

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

BUILDING INSPECTION

Please Read Application And Notes, If Any, Attached

Permit Number 051222
PERMIT ISSUED
OCT 6 2005
CITY OF PORTLAND

This is to certify that FLETCHER IRENE E & W DALL M FLETCHER JR JT Party

has permission to Pizza Restaurant / Tenant fit /

AT 425 FOREST AVE 111 A019001

provided that the person or persons who perform or supervise any work accepting this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission procedure before this building or part thereof is occupied or otherwise closed-in. 4 HOUR NOTICE REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. Jay Kelley P.F.D. 10-4-05

Health Dept. _____

Appeal Board _____

Other _____
Department Name _____

[Signature]
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 05-1323	Issue Date: OCT 6 2005	CBL: 111 4010001
-----------------------	----------------------------------	---------------------

Location of Construction: 425 FOREST AVE	Owner Name: FLETCHER IRENE E & WENDAL	Owner Address: 48 REVERE ST	Phone: 432-5027
Business Name:	Contractor Name: HardyPond Construction	Contractor Address: 1039 Riverside St Suite 11 Portland	Phone: 4077976066
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	Zone: B2b

Past Use: Vacant Space / Convenience Store	Proposed Use: Pizza Restaurant / Tenant fit-up /	Permit Fee: \$537.00	Cost of Work: \$48,335.00	CEO District: 1
---	---	-------------------------	------------------------------	--------------------

FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION Use Group: A2 Type: 3B 10/6/05 Signature: <i>[Signature]</i>
--	--

Proposed Project Description:
Pizza Restaurant / Tenant fit-up /

Signature: *Jay Kelley P.F.D. 10-4-05*

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)
Action: Approved Approved w/Conditions Denied
Signature: _____ Date: _____

Permit Taken By: ldobson	Date Applied For: 0911212005	Zoning Approval
-----------------------------	---------------------------------	------------------------

Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan <input type="checkbox"/> Major <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> <input type="checkbox"/> Denied Date: 10/4/05	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date:
--	---	--

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 03-1323	Issue Date: OCT 6 2005	CBL: 111 A010001
-----------------------	----------------------------------	---------------------

PERMIT ISSUED

Location of Construction: 425 FOREST AVE	Owner Name: FLETCHER IRENE E & WENDAL	Owner Address: 48 REVERE ST	Phone: 732-5027
Business Name:	Contractor Name: HardyPond Construction	Contractor Address: 1039 Riverside St Suite 11 Portland	Phone: 2077976066
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	Zone: B2b

Past Use: Vacant Space / Convenience Store	Proposed Use: Pizza Restaurant / Tenant fit-up /	Permit Fee: \$537.00	Cost of Work: \$48,335.00	CEO District: 1
---	---	-------------------------	------------------------------	--------------------

FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied Signature: <i>Jay Kelley</i>	INSPECTION: Use Group: <i>A2</i> Type: <i>3B</i> <i>10/6/05</i> Signature: <i>[Signature]</i>
---	--

Proposed Project Description:
Pizza Restaurant / Tenant fit-up /

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)

Action Approved Approved w/Conditions Denied

Signature: _____ Date: _____

Permit Taken By: Idobson	Date Applied For: 09/12/2005	Zoning Approval
-----------------------------	---------------------------------	------------------------

<p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p>	<p>Special Zone or Reviews</p> <p><input type="checkbox"/> Shoreland</p> <p><input type="checkbox"/> Wetland</p> <p><input type="checkbox"/> Flood Zone</p> <p><input type="checkbox"/> Subdivision</p> <p><input type="checkbox"/> Site Plan</p> <p>Maj <input type="checkbox"/> Med <input type="checkbox"/> MM <input type="checkbox"/></p> <p>Date: <i>10/4/05</i></p>	<p>Zoning Appeal</p> <p><input type="checkbox"/> Variance</p> <p><input type="checkbox"/> Miscellaneous</p> <p><input type="checkbox"/> Conditional Use</p> <p><input type="checkbox"/> Interpretation</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Denied</p> <p>Date: _____</p>	<p>Historic Preservation</p> <p><input checked="" type="checkbox"/> Not in District or Landmark</p> <p><input type="checkbox"/> Does Not Require Review</p> <p><input type="checkbox"/> Requires Review</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Approved w/Conditions</p> <p><input type="checkbox"/> Denied</p> <p>Date: _____</p>
---	---	--	---

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 05-1323	Issue Date: PERMIT ISSUED	CBL: 111 A010001
-----------------------	-------------------------------------	---------------------

Location of Construction: 425 FOREST AVE	Owner Name: FLETCHER IRENE E & WENDAL	Owner Address: 48 REVERE ST	Phone: 732-5027
Business Name:	Contractor Name: HardyPond Construction	Contractor Address: 1039 Riverside St Suite 11 Portland	Phone: 2077976066
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	Zone: B2b

Past Use: Vacant Space / Convenience Store	Proposed Use: Pizza Restaurant / Tenant fit-up /	Permit Fee: \$537.00	Cost of Work \$48,335.00	(CEO District): 1
		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group A2 Type: 3B	

Proposed Project Description: Pizza Restaurant / Tenant fit-up /	Signature: <i>Jay Kelly</i> P.F.D. 10-4-05	Signature: <i>[Signature]</i> 10/6/05
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
Signature:		Date:

Permit Taken By: Idobson	Date Applied For: 09/12/2005	Zoning Approval	
-----------------------------	---------------------------------	------------------------	--

<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan <input type="checkbox"/> Major <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>10/4/05</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date:
	<i>ok with conditions</i>		

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 05-1323	Date Applied For: 09/12/2005	CBL: 111 A010001
------------------------------	--	----------------------------

Location of Construction: 425 FOREST AVE	Owner Name: FLETCHER IRENEE & WENDAL	Owner Address: 48 REVERE ST	Phone:
Business Name:	Contractor Name: HardyPond Construction	Contractor Address: 1039 Riverside St Suite 11 Portland	Phone: (207) 797-6066
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	

Proposed Use: Pizza Restaurant / Tenant fit-up /	Proposed Project Description: Pizza Restaurant / Tenant fit-up /
--	--



The applicant proposes to utilize the existing Kitchen Exhaust system.

