

City of Portland, Maine - Building or Use Permit Application 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: Inland Ave - Cliff Island		Owner: Paul Potter		Phone: 1-714-885-5293		Permit No: 000757	
Owner Address:		Lessee/Buyer's Name: 5 Lexington Ave, Apt. 2C		Phone:		Business Name: B/A	
Contractor Name: Robert Howard		Address: Box 35, Cliff Island, ME		Phone:		Permit Issued: JUL 11 2000	
Past Use: Vacant		Proposed Use: Single Family		COST OF WORK: \$90,000.00		PERMIT FEE: \$364.00	
				FIRE DEPT. <input type="checkbox"/> Approved <input type="checkbox"/> Denied		INSPECTION: Use Group # 3 Type 5B <i>OC 998</i>	
Proposed Project Description: Single Family Home		Signature:		Signature: <i>[Signature]</i>		Zoning: IR-1 CBL: 199C-A-048	
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Conditions <input type="checkbox"/> Denied		Zoning Approval: <input checked="" type="checkbox"/> Special Zone or Reviews: <input checked="" type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan map <input type="checkbox"/> Minor Comm. 5-7-C	
Permit Taken By: K		Date Applied For: June 14, 2000		G		Zoning Appeal: <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied	

- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

PERMIT ISSUED WITH REQUIREMENTS

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

June 14, 2000

SIGNATURE OF APPLICANT _____ ADDRESS: _____ DATE: _____ PHONE: _____

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE _____ PHONE: _____

White-Permit Desk Green-Assessor's Canary-D.P.W. Pink-Public File Ivory Card-Inspector

PERMIT ISSUED WITH REQUIREMENTS
CEO DISTRICT

BUILDING PERMIT REPORT

DATE: 16 June 2000 ADDRESS: Island Ave. C.I. CBL: 109C-A-048

REASON FOR PERMIT: Single Family Dwelling

BUILDING OWNER: Paul Patter

PERMIT APPLICANT: _____ CONTRACTOR: Robert Howard

USE GROUP: R-3 CONSTRUCTION TYPE: 53 CONSTRUCTION COST: \$70,000 PERMIT FEES: \$5,400

The City's Adopted Building Code (The BOCA National Building Code/1999 with City Amendments)
The City's Adopted Mechanical Code (The BOCA National Mechanical Code/1993)

CONDITION(S) OF APPROVAL

This permit is being issued with the understanding that the following conditions are met: *1, *2, *9, *11, *13, *15, *19
*22, *28, *29, *32, *33, *34, *36, *37

1. This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
2. Before concrete for foundation is placed, approvals from the Development Review Coordinator and Inspection Services must be obtained. (A 24 hour notice is required prior to inspection) **"ALL LOT LINES SHALL BE CLEARLY MARKED BEFORE CALLING."**
3. Foundation drain shall be placed around the perimeter of a foundation that consists of gravel or crushed stone containing not more than 10 percent material that passes through a No. 4 sieve. The drain shall extend a minimum of 12 inches beyond the outside edge of the footing. The thickness shall be such that the bottom of the drain is not higher than the bottom of the base under the floor, and that the top of the drain is not less than 6 inches above the top of the footing. The top of the drain shall be covered with an approved filter membrane material. Where a drain tile or perforated pipe is used, the invert of the pipe or tile shall not be higher than the floor elevation. The top of joints or top of perforations shall be protected with an approved filter membrane material. The pipe or tile shall be placed on not less than 2" of gravel or crushed stone, and shall be covered with not less than 6" of the same material. Section 1813.5.2
4. Foundations anchors shall be a minimum of 1/2" in diameter, 7" into the foundation wall, minimum of 12" from corners of foundation and a maximum 6' O.C. between bolts. Section 2305.17
5. Waterproofing and dampproofing shall be done in accordance with Section 1813.0 of the building code.
6. Precaution must be taken to protect concrete from freezing. Section 1908.0
7. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed. This is done to verify that the proper setbacks are maintained.
8. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating. Private garages attached side-by-side to rooms in the above occupancies shall be completely separated from the interior spaces and the attic area by means of 1/2 inch gypsum board or the equivalent applied to the garage side. (Chapter 4, Section 407.0 of the BOCA/1999)
9. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code. (The BOCA National Mechanical Code/1993). Chapter 12 & NFPA 211
10. Sound transmission control in residential building shall be done in accordance with Chapter 12, Section 1214.0 of the City's Building Code.
11. Guardrails & Handrails: A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level. Minimum height all Use Groups 42". In occupancies in Use Group A,B,H-4, I-1, I-2, M and R and public garages and open parking structures, open guards shall have balusters or be of solid material such that a sphere with a diameter of 4" cannot pass through any opening. Guards shall not have an ornamental pattern that would provide a ladder effect. (Handrails shall be a minimum of 34" but not more than 38". Exception: Handrails that form part of a guard shall have a height not less than 36" and not more than 42". Handrail grip size shall have a circular cross section with an outside diameter of at least 1 1/2" and not greater than 2". (Sections 1021 & 1022.0). Handrails shall be on both sides of stairway. (Section 1014.7)
12. Headroom in habitable space is a minimum of 7'6". (Section 1204.0)
13. Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 1/2" maximum rise. All other Use Group minimum 11" tread 7" maximum rise. (Section 1014.0)
14. The minimum headroom in all parts of a stairway shall not be less than 80 inches. (6'8") 1014.4
15. Every sleeping room below the fourth story in buildings of Use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue. The units must be operable from the inside without the use of special knowledge or separate tools. Where windows are provided as means of egress or rescue they shall have a sill height not more than 44 inches (1118mm) above the floor. All egress or rescue windows from sleeping rooms shall have a minimum net clear opening height dimension of 24 inches (610mm). The minimum net clear opening width dimension shall be 20 inches (508mm), and a minimum net clear opening of 5.7 sq. ft. (Section 1010.4)
16. Each apartment shall have access to two (2) separate, remote and approved means of egress. A single exit is acceptable when it exits directly from the apartment to the building exterior with no communications to other apartment units. (Section 1010.1)
17. All vertical openings shall be enclosed with construction having a fire rating of at least one (1) hour, including fire doors with self-closers. (Over 3 stories in height requirements for fire rating is two (2) hours. (Section 710.0)
18. The boiler shall be protected by enclosing with (1) hour fire rated construction including fire doors and ceiling, or by providing automatic extinguishment. (Table 302.1.1)

- X19. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's Building Code Chapter 9, Section 920.3.2 (BOCA National Building Code/1999), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following locations):
- In the immediate vicinity of bedrooms
 - In all bedrooms
 - In each story within a dwelling unit, including basements
20. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type. (Section 921.0)
21. The Fire Alarm System shall be installed and maintained to NFPA #72 Standard.
22. The Sprinkler System shall be installed and maintained to NFPA #13 Standard.
23. All exit signs, lights and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023.0 & 1024.0 of the City's Building Code. (The BOCA National Building Code/1999)
24. Section 25-135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".
25. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 MRSA refers, shall obtain a certification from a design professional that the plans commencing construction of the facility, the builder shall submit the certification the Division of Inspection Services.
26. Ventilation and access shall meet the requirements of Chapter 12 Sections 1210.0 and 1211.0 of the City's Building Code. (Crawl spaces & attics).
- X27. All electrical, plumbing and HVAC permits must be obtained by a Master Licensed holders of their trade. No closing in of walls until all electrical (min. 72 hours notice) and plumbing inspections have been done.
- X28. All requirements must be met before a final Certificate of Occupancy is issued.
- X29. All building elements shall meet the fastening schedule as per Table 2305.2 of the City's Building Code (The BOCA National Building Code/1996).
30. Ventilation of spaces within a building shall be done in accordance with the City's Mechanical code (The BOCA National Mechanical Code/1993). (Chapter M-16)
31. Please read and implement the attached Land Use Zoning report requirements. *Shall comply with all requirements & conditions as outlined in the attached Development Review approval sheets*
32. Boring, cutting and notching shall be done in accordance with Sections 2305.3, 2305.3.1, 2305.4.4 and 2305.5.1 of the City's Building Code.
33. Bridging shall comply with Section 2305.16.
34. Glass and glazing shall meet the requirements of Chapter 24 of the building code. (Safety Glazing Section 2406.0)
35. All signage, shall be done in accordance with Section 3102.0 signs of the City's Building Code, (The BOCA National Building Code/1999).
- X36. *The proposed spiral stair shall comply with section 1014.6.4.*
- X37. *Flashing shall be comply with ISO 2.0*

