

# DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read  
Application And  
Notes, If Any,  
Attached

## DEPARTMENT OF BUILDING INSPECTION PERMIT

Permit Number: 061392

This is to certify that Bennett Joseph R/Danas Construction  
has permission to raise structure and add foundation under building and install windows and doors.  
AT Q Island Ave 109B F002001

provided that the person or persons who accept this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

PERMIT ISSUED  
SEP 22 2006  
CITY OF PORTLAND

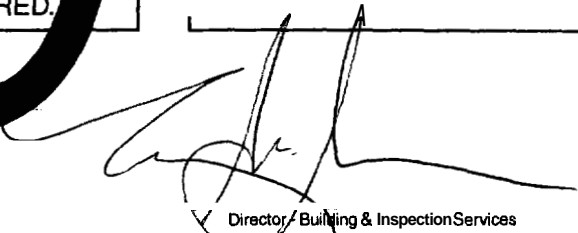
Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission procured before this building or part thereof is leased or closed-in. 4 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

### OTHER REQUIRED APPROVALS

Fire Dept. \_\_\_\_\_  
Health Dept. \_\_\_\_\_  
Appeal Board \_\_\_\_\_  
Other \_\_\_\_\_  
Department Name

  
Director, Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 06-1392	Issue Date: <b>PERMIT ISSUED</b> SEP 22 2006	CBL: 09B F002001
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Location of Construction: 0 Island Ave <i>Cliff Island</i>	Owner Name: Bennett Joseph R	Owner Address: 232 Osceola Ct	Phone: 2073296255
Business Name:	Contractor Name: Danas Construction	Contractor Address: 8 Pine Rd Falmouth	Phone: 2073296255
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Dwellings	Zone: <b>IB</b>

Past Use: single family	Proposed Use: single family - raise structure and add foundation under building and install windows and doors.	Permit Fee: \$0.00	Cost of Work: \$0.00	CEO District: 1
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Proposed Project Description:  
raise structure and add foundation under building and install windows and doors.  
*see permit # 01-0047 → 06-1267*

E DEPT: FIR <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Denied Signature: <i>[Signature]</i>	INSPECTION: Use Group: <i>R-3</i> Type: <i>SB</i> Signature: <i>[Signature]</i>
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input checked="" type="checkbox"/> Denied Signature: _____ Date: _____	

Permit Taken By: tmm	Date Applied For: 09/12/2006	<b>Zoning Approval</b>	
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Special Zone or Reviews <input type="checkbox"/> Shoreland <i>N/A</i> <input type="checkbox"/> Wetland <i>14-449 (2006)</i> <input type="checkbox"/> Flood Zone <i>Part 10 - Zone C</i> <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>9/21/06</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>9/21/06</i>
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**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

**Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon**

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

- Footing/Building Location Inspection; Prior to pouring concrete
- N/A Re-Bar Schedule Inspection: Prior to pouring concrete
- Foundation Inspection: Prior to placing ANY backfill
- N/A Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling
- N/A Final/Certificate of Occupancy: Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects, **your** inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

       If any of the inspections do not occur, the project cannot go on to the next phase, **REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.**

       **CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED**

X Dan Spiller \_\_\_\_\_ Date 9/22/06  
Signature of Applicant/Designee  
[Signature] \_\_\_\_\_ Date  
Signature of Inspections Official  
CBL: 109B-A-2 Building Permit #: 06-1392



# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

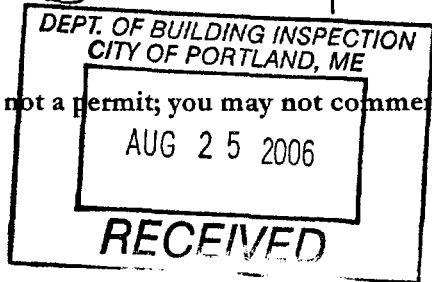
<u>Island Ave</u>		
Total Square Footage of Proposed Structure <u>1<sup>st</sup> floor 754 sq. ft.</u>	Square Footage of Lot <u>41330.66 Sq. ft.</u>	
Chart# <u>104</u>	Block# <u>BF</u>	Lot# <u>002</u>
<u>Joseph R Bennett</u>		
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>Joseph R. Bennett</u> <u>232 Osceola Court</u> <u>Winter Park, FL</u> <u>407-539-1891 32789</u>	cost Of Work: <u>\$100,000</u> Fee: <u>\$1020.00</u> C of O Fee: <u>\$N/A</u>
Current Specific use: <u>Single family Dwelling</u>		
If vacant, what was the previous use? <u>SAME AS ABOVE</u>		
Proposed Specific use: <u>SAME AS ABOVE</u>		
Project description: <u>RAISE existing structure, construct New foundation,</u> <u>LOWER structure down onto New foundation, finish Exterior</u> <u>AND INTERIOR of Building</u>		
Contractor's name, address & telephone: <u>DANA SPILLER DBA DANA'S CONSTRUCTION</u> <u>&amp; Pine Rd. FALMOUTH ME. 04105</u>		
Who should we contact when the permit is ready: <u>DANA Spiller</u>		
Mailing address: <u>Phone: 329-6255</u>		

**Please submit all of the information outlined in the Commercial Application Checklist. Failure to do so will result in the automatic denial of your permit.**

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>Dana Spiller</u>	Date: <u>8/24/06</u>
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This is not a permit; you may not commence ANY work until the permit is issued.

*Cash*

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<b>Permit No:</b> 06-1392	<b>Date Applied For:</b> 0912112006	<b>CBL:</b> 109B F002001
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<b>Location of Construction:</b> 0 Island Ave	<b>Owner Name:</b> Bennett Joseph R	<b>Owner Address:</b> 232 Osceola Ct	<b>Phone:</b>
<b>Business Name:</b>	<b>Contractor Name:</b> Danas Construction	<b>Contractor Address:</b> 8 Pine Rd Falmouth	<b>Phone</b> (207) 329-6255
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Alterations - Dwellings	

<b>Proposed Use:</b> single family - raise structure and add foundation under building and install windows and doors.	<b>Proposed Project Description:</b> raise structure and add foundation under building and install windows and doors.
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Dept: Zoning Status: Approved with Conditions Reviewer: Tammy Munson Approval Date: 09/22/2006

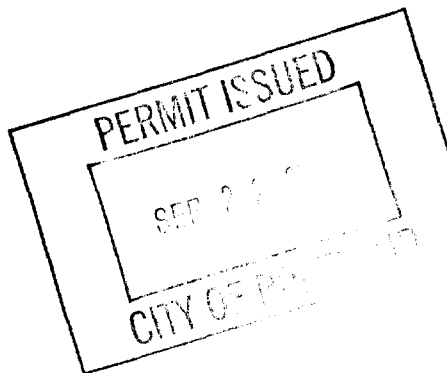
**Note:** All work is being done within the existing footprint. The new foundation will put the height of the house at **Ok** to Issue:   
31' pre construction grade. The interior and exterior work is connected to permit 01-0047.

