

Form # P 04

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached

BU **PERMIT** ION

Permit Number: 091002

PERMIT ISSUED

OCT - 2 2009

This is to certify that SWIFT KATHLEEN DIXON / Libby G

has permission to Build a dormer addition

AT 18 GRIFFINS LN CLIFF ISLAND

CE 109B F008001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lath or other work is used-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____

Health Dept. _____

Appeal Board _____

Other _____

Department Name

Thomas M. Markley 10/1/09
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>18 Griffin's Lane</u>		
Total Square Footage of Proposed Structure/Area	Square Footage of Lot	Number of Stories
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>109BF8</u>	Applicant *must be owner, Lessee or Buyer* Name <u>Walter Swift</u> Address <u>18 Griffin's Ln.</u> City, State & Zip <u>Cliff Island, ME 04019</u>	Telephone: email: <u>wlswift@sarac.net</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>8,000 -</u> C of O Fee: \$ _____ Total Fee: \$ <u>100</u>
Current legal use (i.e. single family) <u>Single Family</u> Number of Residential Units <u>2</u> If vacant, what was the previous use? _____ Proposed Specific use: <u>Added space to bedrooms (2)</u> Is property part of a subdivision? <u>No</u> If yes, please name _____ Project description: _____		
Contractor's name: <u>Art Libby</u> <u>artlibby@libby57@gmail.com</u> Address: <u>51 Tremont St.</u> City, State & Zip <u>So. Portland, ME 04106</u> Telephone: <u>207 774-1478</u> Who should we contact when the permit is ready: <u>Art Libby</u> Telephone: <u>766-5693</u> Mailing address: <u>P.O. Box 90 Cliff Island, ME 04019</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature

Date: 9/14/09

This is not a permit; you may not commence ANY work until the permit is issued.

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

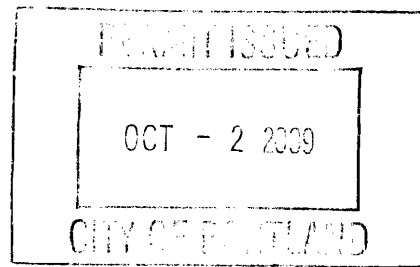
Permit No: 09-1002	Issue Date:	CBL: 109B F008001
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Location of Construction: 18 GRIFFINS' LN CLIFF ISLAND	Owner Name: SWIFT KATHLEEN DIXON	Owner Address: 63 PINNACLE RD	Phone:
Business Name:	Contractor Name: Art Libby Contruction	Contractor Address: 51 Tremont Street South Portland	Phone 2072339335
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	Zone: IR-1

Past Use: Single Family Home	Proposed Use: Single Family Home - Build a dormer addition	Permit Fee: \$100.00	Cost of Work: \$8,000.00	CEO District: 1
Proposed Project Description: Build a dormer addition		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R3 Type: 5B JRC 2003 Signature: Jm 10/1/09	
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: Date:		

Permit Taken By: Ldobson	Date Applied For: 09/14/2009	Zoning Approval		
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<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews <input checked="" type="checkbox"/> Shoreland Structure <i>W/in 75' setback.</i> <input type="checkbox"/> Wetland <i>No floor area increase</i> <input type="checkbox"/> Flood Zone <i>14 % of all work panel 10 - zone v2 3/10</i> <input type="checkbox"/> Subdivision <i>using section 14-436(A)</i> <input type="checkbox"/> Site Plan <i>using p.c. 10.</i> Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> <i>OK w/ conditions</i> Date: 9/25/09	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: JEM
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-1002	Date Applied For: 09/14/2009	CBL: 109B F008001
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Location of Construction: 18 GRIFFINS' LN CLIFF ISLAND	Owner Name: SWIFT KATHLEEN DIXON	Owner Address: 63 PINNACLE RD	Phone:
Business Name:	Contractor Name: Art Libby Construction	Contractor Address: 51 Tremont Street South Portland	Phone (207) 233-9335
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	

Proposed Use: Single Family Home - Build a dormer addition (20' shed dormer)	Proposed Project Description: Build a 20' shed dormer addition
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Ann Machado **Approval Date:** 09/29/2009

Note: Structure falls within the 75' setback from the high water line in the Shoreland Zone. There is no increase in floor area. Existing volume is 9130.9 cu.ft. 30% of this is 2739.27 cu ft. The dormer is adding 376.88 cu ft which is using 13.7% of the allowable 30% increase. Using section 14-436(a). Property does not meet land area per dwelling unit. 50 % of the first floor footprint is 316.4 sf. The dormer is adding 25 sf of floor area which is using 8% of the allowable 50% increase. **Ok to Issue:**

- 1) All of the attached Floodplain forms shall be appropriately filled out, signed and returned prior to the issuance of any certificates of occupancy or completion of the job.
- 2) This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals.
- 3) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
- 4) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Tom Markley **Approval Date:** 10/01/2009

Note: **Ok to Issue:**

- 1) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm or HVAC or exhaust systems. Separate plans may need to be submitted for approval as a part of this process.
- 2) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.

Comments:

9/21/2009-amachado: Left vcm for contractor, Art Libby. Property falls within shoreland and floodzones. Need professional surveyor to locate the 75' setback from the highest annual tide and to locate the floodzones in relation to the property and existing structure. Need full size, scalable plans. Also needs applicant's mailing address.

9/24/2009-amachado: Spoke to Walter Swift. Faxed him the Flood Hazard Development Application and permit for his wife to sign. Moving permit forward in the system to be reviewed but can't sign off until get signed copies back.

9/29/2009-amachado: Received signed copy of Flood Hazard Development Application and permit.

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BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling

Final inspection required at completion of work.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.



Signature of Applicant/Designee

Date



Signature of Inspections Official

10/1/09

Date



Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

*Penny St. Louis Littell - Director of Planning and Urban Development
Marge Schmuckal, Zoning Administrator*

September 22, 2009

Kathleen Swift
63 Pinnacle Road
Lyme, NH 03768

Re: 18 Griffins Lane, Cliff Island – 109B F008 – IR-1 – dormer addition – permit #09-1002

Dear Ms. Swift,

I am in receipt of your building permit application to add a dormer to your house at 18 Griffins Lane, Cliff Island. At this point your application is incomplete.

Your property is located in the Shoreland Zone. Section 14-449(a)(1) of the ordinance limits expansion within seventy-five (75) feet of the high water mark within the Shoreland Zone. Since your property falls within the Shoreland Zone, you need to provide our office with a stamped survey prepared by a licensed professional. The survey must include the lines of the property, the footprint of any structures and the seventy-five foot setback from the high water line. If your building falls within the seventy-five foot setback, your expansion of floor area or volume cannot exceed thirty percent. Your property also falls within the flood zone based on the Flood Insurance Rate Map. The survey also needs to include the location of the flood zones in relation to your property.

Your permit is on hold until our office receives the stamped survey. Feel free to call me at (207) 874-8709 if you have any questions.

Yours truly,

Ann B. Machado
Zoning Specialist
(207) 874-8709

Cc. Walter Swift
Art Libby
file

Ann Machado - Re: Building permit for 18 Griffins Lane, Cliff Island

From: Walter Swift <wlsswift@sover.net>
To: Ann Machado <AMACHADO@portlandmaine.gov>
Date: 9/23/2009 8:49 AM
Subject: Re: Building permit for 18 Griffins Lane, Cliff Island

Thanks for the email. I have drafted a letter regarding the footprint increase (none) and the volume increase (less than 5 %). I also have a phone message in to you regarding the need for a survey of the property (It will cost money, unnecessarily) - the entire cottage is within 75' of the mean high tide level and also in the flood plain. We hope to avoid unnecessary added expense by simply adding these lines ourselves to an existing site plan showing property boundaries and showing that the cottage is within these zones.

how did
you
write
this?

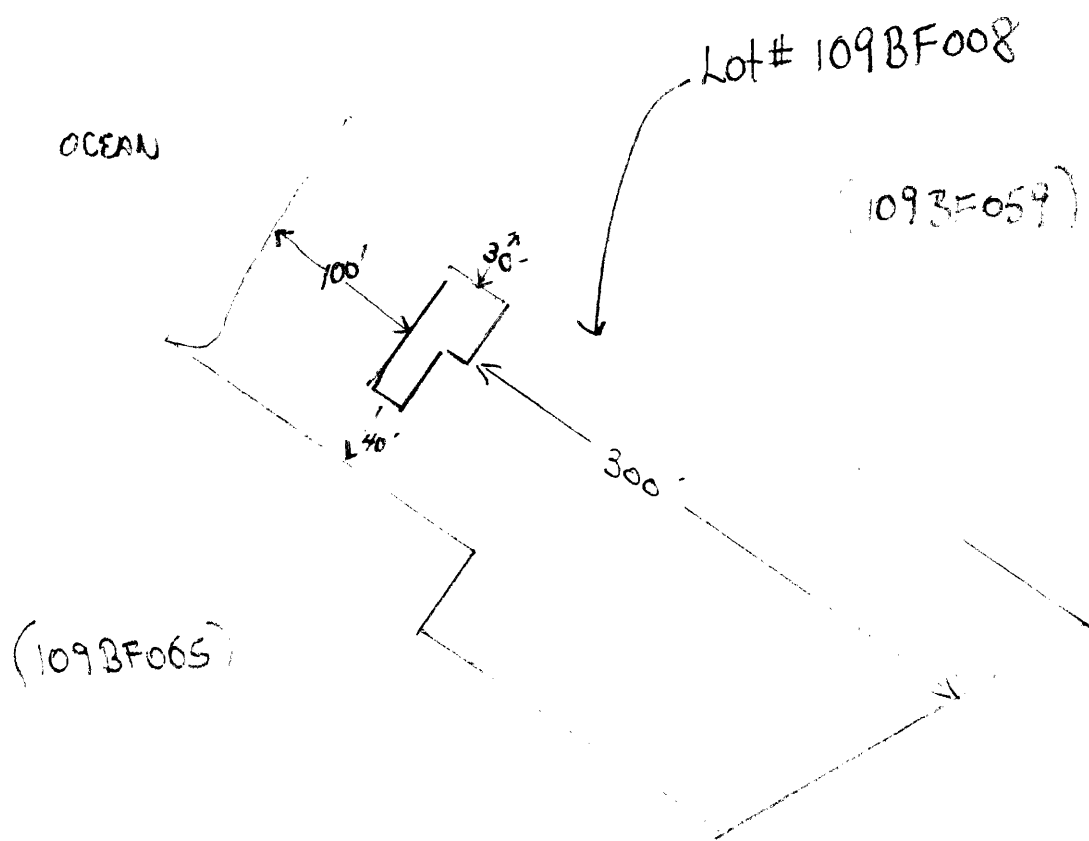
I have attached a sketch that I have annotated with the location of the property lines and the boundary for the shoreland zone (75' from the top of a cliff that defines the mean high tide location). The sketch was originally prepared by Pinkham and Greer as part of the application for a leach field, so it is a bit "busy" with unnecessary data. But the size and location of the cottage are accurate with respect to the property lines and the MHT boundary.

