

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached

BUILDING INSPECTION

Permit Number: 070238

This is to certify that BENNETT JOSEPH R /Dan Construction

has permission to Extend front deck from 6' to Griffin

AT 0 ISLAND AVE Cliff Island

109B F002001

PERMIT ISSUED

provided that the person or persons form or tion a cepting this permit shall comply with all
of the provisions of the Statutes of ine and of the C ances of the City of Portland regulating
the construction, maintenance and se of buildings and structures, and of the application on file in
this department.

Apply to Public Works for street line
and grade if nature of work requires
such information.

Notification of inspection must be
given and when permission proceed
before this building or part thereof is
occupied or service closed-in
HOUR NOT REQUIRED.

A certificate of occupancy must be
procured by owner before this build-
ing or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____

Health Dept. _____

Appeal Board _____

Other _____

Department Name

3/2/07 *Chita*
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

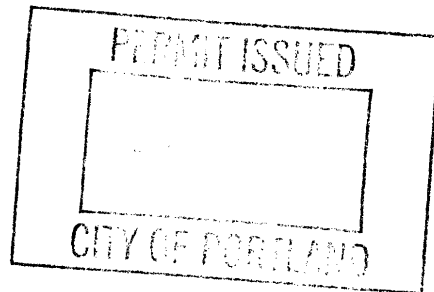
Permit No: 07-0238	Issue Date:	CBL: 109B F002001
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Location of Construction: 0 ISLAND AVE Cliff Island	Owner Name: BENNETT JOSEPH R	Owner Address: 232 OSCEOLA CT	Phone:
Business Name:	Contractor Name: Dana Construction	Contractor Address:	Phone 2073296255
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Dwellings	Zone: IB

Past Use: Single Family Home	Proposed Use: Single Family Home -Extend front deck from 6' to 10' Griffin Cove Side <i>(connected to permit #0201-247)</i>	Permit Fee: \$70.00	Cost of Work: \$5,000.00	CEO District: 1
Proposed Project Description: Extend front deck from 6' to 10' Griffin Cove Side - <i>proposed 4' x 15' ramp is not part of the permit</i>		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: <i>R-3</i> Type: <i>5D</i> <i>IRC-2003</i>	
		Signature: <i>3/21/07 CLM</i>		
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)				
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied				
Signature: _____ Date: _____				

Permit Taken By: ldobson	Date Applied For: 03/07/2007	Zoning Approval		
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<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews <input checked="" type="checkbox"/> Shoreland <i>I.B. zone section 14-449 no setback here high water required</i> <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <i>panel 10-zone C</i> <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>3/8/07</i> <i>ABM</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>ABM</i>
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 07-0238	Date Applied For: 03/07/2007	CBL: 109B F002001
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Location of Construction: 0 ISLAND AVE Cliff Island	Owner Name: BENNETT JOSEPH R	Owner Address: 232 OSCEOLA CT	Phone:
Business Name:	Contractor Name: Dana Construction	Contractor Address:	Phone (207) 329-6255
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Dwellings	

Proposed Use: Single Family Home -Extend front deck from 6' to 10.94' Griffin Cove Side (Connected to permit #01-0047)	Proposed Project Description: Extend front deck from 6' to 10.94' Griffin Cove Side - the 4' x 15' ramp is not part of the permit.
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Ann Machado **Approval Date:** 03/08/2007

Note: **Ok to Issue:**

- 1) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
- 2) This permit is being issued with the understanding that there will not be a 4' x 15' ramp from the deck to the street.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Chris Hanson **Approval Date:** 03/21/2007

Note: **Ok to Issue:**

- 1) Fastener schedule per the IRC 2003
- 2) Open risers are permitted, provided that the opening between treads does not permit the passage of a 4" diameter sphere.
- 3) As discussed during the review process, ballusters must be spaced with less than a 4" opening between each.
- 4) This permit is issued based on the plans submitted. Variations in actual construction that effect grades may change the requirements for handrails and guards.

Comments:

3/8/2007-amachado: Spoke to Edison Bennett. I told him that the proposed 4' x 15' ramp does not meet the zoning requirements. He told me to remove the ramp from the siteplan and permit application.



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>Cliff Is. Maine 04019</u>		
Total Square Footage of Proposed Structure <u>Ground Floor Deck 409 sq feet</u> <u>First Floor Deck 566 sq feet</u> <u>Total 975 square feet</u>		Square Footage of Lot <u>4350 square footage</u>
Tax Assessor's Chart, Block & Lot Chart# Block# Lot#	Owner: <u>Joseph + Patricia Bennett</u>	Telephone: <u>321 356 5803</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>Joseph + Patricia Bennett</u> <u>Winter Park FL 32789</u>	Cost Of Work: \$ <u>5,000</u> Fee: \$ <u>70.00</u> of O Fee: \$ <u>70.00</u>
Current legal use (i.e. single family) <u>Single Family Home</u> If vacant, what was the previous use? <u>same</u> Proposed Specific use: <u>DECK</u> Is property part of a subdivision? <u>NO</u> If yes, please name _____ Project description: <u>Request Decking Permit to extend front deck from 6' to 10 feet from building (griffin cove side)</u>		
Contractor's name, address & telephone: <u>Dana Construction 207 892 6253</u>		
Who should we contact when the permit is ready: <u>Edison Bennett</u>		
Mailing address: <u>PO Box 760</u> <u>Windham, Me 04062</u> Phone: <u>207 892 6129</u>		