Dept: Fire **Status:** Approved **Reviewer:** Jay Kelley **Approval Date:** 10/04/2005
Note: **Ok to Issue:**

- 1) Hood system required for pizza oven.
- 2) Maintzin all NFPA life safety codes Emergency lighting./ exit signs /fire extinguishers/ etc.

Dept: DRC **Status:** Approved **Reviewer:** Jay Reynolds **Approval Date:** 07/01/2005
Note: **Ok to Issue:**

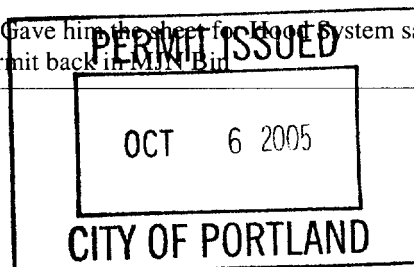
Dept: Planning **Status:** Approved with Conditions **Reviewer:** Jay Reynolds **Approval Date:** 07/01/2005
Note: **Ok to Issue:**

- 1) 1. A catch basin with a granite curb inlet shall be installed in Deerfield Road, downstream of the entrance, in accordance with the Public Works standards.
- 2) 2. The dumpster pad and enclosure shall be relocated as requested in your June 14th letter.

Comments:

10/5/2005-mjn: Need seating plans, local exhaust info (or cooking equipment info) grease trap??? Spoke w/ GC and left two messages w/owner.

10/5/2005-ldobson: Received floor plan and possible info on grease trap. Gave him the spec for hood system said he doesn't think he needed it gave it to him anyway said Hood system is existing. LJD put permit back in MIN Bid



TO: MIKE NUGENT SEE ATTACHED
PLAN

FROM: WENDALL FLETCHER
425 FOR AVE / FORMER PUNKY'S
7722128 ANS MACH
7744674 REG PHONE

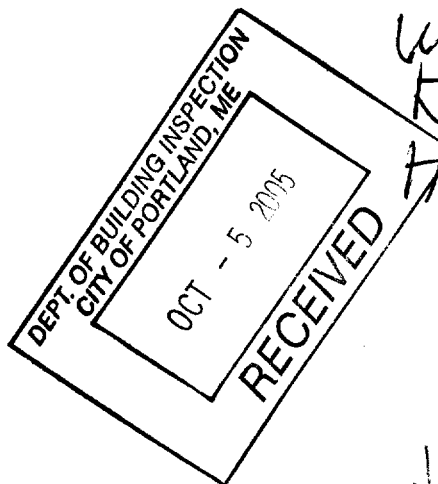
SUBJECT: BUILDING PERMIT AT
425 FOR AVE

#1. GREASE TRAP AT SINK LOCATION ^{25gph}

#2. SEATING - 7 TABLES NOT TO
EXCEED 24 SEATS

#3. PRIMARY BUS. IS TAKE-OUT

#4. LISBON HOUSE OF PIZZA (TENANT)
WILL APPLY FOR PERMITS FOR
KITCHEN EQUIPMENT AFTER BLDG
HAS BEEN REMODELED



Wendall Fletcher - OWNER 10-5-05

Steve Kurlin Lisbon House of Pizza Tenant
10-5-05

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit NO: 05-1323	Date Applied For: 09/12/2005	CBL: 111 AOIOOOI
------------------------------	--	----------------------------

Location of Construction: 425 FOREST AVE	Owner Name: FLETCHER IRENE E & WENDAL	Owner Address: 48 REVERE ST	Phone:
Business Name:	Contractor Name: HardyPond Construction	Contractor Address: 1039 Riverside St Suite 11 Portland	Phone (207) 797-6066
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	

Proposed Use: Pizza Restaurant / Tenant fit-up /	Proposed Project Description: Pizza Restaurant / Tenant fit-up /
--	--

Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 10/04/2005
Note: **Ok to Issue:**

- 1) Separate permits shall be required for any new signage.
- 2) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Pending **Reviewer:** Mike Nugent **Approval Date:**
Note: **Ok to Issue:**

Dept: Fire **Status:** Approved **Reviewer:** Jay Kelley **Approval Date:** 10/04/2005
Note: **Ok to Issue:**

- 1) Hood system required for pizza oven.
- 2) Maintain all NFPA life safety codes Emergency lighting./ exit signs /fire extinguishers/ etc.

Dept: DRC **Status:** Approved **Reviewer:** Jay Reynolds **Approval Date:** 07/01/2005
Note: **Ok to Issue:**

Dept: Planning **Status:** Approved with Conditions **Reviewer:** Jay Reynolds **Approval Date:** 07/01/2005
Note: **Ok to Issue:**

- 1)
 1. A Catch basin with a granite curb inlet shall be installed in Deerfield Road, downstream of the entrance, in accordance with the Public Works standards.
- 2) 2. The dumpster pad and enclosure shall be relocated as requested in your June 14th letter.

Comments:
10/5/2005-mjn: Need seating plans, local exhaust info (or cooking equipment info) grease trap??? Spoke w/ GC and left two messages w/owner.