I could clean up such a sketch and make it a part of the formal application if this would suffice. It is this issue that I hope we can discuss by phone.

I hope to talk to you Thursday when you return to the office.

Walt Swift

Walter Swift
18 Griffin Ln.
Cliff Island, ME 04019





City of Portland
GIS



DISCLAIMER : This is a product of the City of Portland MIS Department. The data depicted here have been developed with cooperation from other federal, state and local agencies. The City of Portland expressly disclaims responsibility for damages or liability that may arise from the use of this map.

Copyright 2007
City of Portland
389 Congress St.
Portland, Maine
04101

Volume $w \times b \times h$ $\frac{1}{2}(w \times h) \times \text{length}$

$$22 \times 17\frac{1}{3}'' \times 11\frac{1}{3}'' = ~~22217~~ 4269.38 \text{ cu.}'$$

existing.

$$9\frac{1}{2}'' \times 10 \times 9\frac{1}{3}'' = 863.03$$

$$\frac{1}{2}(17\frac{1}{3}'' \times 9\frac{1}{2}'' \times 10\frac{1}{3}'') \times 22 = 1865.24$$

$$\frac{1}{2}(9\frac{1}{2}'' \times 5 \times 10) \times 10 = 233.25$$

$$10 \times 16 \times 9\frac{1}{3}'' = 1450$$

$$\frac{1}{2}(10 \times 5\frac{1}{3}') \times 16 = 420$$

~~422076.48~~

9130.9 cu'

$$30\% = 2739.27$$

Proposed dormer addition

$$\frac{1}{2}(5\frac{1}{3}'' \times 5\frac{1}{3}'' \times 20) = 275.625$$

$$\frac{1}{2}(1\frac{1}{6}'' \times 5\frac{1}{3}'' \times 20) = 78.75$$

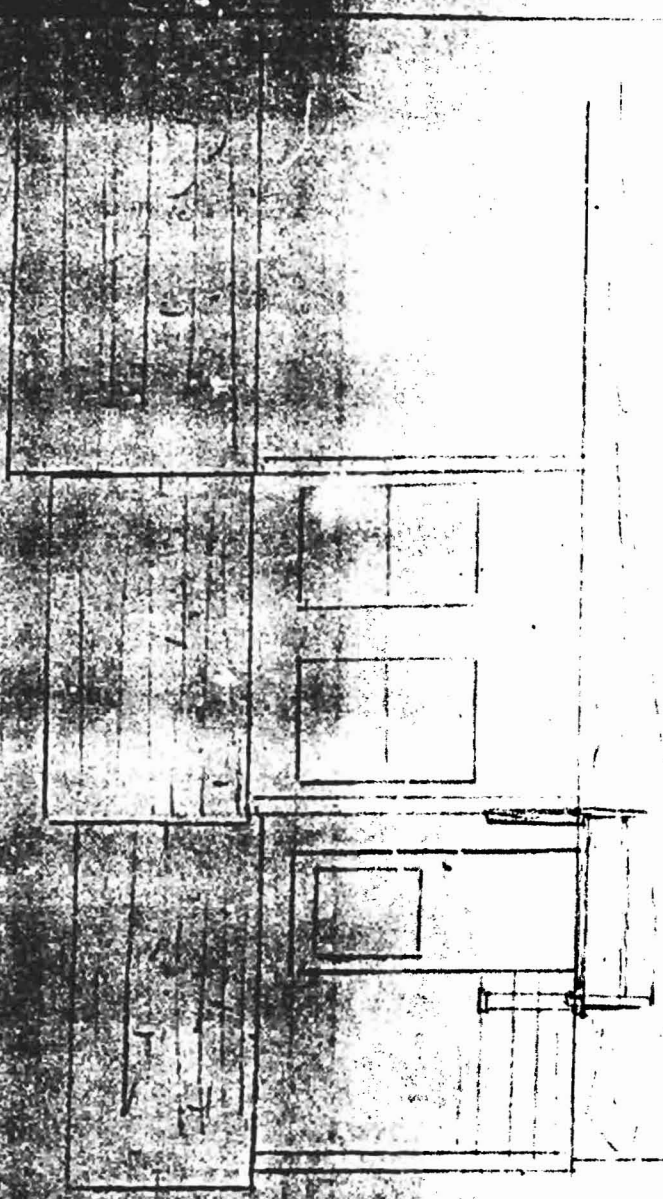
$$\frac{1}{2}(1\frac{1}{6}'' \times 1\frac{1}{6}'' \times 20) = \underline{22.5}$$

376.875 cu' adding.

367.875

2739.27

(14%) (13.7% increase of allowable 20%)



RECEIVED
AUG 25 1981
DEPT. OF BLDG INSP.
CITY OF PORTLAND

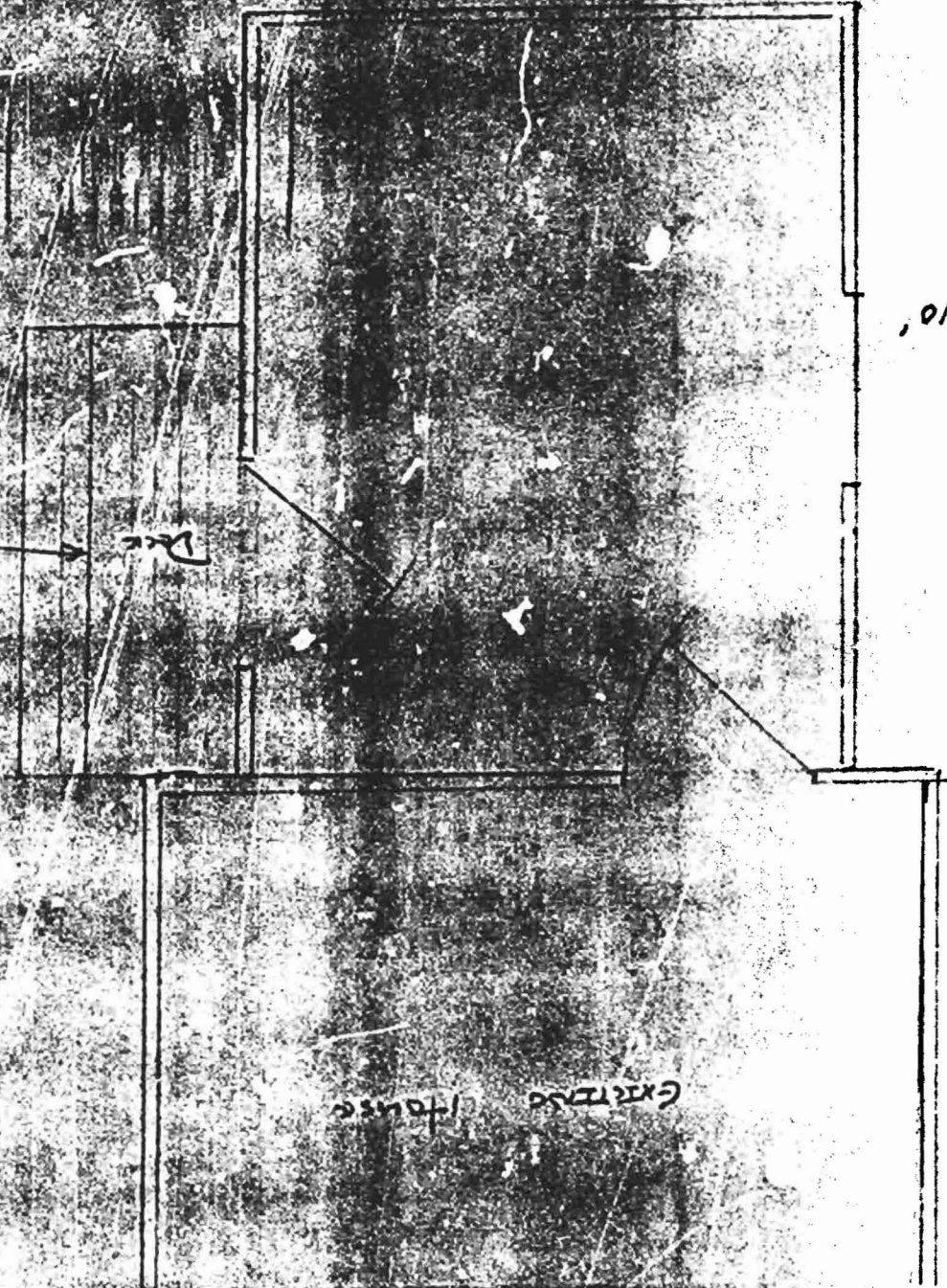
West Eleventh
Entry & Storage
P. Work
1000 10th Ave. S.E.

