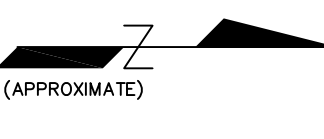
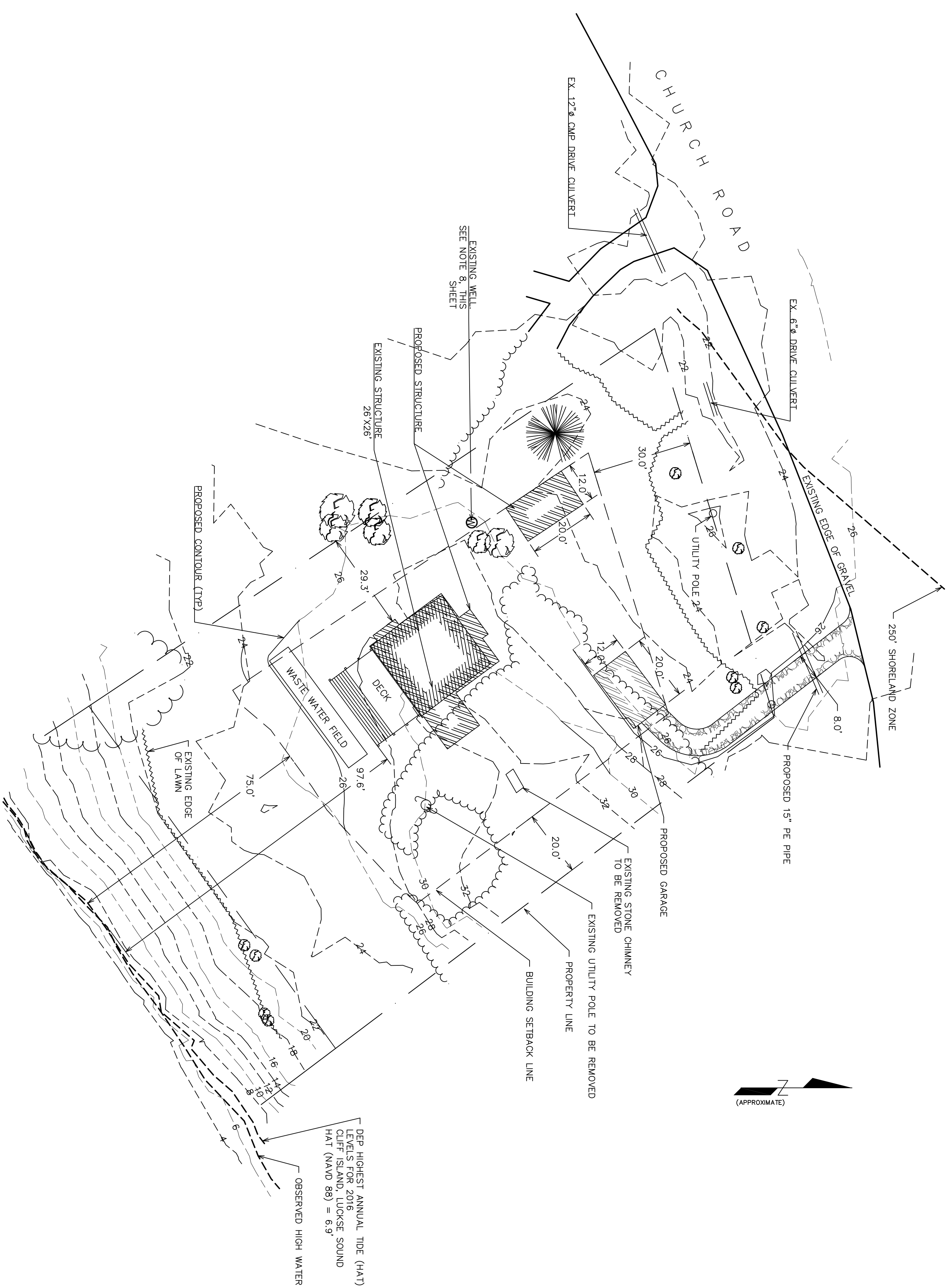
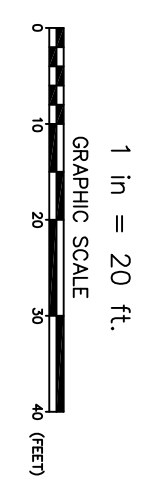