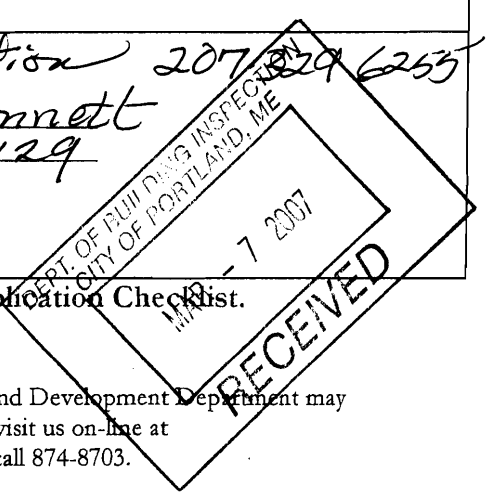
Please submit all of the information outlined in the Commercial Application Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at www.portlandmaine.gov, stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: Joseph Bennett Date: 3/5/07

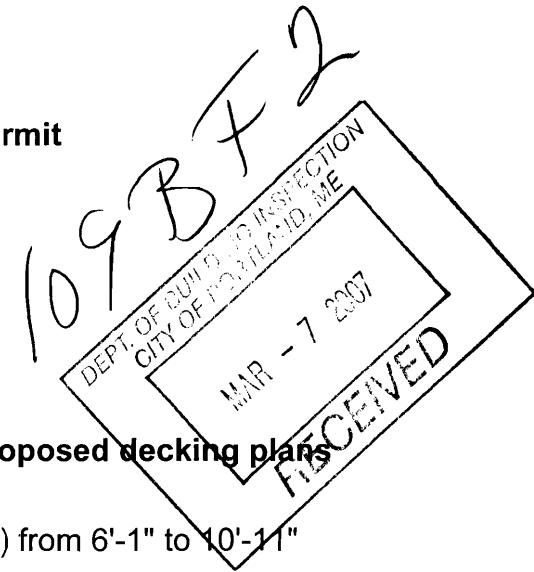
This is not a permit; you may not commence ANY work until the permit is issued.



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40
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Application Request for Decking Permit

Joseph Bennett Residents
Island Avenue
Cliff Island, Maine



Application Information:

1. **The attached plot plan shows all structures and proposed decking plans with distances to all property lines labeled.**
 - a. Application to extend front decks (Griffin Cove side) from 6'-1" to 10'-11"
 - b. **Zoning:** I-B Island Business Zone
 - c. Minimum side line off set, 10.1'
 - d. Decking will not obstruct the neighbors view on either side.
 - e. Bennett building set back is 40.8'± to high water line.
 - f. MacVane building set back is 5.6'± to high water line.
 - g. Kidder building set back is 26.7'± to high water line.
 - h. Removed front, ground floor, deck stairs from approved plans that extended from the center of the deck toward the cove. ? (#01-0047)
 - i. Because of the ground floor deck elevation the steps would have extended over 11' out from the approved building plans.
 - j. On this decking application the stairs have been relocated on the 6' return deck headed toward Island Avenue.
2. **Type of decking foundation will be as follows:**
 - a. Concrete piers will be custom built 12"x 12", steel reinforced with ½" epoxy coated rebar, pinned to ledge where applicable with ½" epoxy rebar.
 - b. Depth will vary from one foot to four feet depending on topography of lot and depth of ledge.
 - c. Anchorage of column to footing will be with Simpson STRONG TIE stainless steel connectors.
 - d. The spacing between the piers on the 6' deck will be 7'- 8 7/8" and the spacing on the 10' deck will be 7'- 0 9/16".
3. **Framing members:**
 - a. Supporting columns will consist of 4" by 4" pressure treated wood.
 - b. Ledger board attached to building will consist of 2"x 12" pressure treated wood with 24g stainless steel flashing.

- c. The ledger board will be fastened to building with 3/8"x 6" stainless steel lag bolts spaced from 12" to maximum of 16" apart with 3 – 2" stainless steel fender washers.
- d. The girders (rim joist) supporting the deck will consist of 2 - 2"x12"s fastened together with stainless steel screws, lag bolts and fender washers.
- e. The front deck floor joists will consist of 2"x8"s spaced 13±" apart, spanning 10'-5 ½" feet with center cross bracing between floor joists.
- f. The side deck floor joists will consist of 2"x8"s spaced 12±" apart, spanning 5'-8 ½" feet with center cross bracing between floor joists.
- g. The floor joist will be attached to ledger board and to rim joist with stainless steel timber hangers.

