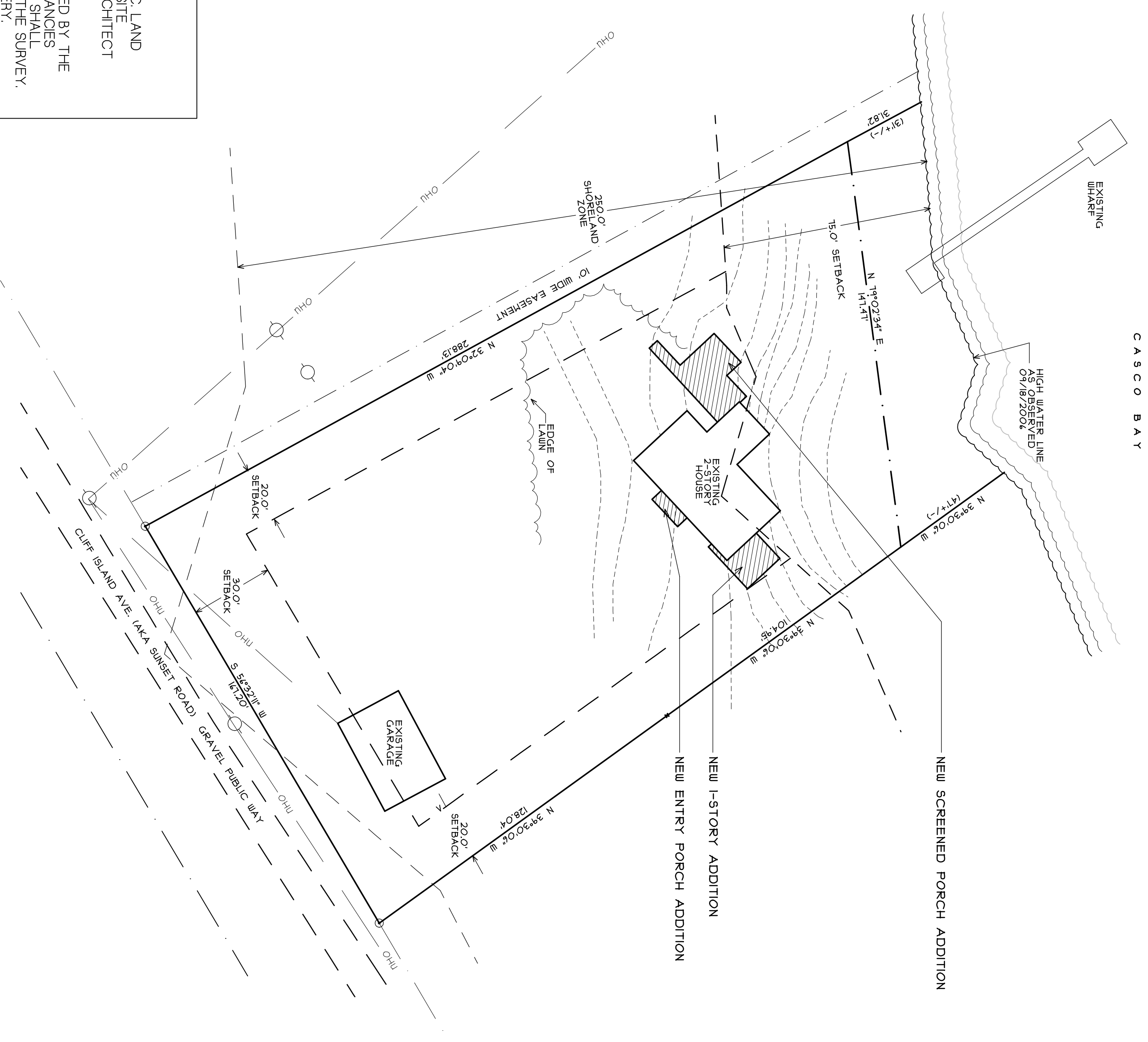


COLESWORTHY COTTAGE

CLIFF ISLAND, MAINE

June 17, 2009



DRAWING LIST

CVR	COVER SHEET, DRAWING LIST, GENERAL NOTES, SITE PLAN
A11	MID & LOWER LEVEL FLOOR PLAN
A12	UPPER LEVEL FLOOR PLAN
A13	ROOF PLAN
A21	EXTERIOR ELEVATIONS
A22	EXTERIOR ELEVATIONS
A31	BUILDING SECTIONS
A32	BUILDING SECTIONS
A33	BUILDING SECTIONS
A34	BUILDING SECTIONS
A41	SCHEDULES & DETAILS
A51	INTERIOR ELEVATIONS
S11	FOUNDATION / FLOOR FRAMING PLAN
S12	ROOF FRAMING PLAN
E11	ELECTRICAL PLANS, NOTES AND LEGEND

GENERAL NOTES

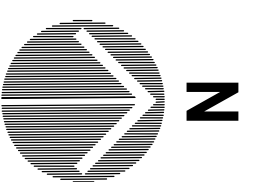
- DIMENSIONS ARE TO THE FACE OF FRAMING/FOUNDATION UNLESS NOTED OTHERWISE.
- DO NOT SCALE DRAWINGS, WORK FROM DIMENSIONS ONLY.
- GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES TO ARCHITECT BEFORE PROCEEDING WITH ANY WORK.
- ALL WORK SHALL COMPLY WITH APPLICABLE NATIONAL, STATE, & LOCAL CODES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING PERMITS.
- CONTRACTOR SHALL PROPERLY DISPOSE OF ALL CONSTRUCTION DEBRIS OFF-SITE.
- CONTRACTOR SHALL INSTALL BLOCKING IN WALLS FOR CABINETRY, SHELVING, HANDRAILS, MIRRORS, AND ACCESSORIES.
- INSTALL SOUND ATTENUATION BATTIS AT ALL BATHROOM & LAUNDRY ROOM PARTITIONS.
- SEE OUTLINE SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- DOORS SHALL BE LOCATED A MINIMUM OF 5" FROM ADJOINING WALLS EXCEPT WHERE NOTED OR DIMENSIONED OTHERWISE.