[Signature]
 P. Samuel, Building Inspector
 Cc: L. McDougall, PFD
 Marge Schmuckal, Zoning Administrator

PSM 12600

**On the basis of plans submitted and conditions placed on these plans any deviations shall require a separate approval.

...THIS PERMIT HAS BEEN ISSUED WITH THE UNDERSTANDING THAT ALL THE CONDITIONS OF THE APPROVAL SHALL BE COMPLETED. THEREFORE, BEFORE THE WORK IS COMPLETED A REVISED PLAN OR STATEMENT FROM THE PERMIT HOLDER SHALL BE SUBMITTED TO THIS OFFICE SHOWING OR EXPLAINING THAT THE CONDITIONS HAVE BEEN MET. IF THIS REQUIREMENT IS NOT RECEIVED YOUR CERTIFICATE OF OCCUPANCY SHALL BE WITHHELD.

****CERTIFICATE OF OCCUPANCY FEE \$50.00

**** ALL PLANS THAT REQUIRE A PROFESSIONAL DESIGNER'S SEAL, (AS PER SECTION 114.0 OF THE BUILDING CODE) SHALL ALSO BE PRESENTED TO THIS DIVISION ON AUTO CAD LT.2000, OR EQUIVALENT.

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM**

20000107
I. D. Number

Paul Potter
Applicant
6 Leasington Ave Apt 2C, Buffalo, NY 14222
Applicant's Mailing Address
Robert Howard
Consultant/Agent
786-2830
Applicant or Agent Daytime Telephone, Fax

6/14/00
Application Date
Island Ave
Project Name/Description

Cliff Island, Cliff Island, Portland Maine
Address of Proposed Site
109C-A-046 & 109C-B 14
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply):
 Office Retail Manufacturing Warehouse/Distribution Parking Lot Other (specify): deck around
 New Building Building Addition Change Of Use Residential
1,900 60,005 IR-1 zoning
Proposed Building square Feet or # of Units Acreage of Site Zoning

Check Review Required:

Site Plan (major/minor) Subdivision # of lots _____ PAD Review 14-403 Streets Review
 Flood Hazard Shoreland Historic Preservation DEP Local Certification
 Zoning Conditional Use (ZDA/PE) Zoning Variance Other _____

Fees Paid: Site Plan \$200.00 Subdivision _____ Engineer Review \$100.00 Dem: 6/14/00

Inspections Approval Status:

Approved **Approved w/Conditions** see attached Denied Reviewer: Marge Schmittal
Approval Date 6/30/00 Approval Expiration _____ Extension to _____ Additional Sheets Attached
 Condition Compliance _____ signature _____ date _____

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input type="checkbox"/> Performance Guarantee Accepted	_____	_____	_____
	date	amount	expiration date
<input type="checkbox"/> Inspection Fee Paid	_____	_____	
	date	amount	
<input type="checkbox"/> Building Permit Issued	_____		
	date		
<input type="checkbox"/> Performance Guarantee Reduced	_____	_____	_____
	date	remaining balance	signature
<input type="checkbox"/> Temporary Certificate of Occupancy	_____	<input type="checkbox"/> Conditions (See Attached)	
	date		
<input type="checkbox"/> Final Inspection	_____	_____	
	date	signature	
<input type="checkbox"/> Certificate Of Occupancy	_____		
	date		
<input type="checkbox"/> Performance Guarantee Released	_____	_____	
	date	signature	
<input type="checkbox"/> Defect Guarantee Submitted	_____	_____	_____
	submitted date	amount	expiration date
<input type="checkbox"/> Defect Guarantee Released			

CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
ADDENDUM

20000107

L. D. Number

Paul Foster

Applicant

6 Ludington Ave Apt 2C, Buffalo, NY 14223

Applicant's Mailing Address

Robert Howard

Consultant/Agent

788-2850

Applicant or Agent Daytime Telephone, Fax

8/14/00

Application Date

Island Ave

Project Name/Description

Cliff Island, Cliff Island, Portland Maine

Address of Proposed Site

109C-A-048 & 109C-B-14

Assessor's Reference Chart/Block/Lot

DRC Conditions of Approval

Planning Conditions of Approval

Inspections Conditions of Approval

1. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

2. This office shall receive evidence (copy of recording or book & page) that the conservation easement was recorded prior to the commencement of construction

3. This office shall receive a copy of the approved HHE200 septic disposal system approval prior to commencement of construction.

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM**

20000107
I. D. Number

Paul Potter
Applicant
8 Lexington Ave Apt 2C, Buffalo, NY 14222
Applicant's Mailing Address
Robert Howard
Consultant/Agent
766-2550
Applicant or Agent Daytime Telephone, Fax

6/14/00
Application Date
Island Ave
Project Name/Description

Cliff Island, Cliff Island, Portland Maine
Address of Proposed Site
109C-A-048 & 109C-B-14
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential
 Office Retail Manufacturing Warehouse/Distribution Parking Lot Other (specify) deck around
1,500 60,605 IR-1 zone
Proposed Building square Feet or # of Units 60,605 Acreage of Site IR-1 zone Zoning

Check Review Required:

Site Plan (major/minor) Subdivision # of lots PAD Review 14-403 Streets Review
 Flood Hazard Shoreland Historic Preservation DEP Local Certification
 Zoning Conditional Use (ZBAPB) Zoning Variance Other

Fees Paid: Site Plan \$200.00 Subdivision Engineer Review \$100.00 Date: 6/14/00

DRC Approval Status:

Reviewer Steve Bushey/Gordon Smith

Approved Approved w/Conditions see attach Denied
Approval Date 7/5/00 Approval Expiration 7/5/01 Extension to Additional Sheets Attached
 Condition Compliance Steve Bushey/Gordon Smith 7/5/00
signature date

Performance Guarantee Required Not Required *

No building permit may be issued until a performance guarantee has been submitted as indicated below

<input type="checkbox"/> Performance Guarantee Accepted	_____	_____	_____
	date	amount	expiration date
<input type="checkbox"/> Inspection Fee Paid	_____	_____	
	date	amount	
<input type="checkbox"/> Building Permit	_____		
	date		
<input type="checkbox"/> Performance Guarantee Reduced	_____	_____	_____
	date	remaining balance	signature
<input type="checkbox"/> Temporary Certificate Of Occupancy	_____	<input type="checkbox"/> Conditions (See Attached)	
	date		
<input type="checkbox"/> Final Inspection	_____	_____	
	date	signature	
<input type="checkbox"/> Certificate Of Occupancy	_____		
	date		
<input type="checkbox"/> Performance Guarantee Released	_____	_____	
	date	signature	
<input type="checkbox"/> Defect Guarantee Submitted	_____	_____	_____
	submitted date	amount	expiration date
<input type="checkbox"/> Defect Guarantee Released	_____	_____	
	date	signature	

Inspections

CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
ADDENDUM

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6/14/00
Application Date
Island Ave
Project Name/Description

Cliff Island, Cliff Island, Portland Maine
Address of Proposed Site
109C-A-048 & 109C-B-14
Assessor's Reference. Chart-Block-Lot

DRC Conditions of Approval

Approved subject to site plan review condition of approval sheet.