Robert Houtard
City of Portland
1000 10th Ave. S.E.

RECEIVED
CITY OF PORTLAND

FURBY AND STARR
FLOOR PLAN

RECEIVED
AUG 25 1981
DEPT. OF BLDG. INSP.
CITY OF PORTLAND



EXISTING HOUSE

RECORD OF BUILDINGS

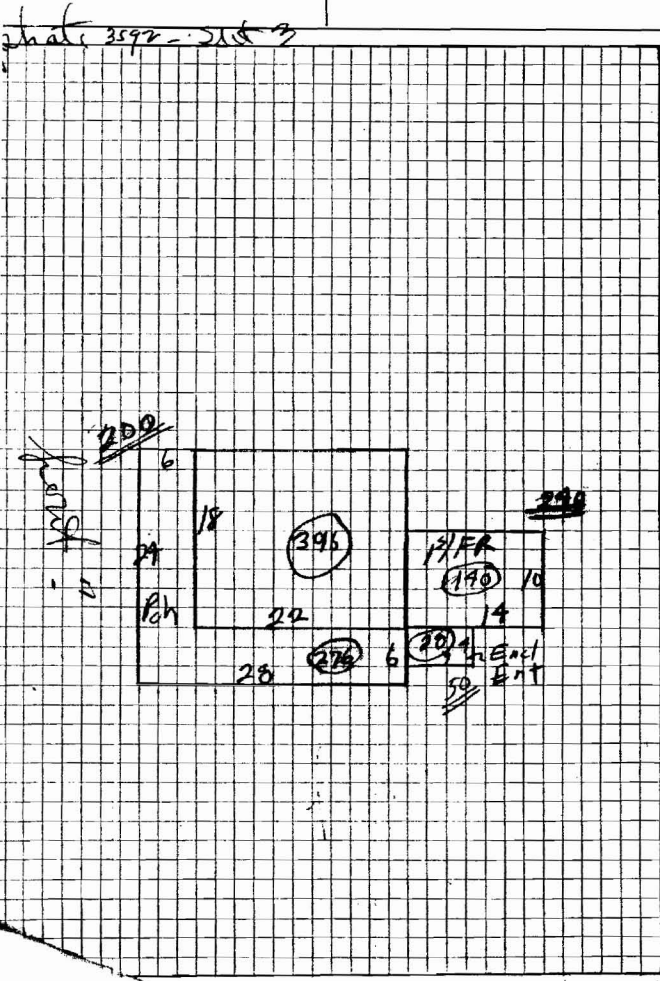
GRADE DENOTES QUALITY OF CONSTRUCTION: A—EXCELLENT; B—GOOD; C—AVERAGE; D—CHEAP; E—VERY CHEAP

1951

YEAR 19

YEAR 19

CONSTRUCTION			COMPUTATIONS			
FOUNDATION	FLOOR CONST.	PLUMBING	UNIT	1951		
CONCRETE	WOOD JOIST	BATHROOM				
CONCRETE BLOCK	STEEL JOIST	TOILET ROOM				
BRICK OR STONE ✓	MILL TYPE	WATER CLOSET				
PIERS	REIN. CONCRETE	LAVATORY				
CELLAR AREA FULL	FLOOR FINISH					
1/4 1/2 3/4		KITCHEN SINK ✓				
NO. CELLAR ✓		STD. WAT. HEAT				
EXTERIOR WALLS						
CEMENT		AUTO. WAT. HEAT				
EARTH		ELECT. WAT. SYST.				
PINE ✓✓		LAUNDRY TUBS				
CLAPBOARDS ✓		NO PLUMBING				
WIDE SIDING	HARDWOOD					
DROP SIDING	TERRAZZO	TILING				
NO SHEATHING	TILE	BATH FL. & WCOT.	396 S. F.	1420		
WOOD SHINGLES		TOILET FL. & WCOT.	S. F.			
ASBES. SHINGLES		LIGHTING				
STUCCO ON FRAME	ATTIC FLR. & STAIRS	ELECTRIC				
STUCCO ON TILE	INTERIOR FINISH		NO LIGHTING ✓			
BRICK VENEER		NO. OF ROOMS				
BRICK ON TILE		BSMT.				
SOLID BRICK		2ND .2				
STONE VENEER		1ST 3				
CONC. OR CIND. BL.		3RD				
		OCCUPANCY				
		SINGLE FAMILY ✓				
		TWO FAMILY				
		APARTMENT				
		STORE				
		THEATRE				
		HOTEL				
		OFFICES				
		WAREHOUSE				
		COMM. GARAGE				
		GAS STATION				
		ECONOMIC CLASS				
		OVER BUILT				
		UNDER BUILT				
		DT. 8/17				
		AR. 30				
		LD. 13				
		PD. 30				
		MS. 13				
		CK. 50				
		TOTAL				
						1790
		FACT. +10				
						+140
		REP. VAL.				
						1930



SUMMARY OF BUILDINGS

OCC'Y	TYPE	GR.	AGE	REMOD.	COND.	REP. VAL.	P. D.	PHY. VAL.	F. D.	SOUND VAL.	TAX VAL.
Cottage	A 1 1/2 FR	DC	62		F	1930	50%	970	A	975	575
	B					2053			B	500	300
	C					3053			C	670	375
	D					1930	57	970	3/2	680	400
	E					2072			E	350	200
	F					342			F	450	275
	G								G		
YEAR	1951					1951 TOTAL BLDGS.				2110	1250
TAX VAL.	895									1480	
OLD VAL.	1250										
CHANGE	-375										

FLOOD HAZARD DEVELOPMENT APPLICATIONPortland, Maine(All applicants must complete entire application)
[60.3(e)]

Application is hereby made for a Flood Hazard Development Permit as required under Article II of the Floodplain Management Ordinance of Portland, Maine, for development as defined in said ordinance. This permit application does not preclude the need for other municipal permit applications.

Owner: Kathleen Swift Address: 63 Pinnacle Rd

Phone No.: 603-795-2908 Lyme, NH 03768

Applicant: _____ Address: _____

Phone No.: _____

Contractor: Art Libby Address: 51 Tremont St

Phone No.: 766-5693 or 774-1478 South Portland, ME 04106

LEGAL DESCRIPTION

Is this part of a subdivision? Yes No If yes, give the name of the subdivision and lot number:

Subdivision: _____ Lot #: _____

Tax Map: 109B - F Lot #: 008

Address: 18 Griffin Lane
Street/Road Name

Zip Code: Portland (Clift Island) 04019
Town/Zip Code

General explanation of proposed development: adding 20' shed dormer.

Estimated Value of Proposed Development: \$ 8,000

Proposed Lowest Floor elevation [for new or substantially improved structure]: _____

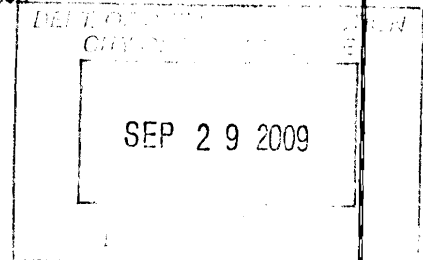
OTHER PERMITS

Are other permits required from State or Federal jurisdictions? Yes No
If yes, are these other permits attached? Yes No Not Applicable

Federal and State Permits may include but are not limited to: ME/DEP/Natural Resource Protection Act, Site Location of Development Act, Metallic Mineral Exploration, Advanced Exploration and Mining; USACE/Section 9 & 10 of the Rivers and Harbors Act/ Section 404 of the Clean Water Act; Federal Energy Regulation Commission.

SEWER AND WATER

Sewage Disposal: Public Private
 Existing Proposed Not Applicable Type _____
Water Supply: Public Private B-9



(This section to be completed by Municipal Official)

LOCATION

Flooding Source (name of river, pond, ocean, etc.): Casco Bay

V1-30 Zone VE Zone AE Zone A1-30 Zone A Zone AO Zone AH Zone
 FRINGE FLOODWAY (1/2 width of floodplain in A Zone)

Base Flood Elevation (bfe) at the site _____ NGVD [Required for New Construction or Substantial Improvement]

Lowest floor elevation of proposed or existing structure _____ NGVD [Required for New Construction or Substantial Improvement]

If proposed development is in an AE or A1-30 Zone and cross section data is available in the Flood Insurance Study, please note the nearest cross-section reference letter and elevation of base flood at nearest cross-section above and below the site.