- WOOD BLOCKING IN CONTACT WITH CONCRETE OR MASONRY TO BE PRESERVATIVE TREATED BY PRESSURE PROCESS AND WHERE NOTED "P.T." SEAL CUTS IN PRESERVATIVE TREATED WOOD WITH FIELD APPLIED PRESERVATIVE.

SITE NOTES

- EXISTING CONDITIONS BASED ON SURVEY BY BACK BAY BOUNDARY, INC. LAND SURVEYING, DATED 09/18/2006. CONTRACTOR SHALL PERFORM ON-SITE INSPECTION OF CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY ARCHITECT OF ANY DISCREPANCIES WHICH MAY EXIST.
- EXISTING UTILITY LOCATIONS ARE APPROXIMATE AND SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. ANY CONDITIONS OR DISCREPANCIES SHOULD BE REPORTED IMMEDIATELY TO ARCHITECT. NOTE THAT UNDERGROUND UTILITIES MAY EXIST WHICH ARE NOT ON THE SURVEY. CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY UPON DISCOVERY.
- ALL AREAS DISTURBED DURING CONSTRUCTION AND SITE PREPARATION SHALL BE REPAIRED BY LOAM/SEEDING AS REQUIRED TO RETURN THE SITE TO PRE-CONSTRUCTION CONDITIONS.
- SUBJECT PARCEL IS ZONED R-1 ISLAND RESIDENTIAL 1.
- AREA OF SUBJECT PARCEL: 434827 SQ. FT.

SITE PLAN

SCALE: 1"=30'



COLESWORTHY COTTAGE
ADDITIONS & RENOVATIONS
CLIFF ISLAND
MAINE

Revisions



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Consultants

Structural Engineer
Pankim & Greer

Job No.: 08.13
Date: June 17, 2009
Scale: 1/4" = 1'-0"
Drawn by: CR
Checked by: DWB
Drawing Title:
COVER SHEET,
DRAWING LIST,
GENERAL NOTES,
SITE PLAN

CVR

PERMIT SET