4. Guardrails and handrails:

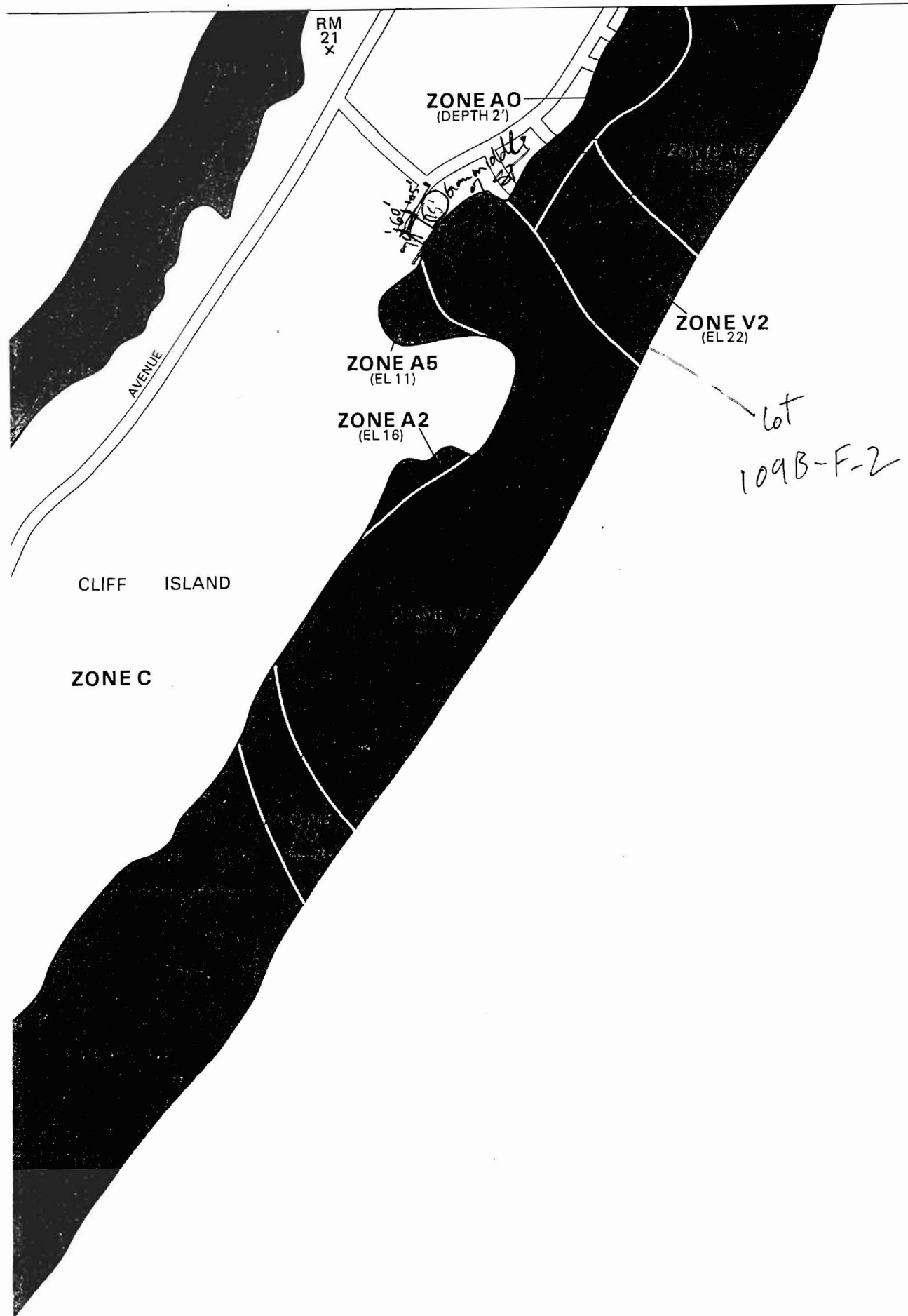
- a. The handrail heights will be 42" high based on recommendation of building inspector. The reason for the recommendation is safety since the second deck will be greater than 10 feet above ground level.
- b. The baluster spacing will be 4".
- c. The handrail height on steps will be 34 inches.
- d. The installation of the "Composatron" Premier deck railing system will be installed in accordance with the manufacturer's specifications which will meet the City of Portland building code.

5. The stair detail and stair railing:

- a. Stairs are to be built in accordance with City of Portland building code (IBC 2003) section R311.5.3 Treads & Risers.
- b. Tread depth will be a minimum of 11" nose to nose.
- c. Riser height will no greater than 7 3/4" high. The treads and riser will be decking material.
- d. The width of stairs will be 4±'.

6. Decking:

- a. The planned decking material will be CorrectDeckCX, coastal gray, manufactured in Biddeford, ME.
- b. The proposed deck along north easterly portion of the building is 1" wider than the approved plan. The dimensional characteristics of the brand name decking controls the width and depth of front and side deck framing.



