                       |                         |                        |                         |
| 10/5/2005-ldobson: Rece          | ved floor plan and possible in<br>nyway said Hood system is e | nfo on grease trap.     | ave him the sheet for   | Stoot System said I    | ne doesn't think he     |
| needed it gave it to him a       | nyway said Hood system is e                                   | xisting. LJD put peri   | iit back in MIN Birl    |                        |                         |
|                                  |   |                         |                         | 0005                   |                         |
|                                  |   |                         | <b>OCT</b> 6            | 5 2005                 |                         |
|                                  |   |                         |                         |                        |                         |
|                                  |   |                         | CITY OF PO              | DTIAND                 |                         |
|                                  |   |                         |                         |                        |                         |

70: MIKE NUGENT SEE ATTACHED PLAN FROM: WENDALL FLETCHER 425 FOR AVE FARMER PUNKY'S 7722128 ANS MACH 7744674 REG PHONE SUBJECT BUILDING PERMIT AT 425 FOR AVE GREASE TRAP AT SINK LOCATION #2 SEATING-7 TABLES NOT TO EXCEED 24 SEATS #3 PRIMARY BUS.IS TAKE-OUT LISBUM HOUSE OF PIZZA (TENANT)
WILL APPLY FOR PERMITS FOR
KITCHEN EQUIPMENT AFTER BLDGHAS BEEN REMOLDED #4 Windal Fletches - OWNER 10-5-05 Atun Kalelia Lisbon Horse of Pizza Tennont

| City of Portland, Maine - Bui  | lding or Use Permit           | į                     | Permit NO:           | Date Applied For:    | CBL:                |  |  |  |
|--|-------------------------------|-----------------------|----------------------|----------------------|---------------------|--|--|--|
| 389 Congress Street, 04101 Tel:  | (207) 874-8703, <b>Fax:</b> ( | 207) 874-871 <u>6</u> | 05-1323              | 09/12/2005           | 111 AOIOOOI         |  |  |  |
| Location & Construction:   | Owner Name:                   | (                     | Owner Address:       |                      | Phone:              |  |  |  |
| 425 FOREST AVE   | FLETCHER IRENE E              | & WENDAL              | 48 REVERE ST         |                      |                     |  |  |  |
| Business Name:   | Contractor Name:              | (                     | Contractor Address:  |                      | Phone               |  |  |  |
|  | HardyPond Construction        | on                    | 1039 Riverside St    | Suite 11 Portland    | (207) 797-6066      |  |  |  |
| Lessee/Buyer's Name  | Phone:                        | F                     | ermit Type:          |                      |                     |  |  |  |
|  |                               |                       | Alterations - Comr   | nercial              |                     |  |  |  |
| Proposed Use:  |                               | Proposed              | Project Description: |                      |                     |  |  |  |
| Pizza Restaurant / Tenant fit-up /   |                               | Pizza F               | estaurant / Tenant   | fit-up/              |                     |  |  |  |
| Dept: Zoning Status:   | Approved with Condition       | s Reviewer:           | Marge Schmuckal      | Approval Da          | ite: 10/04/2005     |  |  |  |
| Note:  |                               |                       |                      |                      | Ok to Issue: 🗹      |  |  |  |
| 1) Separate permits shall be require   | d for any new signage.        |                       |                      |                      |                     |  |  |  |
| 2) This permit is being approved or work.  | the basis of plans submit     | tted. Any deviat      | ions shall require a | separate approval be | efore starting that |  |  |  |
| Dept: Building Status: 1   | Pending                       | Reviewer:             | Mike Nugent          | Approval Da          | ite:                |  |  |  |
| Note:  |                               |                       |                      |                      | Ok to Issue:        |  |  |  |
| Dept: Fire Status:   | Approved                      | Reviewer:             | Jay Kelley           | Approval Da          | ite: 10/04/2005     |  |  |  |
| Note:  |                               |                       |                      |                      | Ok to Issue: 🗹      |  |  |  |
| 1) Hood system required for pizza of   | wen                           |                       |                      |                      |                     |  |  |  |
| 2) Maintzin all NFPA life safety co  |                               | / exit signs /fire o  | extinguishers/ etc.  |                      |                     |  |  |  |
| Dept: DRC Status:  | Approved                      | Reviewer:             | Jay Reynolds         | Approval Da          | ite: 07/01/2005     |  |  |  |
| Note:  |                               |                       |                      |                      | Ok to Issue: ✓      |  |  |  |
| Dept: Planning Status: A   | Approved with Condition       | s Reviewer:           | Jay Reynolds         | Approval Da          | ite: 07/01/2005     |  |  |  |
| Note:  |                               |                       |                      |                      | Ok to Issue: 🗹      |  |  |  |
| <ol> <li>A Catch basin with a granite curb inlet shall be installed in Deerfield Road, downstream of the entrance, in accordance with the Public Works standards.</li> </ol> |                               |                       |                      |                      |                     |  |  |  |
| 2) 2.1 The dumpster pad and enclosure shall be relocated as requested in your June 14th letter.  |                               |                       |                      |                      |                     |  |  |  |
| Comments:  |                               |                       |                      |                      |                     |  |  |  |
| 10/5/2005-mjn: Need seating plans, l   | ocal exhaust info ( or coo    | oking equipment       | info) grease trap??  | ? Spoke w/ GC and 1  | eft two messages    |  |  |  |