Cross Section Letter	Base Flood Elevation
Above Site _____	Above Site _____
Below Site _____	Below Site _____

Basis of unnumbered A Zone bfe determination:

From a Federal Agency: USGS USDA/NRCS USACE Other _____
 From a State Agency: MDOT Other _____
 Established by Professional Land Surveyor
 Established by Professional Engineer HEC/RAS HEC II HY 7 TR20 TR55 Quick-2
 Other _____
 Highest Known Water Level
 Other (Explain) _____

VALUE

If the development involves work on an existing structure, enter the Market Value of existing structure before improvements:
\$ 50,500 (As of 09/24/09)

New Construction or Substantial Improvement Minor improvement or minor addition to existing development

TYPE OF DEVELOPMENT

Check the appropriate box to the left of the type(s) of development requested and complete information for each applicable line:

<input type="checkbox"/> 1. Residential Structure	Dimensions	<input type="checkbox"/> 7. Filling ³	Cubic Yards
<input type="checkbox"/> 1a. New Structure	_____	<input type="checkbox"/> 8. Dredging	_____
<input checked="" type="checkbox"/> 1b. Add to Structure	<u>20' dormer</u>	<input type="checkbox"/> 9. Excavation	_____
<input type="checkbox"/> 1c. Renovations/repairs/maintenance	_____	<input type="checkbox"/> 10. Levee	_____
<input type="checkbox"/> 2. Non-Residential Structure		<input type="checkbox"/> 11. Drilling	_____
<input type="checkbox"/> 2a. New Structure	_____		Number of Acres
<input type="checkbox"/> 2b. Add to Structure	_____	<input type="checkbox"/> 12. Mining	_____
<input type="checkbox"/> 2c. Renovations/repairs/maintenance	_____	<input type="checkbox"/> 13. Dam: Water surface to be created	_____
<input type="checkbox"/> 2d. Floodproofing	_____	<input type="checkbox"/> 14. Water Course Alteration	_____
<input type="checkbox"/> 3. Accessory Structure	_____	Note: Detailed description must be attached with copies of all applicable notifications, state and federal permits.	
<input type="checkbox"/> 4. Functionally Dependent Use:		<input type="checkbox"/> 15. Storage of equipment or materials	_____
<input type="checkbox"/> 4a. Dock	_____	<input type="checkbox"/> 16. Sewage Disposal System	_____
<input type="checkbox"/> 4b. Pier	_____	<input type="checkbox"/> 17. Water Supply System	_____
<input type="checkbox"/> 4c. Boat Ramp	_____	<input type="checkbox"/> 18. Other: Explain	_____
<input type="checkbox"/> 4d. Other	_____		_____
<input type="checkbox"/> 5. Paving	_____		_____
<input type="checkbox"/> 6. Conditional Use (Lobster/Fish Shed seaward of mean high tide)	_____		_____

Note: Conditional Use requires add'l. information due to specific standards, public hearing, and Planning Board review.

³ Certain prohibitions apply in Velocity Zone

Attach a Site Plan – Drawn to scale with north arrow.

- Show property boundaries, floodway, and floodplain lines.
- Show dimensions of the lot.
- Show dimensions and location of existing and/or proposed development on the site.
- Show areas to be cut and filled.

Attach Statement – describing in detail how each applicable development standard in Article VI will be met.

For New Construction or Substantial Improvement also show:

- Existing and proposed grade elevations adjacent to the walls of the structure done by a Professional Land Surveyor, Architect, or Engineer.
- Location and elevation of temporary elevation reference marks on the site.

Special Note:

Substantial Improvement is defined as any reconstruction, rehabilitation, addition or other improvement of a structure, the cost of which equals or exceeds 50 percent of the market value of the structure before the start of construction of the improvement. Please refer to the floodplain management ordinance, Article XIV, for more complete definitions of New Construction and Substantial Improvement.

Structures in Velocity Zones are not permitted on fill or excavations. Structures must be built on open foundation systems, i.e., columns, piles, posts. Certification of structural design, specifications, plans and construction methods completed by a Professional Engineer or Architect shall accompany the application as required in Article VI.L.3. of the floodplain management ordinance.

The applicant understands and agrees that:

- The permit applied for, if granted, is issued on the representations made herein;
- Any permit issued may be revoked because of any breach of representation;
- Once a permit is revoked all work shall cease until the permit is reissued or a new permit is issued;
- Any permit issued on this application will not grant any right or privilege to erect any structure or use any premises described for any purposes or in any manner prohibited by the ordinances, codes, or regulations of the municipality;
- The applicant hereby gives consent to the Code Enforcement Officer to enter and inspect activity covered under the provisions of the Floodplain management Ordinance;
- If issued, the permit form will be posted in a conspicuous place on the premises in plain view; and,
- If issued, the permit will expire if no work is commenced within 180 days of issuance.

I hereby certify that all the statements in, and in the attachments to this application are a true description of the existing property and the proposed development project.

Owner: Kathleen D. Luigt Signature Date: 9/24/09
 or
 Authorized Agent: _____ Signature Date: _____

(This section to be completed by Municipal Official)			
Date: Submitted	<u>9/24/09</u>	Fee Paid	<input checked="" type="checkbox"/>
Reviewed by CEO	<u>A. Machado</u>	Reviewed by Planning Board	<u>N/A</u>
Permit #	<u>05-1002</u>	Issued by	<u>A. Machado</u>
		Date	<u>9/29/09</u>

FLOOD HAZARD DEVELOPMENT PERMIT**For Minor Development**

Portland, Maine
(For Development not considered a Substantial Improvement)

This Flood Hazard Development Permit allows minor development as provided in Article V.F.3. of the Floodplain Management Ordinance of Portland, Maine, for development in a Special Flood Hazard Area as defined in said ordinance. Development authorized by this permit must be adequately anchored to prevent flotation, collapse, or lateral movement resulting from hydrodynamic and hydrostatic loads, including the effects of buoyancy, be constructed with materials resistant to flood damage and be constructed by methods and practices that minimize flood damage. This permit is issued based on documentation that the information provided in the Flood Hazard Development Permit Application is in compliance with the Floodplain Management Ordinance.

Tax Map: 109B Lot #: F 008

Project Description: add 20' shed dormer

The permittee understands and agrees that:

- The permit is issued on the representations made herein and on the application for permit;
- The permit may be revoked because of any breach of representation;
- Once a permit is revoked all work shall cease until the permit is reissued or a new permit is issued;
- The permit will not grant any right or privilege to erect any structure or use any premises described for any purposes or in any manner prohibited by the ordinances, codes, or regulations of the municipality;
- The permittee hereby gives consent to the Code Enforcement Officer to enter and inspect activity covered under the provisions of the Floodplain Management Ordinance;
- The permit form will be posted in a conspicuous place on the premises in plain view; and,
- The permit will expire if no work is commenced within 180 days of issuance.

I hereby certify that all the statements in, and in the attachments to this permit are a true description of the existing property and the proposed development project.

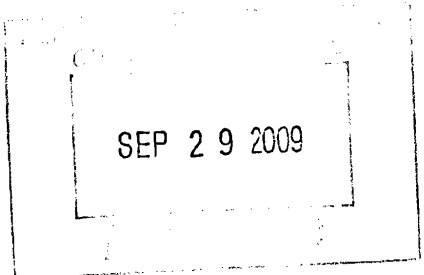
Owner: *Kathleen M. Sneyer* Date: 9/24/09
Signature

Authorized Agent: _____ Date: _____
Signature

Issued by: *Ann Meekins* Date: 9/29/09

Permit #: 09-1002

B-14


 SEP 29 2009

Refer to the FLOOD INSURANCE RATE MAP EFFECTIVE date shown on this map to determine when actuarial rates apply to structures in the zones where elevations or depths have been established.

To determine if flood insurance is available in this community, contact your insurance agent, or call the National Flood Insurance Program, at (800) 638-6620.



APPROXIMATE SCALE

400 0 400 FEET

NATIONAL FLOOD INSURANCE PROGRAM

**FIRM
FLOOD INSURANCE RATE MAP**

**CITY OF
PORTLAND, MAINE
CUMBERLAND COUNTY**

PANEL 10 OF 17
(SEE MAP INDEX FOR PANELS NOT PRINTED)

COMMUNITY-PANEL NUMBER
230051 0010 B

EFFECTIVE DATE:
JULY 17, 1986



Federal Emergency Management Agency



KEY TO MAP

500-Year Flood Boundary	—————	ZONE B
100-Year Flood Boundary	—————	
Zone Designations*		ZONE B
100-Year Flood Boundary	—————	
500-Year Flood Boundary	—————	
Base Flood Elevation Line With Elevation In Feet**	~~~~~	513
Base Flood Elevation in Feet Where Uniform Within Zone**		(EL 987)
Elevation Reference Mark		RM7x
Zone D Boundary	—————	
River Mile		•M1.5

**Referenced to the National Geodetic Vertical Datum of 1929

*EXPLANATION OF ZONE DESIGNATIONS

ZONE	EXPLANATION
A	Areas of 100-year flood; base flood elevations and flood hazard factors not determined.
A0	Areas of 100-year shallow flooding where depths are between one (1) and three (3) feet; average depths of inundation are shown, but no flood hazard factors are determined.
AH	Areas of 100-year shallow flooding where depths are between one (1) and three (3) feet; base flood elevations are shown, but no flood hazard factors are determined.
A1-A30	Areas of 100-year flood; base flood elevations and flood hazard factors determined.
A99	Areas of 100-year flood to be protected by flood protection system under construction; base flood elevations and flood hazard factors not determined.
B	Areas between limits of the 100-year flood and 500-year flood; or certain areas subject to 100-year flooding with average depths less than one (1) foot or where the contributing drainage area is less than one square mile; or areas protected by levees from the base flood. (Medium shading)
C	Areas of minimal flooding. (No shading)
D	Areas of undetermined, but possible, flood hazards.
V	Areas of 100-year coastal flood with velocity (wave action); base flood elevations and flood hazard factors not determined.
V1-V30	Areas of 100-year coastal flood with velocity (wave action); base flood elevations and flood hazard factors determined.