All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a Certificate of Occupancy.

Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.

Your new street address is now off Island Avenue, the number must be displayed on the street frontage of your house prior to issuance of a Certificate of Occupancy.

The Development Review Coordinator (874-8300 ext.8722) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

Show all utility connections: water, sanitary, sewer, storm drain, electric, telephone, cable.

A sewer permit is required for you project. Please contact Carol Merritt at 874-8300, ext. 8828. The Wastewater and Drainage section of Public Works must be notified five (5) working days prior to sewer connection to schedule an Inspector for your site.

A street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8828. Only excavators licensed by the City of Portland are eligible.)

As-built record information for sewer and stormwater service connections must be submitted to Public Works Engineering Section (55 Portland Street) and approved prior to issuance of a Certificate of Occupancy.

The building contractor shall check the subdivision recording plat for pre-determined first floor elevation and establish the first floor elevation (FFE) and sill elevation (SE) to be set above the finish street/curb elevation to allow for positive drainage away from entire footprint of building.

The site contractor shall establish finish grades at the foundation, bulkhead and basement windows to be in conformance with the first floor elevation (FFE) and sill elevation (SE) set by the building contractor to provide for positive drainage away from entire footprint of building.

A drainage plan shall be submitted to and approved by Development Review Coordinator showing first floor elevation (FFE), sill elevation (SE), finish street/curb elevation, lot grading, existing and proposed contours, drainage patterns and paths, drainage swales, grades at or near abutting property lines, erosion control devices and locations and outlets for drainage from the property prior to occupancy.

The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.

Planning Conditions of Approval

Inspections Conditions of Approval

This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

This office shall receive evidence (copy of recording or book & page) that the conservation easement was recorded prior to the commencement.

This office shall receive a copy of the approved HHE200 septic disposal system approval prior to commencement of construction.

**CITY OF PORTLAND, ME
BOCA 1999 Plan Review Record
One and Two Family Dwelling**

Valuation: \$90,000.00 Plan Review # 0919 12K

Fee: \$564.00 Date: 16 June 2000

Building Location: Island Ave. C.I. CBI: 109C-A-048

Building Description: Single Family dwelling

Reviewed By: S. Noffes

Use or Occupancy: A-3 Type of Construction: 5B

*NR: Not Required NA: Not Applicable SR: See Report X: OK per plan

NO:	Correction List Description	Code Section
1.	All site plan and building code requirements shall be completed before a Certificate of occupancy can or will be issued -	111.0
2.	Chimneys and vents shall comply with NEPA all & BOCA mech 93 chapter 13.0	NEPA 211 BOCA mech 93 chapter 13
3.	All columns used as part of the foundation system shall be fastening to the pier and framing of the house decking.	
4.	Drainage shall comply with section 2305.16	2305.16
5.	Carling, cutting and Notching shall comply with sections 2305.3, 2305.3.1, 2305.4.4 and 2305.5.1	see section
6.	All fastening shall comply with Table 2305.2	Table 2305.2
7.	Sleeping room rescue or egress windows shall comply with section 1010.4	1010.4
8.	Guardrails shall comply with section 1022.0	1022.0
9.	Handrails shall comply with section 1021.0	1021.0
10.	STAIRWAY construction shall comply with section 1014.0	1014.0
11.	Smoke Detectors shall comply with Sec 920.72	920.72
12.	Spiral stairs shall comply with section 1014.6	1014.6
13.	Flashing shall comply with section 1506.0	1506.0

Foundations (Chapter 18)

Wood Foundation (1808)

- ~~N/A~~ Design Columns
- ~~N/A~~ Installation

Footings (1807.0)

- ~~N/A~~ Depth below (outside) grade 4' minimum, but below frost line except for insulated footings.
- ~~N/A~~ Insulated footing provided
- ~~N/A~~ Soil bearing value (table 1804.3) *analyze*
- ~~X~~ Footing width
- ~~X~~ Concrete footing (1810.0) 3.1, 3.2
- _____
- _____
- _____
- _____
- _____

Foundation Walls

- ~~N/A~~ Design (1812.1)
- ~~|~~ Minimum thickness Tables 1812.3.2.(1) & 1812.3.2 (2)
- ~~N/A~~ Water proofing and damp proofing Section 1813
- ~~X~~ Sill plate (2305.17)
- ~~N/A~~ Anchorage bolting in concrete (2305.17)
- ~~OK~~ Columns (1912)
- ~~N/A~~ Crawl space (1210.2) Ventilation
- ~~N/A~~ Crawl opening size (1210.2.1)
- ~~N/A~~ Access to crawl and attic space (1211.0)
- _____

Floors (Chapter 16-23)

- ~~X~~ Joists - Non sleeping area LL40PSF (Table - 1606)
- ~~X~~ Joists - Sleeping area LL30PSF (Table - 1606)
- ~~X~~ Grade
- ~~X~~ Spacing
- ~~X~~ Span
- ~~X~~ Girder 4" bearing 2305.6.1

Floors (contd.)

- ~~X~~ Bearing (1 1/2" minimum on wood or steel 3" on masonry) and lapped (3") 2305.2
- ~~SA~~ Bridging (2305.16)
- ~~SA~~ Boring and notching (2305.5.1)
- ~~SA~~ Cutting and notching (2305.3)
- ~~SA~~ Fastening table (2305.2)
- ~~NA~~ Floor trusses (AFPA/ANSI Chapter 35)
- ~~X~~ Draft stopping (721.7)
- ~~X~~ Framing of openings (2305.11) (2305.12)
- ~~X~~ Flooring - (2304.4) 1" solid - 1/2" particle board
- ~~NA~~ Concrete floors (1905) 3 1/2" 6 mil polyethylene vapor retarder
- _____
- _____
- _____
- _____
- _____

Wall Construction (Chapter 2300)

- ~~X~~ Design (1609) wind loads
- ~~X~~ Load requirements
- ~~X~~ Grade
- ~~SA~~ Fastening schedule (Table 2305.2)
- ~~X~~ Wall framing (2305.4.1)
- ~~X~~ Double top plate (2305.4.2)
- ~~X~~ Bottom plates: (2305.4.3)
- ~~SA~~ Notching and boring: (2305.4.4) studs
- ~~X~~ Non load bearing walls (2305.5)
- ~~SA~~ Notching and boring (2305.5.1)
- ~~X~~ Wind bracing (2305.7)
- ~~X~~ Wall bracing required (2305.8.1)
- ~~X~~ Stud walls (2305.8.3)
- ~~X~~ Sheathing installation (2305.8.4)
- ~~X~~ Minimum thickness of wall sheathing (Table 2305.13)
- ~~NA~~ Metal construction
- ~~NA~~ Masonry construction (Chapter 21)
- ~~X~~ Exterior wall covering (Chapter 14)
- ~~X~~ Performance requirements (1403)
- ~~X~~ Materials (1404)
- ~~NA~~ Veneers (1405)
- ~~X~~ Interior finishes (Chapter 8)

Roof-Ceiling Construction (Chapter 23)

- X Roof rafters - Design (2305.15) spans
- X Roof decking and sheathing (2305.15.1) 5/8" boards and (2307.3) (Table 2307.3.1(2))
- NA Roof trusses (2313.3.1)

Roof Coverings (Chapter 15)

- A Approved materials (1404.1)
- A Performance requirement (1505)
- X Fire classification (1506)
- X Material and installation requirements (1507)
- NA Roof structures (1510.0)
- X Type of covering (1507)

**Chimneys and Fireplaces
 BOCA Mechanical/1993**

- NA Masonry (1206.0)
- ND Factory - built (1205.0)
- NR Masonry fireplaces (1404)
- NQ Factory - built fireplace (1403)
- ____ NFPA 211