w/owner.

| Juy of Portiand, Maine   | - Building or Use Permit             |                   | Permit No:               | Date Applied For:      | CBL:                               |
|--|--------------------------------------|-------------------|--------------------------|------------------------|------------------------------------|
| ,  | Tel: (207) 874-8703, <b>Fax:</b> (2  |                   | 05-1323                  | 09/12/2005             | 111 AOIOOOI                        |
| ocation of Construction:   | Owner Name:                          |                   | Owner Address:           | <b>!</b>               | Phone:                             |
| 25 FOREST AVE  | FLETCHER IRENE E                     | & WENDAL          | 48 REVERE ST             |                        |                                    |
| usiness Name:  | Contractor Name:                     |                   | Contractor Address:      |                        | Phone                              |
|  | HardyPond Construction               | on                | 1039 Riverside St        | Suite 11 Portland      | (207) 797-6066                     |
| essee/Buyer's Name   | Phone:                               |                   | Permit Type:             |                        | •                                  |
|  |                                      |                   | Alterations - Com        | mercial                |                                    |
| coposed Use:   |                                      | Propo             | sed Project Description  |                        |                                    |
| izza Restaurant/Tenant fit-  | up/                                  | Pizza             | Restaurant / Tenan       | t fit-up /             |                                    |
|  |                                      |                   |                          |                        |                                    |
|  |                                      |                   |                          |                        |                                    |
|  |                                      |                   |                          |                        |                                    |
|  |                                      |                   |                          |                        |                                    |
|  |                                      |                   |                          |                        |                                    |
|  |                                      |                   |                          |                        | <b>✓</b>                           |
|  |                                      |                   |                          |                        |                                    |
|  |                                      |                   |                          |                        |                                    |
|  |                                      |                   |                          |                        |                                    |
|  |                                      |                   |                          |                        |                                    |
|  |                                      |                   |                          |                        |                                    |
| Dept: Fire Sta   | atus: Approved                       | Reviewe           | : Jay Kelley             | Approval I             | Date: 10/04/2005<br>Ok to Issue: ✓ |
|  | fety codes Emergency lighting.       | /avit signs /file | e avtinguishars/ata      |                        |                                    |
|  |                                      | / exit signs/in   | e extinguishers/ etc.    |                        |                                    |
| ) Hood system required for   | pizza oven.                          |                   |                          |                        |                                    |
| Dept: DRC Sta  | atus: Approved                       | Reviewer          | : Jay Reynolds           | Approval I             | Date: 07/01/2005                   |
| Note:  | -FF                                  |                   | ,,                       |                        | Ok to Issue:                       |
| 10101  |                                      |                   |                          |                        |                                    |
|  |                                      |                   |                          |                        |                                    |
| Dept: Planning Sta   | atus: Approved with Conditions       | s Reviewer        | : Jay Reynolds           | Approval I             | Date: 07/01/2005                   |
| Note:  |                                      |                   |                          |                        | Ok to Issue: 🗹                     |
| 2. The dumpster pad and  | enclosure shall be relocated as r    | requested in vo   | our June 14th letter.    |                        |                                    |
| • •  |                                      | , J.              |                          |                        |                                    |
| )  | granite curb inlet shall be installe | d in Deerfield    | Road, downstream         | of the entrance, in ac | cordance with the                  |
|  | ,rumite cure innet small de instante | a in Deciriora    | roud, do wiisticum       | or the entrance, in ac | columne with the                   |
| Public Works standards.  |                                      |                   |                          |                        |                                    |
| Public Works standards.  |                                      |                   |                          |                        |                                    |
| Public Works standards.  | plane local exhaust info ( ar        | leing agrient     | nt info) grosse tre = 95 | 99 Snoko w/ CC         | left two messages                  |
| Public Works standards.  omments: 0/5/2005-mjn: Need seating         | plans, local exhaust info ( or coo   | king equipme      | nt info) grease trap?    | ?? Spoke w/ GC and     | left two messages                  |
| Public Works standards.  omments: 0/5/2005-mjn: Need seating /owner. | plans, local exhaust info ( or coo   |                   |                          | -                      | -                                  |