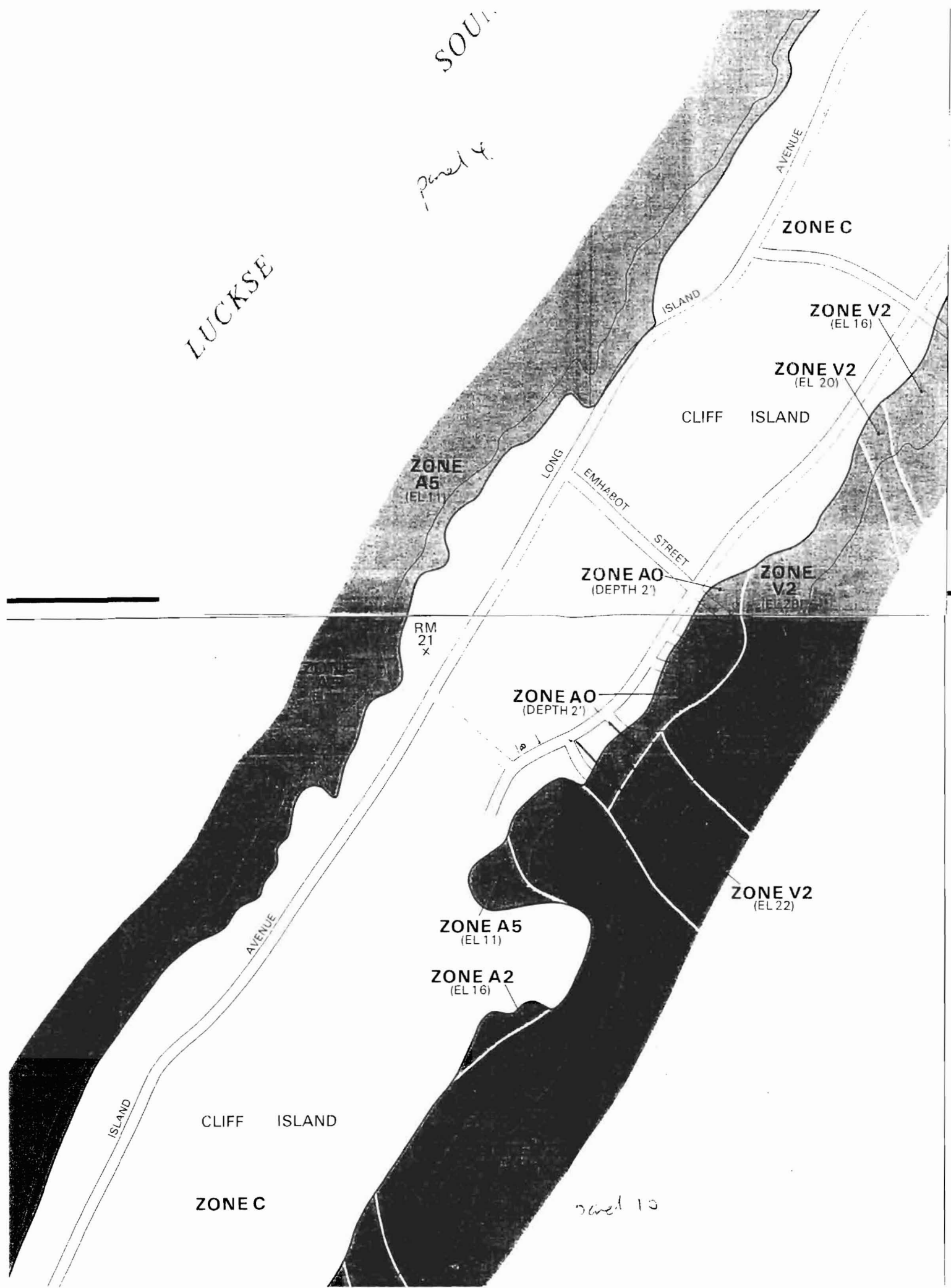
NOTES TO USER

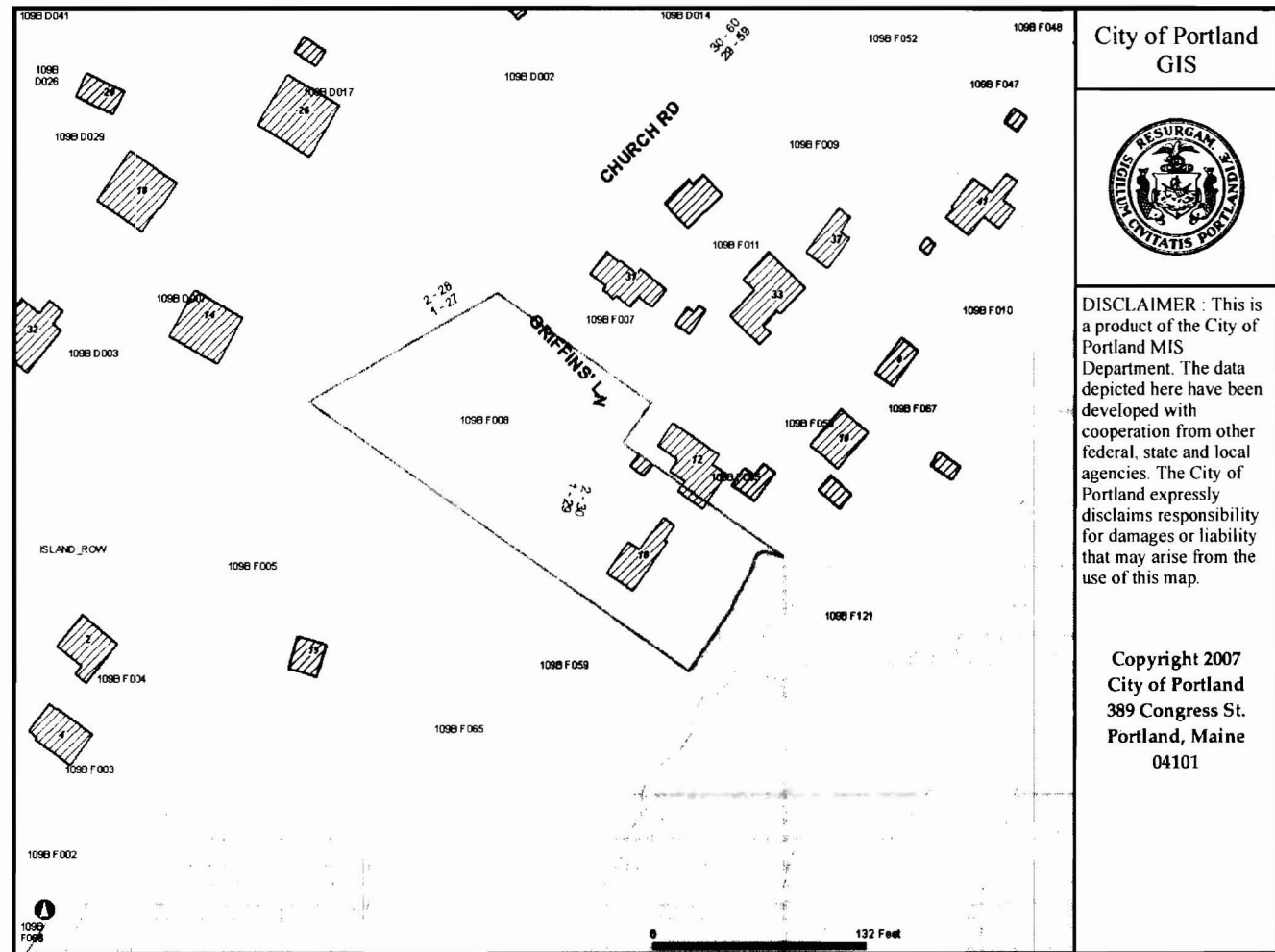
Certain areas not in the special flood hazard areas (zones A and V) may be protected by flood control structures.

This map is for flood insurance and flood plain management purposes only; it does not necessarily show all areas subject to flooding in the community or all planimetric features outside special flood hazard areas. The coastal flooding elevations shown may differ significantly from those developed by the National Weather Service for hurricane evacuation planning.

For adjoining map panels, see separately printed Index To Map Panels.

Coastal base flood elevations shown on this map include the effects of wave action.





This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information

Card Number	1 of 1
Parcel ID	109B F008001
Location	18 GRIFFINS' LN
Land Use	SEASONAL
Owner Address	SWIFT KATHLEEN DIXON 63 PINNACLE RD LYME NH 03768
Book/Page	23010/018
Legal	109B-F-8 GRIFFINS' LN 18 CHURCH RD CLIFF ISLAND 27811SF

Current Assessed Valuation

Land	Building	Total
\$258,200	\$50,800	\$309,000

Property Information

Year Built	Style	Story Height	Sq. Ft.	Total Acres	
1900	Cottage	1.5	833	0.638	
Bedrooms	Full Baths	Half Baths	Total Rooms	Attic	Basement
2	1		5	None	Pier/slab

Outbuildings

Type	Quantity	Year Built	Size	Grade	Condition
-------------	-----------------	-------------------	-------------	--------------	------------------

Sales Information

Date	Type	Price	Book/Page
-------------	-------------	--------------	------------------

Picture and Sketch

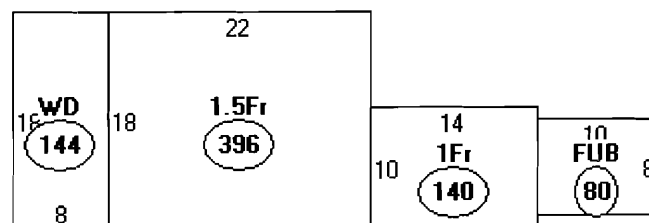
Picture	Sketch	Tax Map
-------------------------	------------------------	-------------------------

[Click here](#) to view Tax Roll Information.

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or [e-mailed](#).

New Search!