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 05-1323	Date Applied For: 09/12/2005	CBL: 111 AOIOOOI
------------------------------	--	----------------------------

Location of Construction: 425 FOREST AVE	Owner Name: FLETCHER IRENE E & WENDAL	Owner Address: 48 REVERE ST	Phone:
Business Name:	Contractor Name: HardyPond Construction	Contractor Address: 1039 Riverside St Suite 11 Portland	Phone (207) 797-6066
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	

Proposed Use: Pizza Restaurant / Tenant fit-up /	Proposed Project Description: Pizza Restaurant / Tenant fit-up /
--	--



Dept: Fire **Status:** Approved **Reviewer:** Jay Kelley **Approval Date:** 10/04/2005
Note: **Ok to Issue:**

- 1) Maintzin all NFPA life safety codes Emergency lighting./exit signs /fire extinguishers/ etc.
- 2) Hood system required for pizza oven.

Dept: DRC **Status:** Approved **Reviewer:** Jay Reynolds **Approval Date:** 07/01/2005
Note: **Ok to Issue:**

Dept: Planning **Status:** Approved with Conditions **Reviewer:** Jay Reynolds **Approval Date:** 07/01/2005
Note: **Ok to Issue:**

- 1) 2. The dumpster pad and enclosure shall be relocated as requested in your June 14th letter.
- 2) 1. A Catch basin with a granite curb inlet shall be installed in Deerfield Road, downstream of the entrance, in accordance with the Public Works standards.

Comments:

10/5/2005-mjn: Need seating plans, local exhaust info (or cooking equipment info) grease trap??? Spoke w/ GC and left two messages w/owner.

10/5/2005-ldobson: Received floor plan and possible info on grease trap. Gave **him** the sheet for Hood System said he **doesn'tthink** he needed it gave it to him anyway said Hood system is existing. LJD put permit back in MJN Bin

COPY


All Purpose Building Permit Application

if you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 425 FOREST AVENUE, PORTLAND, MAINE		
Total Square Footage of Proposed Structure EXISTING STRUCTURE: 1575 SF	Square Footage of Lot EXISTING LOT: 10,500 SF 1ST	
Tax Assessor's Chart, Block & Lot Chart# Block# Lot#	Owner: WENDALL FLETCHER 425 FOREST AVENUE PORTLAND, ME 04103	Telephone: 777-4467 327 (207) 777-2128
Lessee/Buyer's Name (if Applicable) N/A	Applicant name, address & telephone: HARDY POND CONSTRUCTION 1039 RIVERSIDE ST. STE. 11 PORTLAND, ME 04103 (207) 797-6060	Cost Of Work: \$ 48,335.⁰⁰ Fee: \$ 531.⁰⁰
Current use: VACANT (207) 797-6060 CONTACT: DAPHNE MILLAY		
If the location is currently vacant, what was prior use: FAST FOOD STORE/CONVENIENCE STORE		
Approximately how long has it been vacant: 1 1/2 TO 2 YEARS (+/-)		
Proposed use: LEASE SPACE FOR FUTURE TENANT (PIZZA RESTAURANT)		
Project description: REHABILITATE EXTERIOR FACADE, ADD WINDOWS, REPLACE ENTRANCE DOOR, REPLACE FLOORING, REPLACE ELECTRICAL PANELS & WIRING & MISC.		
Contractor's name, address & telephone: HARDY POND CONSTRUCTION 1039 RIVERSIDE STREET STE. 11 PORTLAND, ME 04103 (207) 797-6060		
Who should we contact when the permit is ready: CONTRACTOR		
Mailing address: SAME AS ABOVE		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer, A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: (207) 797-6060		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: 	Date: 8
---	----------------

This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall



HARDYPOND CONSTRUCTION

1039 RIVERSIDE ST. - SUITE 11
PORTLAND, MAINE 04103
(207)797-6066
FAX (207)797-8986

SC COPY

PROJECT DESCRIPTION

425 Forest Avenue, Portland, Maine

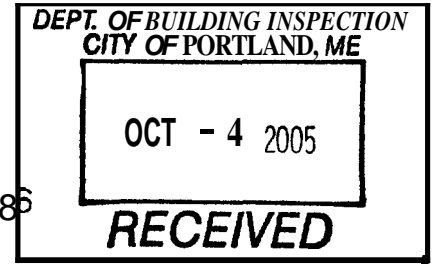
Owner: Wendall Fletcher
Contractor: Hardypond Construction
Date: 8-26-05

The work at 425 Forest Avenue, formerly Punky's Restaurant, will consist of the following work:

- Site Improvements: As shown on the attached Planning Department approved site plan, the existing parking area will be repaved and landscaped. Modifications to the entrances will be made and the city requested catch basin will be added to Deerfield Road.
- Exterior Building Improvements: As shown on the attached elevation, the exterior of the building will be stripped down to existing CMU and either painted or coated with a stucco product which will be finished painted. New windows will be installed to replace existing or infill existing garage door openings. A new aluminum storefront entrance will be installed.
- Interior Building Improvements: As shown on the attached floor plan, the interior improvements will be minor as the future tenant will be responsible for providing most if not all interior final finishes. This contract will include new tile flooring, bathroom renovations, new electrical panels and wiring to bring building up to code and other miscellaneous items. We are assuming that the tenant will be applying for a building permit to complete his work.

city

Hardypond construction
1039 Riverside Street ~ Suite 11, Portland, ME 04103
Phone 207-797-6068 Fax 207-797-8986