**All Purpose Building Permit Application** 

if you or the property owner owes real estate or personal property taxes or user charges on any property with the City, payment arrangements must be made before permits of any kind are accepted.

| Location/Address of Construction: 425  | 5 FOREST AVENU, PORTLAND, MAINE   |  |  |  |  |  |  |  |  |
|--|---|--|--|--|--|--|--|--|--|
| Total Square Footage of Proposed Structure EXISTING STRUCTURE: 15  | Square Footage of Lot  Square Footage of Lot  EXISTING LOT: 10,500 SF 257   |  |  |  |  |  |  |  |  |
| Tax Assessor's Chart, Block & Let Chart# Block# Lot#   | Owner: WENDALL FLETCHER Telephone: 425 FOREST AVENUE (207) TTZ-2128   |  |  |  |  |  |  |  |  |
| Lessee/Buyer's Name (If Applicable)  | Applicant name, address & Cost Of Work: \$ 48,335.00  HARDYPOND CONSTRUCTION 1039 RIVERSIDE ST. STE.!! PORTLAND, ME 04103 |  |  |  |  |  |  |  |  |
| Current use: VACANT  | (207) 797-6066 CONTACT: DAPHNE MILLAY   |  |  |  |  |  |  |  |  |
| If the location is currently vacant, what was prior use: FAST FOOD STORE/CONVENIENCE STORE   |   |  |  |  |  |  |  |  |  |
| Approximately how long has it been vacant: 11/2 TO 2 YEARS (+/-)  Proposed use: LEADE SPACE FOR FUTURE TENANT (PIZZA PESTAURANT)  Project description: REHABILITATE EXTERIOR FACADE, ADD WINDOWS, REPLACE  ENTRANCE DOOR, REPLACE FLOORING, REPLACE ELECTRICAL PANELS & WIGHLY & MISC.                                 |   |  |  |  |  |  |  |  |  |
| Contractor's name, address & telephone: HARDYPOND CONSTRUCTION  1039 RINERSIDE STREET STE.11  PORTLAND, ME 04103 (207)797-6006  Who should we contact when the permit is ready: CONTRACTOR   |   |  |  |  |  |  |  |  |  |
| Valling address: SAME AS ABOV  | Æ   |  |  |  |  |  |  |  |  |
| Ne will contact you by phone when the permit is ready. You must come in and pick <b>up</b> the permit and eview the requirements before starting any work, with a Plan Reviewer, <b>A</b> stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up.  PHONE:  (207) 797-6066 |   |  |  |  |  |  |  |  |  |
|  |   |  |  |  |  |  |  |  |  |