NOTES

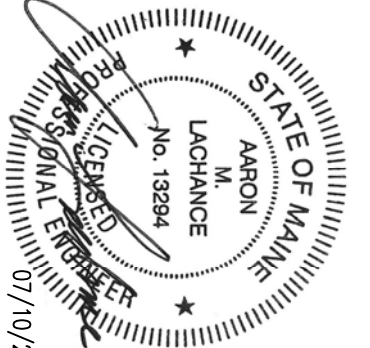
1. LOT IS LOCATED IN THE R-1 DISTRICT AND THE SHORELAND OVERLAY ZONE THE LOT IS 26,610 S.F.± LAND DISTURBANCE IS 1,746 S.F. OR 6.56%
2. PROPOSED IS A 930 S.F. SINGLE FAMILY HOME TO REPLACE A 676 S.F. SINGLE FAMILY HOME. FINISH FLOOR ELEVATION IS 32.5'.
3. SEE PLANTING PLAN FOR PROPOSED LANDSCAPING.
4. PROPOSED SINGLE FAMILY SHALL BE SPRINKLED IN COMPLIANCE WITH NFPA 13D.
5. GRAVEL DRIVEWAY WILL PROVIDE TWO VEHICLE PARKING SPACES.
6. SEE HHE200 FOR PROPOSED WASTEWATER FIELD DESIGN.
7. BOUNDARY INFORMATION DERIVED ON THIS SHEET TAKEN FROM PLAN TITLED "BOUNDARY SURVEY AND LOT SPLIT, 81 & 87 CHURCH ROAD, CLIFF ISLAND, PEARL AND HARBOR PLANNING AND CONSULTANTS, INC. AND DATED DECEMBER 2, 2015, REVISED JANUARY 14, 2016.
8. SEE "WARRANTY DEED - CORRECTIVE (2 OF 2)" FOR THE SUBJECT PROPERTY, LOCATED AT BOOK 32912 PAGE 233 OF THE CUMBERLAND COUNTY, MAINE REGISTRY OF DEEDS FOR INFORMATION REGARDING VARRANTY COVENANTS RELATED TO A LIMITED EASEMENT TO A SHARED WELL ON THIS PROPERTY.
9. NO ADDITIONAL, PERMANENT STORMWATER MANAGEMENT FEATURES ARE PROPOSED AS PART OF THE CONSTRUCTION OF THIS SINGLE-FAMILY RESIDENTIAL STRUCTURE. THE EXISTING ON-SITE VEGETATION WILL BE RETAINED AND SUPPLEMENTED AS SHOWN ON THE PROPOSED PLANTING PLAN. MORE EARTH DISTURBANCE WILL BE NECESSARY TO CONSTRUCT THE PROJECT, AND THEREFORE THE MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION'S EROSION AND SEDIMENT CONTROL PRACTICES FIELD GUIDE FOR CONTRACTORS.



DEP HIGHEST ANNUAL TIDE (HAT) LEVELS FOR 2016 CLIFF ISLAND, LUISCSE SOUND HAT (NAVD 89) = 6.9'



NO.	DESCRIPTION	DATE



SITE/GRADING PLAN
SOUTH SIDE, LLC.
87 CHURCH ROAD
 FOR: SOUTH SIDE, LLC.
 243 JENNIE LANE
 ELIOT MAINE, 03903
 PREPARED: AARON M. LACHANCE, P.E.
 BY: 40 ATLANTIC AVE
 DOVER NH, 03820
 SCALE: 1" = 20'
 DATE: 07/10/2016
 APPROVED BY: _____
 DRAWN BY: BRW
 REVISION : DATE
 SHEET 1 OF 3