Name of Individual: Steve Dodae

Name of Firm: State of Maine

Fax Number: 626-3880 287-6251

Date Transmitted: 10-3-05

From: Daonne Millay

Reference: 425 Forest Ave, Portland ME

Total Pages (including cover) 2

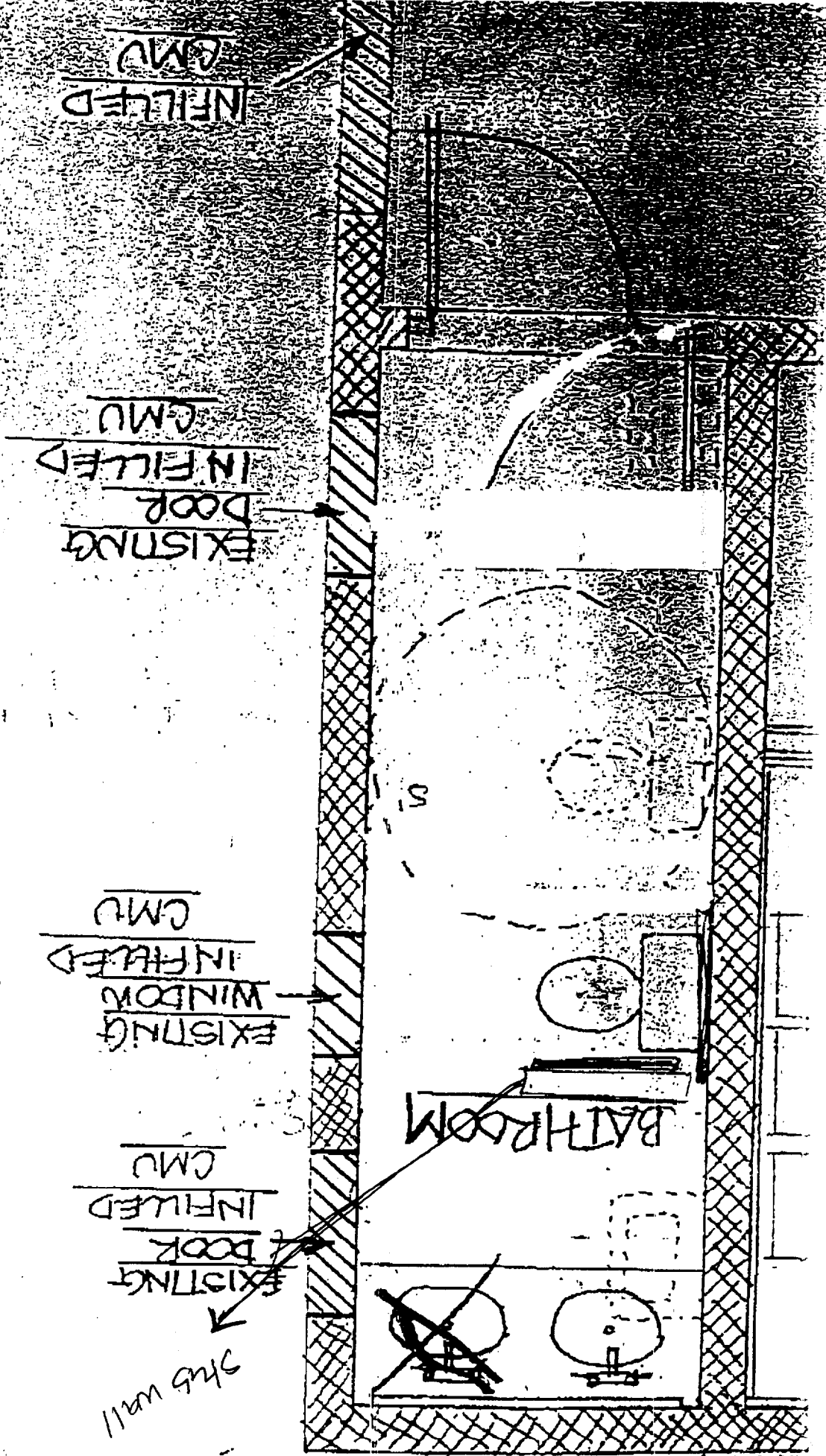
If you do not receive all pages, please call back as soon as possible

Comments Please advise if attached will meet ADA requirements

We have 5' wall to wall
Grab bar in back of toilet
Provide side grab bar on stub wall
Dodae

We appreciate your help.