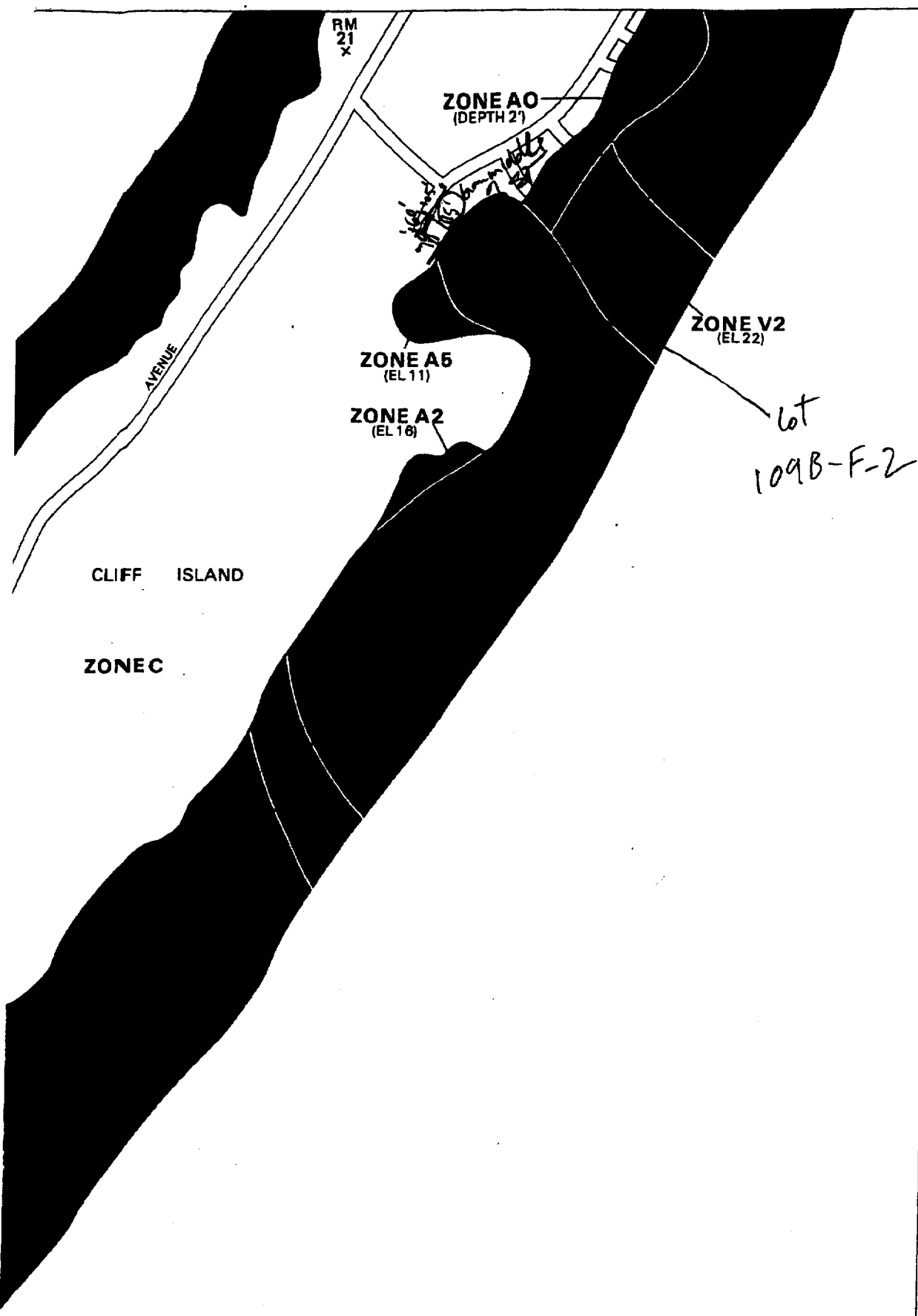
- 1) Separate permits shall be required for future decks, sheds, pools, and/or garages.
- 2) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.

Dept: Building Status: Approved with Conditions Reviewer: Tammy Munson Approval Date: 09/22/2006

**Note:** Spoke w/Dana and explained there were a lot of problems w/the submitted plans. At this time, we decided to **Ok to Issue:**   
do a foundation only and weather tight the building so the owner does not have more structural damage.

- 1) As discussed, this permit is for the foundation ONLY and the installation of the windows and doors in the existing openings.
- 2) Upon completion of the work under this permit, as discussed, the builder will submit the missing info from the plans applied for under permit # 06-1267.





500-Year Flood Bou  
 100-Year Flood Bw  
 Zone Designations\*

100-Year Flood Bou  
 500-Year Flood Bou

Base Flood Elevation  
 With Elevation In Fe

Base Flood Elevation  
 Where Uniform With  
 Elevation Reference

Zone D Boundary —  
 River Mile

\*\*Referenced to the

**\*EXPLANAT**

ZONE	
A	Areas o flood ha.
A0	Areas o are betw of inund are deter
AH	Areas o are betw elovator are deter
A1-A30	Areas o: flood ha:
A99	Areas o: protectic elevation
B	Areas be year floo ing with the cdnt mile; or (Medium
C	Areas of
D	Areas of
V	Areas of action); t not deter
V1-V30	Areas of action); t determin.

Certain areas not Int'l  
 may be protected by 1

This map is for flood  
 poses only; it does no  
 ing in the communit  
 flood hazard areas.  
 differ significantly fro  
 Service for hurricane (

For adjoining map p  
 Panels.

Coastal baseflood ele  
 of wave action.