**Mechanical
 1993 BOCA Mechanical Code**

Load Design Criteria

Floor live load sleeping	<u>30 PSF</u>	<u>X</u>
Floor live load non sleeping	<u>40 PSF</u>	<u>X</u>
Roof live load	<u>42 PSF</u>	<u>X</u>
Roof snow load	<u>40 PSF</u>	<u>X</u>
Seismic Zone	<u>2</u>	<u>X</u>
Weathering area	<u>S</u>	<u>X</u>
Frost line depth	<u>4' MIN</u>	<u>X</u>

Glazing (Chapter 24)

- SA Labeling (2402.1)
- SA Louvered window or jalousies (2402.5)
- SA Human impact loads (2405.0)
- SA Specific hazardous locations (2405.2)
- SA Sloped glazing and skylights (2404)
- _____
- _____
- _____
- _____
- _____

Private Garages (Chapter 4)

- NA General (407)
- NA Beneath rooms (407.3)
- NA Attached to rooms (407.4)
- NA Door sills (407.5)
- NA Means of egress (407.8)
- NA Floor surface (407.9)
- _____
- _____
- _____

Egress (Chapter 10)

- ~~SA~~ One exit from dwelling unit (1010.2)
- ~~SA~~ Sleeping room window (1010.4)
- ~~SA~~ EXIT DOOR (1017.3) 32" W 80" H
- ~~SA~~ Landings (1014.3.2) stairway
- ~~NO~~ Ramp slope (1016.0)
- ~~SA~~ Stairways (1014.3) 36" W
- ~~SA~~ Treads (1014.6) 10" min.
- ~~SA~~ Riser (1014.6) 7 3/4" max.
- ~~SA~~ Solid riser (1014.6.1)
- ~~NA~~ Winders (1014.6.3)
- ~~SA~~ Spiral and Circular (1014.6.4)
- ~~SA~~ Handrails (1022.2.2) Ht.
- ~~SA~~ Handrail grip size (1022.2.4) 1 1/4" to 2"
- ~~SA~~ Guards (1012.0) 36" min.

Smoke Detectors (920.3.2)

- ~~SA~~ Location and interconnection
- ~~SA~~ Power source

Dwelling Unit Separation Table 602

Electrical
NFPA # 70

Applicant: Robert Howard

Date: 6/30/06

Address: Island Ave, Cliff Island, C.B.L.: 109C-A-48

CHECK-LIST AGAINST ZONING ORDINANCE

109E-B-14

covered by conservation easement

Date - New

Zone Location - IR1 -

Interior or corner lot -

Proposed Use/Work - Construct new single family home 44' x 38'

→ Sewage Disposal - private requires HHE 200 form prior to construction

Lot Street Frontage - 100' min - ~270' shown

Front Yard - 30' min - 30' shown at close

Rear Yard - 30' min, 140' shown

Side Yard - 20' min - 67' & 8' shown

Projections - Deck around

Width of Lot - 100' min - 150'+ shown

Height - 35' MAX -

Lot Area - 60,000^{sq} min 60,605^{sq} shown

Lot Coverage/ Impervious Surface - 20% a MAX, 12,121^{sq}

Area per Family - 60,000^{sq}

38 x 44 = 1672^{sq}

Off-street Parking -

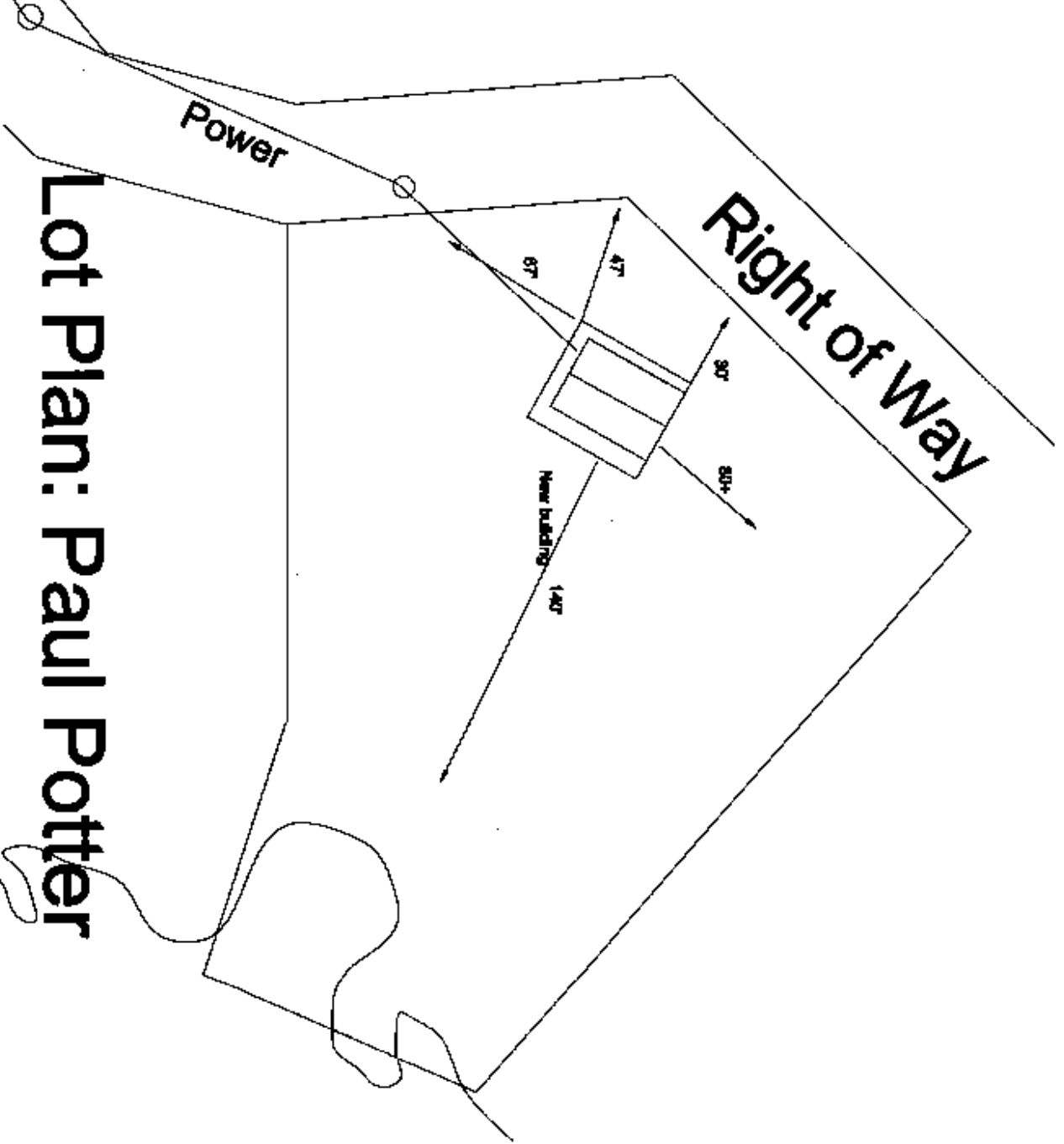
Loading Docks - N/A

Site Plan - minor/minor

#20000107
Shoreland Zoning/ Stream Protection - within, but over 75' from HWM shows 140' on survey

Flood Plains - ok - over 80' from the floodplain line
panel 5 in zone C where house is placed

→ Required to record the conservation easement prior to construction



Lot Plan: Paul Potter

THE 75' SETBACK AND SUEDEY IS A BUSINESS, WE WOULD LIKE TO APPROVE IT WITH THE ABOVE.



THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE PERMIT IS ISSUED

**Minor/Minor Site Review, Building or Use Permit Pre-Application
Detached Single Family Dwelling**

In the interest of processing your application in the quickest possible manner, please complete the information below for a Building or Use Permit.

NOTE If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.**

Location/Address of Construction: ISLAND AVE - CLIFF ISLAND			
Total Square Footage of Proposed Structure: 1500		Square Footage of Lot: 60,605	
Tax Assessor's Chart, Block & Lot Number Chart: 109C Block: A Lot: 48		Owner: PAUL POTTER	Telephone: 1-716-885-5293
Lender/Financier's Name (If Applicable)		Contractor/Purchaser/Lessee Address: 6 LEXINGTON AVE, APT 2C BRIDGE PLAZA, NY 10022	Call Of Work: \$90000 Fee: \$564
Proposed Project Description (Please be as specific as possible) SINGLE FAMILY HOME. Site Fee 300.00			
Contractor's Name, Address & Telephone ROBERT HOWARD BOZIS CONTRACTING, INC 0408 766 2850 TOTAL \$844.00			

Separate permits are required for Internal & External Plumbing, HVAC and Electrical installation.

- All construction must be conducted in compliance with the 1996 B.O.C.A. Building Code as amended by Section 6-Art II
- All plumbing must be conducted in compliance with the State of Maine Plumbing Code.
- All Electrical Installation must comply with the 1996 National Electrical Code as amended by Section 6-Art III
- HVAC (Heating, Ventilation and Air Conditioning) installation must comply with the 1993 BOCA Mechanical Code.

You must include the following with your application:

- 1) A Copy of Your Deed or Purchase and Sale Agreement
- 2) A Copy of your Construction Contract, if available
- 3) A Plot Plan (Sample Attached)

A "minor/minor" site plan review is required prior to permit issuance. The Site plan must be prepared and sealed by a registered land surveyor (2 copies are required). A complete plot plan (Site Plan) includes:

- The shape and dimension of the lot, all existing buildings (if any), the proposed structure and the distance from the actual property lines. Structures include decks, porches, a bow windows cantilever sections and roof overhangs, as well as, sheds, pools, garages and any other accessory structures.
- Scale and North arrow; Zoning District & Setbacks
- First Floor sill elevation (based on mean sea level datum);
- Location and dimensions of parking areas and driveways;
- Location and size of both existing utilities in the street and the proposed utilities serving the building;
- Location of areas on the site that will be used to dispose of surface water.
- Existing and proposed grade contours

4) Building Plans (Sample Attached)

A complete set of construction drawings showing all of the following elements of construction:

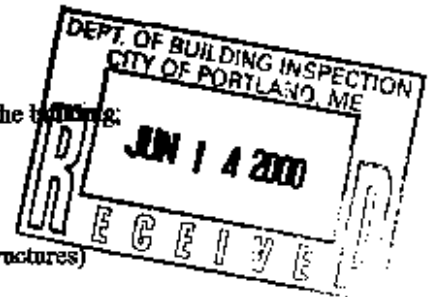
- Cross Sections w/ framing details (including porches, decks w/ railings, and accessory structures)
- Floor Plans & Elevations
- Window and door schedules
- Foundation plans with required drainage and dampproofing
- Electrical and plumbing layout. Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment (air handling) or other types of work that may require special review must be included.

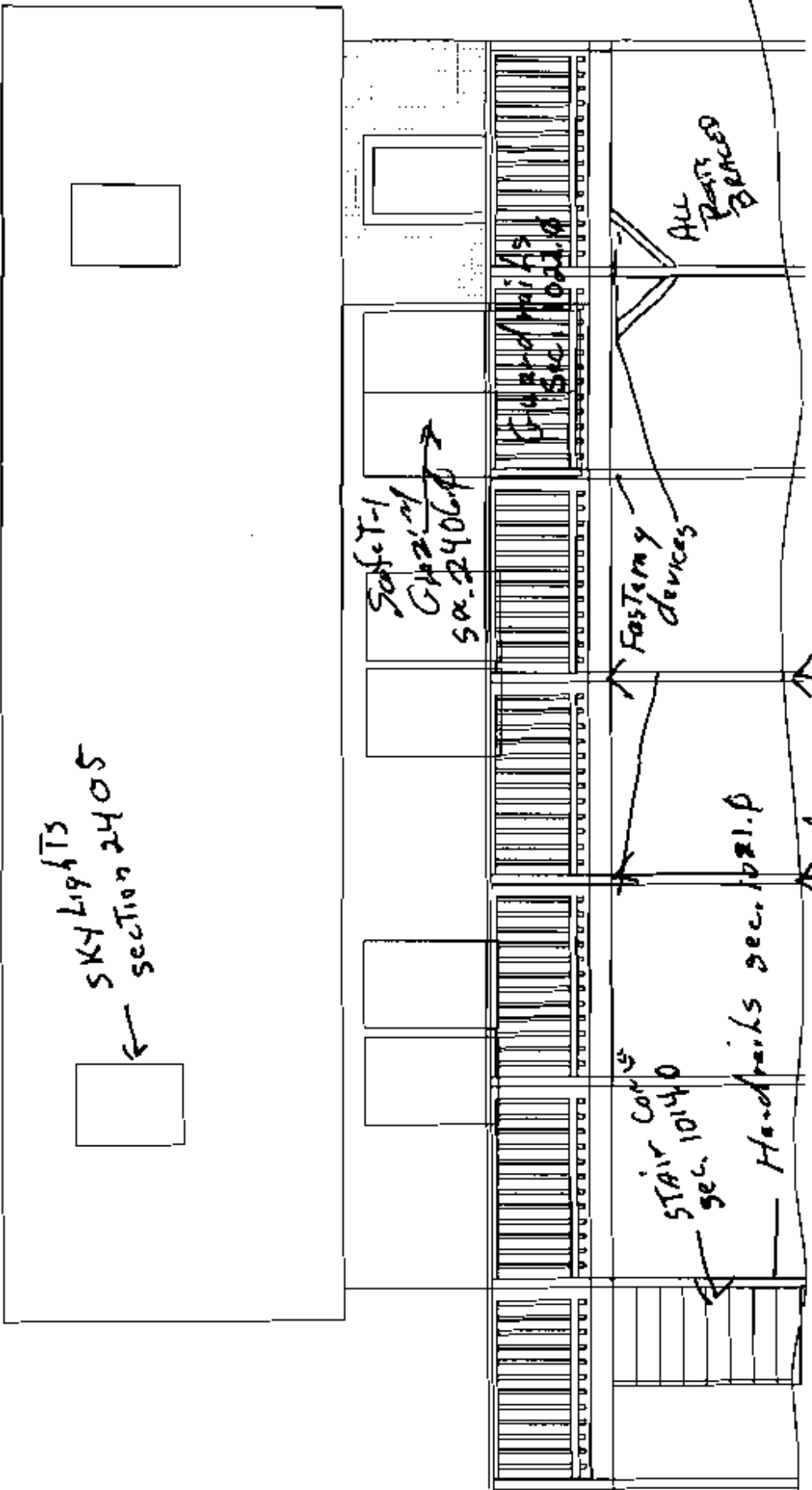
Certification

I hereby certify that I am the Owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: 	Date: 6-14-00
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Site Review Fee: \$300.00/Building Permit Fee: \$30.00 for the 1st \$1000 cost plus \$6.00 per \$1,000.00 construction cost thereafter.