Thank -you



Scale 1/2" = 1'
 5' x 15" room
 CMU walls

3/8" wall

HARDYPOND CONSTRUCTION

1039 RIVERSIDE STREET, SUITE 11

PORTLAND, ME 04103

(207) 797-6066

Fax (207) 797-8986

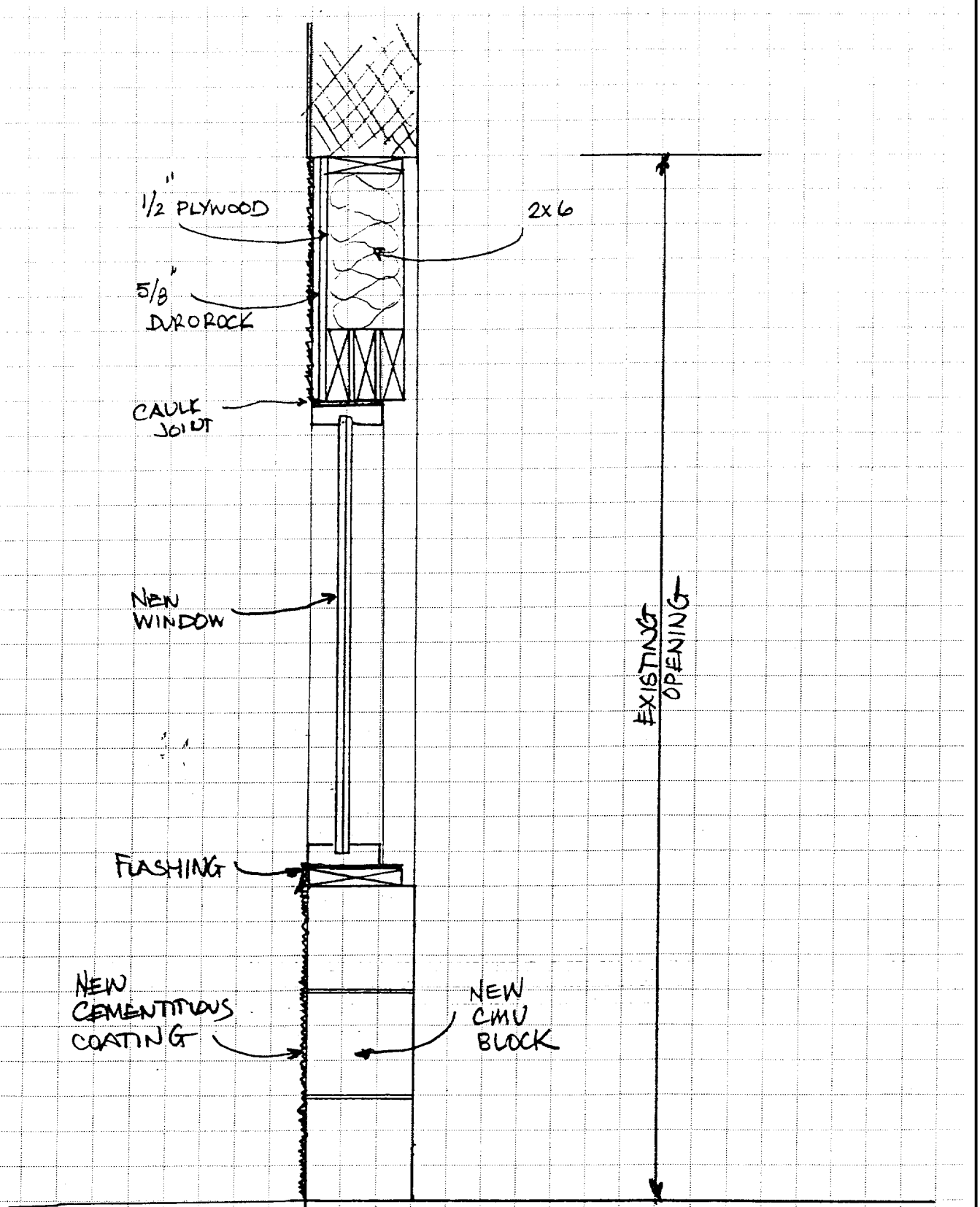
JOB 425 Forest Ave

SHEET NO Framing of Garage Door - Recessed

CALCULATED BY _____ DATE 10-2-05

CHECKED BY _____ DATE _____

SCALE _____



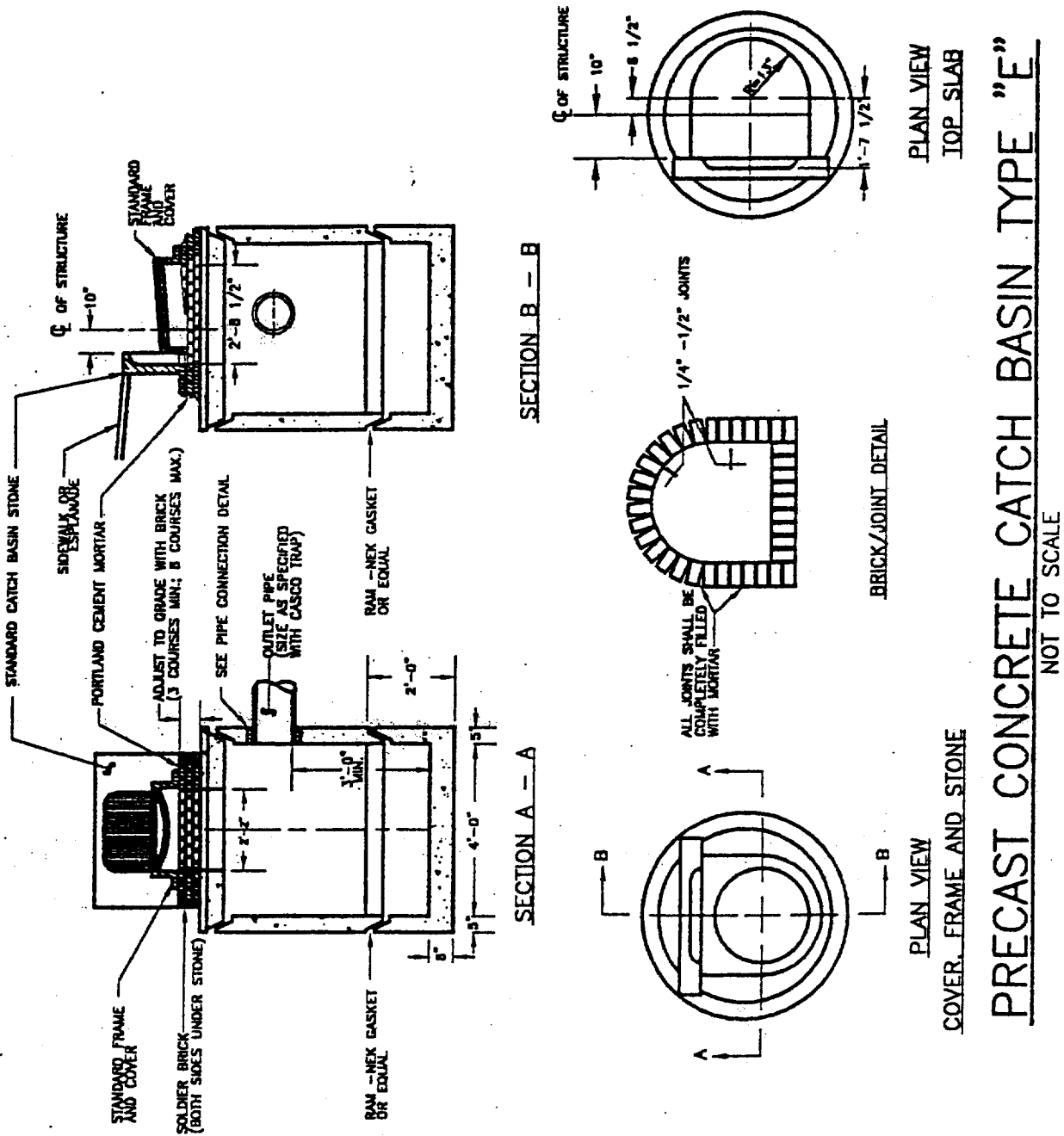


FIGURE II - 6
PRECAST CONCRETE CATCH BASIN TYPE "E"