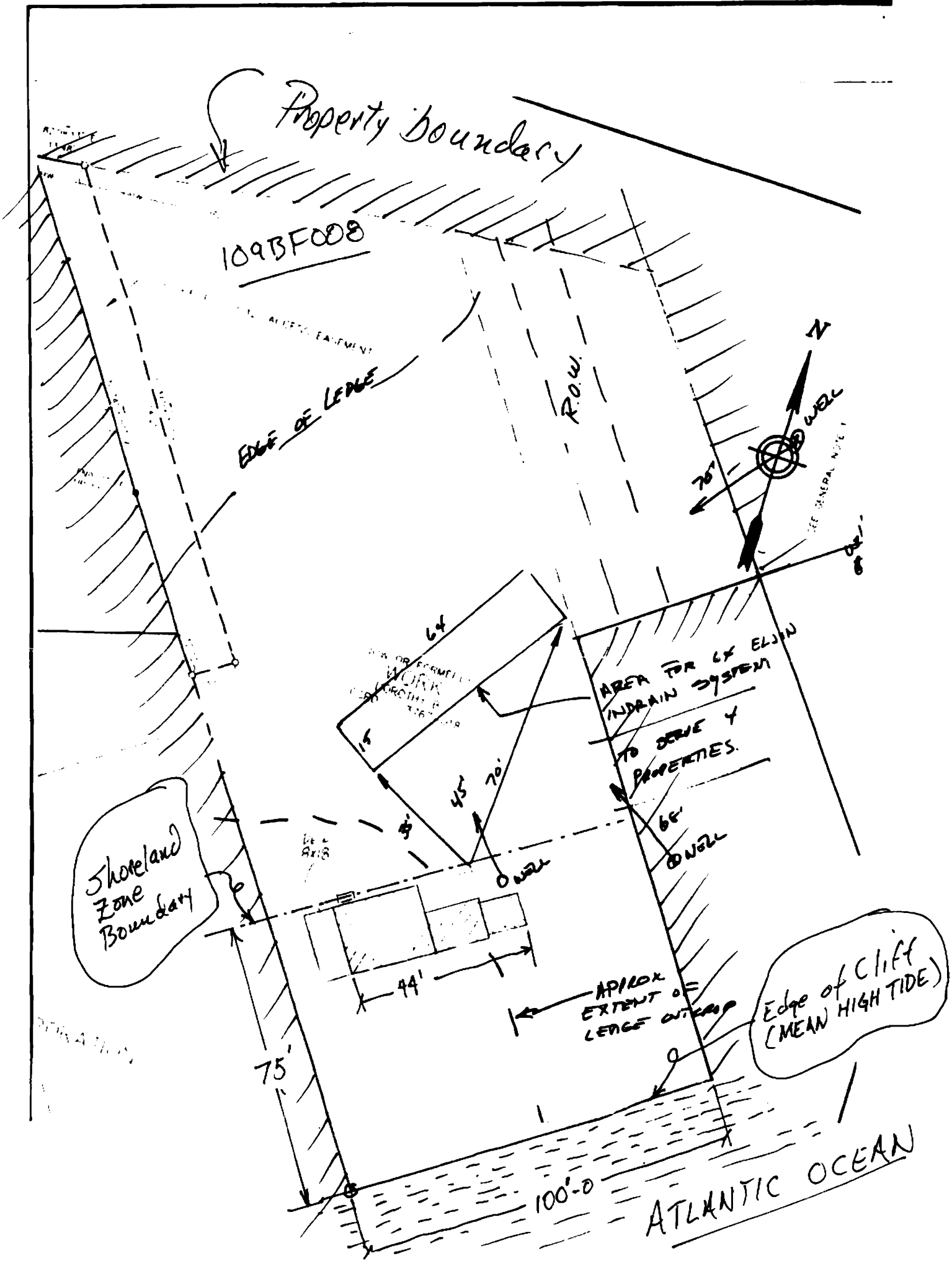
Descriptor/Area

A: 1.5Fr
396 sqft

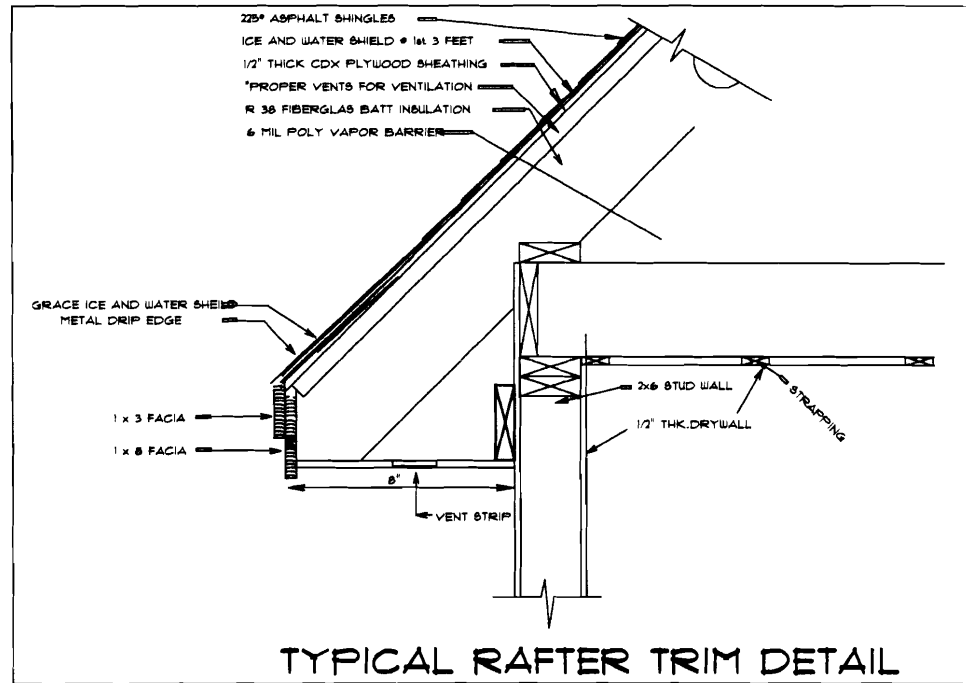
B: WD
144 sqft

C: 1Fr
140 sqft

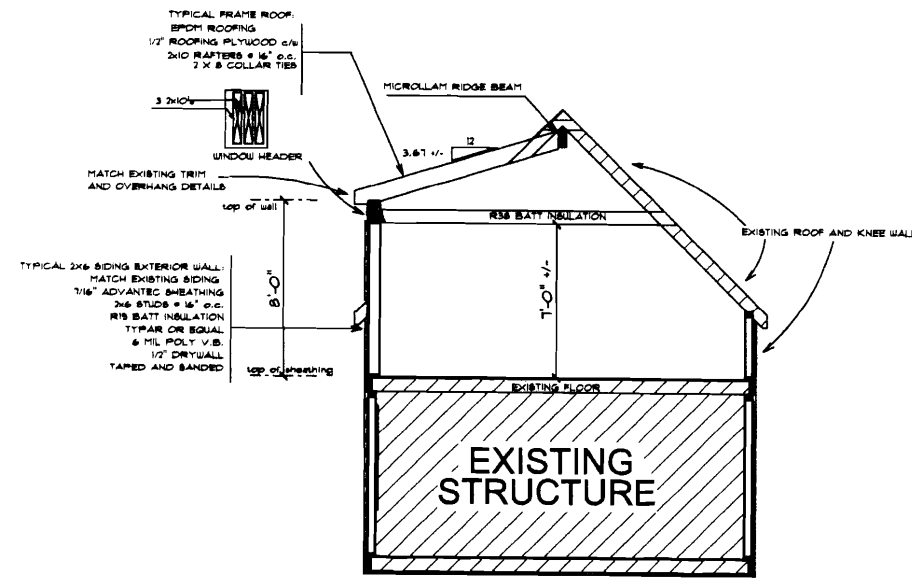
D: FUB
80 sqft



DEPT. OF PUBLIC UTILITIES
CITY OF PORTLAND, OREGON
SEP 24 2009



TYPICAL RAFTER TRIM DETAIL



CROSS SECTION
SCALE: 1/4" = 1'-0"
NOTE: ALL WINDOWS
U-FACTOR = .31

CAPE COTTAGE HOME DESIGN

THESE PLANS ARE TO BE CONSIDERED ONLY AS GENERAL GUIDELINES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR VERIFYING ALL LOCAL AND STATE BUILDING CODES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR VERIFYING ALL LOCAL AND STATE BUILDING CODES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR VERIFYING ALL LOCAL AND STATE BUILDING CODES.

CONTRACTOR:
ART LIBBY
CONSTRUCTION &
HOME IMPROVEMENT

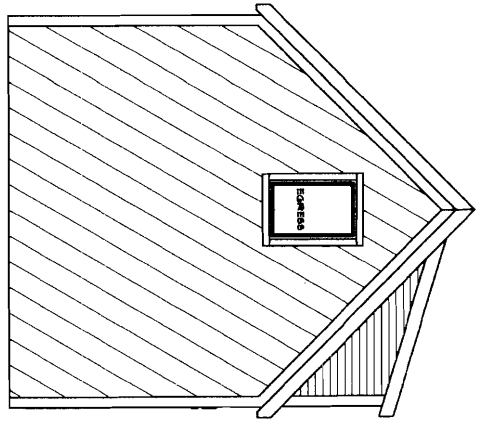
PROJECT NAME:
SWIFT
DORMER ADDITION
 18 Griffiths Ln.
 Cliff Isd. NH 04019