SKY LIGHTS
SECTION 2405

Section 1
Glass
sec. 2406.p

STAIR COMB
sec. 10140

Handrails sec. 1021.p

Fastening
devices

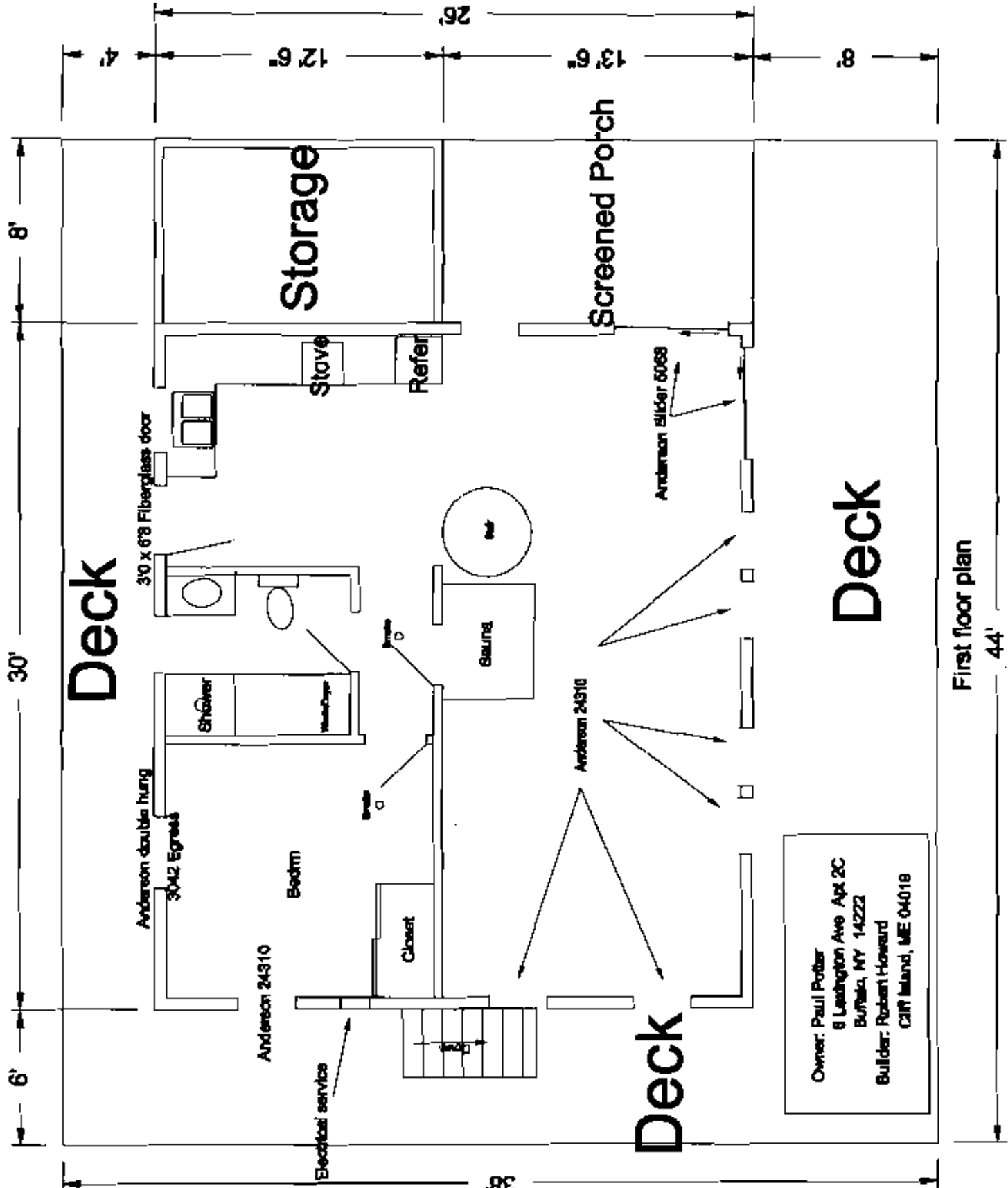
Handrails
sec. 1021.p

ALL
PARTS
BRACED

Lodge East Elevation

Owner: Paul Prother
6 Lexington Ave Apt 2C
Buffalo, NY 14222
Builder: Robert Howard
Cliff Island, ME 04019

Red = Sam



Deck

Storage

Screened Porch

Deck

Deck

Owner: Paul Porter
 8 Lexington Ave Apt 2C
 Buffalo, NY 14222
 Builder: Robert Howard
 Cliff Island, ME 04018

First floor plan

44'

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM**

20000167
I. D. Number

Paul Potler
Applicant
8 Lorington Ave Apt 2C, Buffalo, NY 14222
Applicant's Mailing Address
Robert Howard
Consultant/Agent
788-2860
Applicant or Agent Daytime Telephone, Fax

8/14/00
Application Date
Island Ave
Project Name/Description

CLIFF Island, CLIFF Island, Portland Maine
Address of Proposed Site
199C-A-848
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential
 Office Retail Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____
 1,000 Proposed Building square Feet or # of Units 80,000 Acreage of Site Zoning

Check Review Required:
 Site Plan *major/minor* (major/minor) Subdivision # of lots _____ PAD Review 14-400 Streets Review
 Flood Hazard Shoreland Historic Preservation DEP Local Certification
 Zoning Conditional Use (ZBAPB) Zoning Variance Other _____
 Fees Paid: Site Plan \$200.00 Subdivision _____ Engineer Review \$100.00 Date: 8/14/00

Inspections Approval Status: Reviewer _____
 Approved Approved w/Conditions see attached Denied
 Approval Date _____ Approval Expiration _____ Extension to _____ Additional Sheets Attached
 Condition Compliance signature _____ date _____

Performance Guarantee Required* Not Required
 * No building permit may be issued until a performance guarantee has been submitted as indicated below

<input type="checkbox"/> Performance Guarantee Accepted	_____	_____	_____
	date	amount	expiration date
<input type="checkbox"/> Inspection Fee Paid	_____	_____	
	date	amount	
<input type="checkbox"/> Building Permit Issued	_____		
	date		
<input type="checkbox"/> Performance Guarantee Reduced	_____	_____	_____
	date	remaining balance	signature
<input type="checkbox"/> Temporary Certificate of Occupancy	_____		
	date	<input type="checkbox"/> Conditions (See Attached)	
<input type="checkbox"/> Final Inspection	_____	_____	
	date	signature	
<input type="checkbox"/> Certificate Of Occupancy	_____		
	date		
<input type="checkbox"/> Performance Guarantee Released	_____	_____	
	date	signature	
<input type="checkbox"/> Defect Guarantee Submitted	_____	_____	
	date	signature	

CITY OF PORTLAND, MAINE
PUBLIC NOTICE

To All Building Permit Applicants and/or Contractors:

Effective immediately all temporary erosion control measures as shown on submitted site plans or as made part of a conditional approval of a site plan shall be installed, maintained, and inspected for proper functioning. Erosion control measures include but are not limited to silt fencing hay bales, stone check dams, earthen berms, stone lined swales, riprap embankments, riprap inlet/outlets of any pipe channel or culvert, sodded or grass strips, hay mulch cover on exposed soils, jute matting or erosion control blanket/matting, geotextile grids or webbing, and any provision approved by the City Engineer or Development Review Coordinator to decrease erosion or sedimentation.

All temporary and permanent erosion control measures shall be in conformance with the Maine Erosion and Sediment Control Handbook for construction: Best Management Practices as published by Cumberland County SWCD and the Maine Department of Environmental Protection. Consistent failure to install, maintain, or construct in an acceptable manner will result in a stop work order on the building permit. All erosion control measures shall be established in proposed areas of disturbed soils resulting from construction activities prior to actual construction unless a specific deadline has been made a condition of approval or agreed to by a Public Works Engineer or the Development Review Coordinator.

Effective immediately any request for Certificate of Occupancy will be denied if the above measures have not been addressed or completed. Only under extreme conditions, due to weather, shall the omission of the erosion control standards be included on the conditions for a Certificate of Occupancy, otherwise the request for a Certificate will be refused.