SECTION II - SANITARY SEWER AND STORM DRAIN DESIGN STANDARDS

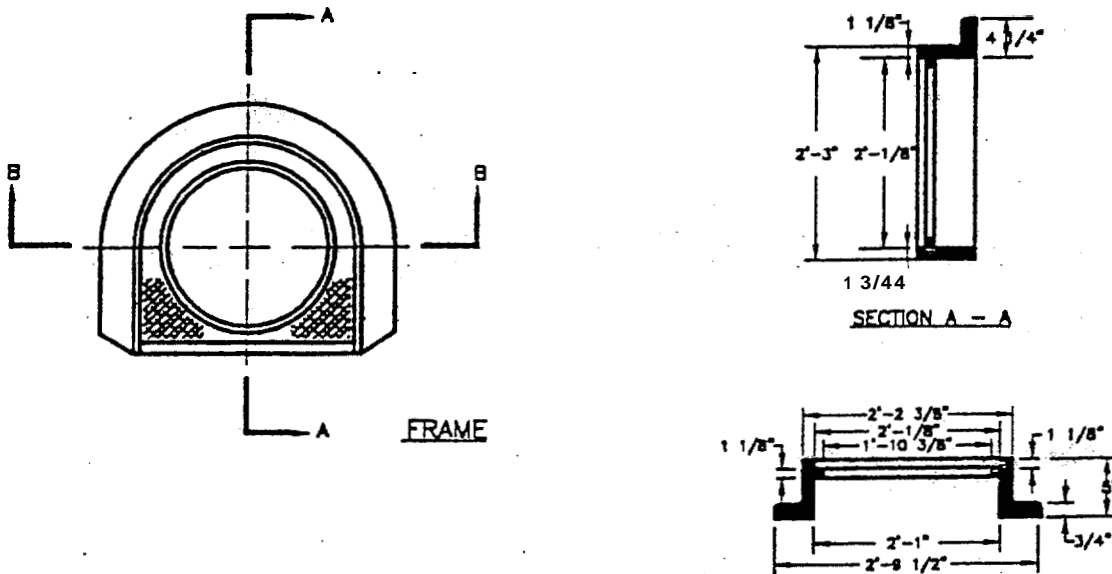
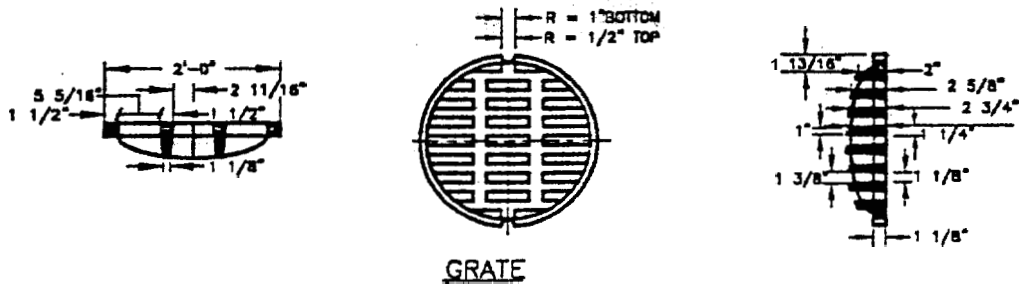
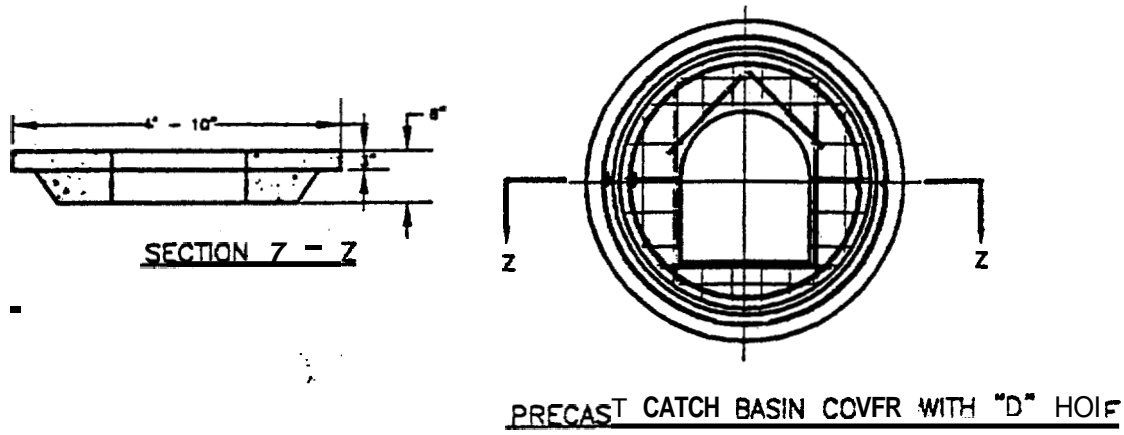