500-Year Flood Bou
100-Year Flood Bou
Zone Designations*

100-Year Flood Bou
500-Year Flood Bou

Base Flood Elevation
With Elevation In Fe

Base Flood Elevation
Where Uniform With

Elevation Reference

Zone D Boundary—

River Mile

**Referenced to the

*EXPLANAT

ZONE

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AH	Areas o are betw elevation are deter
A1-A30	Areas of flood ha:
A99	Areas of protectic elevation
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C	Areas of
D	Areas of
V	Areas of action); t not deter
V1-V30	Areas of action); t determini

Certain areas not in tl
may be protected by t

This map is for flood
poses only; it does no
ing in the communit
flood hazard areas.
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Service for hurricane c

For adjoining map p
Panels.

Coastal base flood ele
of wave action.

City of Portland, Maine – Building or Use Permit Application 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: ISLAND Ave CLIFF ISLAND, PORTLAND, ME		Owner: JOSEPH BENNETT	Phone: 1-407-539-1891	Permit No: 010047
Owner Address: 232 OSCAEOLA CIRCLE	Lessee/Buyer's Name:	Phone:	BusinessName:	Permit Issued: JAN 17 1
Contractor Name: BELL DEVELOPEMENT CORP.	Address: 35 VAL HALLA ROAD, CUMBERLAND, ME	Phone: 829-6486		
Past Use: SINGLE FAMILY	Proposed Use: SINGLE FAMILY	COST OF WORK: \$100,000.00	PERMIT FEE: \$624.00	Zone: IEB CBL: 1098-F-002 1098-F-002
Proposed Project Description: RECONSTRUCTION OF BUILDING; REPAIR 1ST & 2ND LEVELS <i>with New porches to be added</i>		FIRE DEPT. <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group A-3 Type 5B <i>BOC 1941</i>	
		Signature:	Signature: <i>[Signature]</i>	
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		Zoning Approval: <i>OK with conditions</i> Special Zone or Reviews: <input type="checkbox"/> Shoreland <i>IEB Zone</i> <input type="checkbox"/> Wetland <i>Exempt from</i> <input checked="" type="checkbox"/> Flood Zone <i>shoeland</i> <input type="checkbox"/> Subdivision <i>see 14-449</i> <input type="checkbox"/> Site Plan <i>Amel to Zone</i> <input type="checkbox"/> Major <input type="checkbox"/> Minor <input type="checkbox"/> Imm <input type="checkbox"/> 5400⁺ per ASSESSORS
Permit Taken By: GAYLE	Date Applied For: JANUARY 10, 2001	Action: Approved <input type="checkbox"/> Approved with Conditions: <input type="checkbox"/> Denied <input type="checkbox"/>	Signature: Date:	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

***CALL 207-829-6486

Don Bellanger

**PERMIT ISSUED
WITH REQUIREMENTS**

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

SIGNATURE OF APPLICANT _____ ADDRESS: _____ DATE: JANUARY 10, 2001 PHONE: _____

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE _____ PHONE: _____

White-Permit Desk Green-Assessor's Canary-D.P.W. Pink-Public File Ivory Card-Inspector

**PERMIT ISSUED
WITH REQUIREMENTS**

CEO DISTRICT

2

LAND USE - ZONING REPORT

ADDRESS: Island Ave, Cliff Island DATE: 1/17/01

REASON FOR PERMIT: reconstruction of existing single fam - re-adding old Deck & entry way

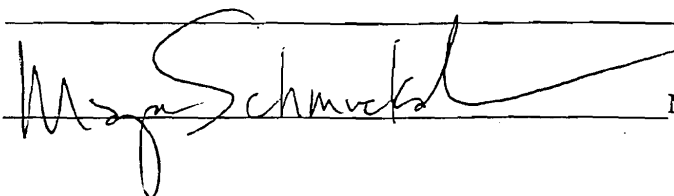
BUILDING OWNER: Joseph Bennett C-B-L: 109B-F-002

PERMIT APPLICANT: Don Belanger

APPROVED: with conditions: #1, #6, #9, #10, #12

CONDITION(S) OF APPROVAL
 revised - Discussions with contractor concerning 2nd kitchen to be eliminated at ground level

1. This permit is being approved on the basis of ^{revised} plans submitted. Any deviations shall require a separate approval before starting that work.
2. During its existence, all aspects of the Home Occupations criteria, Section 14-410, shall be maintained.
3. All the conditions placed on the original, previously approved, permit issued on _____ are still in effect for this amendment, and/or revised permit.
4. The footprint of the existing _____ shall not be increased during maintenance reconstruction.
5. Your present structure is legally nonconforming as to setbacks. If you are to demolish this structure on your own volition, you will only have one (1) year to replace it in the same footprint (no expansions), with the same height, and the same use. Any changes to any of the above shall require that this structure met the current zoning standards.
6. This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
7. Our records indicate that this property has a legal use of _____ units. Any change in this approved use shall require a separate permit application for review and approval.
8. Separate permits shall be required for any new signage.
9. Separate permits shall be required for future decks, sheds, pool(s), and/or garage.
10. This is not an approval for an additional dwelling unit. You shall not add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. without special approvals.
11. All of the attached Floodplain forms shall be appropriately filled out, signed, and returned prior to the issuance of any certificates of occupancy.
12. Other requirements of condition: The added deck shall NOT be closer to the street line than the existing bow window. The Code Enforcement Officer shall be checking this detail