REVISIONS
DATE: September 14, 2009
SCALE: AS NOTED
DRAWN
FILE
SHEET 1 OF 1

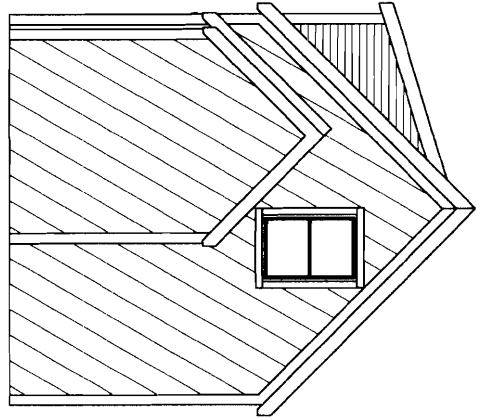
FASTENERS SPACED 4 INCHES OC AT EDGES, 8 INCHES AT INTERMEDIATE SUPPORTS FOR 1/2 INCH SHEATHING & 1-3/4 INCH LENGTH FOR 25/32 INCH SHEATHING	P	FOR 1/2 INCH SHEATHING & 1-3/4 INCH LENGTH FOR 25/32 INCH SHEATHING	H
WALL SHEATHING AND 3 INCHES OC AT EDGES, 8 INCHES AT INTERMEDIATE SUPPORTS FOR ROOF SHEATHING	O	CORROSION-RESISTANT ROOFING NAILS w/ 7/16 INCH DIA. HEAD & 1-1/2 INCH LENGTH	H
FASTENERS SPACED 4 INCHES OC AT EDGES, 8 INCHES AT INTERMEDIATE SUPPORTS FOR SUBFLOOR AND	F	FASTENERS SPACED 3 INCHES OC AT EXTERIOR EDGES AND 8 INCHES OC AT INTERMEDIATE SUPPORTS	G
FOR ROOF SHEATHING APPLICATIONS, FASTENERS SPACED 4 INCHES ON CENTER AT EDGES, 8 INCHES AT INTERMEDIATE SUPPORTS	N	CORROSION-RESISTANT SIDING OR CASING NAIL	F
STAPLES SHALL HAVE A MINIMUM CROWN WIDTH OF 7/16 INCH	M	DEFORMED SHANK	E
FOR ROOF SHEATHING APPLICATIONS, 80 NAILS ARE MINIMUM REQUIRED FOR WOOD STRUCTURAL PANELS	L	COMMON	D
PANEL SUPPORTS AT 24 INCHES; CASING OR FINISH NAILS SPACED 8 INCHES ON PANEL EDGES, 12 INCHES AT INTERMEDIATE SUPPORTS	K	COMMON OR DEFORMED SHANK	C
CASING OR FINISH NAILS SPACED 8 INCHES ON PANEL EDGES, 12 INCHES AT INTERMEDIATE SUPPORTS	J	WALLS, REFER TO SECTION 2306. NAILS FOR WALL SHEATHING ARE PERMITTED TO BE COMMON, BOX OR CASING	B
18 INCHES (20 INCHES IF STRENGTH AXIS IN THE LONG DIRECTION OF THE PANEL, UNLESS OTHERWISE MARKED);	I	SPANS ARE 48 INCHES OR MORE. FOR NAILING OF WOOD STRUCTURAL PANEL AND PARTICLEBOARD DIAGRAMS AND SHEAR	B
1/2 INCH SHEATHING AND 1-1/2 INCH LENGTH FOR 25/32 INCH SHEATHING. PANEL SUPPORTS AT	I	NAILS SPACED AT 8 INCHES ON CENTER AT EDGES, 12 INCHES AT INTERMEDIATE SUPPORTS EXCEPT AT SUPPORTS WHERE	B
CORROSION-RESISTANT STAPLES WITH NOMINAL 7/16 INCH CROWN AND 1-1/8 INCH LENGTH FOR	I	COMMON BOX NAILS ARE PERMITTED TO BE USED EXCEPT WHERE OTHERWISE INDICATED	A
NOTE: LETTER		NOTE: LETTER	

SEE NOTE F	86	PANEL SIDING (TO FRAMING)	4 - 3" x 14 GAGE STAPLE	FACE NAIL	4 - 3"x0 131" NAIL	SEE BECT. 2308 10 4 1, TABLE 2306 10 4 1
SEE NOTE F	86	PANEL SIDING (TO FRAMING)	3 - 186 COMMON MINIMUM	FACE NAIL	4 - 3"x0 131" NAIL	CEILING JOISTS TO PARALLEL RAFTERS
SEE NOTE C	86	TO FRAMING	4 - 3" x 14 GAGE STAPLE	FACE NAIL	4 - 3"x0 131" NAIL	SEE BECT. 2308 10 4 1, TABLE 2306 10 4 1
SEE NOTE P	7" 16 GAGE	SUBFLOOR-UNDERLAYMENT	TOENAIL	TOENAIL	3 - 186 COMMON MIN	CEILING JOISTS LAPS OVER PARTITIONS
SEE NOTE N	2-3"x0 131" NAIL	8 PARTICLE BOARD	TOENAIL	TOENAIL	4 - 86 COMMON	CONTINUOUS HEADER TO STUD
86, SEE NOTE D, 86, SEE NOTE C	86 OR 86	WOOD STRUCTURAL PANELS	18" OC ALONG EDGE	TOENAIL	5 - 3" x 14 GAGE STAPLE	CEILING JOISTS TO PLATE
SEE NOTE Q	1-3/4" 18 GAGE	8 PARTICLE BOARD	FACE NAIL	FACE NAIL	5 - 3"x0 131" NAIL	AND INTERSECTIONS
SEE NOTE H	2-3"x0 131" NAIL	WOOD STRUCTURAL PANELS	TOENAIL	TOENAIL	3 - 86 COMMON	TOP PLATES LAPS
SEE NOTE C, J	86	1/2" OR LESS	FACE NAIL	FACE NAIL	2 - 186 COMMON	RIM JOIST TO TOP PLATE
FACE NAIL	4 - 3" x 14 GAGE STAPLE	LEADER STRIP	TOENAIL	TOENAIL	3 - 3"x0 131" NAIL @ 8" OC	OR RAFTERS TO TOP PLATE
FACE NAIL	4 - 3"x0 131" NAIL	JOIST TO BAND JOIST	TOENAIL	TOENAIL	86 @ 8" OC	BLOCKING BETWEEN JOISTS
FACE NAIL	5 - 3" x 14 GAGE STAPLE	2-BY RIDGE BEAM	LAP BRUCE	FACE NAIL	12 - 3" x 14 GAGE STAPLE TYP. FACE NAIL	DOUBLE TOP PLATES
FACE NAIL	5 - 3"x0 131" NAIL	ROOF RAFTER TO	TYPICAL FACE NAIL	FACE NAIL	12 - 3"x0 131" NAIL	DOUBLE TOP PLATES
FACE NAIL	5 - 3"x0 131" NAIL	ROOF RAFTER TO	FACE NAIL	FACE NAIL	3 - 3"x0 131" NAIL @ 12" OC	DOUBLE TOP PLATES
TOENAIL	3 - 3" x 14 GAGE STAPLE	2-BY RIDGE BEAM	FACE NAIL	FACE NAIL	3"x0 131" NAIL @ 8" OC	STUD TO SOLE PLATE
TOENAIL	3 - 3"x0 131" NAIL	ROOF RAFTER TO	TOENAIL	TOENAIL	3 - 3"x0 131" NAIL @ 8" OC	STUD TO SOLE PLATE
FACE NAIL	3 - 3" x 14 GAGE STAPLE	JACK RAFTERS TO HIP	END NAIL	END NAIL	3 - 3" x 14 GAGE STAPLE	TOP PLATE TO STUD
TOENAIL	4 - 3"x0 131" NAIL	JACK RAFTERS TO HIP	BRACED WALL PANEL	FACE NAIL	3 - 3"x0 131" NAIL @ 12" OC	AT BRACED WALL PANEL
FACE NAIL	4 - 3"x0 131" NAIL	JACK RAFTERS TO HIP	TYPICAL FACE NAIL	FACE NAIL	3"x0 131" NAIL @ 12" OC	SOLE PLATE TO JOIST OR BLOCKING
FACE NAIL	4 - 3"x0 131" NAIL	COLLAR TIE TO RAFTER	TOENAIL EACH END	TOENAIL EACH END	3 - 3" x 14 GAGE STAPLE @ 12" OC	OR BLOCKING
AT EACH BRUCE	3 - 3" x 14 GAGE STAPLE	BUILT-UP GIRDER & BEAMS	TOENAIL EACH END	TOENAIL EACH END	3 - 3"x0 131" NAIL @ 8" OC	BRIDGING TO JOIST
FACE NAIL AT ENDS	3 - 3"x0 131" NAIL	BUILT-UP GIRDER & BEAMS	TOENAIL EACH END	TOENAIL EACH END	3 - 3"x0 131" NAIL @ 8" OC	JOIST TO SILL OR GIRDER
STAGGERED ON OPPOSITE SIDES	14 GAGE STAPLE @ 24" OC	BUILT-UP GIRDER & BEAMS	TOENAIL EACH END	TOENAIL EACH END	3 - 3" x 14 GAGE STAPLE	CONNECTION
FACE NAIL AT TOP & BOTTOM	3"x0 131" NAIL @ 24" OC	BUILT-UP GIRDER & BEAMS	TOENAIL EACH END	TOENAIL EACH END	3 - 3"x0 131" NAIL	CONNECTION
18" OC	3" x 14 GAGE STAPLE	BUILT-UP CORNER STUDS	TOENAIL EACH END	TOENAIL EACH END	3 - 86 COMMON	CONNECTION
18" OC	3"x0 131" NAIL	EACH STUD & PLATE	TOENAIL EACH END	TOENAIL EACH END	3 - 86 COMMON	CONNECTION
24" OC	2 - 3" x 14 GAGE STAPLE	1" DIAGONAL BRACE TO	TOENAIL EACH END	TOENAIL EACH END	3 - 3" x 14 GAGE STAPLE	CONNECTION
FACE NAIL	2 - 3"x0 131" NAIL	FASTENING	TOENAIL EACH END	TOENAIL EACH END	3 - 3"x0 131" NAIL	CONNECTION
FACE NAIL	2 - 86 COMMON	FASTENING	TOENAIL EACH END	TOENAIL EACH END	3 - 86 COMMON	CONNECTION
TOENAIL	3 - 3" x 14 GAGE STAPLE	FASTENING	TOENAIL EACH END	TOENAIL EACH END	3 - 3" x 14 GAGE STAPLE	CONNECTION
TOENAIL	3 - 3"x0 131" NAIL	FASTENING	TOENAIL EACH END	TOENAIL EACH END	3 - 3"x0 131" NAIL	CONNECTION
TOENAIL	3 - 86 COMMON	FASTENING	TOENAIL EACH END	TOENAIL EACH END	3 - 86 COMMON	CONNECTION