FIGURE II - 7
CATCH BASIN FRAME AND GRATE

SECTION II -- SANITARY SEWER AND STORM DRAIN DESIGN STANDARDS

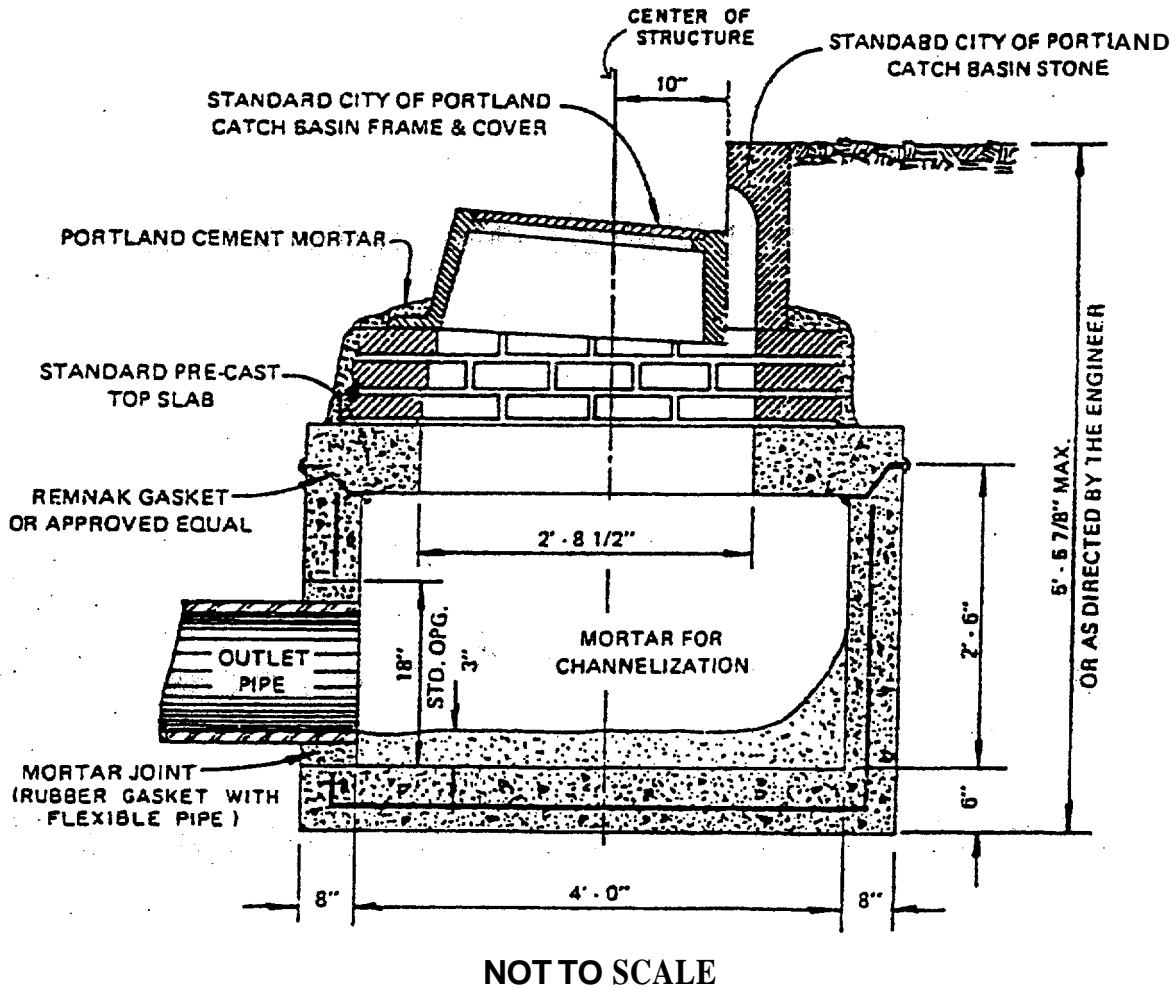


FIGURE II - 8
TYPE "E" CATCE BASIN INLET

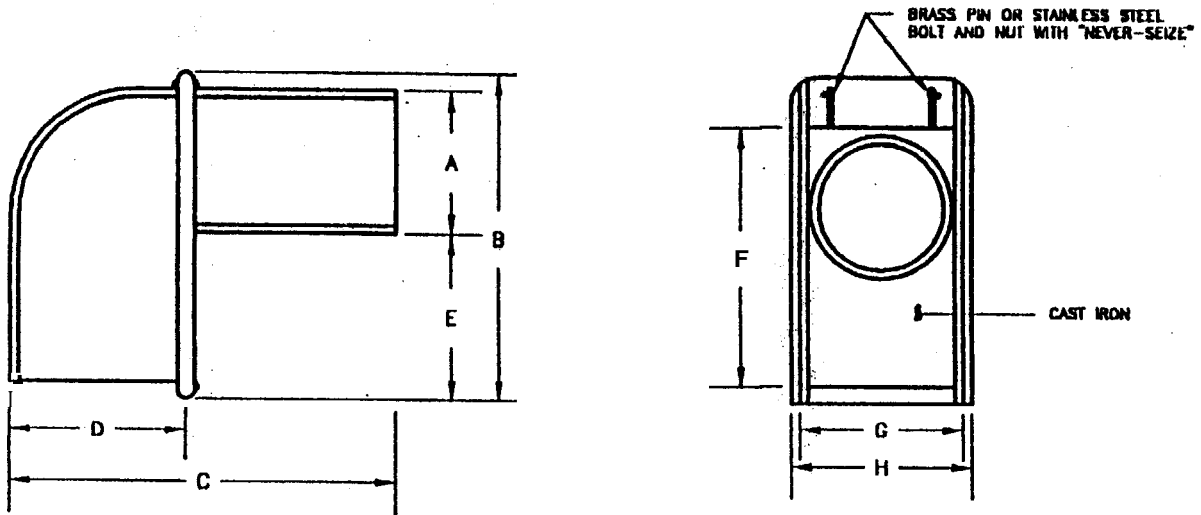
SECTION II – SANITARY SEWER AND STORM DRAIN DESIGN STANDARDS

MANHOLE AND CATCH BASIN
GENERAL NOTES

1. ALL CONCRETE SHALL BE A CLASS 'A' AND **HAVE** A MINIMUM ULTIMATE STRENGTH OF 4000 lbs. PER SQ. INCH AT THE **END** OF 28 DAYS, UNLESS OTHERWISE **NOTED**.
2. PRECAST REINFORCED CONE BARREL MANUFACTURE PER ASTM SPEC. **C-478-67**
3. **SEWER BRICK** TO CONFORM TO ASTM SPEC. DESIGNATE ON C-32-63, GRADE MA AND SA.
4. ALL MANHOLES SHALL HAVE A BITUMINOUS WATERPROOFING APPLIED TO THE EXTERIOR SURFACE. IF CONSTRUCTION OF BRICK MASONRY, THE SMOOTH MORTAR SURFACE SHALL BE PLASTERED WITH A SMOOTH MORTAR FINISH 3/8" THICK. AFTER THE MORTAR HAS SET, **THE** SURFACE SHALL BE WATERPROOFED AS REQUIRED BY SUPPLEMENTAL SPECIFICATIONS SECTION 604.
5. CASTINGS SHALL CONFORM TO ASTM DESIGNATION **A48-CLASS 35**. ALL PARTS OF CASTINGS, EXCEPT FINISHED SURFACE, SHALL RECEIVE A COAT **OF** COAL TAR PITCH VARNISH OR ASPHALTUM PAINT WHICH SHALL BE **SMOOTH** AND TOUGH BUT **NOT BRITTLE**.