Marge Schmuckal, Zoning Administrator

Applicant: Don Bellanger

Date: 1/16/01

permit # 01-0047

Address: Island Way Cliff Island

Case #: 109B-F-002

CHECK-LIST AGAINST ZONING ORDINANCE

Date - existing

Zone Location - IB Zone

Interior or corner lot -

Proposed Use/Work - remain A single fam.

Sewage Disposal - hooking up to AN existing common system

Lot Street Frontage -

Front Yard - 20' req - 35' shown ^{revised} 1/17/01 - ^{consultation with Don Bellanger} The steps toward the street are OK if they do not go beyond the Bay window

Rear Yard - 10' req - 10' shown ^{to new added deck}

Side Yard - 10' req - 10.9' shown ^{at closest}

Projections - deck around the front & side

Width of Lot -

Height - 35' max allowed - just under the existing

35	24	30	720
27	27	27	729
16	35	16	210
6	27	6	132
			270

Lot Area - 5400 sq ft per assessment

Lot Coverage Impervious Surface - 50% of 2700 sq ft MAX

Area per Family -

Off-street Parking - exist.

Loading Bays - N/A

No 2nd kitchen on ground floor - will be removed by Don Bellanger

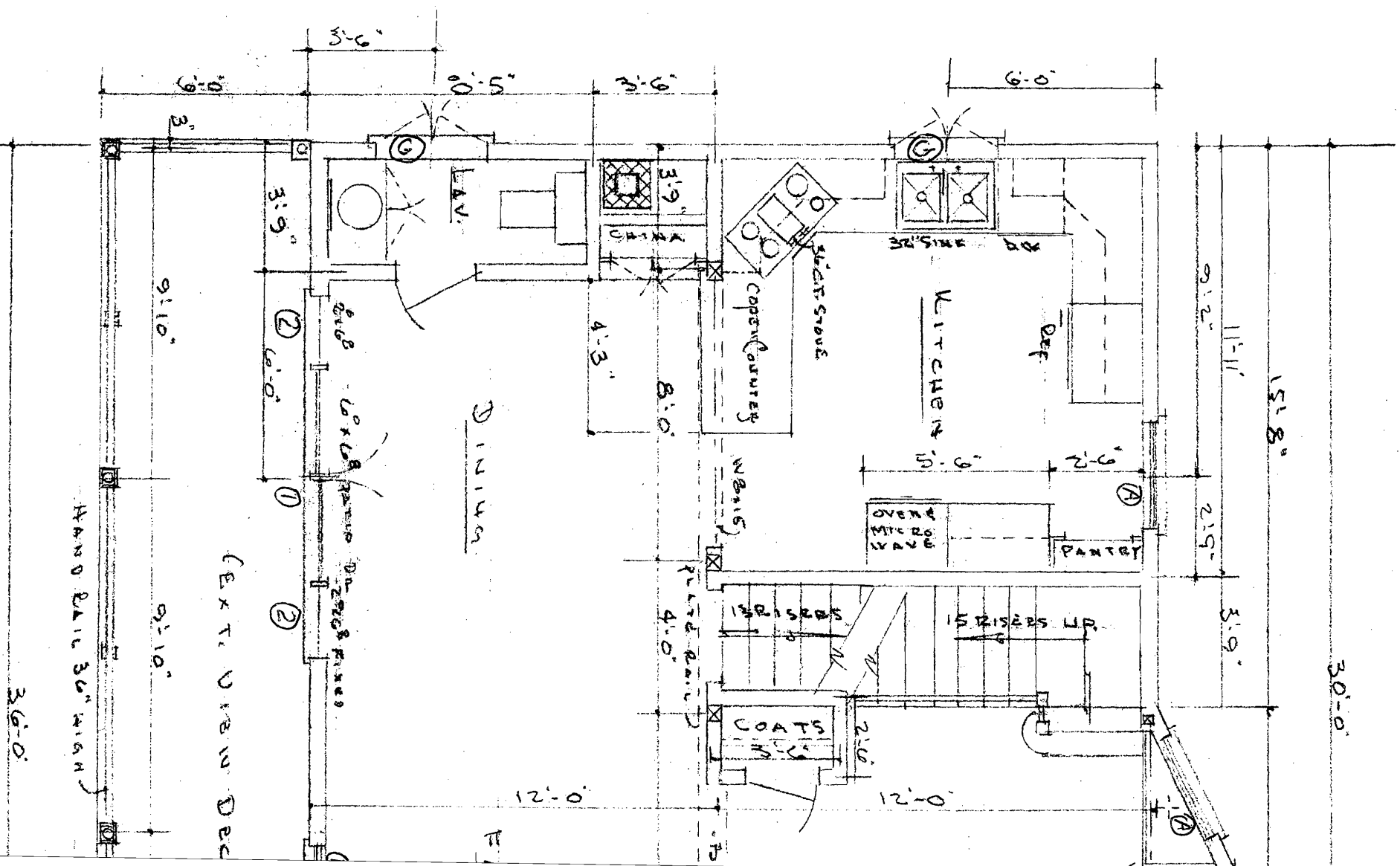
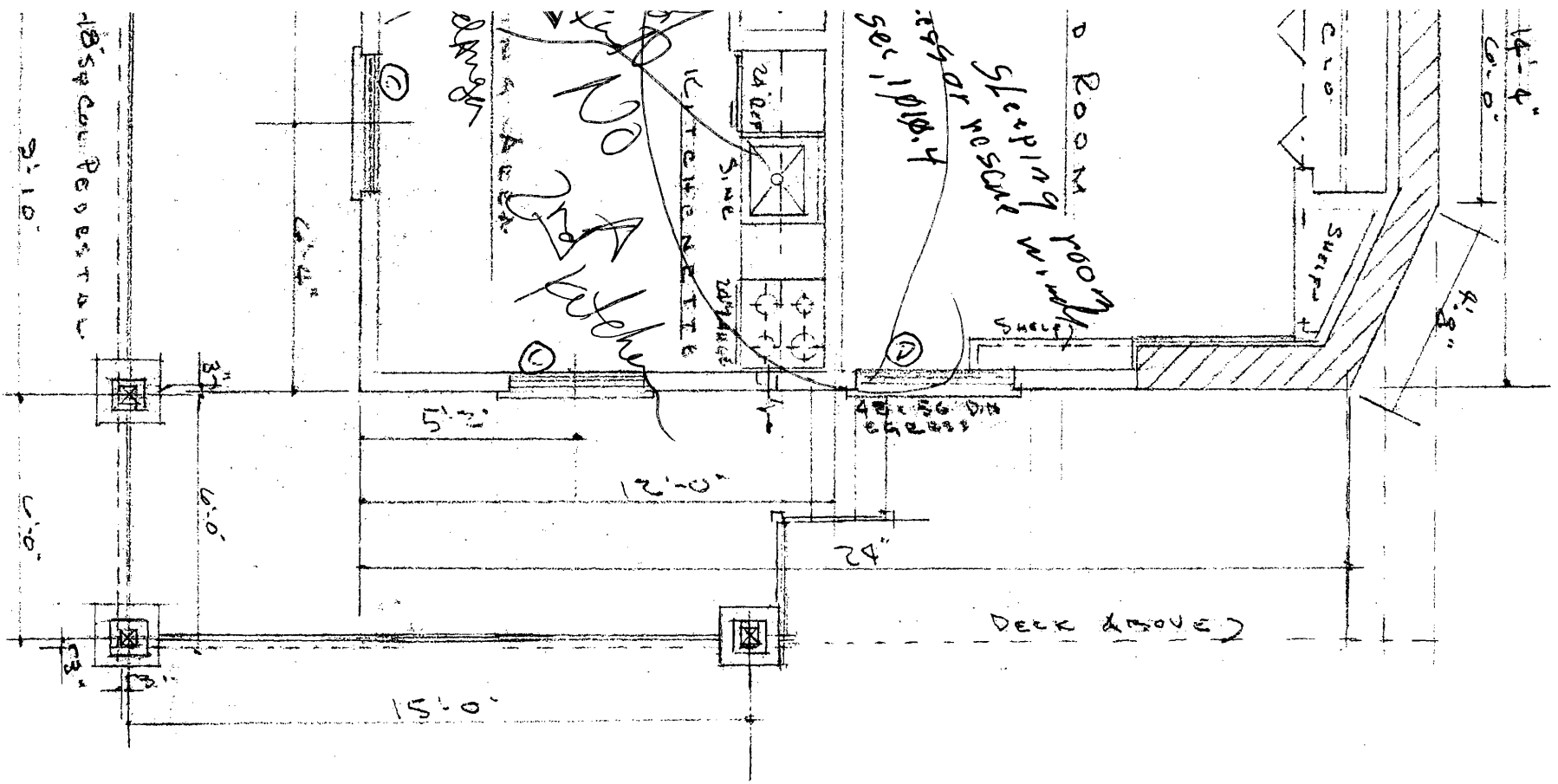
Site Plan -

Shoreland Zoning/ Stream Protection - within, but IB zone is exempt from the 75' setback from HWM

Flood Plains - Bldg is outside The flood area using the method of measuring from the centerline of the street