The City of Portland Planning Department and Public Works Department consider Erosion and Sediment Control Planning to be an absolutely necessary initial construction activity that requires as much attention and enforcement as building construction. For the protection of sensitive waterbodies, undisturbed lands, neighboring properties, established vegetated areas, and municipal drainage systems please pay careful attention to erosion and sediment control measures and conform to the notes, details, and conditions of approval as noted on your approved site plan. These controls must be installed and maintained continuously throughout the construction period. The City may inspect the site at any time to ensure compliance, and violations could result in work stoppage orders as indicated above.

We appreciate your prompt compliance with these requirements.



CITY OF PORTLAND
Planning and Urban Development Department

MEMORANDUM

TO: Joseph E. Gray, Jr., Director of Planning and Urban Development
Alexander Jaegerman, Chief Planner

FROM: James Seymour, Acting Development Review Coordinator

DATE: April 5, 1995

SUBJECT: Disclaimer Statement of Existing Poorly Drained Areas

It is the responsibility of the lot owner/homebuilder to assess drainage and provide for appropriate stormwater management design and engineering in an area which has evidence of poor hydrologic soil conditions, and/or a history of poor drainage, ponding, or soils saturation due to topography, fluctuation of seasonal ground water tables creating surface flooding, or as a result from rainfall events or snow/ice melts. The City of Portland is not responsible for resolving the drainage of land areas which could be described in any one of the above conditions.

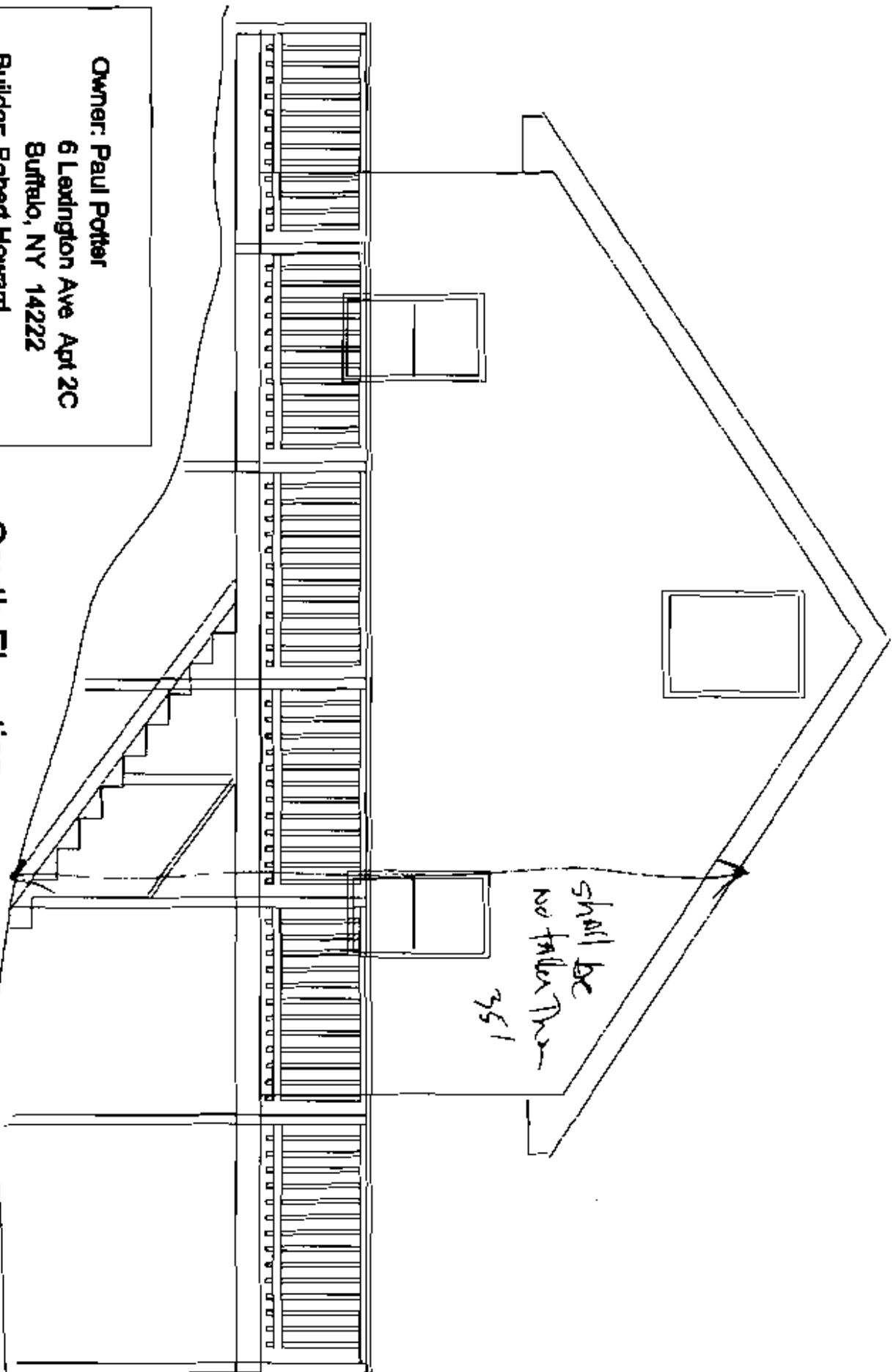
The City of Portland Development Review Coordinator reviews lot grading for all single family homes to assure that field elevations will conform to the grades which exist at the abutting property line or to the grades which have been previously approved at the abutting property lines. The construction standards require that final foundation elevations be provided on site plans which are a minimum of 2 1/2 feet higher than street grades established at the frontage of the lot and provide positive drainage away from the entire foundation perimeter, including garage, and all basement accessses (i.e. bulkheads, doorways and windows). As long as these standards are strictly enforced, most water problems on single family lots will be avoided. However, in locations with clear evidence of hydric soils, the following note shall be placed on all approved site plans:

"The city of Portland Development Review Coordinator has reviewed and approved this plan. The lot is located in an areas that is subject to seasonal conditicces of saturation by surface or groundwater. Approval of this plan does not constitnts a guarantee that no water problems will be experienced by the homeowners in this vicinity. Homeowners are advised to exercise care and diligence to ensure that their home and yard is adeqately constructed and graded for localized drainage conditions."