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I hove been authorized by the owner to make this application as his/her authorized agent. I agree to conform all applicable laws of this jurisdiction. In addition, if a permit for work described In this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

|                         |   | 1  |        | 1_            | $\Delta L$ | $\perp$ | L |       |   |
|-------------------------|---|----|--------|---------------|------------|---------|---|-------|---|
| Signature of applicant: |   | `` | $\geq$ | 5             |            |         |   | Date: | 8 |
|                         | V | ,  | _      | $\mathcal{I}$ |            | 7       |   |       |   |

This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall

## HARDYPOND CONSTRUCTION





#### PROJECT DESCRIPTION

425 Forest Avenue, Portland, Maine

Owner:

Wendail Fletcher

Contractor:

Hardypond Construction

Date:

8-26-05

The work at 425 Forest Avenue, formerly Punky's Restaurant, will consist of the following work:

- <u>Site Improvements</u>: As shown on the attached Planning Department approved site plan, the existing parking area will be repaived and landscaped. Modifications to the entrances will be made and the city requested catch basin will be added to Deerfield Road.
- Exterior Building Improvements: As shown on the attached elevation, the exterior of the building will be stripped down to existing CMU and either painted or coated with a stucco product which will be finished painted. New windows will be installed to replace existing or infill existing garage door openings. A new aluminum storefront entrance will be installed.
- Interior Building Improvements: As shown on the attached floor plan, the interior improvements will be minor as the future tenant will be responsible for providing most if not all interior final finishes, This contract will include new tile flooring, bathroom renovations, new electrical panels and wiring to bring building up to code and other miscellaneous items. We are assuming that the tenant will be applying for a building permit to complete his work.

city

## Hardypond construction

1039 Riverside Street ~ Suite 11, Portiand, ME 04103
Phone 207-797-6068 Fax 207-797-898

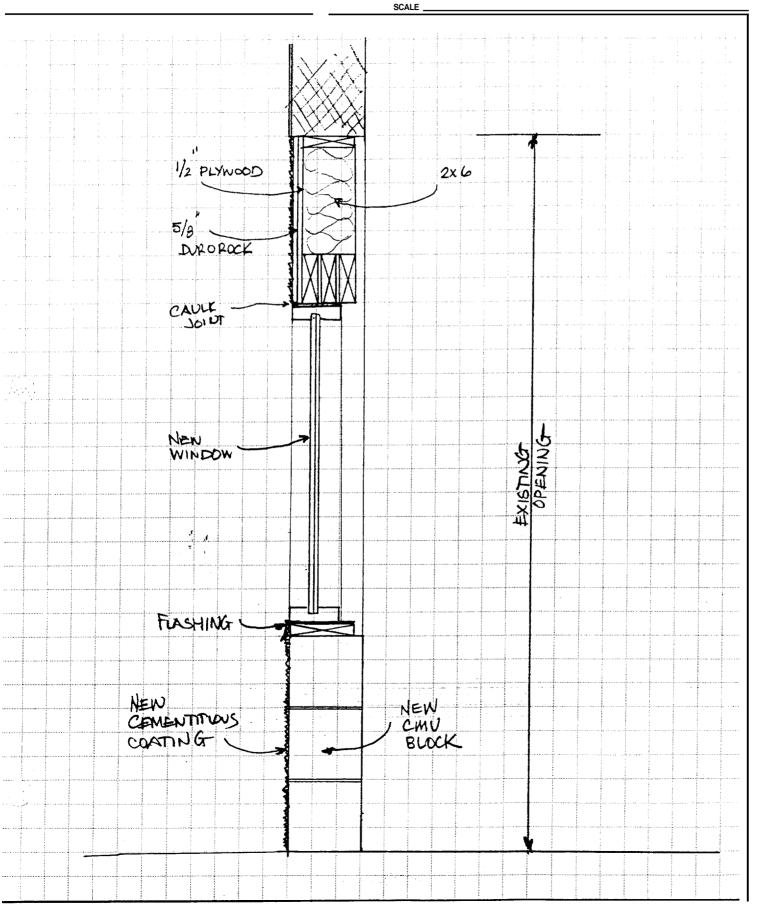
| DEP      | T. OF BUILDING INSPECTION CITY OF PORTLAND, ME |  |  |  |  |  |
|----------|--|--|--|--|--|--|
|          | OCT - 4 2005                                   |  |  |  |  |  |
| RECEIVED |  |  |  |  |  |  |