Panel 10 - Zone C

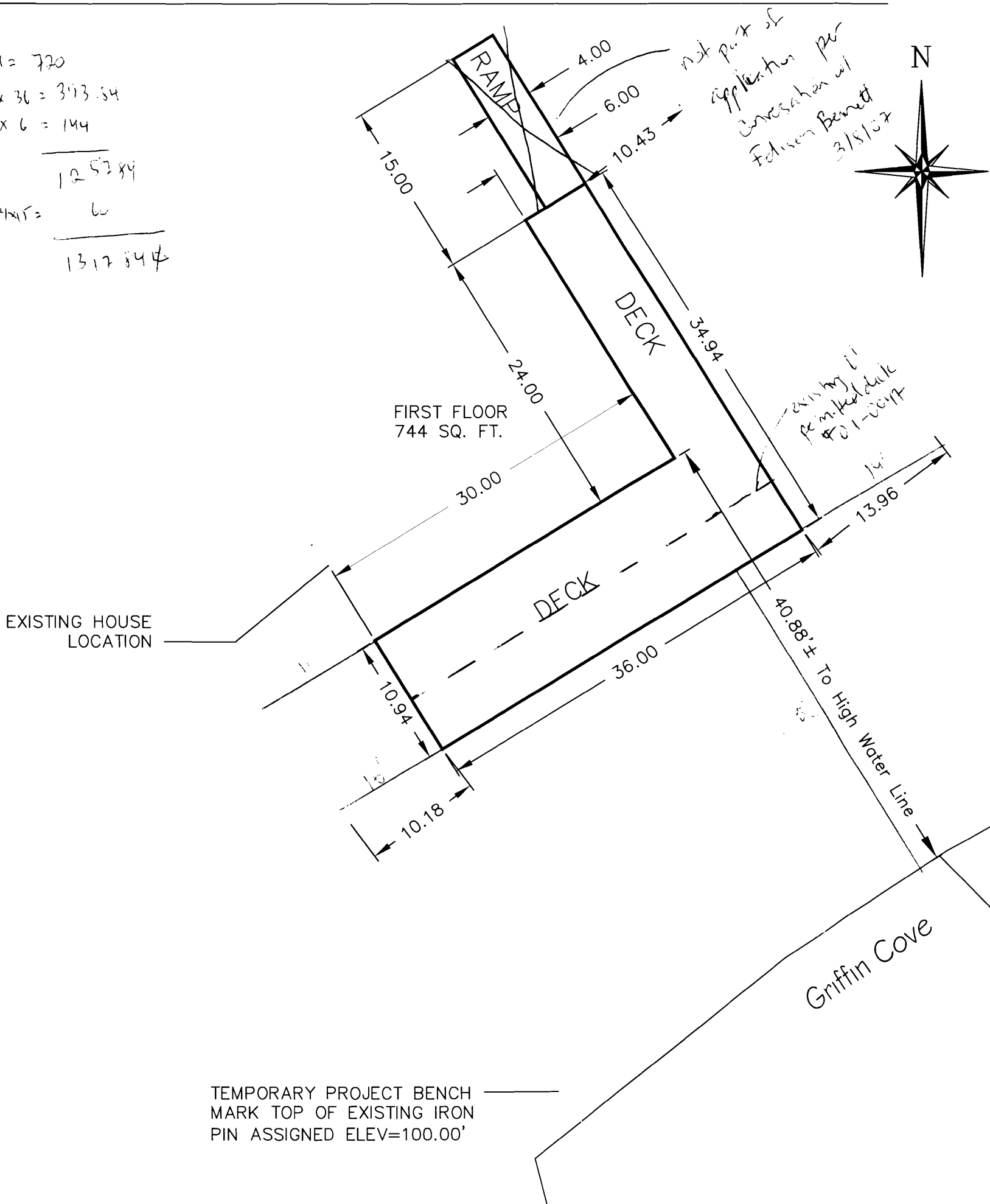
14-449



$30 \times 24 = 720$
 deck $10.94 \times 36 = 393.84$
 deck $24 \times 6 = 144$

 1257.84
 Ramp $4 \times 15 = 60$

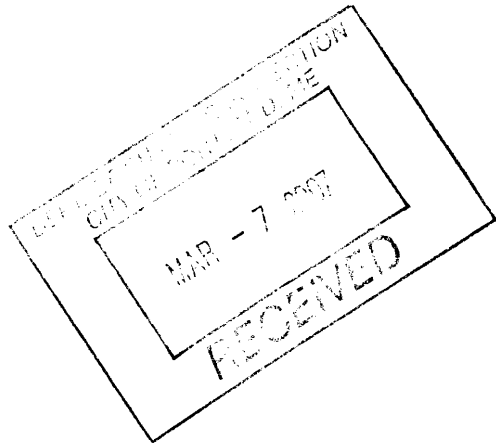
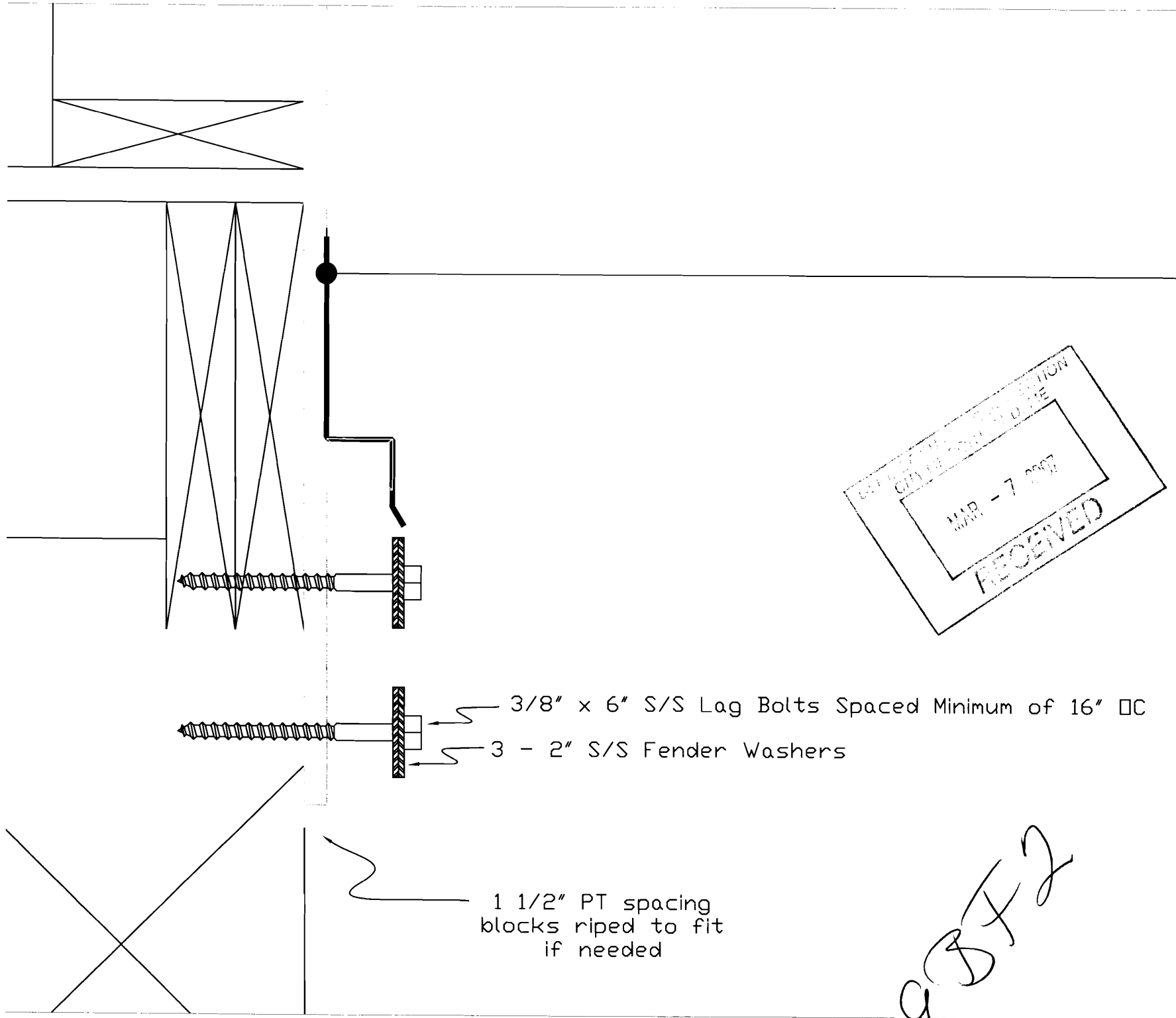
 1317.84



approximate
 observed

NOTES:
 1. BOUNDARY SURVEY PLAN TITLED "BOUNDARY SURVEY" FOR PROJECT (DATED 12/06,

TEMPORARY PROJECT BENCH MARK TOP OF EXISTING IRON PIN ASSIGNED ELEV=100.00'



3/8" x 6" S/S Lag Bolts Spaced Minimum of 16" \square C
 3 - 2" S/S Fender Washers

1 1/2" PT spacing
 blocks ripped to fit
 if needed

1098F2

LDI
 LAND DEVELOPMENT INC.
 PROJECT MANAGERS &
 CERTIFIED CAD DRAFTERS
 85 WASHINGTON STREET
 AUGUSTA, MAINE 04330
 207-232-5505
 LDI JOB NO. #06054.02

GENERAL CONTRACTOR - DANA SPILLER of DANA CONSTRUCTION
 BUILDING MOVER - DANA WATSON
 MASONRY BY

CLIENT
JOSEPH & PATRICIA BENNETT RESIDENCE
 CLIFF ISLAND, MAINE
 PROJECT
Decking Plan

No.	DATE	DESCRIPTION

DESIGNED BY **DH**
 DRAWN BY **DH**
 CHECKED BY **JWB**
 DATE **3-5-07**
 HARD PROJECT NO **04082**
 SHEET NO
FSTFL - 1