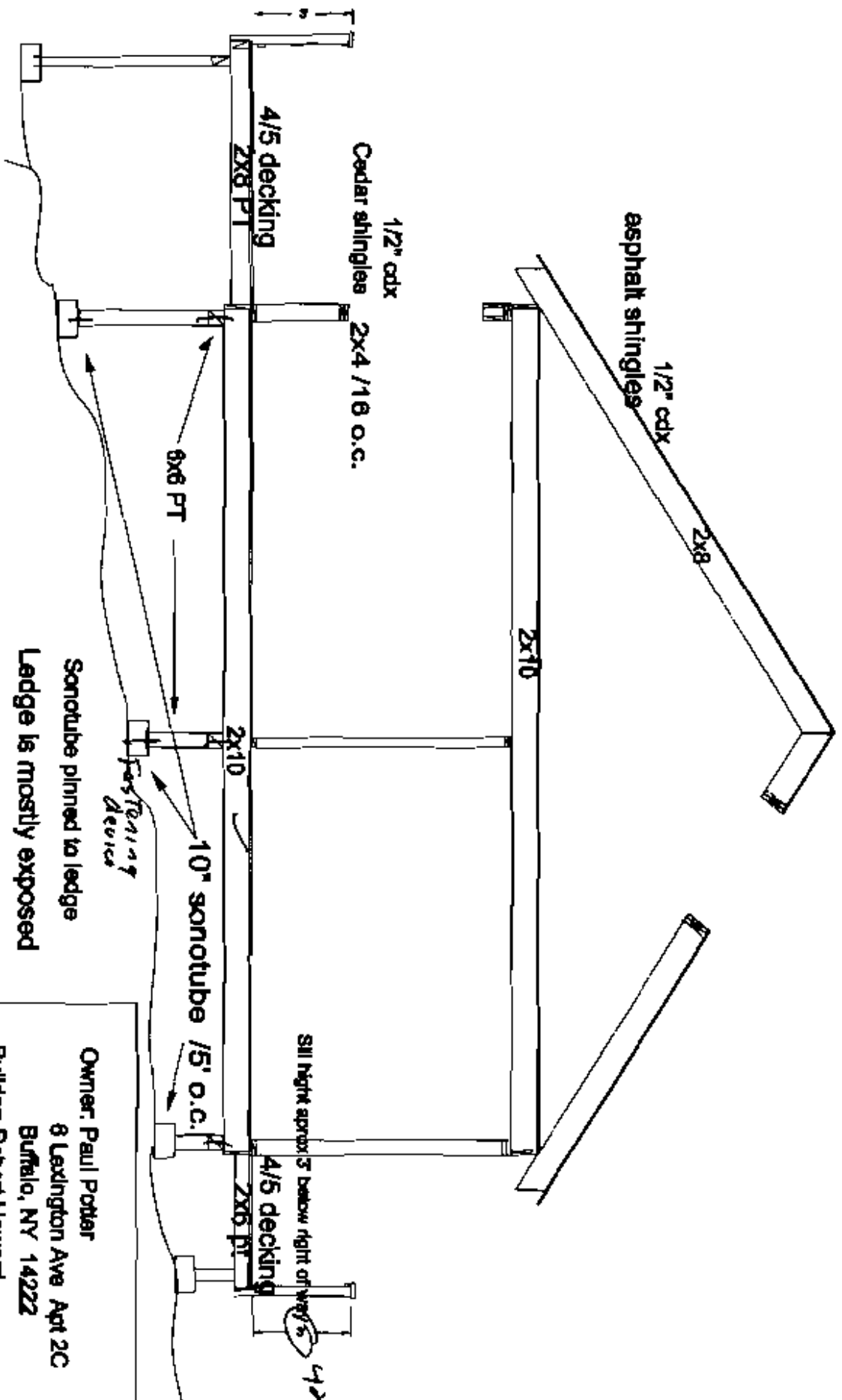
Owner: Paul Potter
6 Lexington Ave Apt 2C
Buffalo, NY 14222

Builder: Robert Howard
Cliff Island, ME 04019

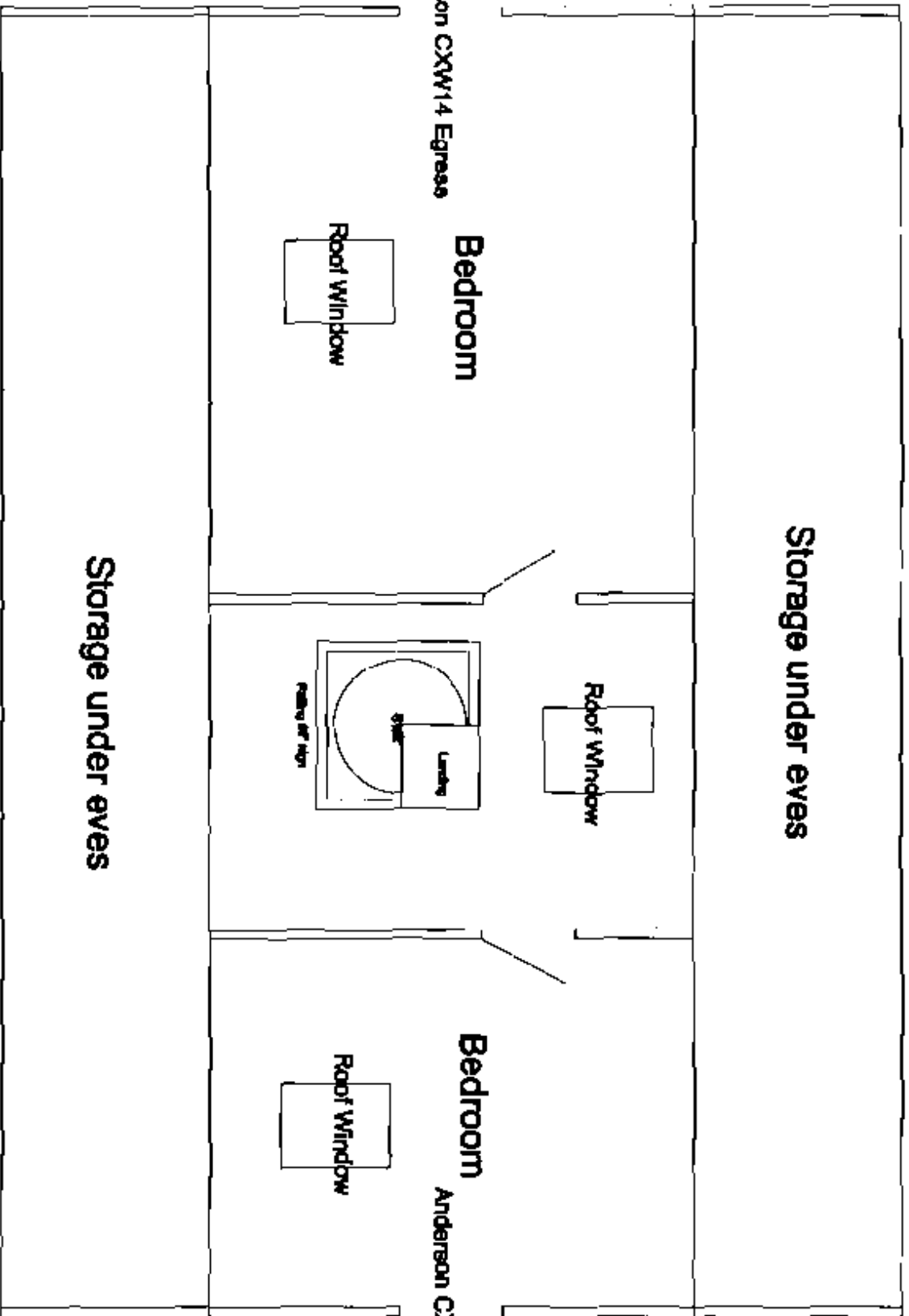
South Elevation



shall be
no taller than
35'



Owner: Paul Potter
 6 Lexington Ave Apt 2C
 Buffalo, NY 14222
 Builder: Robert Howard
 Cliff Island, ME 04019



Owner: Paul Potter
6 Lexington Ave Apt 2C
Buffalo, NY 14222
Builder: Robert Howard
Cliff Island, ME 04019

Second floor guest bedrooms

Housing & Neighborhood Services Division
Mark B. Adelson
Director



Dept. of Planning and Urban Development
Joseph E. Gray, Jr.
Director

CITY OF PORTLAND

Pandika Pleqi
Winton Scott Architects
5 Milk Street
Portland, Maine 04101

February 2, 2001

Re: Unity Village Waiver Request of January 31, 2001

Dear Pandika,

This is to inform you that I am granting your waiver request for the stair dimensions to the mechanical rooms only at the Unity Village housing project. The conditions of this waiver are that the stairs be built with 9"X10" treads and risers, and that the mechanical rooms will be locked and inaccessible to the residents. This waiver is being granted in accordance with NFPA/1997 chapter 5-2.2.2.1, exception No. 2, and chapter 28-2.5.6, as adopted by the City of Portland.

Sincerely,

Mark B. Adelson
Housing and Neighborhood Services Director

Cc: Jim Hatch
Wendy Cherubini
Sam Hoffses
Michael Nugent