| Name of Individual: Stove Docae                                       |
|---|
| Name of Firm: State of Maine  |
| Fax Number: 626-3880 287-625  |
| Date Transmitted: 10-3-05   |
| From: Daphne Millay   |
| Reference: 425 Furest Ave, Purhand ME                                 |
| Total Pages (including cover)   |
| If you do not receive all pages, please call back as soon as possible |
| meet ADA regulrements   |
| WE have 5' wall to wall   |
| Provide Side grab ban on starb well                                   |
| We appreciate your help.  |
| Thank -you  |
|   |
|   |
| <del></del>   |

#### HARDYPOND CONSTRUCTION

1039 RIVERSIDE STREET, SUITE 11 PORTLAND, ME 04103 (207) 797-6066 Fax (207) 797-8986

| JOB 425 Forest Ave       | _               |
|--------------------------|-----------------|
| SHEET NO Franking of Gur | age Doon-Rensea |
| CALCULATED BY            | DATE 10-2-05    |
| CHECKED BY               | _ DATE          |



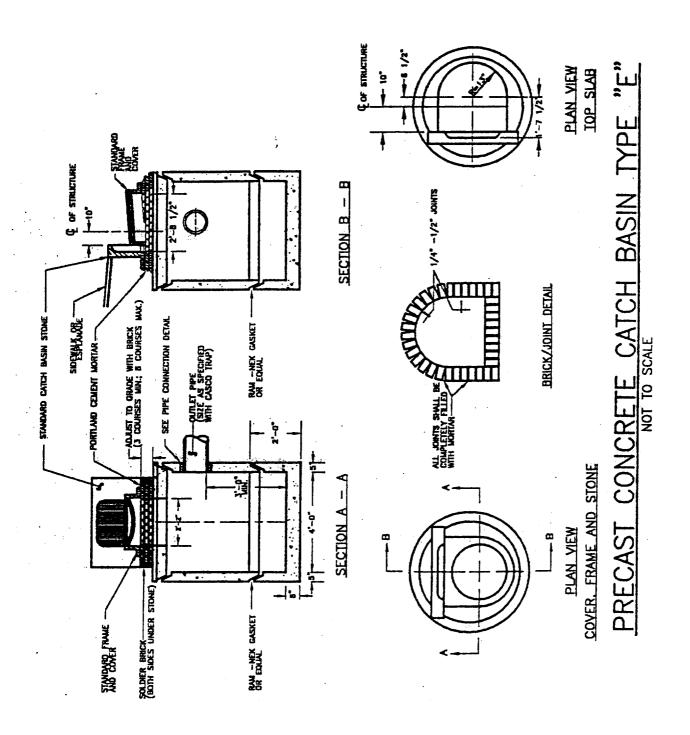


FIGURE II - 6
PRECAST CONCRETE CATCH BASIN TYPE "E"