6. MANHOLES MAY BE CONSTRUCTED OF BRICK MASONRY, PRECAST REINFORCED CONCRETE, OR CAST IN PLACE.
7. ALL PRECAST MANHOLES AND CATCH BASINS SHALL BE IDENTIFIED BY STATION AND OFFSET, PAINTED ON THE SIDE OF THE STRUCTURE BY **THE** MANUFACTURER.
- a. STORM AND **SEWER** MANHOLES SHALL HAVE SOLID **COVERS** WITH ONE DRILLED MOLE.
9. EXISTING MANHOLE AND CATCH BASIN **FRAMES** AND **COVERS** SHALL BE SALVAGED BY **THE** CONTRACTOR, AND REMAIN THE PROPERTY OF THE CITY OF PORTLAND.

FIGURE II - 9
MANHOLE AND CATCH BASIN GENERAL NOTES

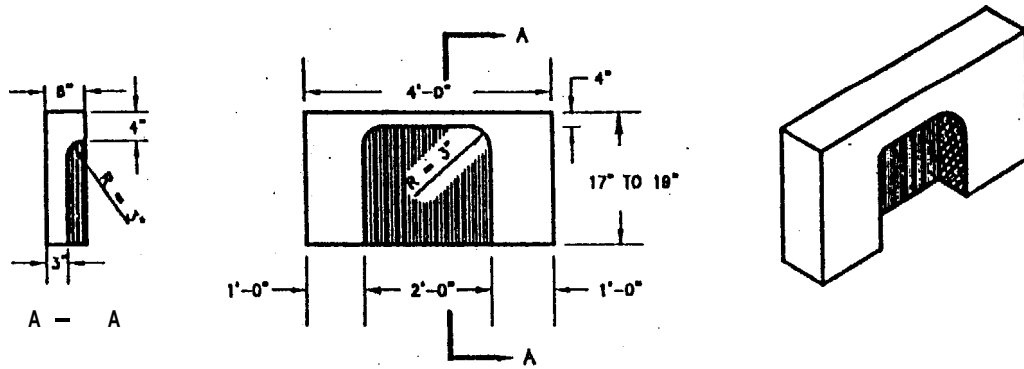
NOTE:
BOLT AND NUT REQUIRED WHERE
HOOD WILL NOT OPEN COMPLETELY



SIZE	A	B	C	D	E	F	G	H
6 in.	5 1/2"	13 3/8"	13 3/4"	5 3/8"	5 7/8"	11 5/8"	8 1/2"	7 1/4"
8 in.	7 1/2"	15"	15 3/8"	5 1/2"	5 3/8"	13 3/4"	8 3/4"	9 3/8"
10 in.	9 1/2"	18"	18 1/4"	6"	4 1/2"	14 1/8"	11 1/2"	12 3/8"
12 in.	11 1/2"	17"	22"	8"	3 1/2"	17"	12 1/2"	13 3/8"

CASCO TRAP DETAIL
NOT TO SCALE

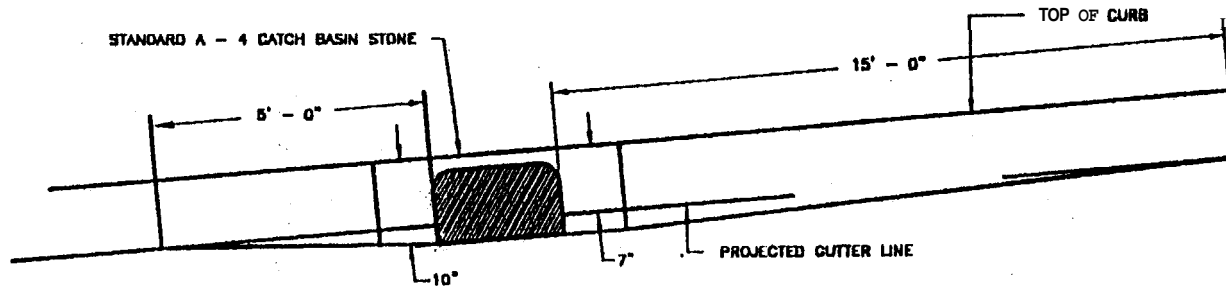
FIGURE II - 10
CASCO TRAP DETAIL



TYPICAL A - 4 CATCH BASIN STONE DETAIL

NOT TO SCALE

NOTE:
 DISH 10° BOTH SIDES OF
 HEADSTONE FOR CATCH BASIN
 AT LOW POINT



TYPICAL PAVEMENT GRADING ON SLOPES

FOR CATCH BASIN AND INLET

NOT TO SCALE

FIGURE II - 11