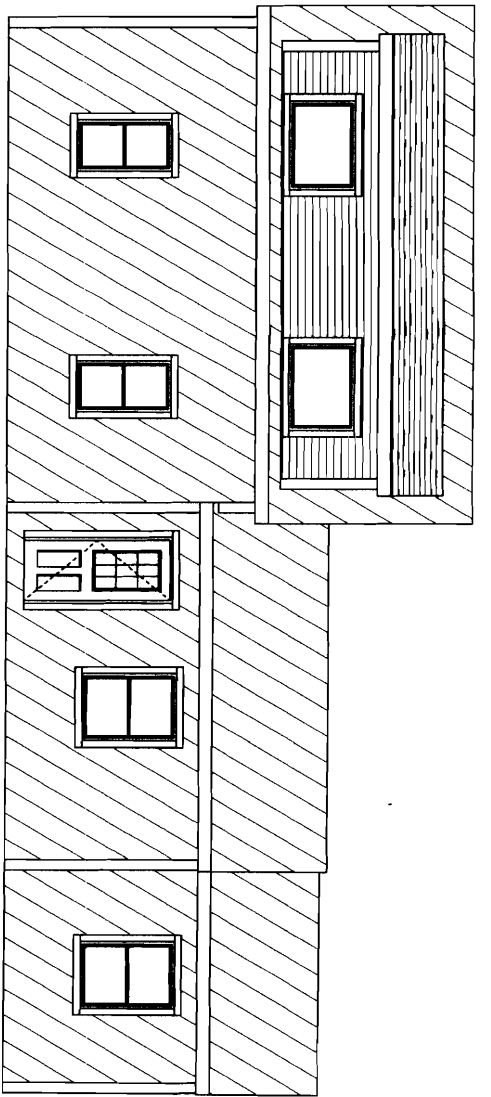
FASTENING SCHEDULE (SEE TABLE 2304.9.1 M.E.S. RESIDENTIAL CONSTRUCTION CODE FOR COMPLETE DETAILS)



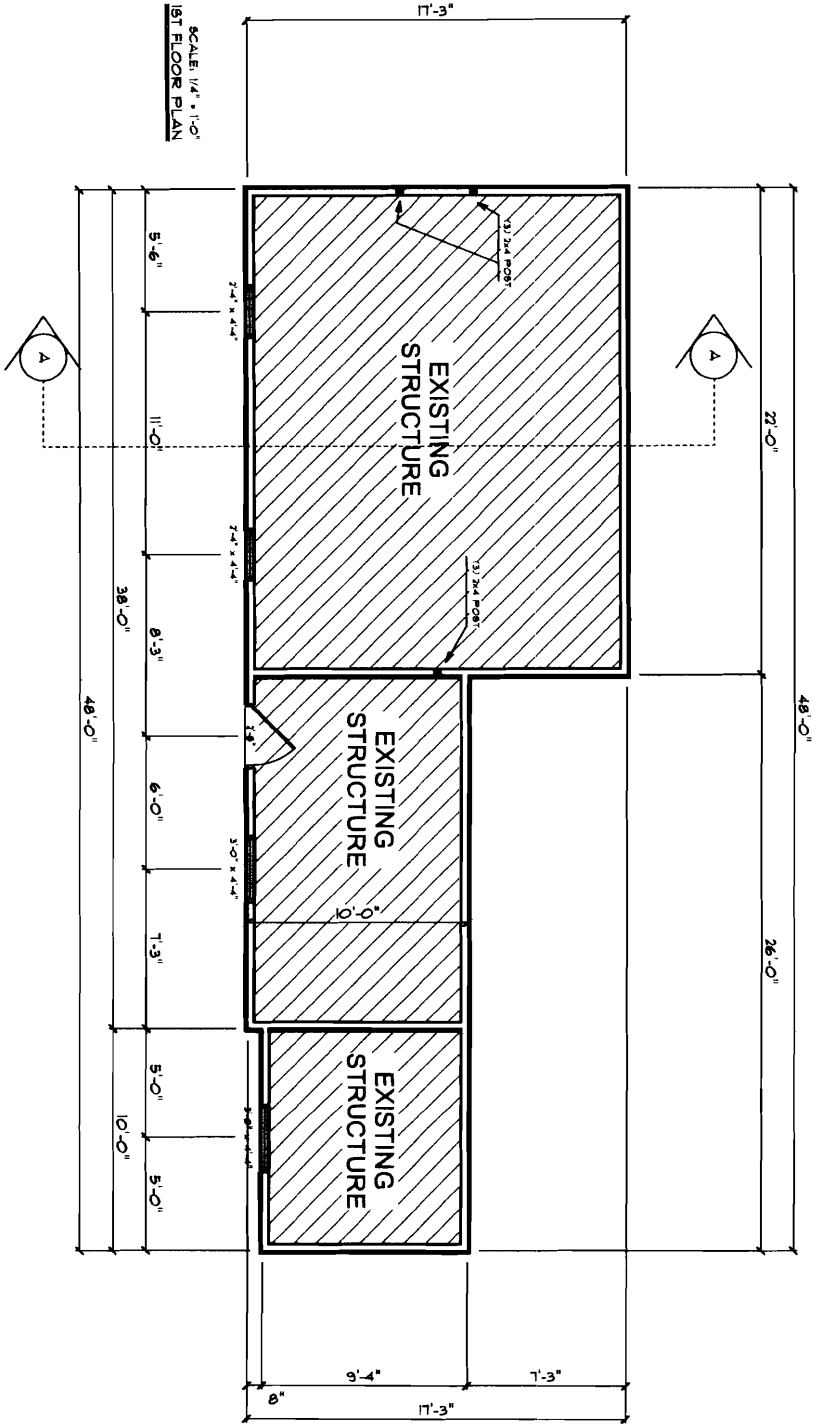
LEFT ELEVATION



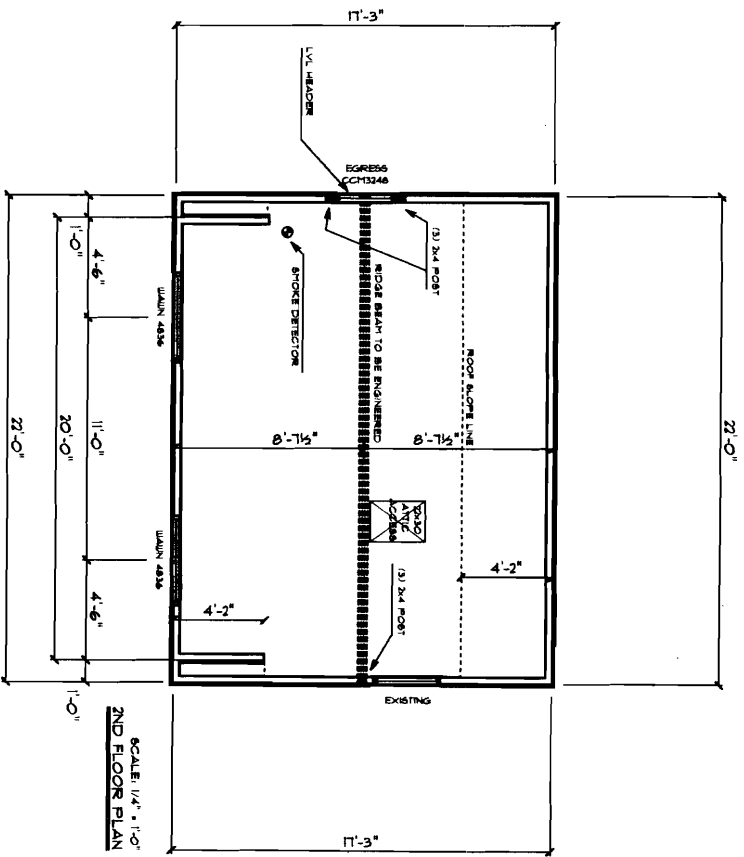
RIGHT ELEVATION



FRONT ELEVATION



SCALE: 1/4" = 1'-0"
1ST FLOOR PLAN



SCALE: 1/4" = 1'-0"
2ND FLOOR PLAN

SEP 11 2009

SHEET NO. OF	DRAWN	DATE: September 14, 2009	SCALE: AS NOTED	PROJECT NAME:	CONTRACTOR:	<p>THESE PLANS ARE TO BE CONSIDERED ONLY AS GENERAL GUIDELINES FOR THE CONSTRUCTION OF THIS PROJECT. PALANZA RES. DESIGN INC. OR PETER PALANZA DO NOT GUARANTEE THAT THESE PLANS ARE COMPLETELY CONSISTENT, ACCURATE OR IN COMPLIANCE WITH THE APPLICABLE BUILDING CODES. IT IS THE OWNER'S AND/OR THE BUILDER'S RESPONSIBILITY TO CONSTRUCT THIS PROJECT IN CONFORMANCE WITH ALL APPLICABLE CODES AND IN A MANNER DEEMED GOOD PRACTICE FOR ALL THE TRADES THAT MAY BE INVOLVED.</p> <p>ALL STRUCTURAL NOTATIONS ARE SUGGESTIONS ONLY. THE OWNER AND/OR BUILDER SHOULD TAKE ALL APPROPRIATE STEPS TO ASSURE THAT THE CONSTRUCTION OF THIS PROJECT CONFORMS TO OR EXCEEDS LOCAL AND STATE BUILDING CODES.</p> <p>USE OF THIS PLAN SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO PALANZA RES. DESIGN INC. CONTRACTORS SPECIFICATIONS TO OVERRIDE NOTES AND DETAILS ON THE PLANS</p>	<p>CAPE COTTAGE HOME DESIGN</p>
				<p>SWIFT DORMER ADDITION 18 Griffins Ln Cliff Isl. ME 04019</p>	<p>ART LIBBY CONSTRUCTION & HOME IMPROVEMENT</p>		