#### SECTION II - SANITARY SEWER AND STORM DRAINDESIGN STANDARDS

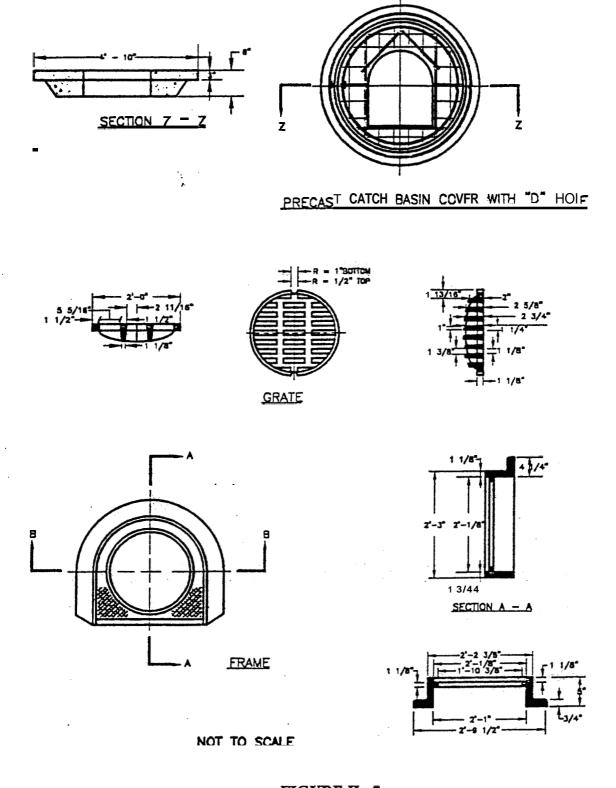


FIGURE II - 7
CATCH BASIN FRAME AND GRATE

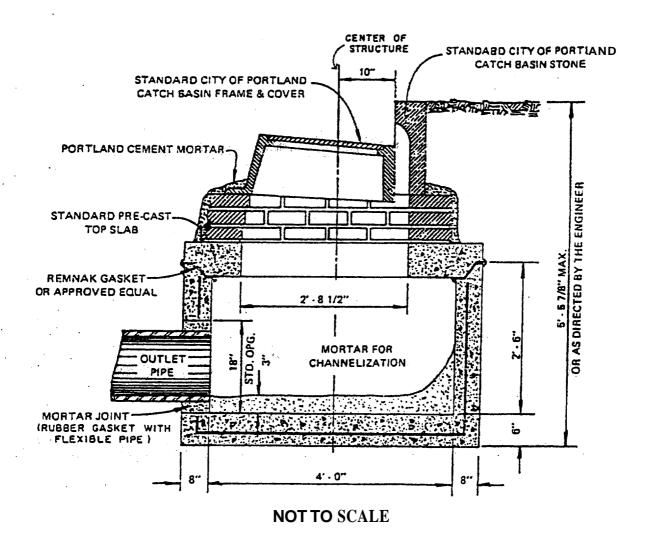


FIGURE II - 8
TYPE "E" CATCE BASIN INLET

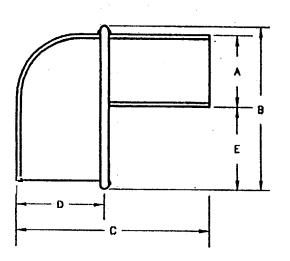
#### MANHOLE AND CATCH BASIN GENERAL NOTES

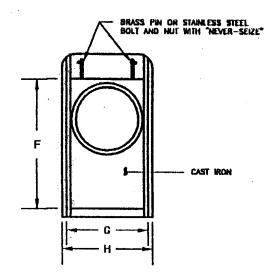
- 1. ALL CONCRETE SHALL BE A CLASS "A" AND HAVE A MINIMUM ULTIMATE STRENGTH OF 4000 lbs. PER SQ. INCHAT THE END OF 28 DAYS, UNLESS OTHERWISE NOTED.
- 2. PRECAST REINFORCED CONE BARREL MANUFACTURE PER ASTM SPEC. C-478-67
- 3. SEWER BRICK TO CONFORM TO ASTM SPEC. DESIGNATE ON C-32-63, GRADE MA AND SA.
- 4. ALL MANHOLES SHALL HAVE A BITUMINOUS WATERPROOFING APPLIED TO THE EXTERIOR SURFACE. IF CONSTRUCTION OF BRICK MASONRY, THE SMOOTH MORTAR SURFACE SHALL BE PLASTERED WITH A SMOOTH MORTAR FINISH 3/8" THICK. AFTER THE MORTAR HAS SET, THE SURFACE SHALL BE WATERPROOFED AS REQUIRED BY SUPPLEMENTAL SPECIFICATIONS SECTION 604.
- 5. CASTINGS SHALL CONFORM TO ASTM DESIGNATION A48—CLASS 35. ALL PARTS OF CASTINGS, EXCEPT FINISHED SURFACE, SHALL RECEIVE A COAT OF COAL TAR PITCH VARNISH OR ASPHALTUM PAINT WHICH SHALL BE SMOOTH AND TOUGH BUT NOT BRITTLE.
- 6. MANHOLES MAY BE CONSTRUCTED OF BRICK MASONRY, PRECAST REINFORCED CONCRETE, OR CAST IN PLACE.
- 7. ALL PRECAST MANHOLES AND CATCH BASINS SHALL BE IDENTIFIED BY STATION AND OFFSET. PAINTED ON THE SIDE OF THE STRUCTURE BY THE MANUFACTURER.
- **a.** STORM AND **SEWER** MANHOLES SHALL HAVE SOLID **COVERS** WITH ONE DRILLED MOLE.
- 9. EXISTING MANHOLE AND CATCH BASIN FRAMES AND COVERS SHALL BE SALVAGED BY THE CONTRACTOR, AND REMAIN THE PROPERTY OF THE CITY OF PORTLAND.

# FIGURE II - 9 MANHOLE AND CATCH BASIN GENERAL NOTES

 $\Pi - 13$ 

NOTE: BOLT AND NUT REQUIRED WHERE HOOD WILL NOT OPEN COPMLETELY

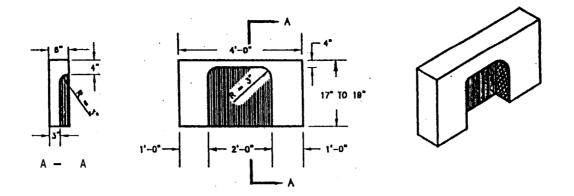




| SIZE   | Α       | В       | С       | D      | Ε      | F       | G       | Н       |
|--------|---------|---------|---------|--------|--------|---------|---------|---------|
| 6 In.  | 5 1/2"  | 13 3/8" | 13 3/4" | 5 3/8" | 5 7/8" | 11 5/8" | 8 1/2"  | 7 1/4"  |
| 8 in.  | 7 1/2"  | 15"     | 15 3/8" | 5 1/2" | 5 3/8" | 13 3/4" | B 3/4"  | 9 3/8"  |
| 10 in. | 9 1/2"  | 18"     | 18 1/4" | 6"     | 4 1/2" | 14 1/8" | 11 1/2" | 12 3/6" |
| 12 in. | 11 1/2" | 17"     | 22"     | 8*     | 3 1/2" | 17"     | 12 1/2" | 13 3/8" |

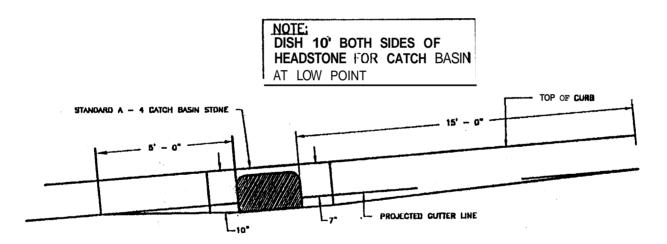
CASCO TRAP DETAIL NOT TO SCALE

† | |



## TYPICAL A - 4 CATCH BASIN STONE DETAIL

NOT TO SCALE



# TYPICAL PAVEMENT GRADING ON SLOPES FOR CATCH BASIN AND INLET

NOT TO SCALE