# While You Were Out

Date: 9/13/06 Time: 2:45 P

For: ATTN: ANN

From: DANA Spiller

Phone Number: 329-6255



- Telephoned \_\_\_ X
- Want to see you
- Returned your call
- Left voice mail \_\_\_ X

- Please call
- Will call again
- Important
- URGENT

Message: The following 2 pages contain  
the elevations on Joseph Bennett's building  
located on Island Ave, Cliff Island, as  
per your request.

We appreciate your time and consideration... Dana Spiller

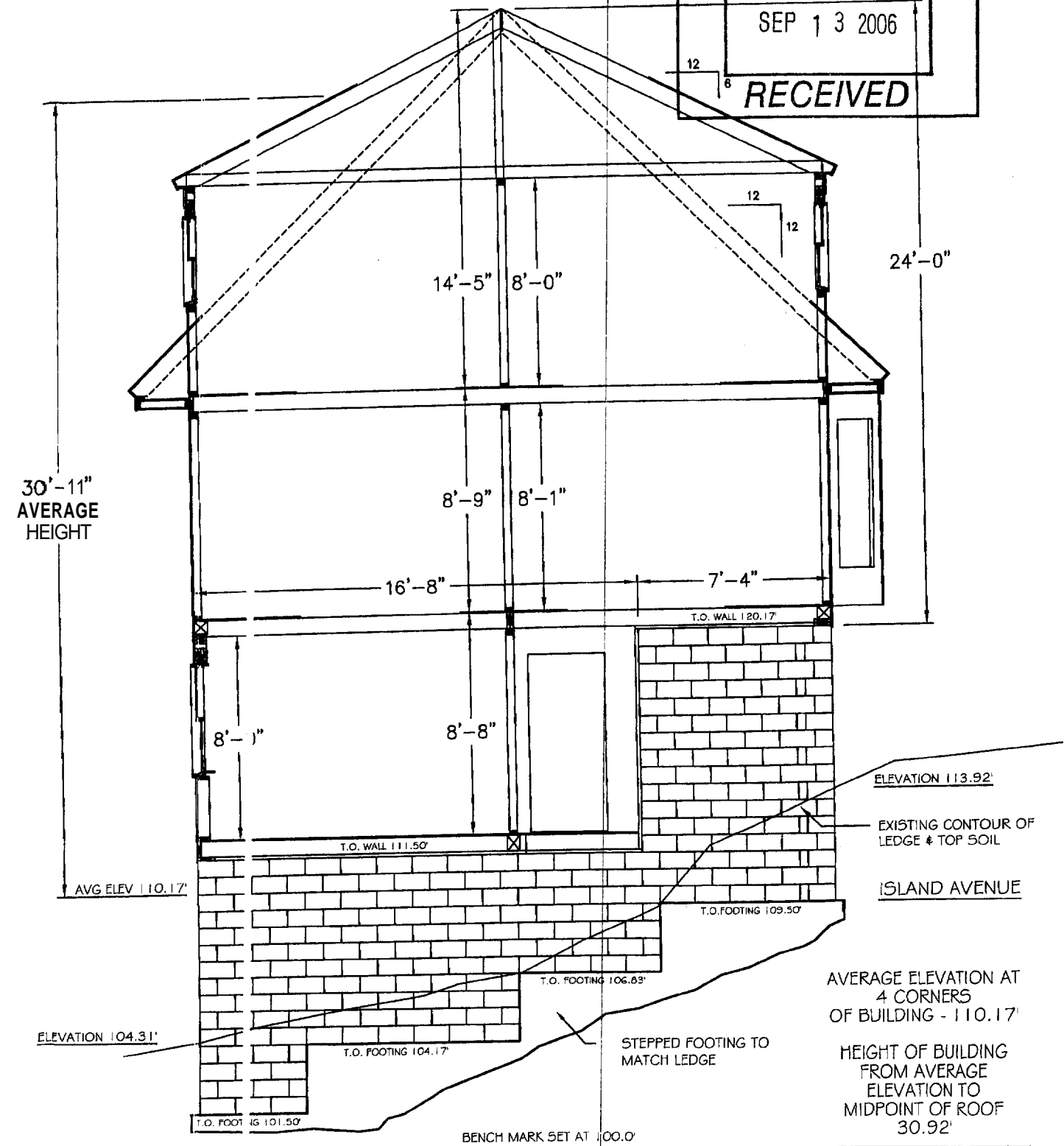
Faxed ~~from~~ <sup>TO</sup>: 874-8716



DEPT. OF BUILDING INSPECTION  
 CITY OF PORTLAND, ME

SEP 13 2006

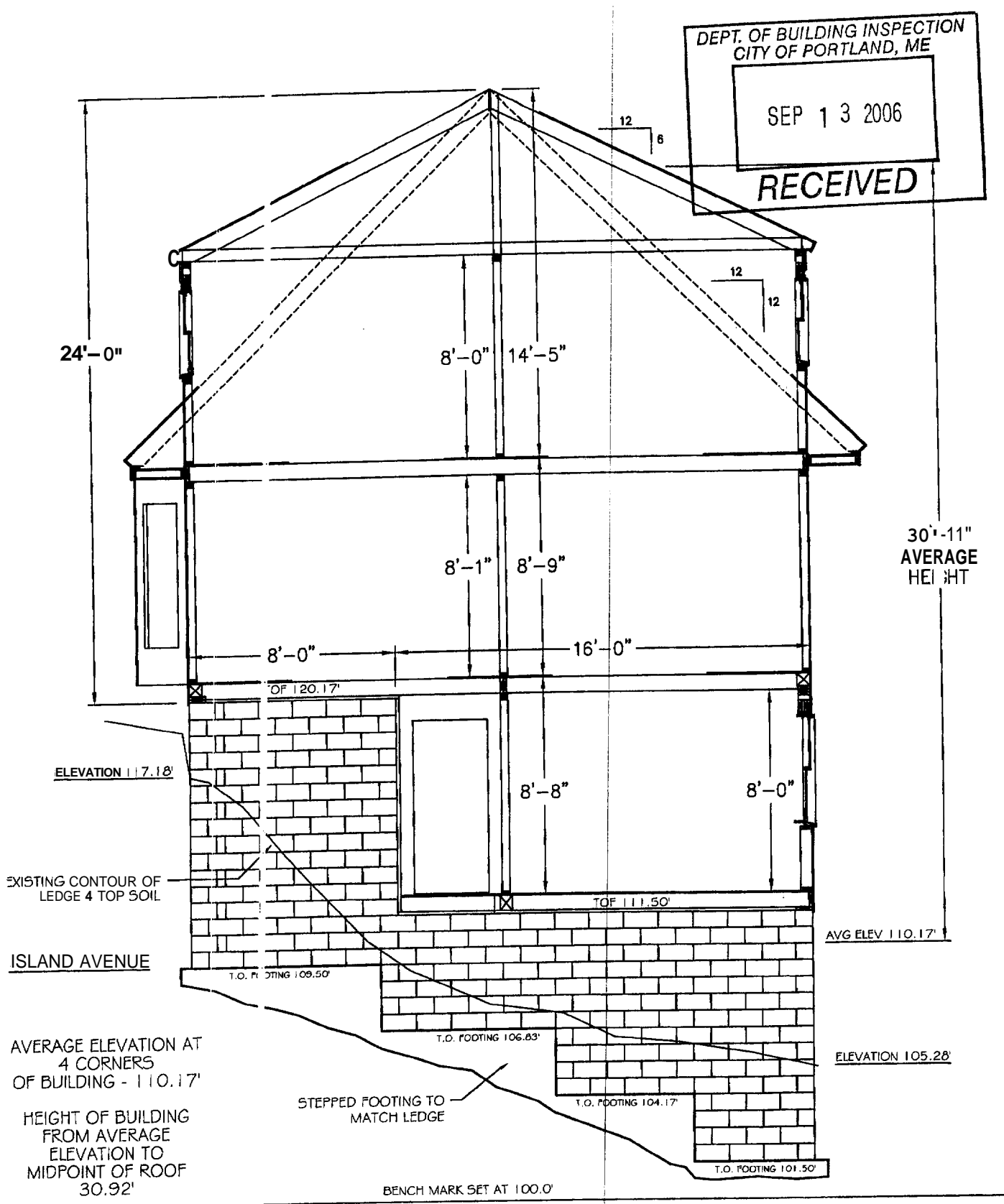
RECEIVED



BENEFIT PROP. CLIFF ISLAND

NORTHEAST ELEVATION

DEPT. OF BUILDING INSPECTION  
 CITY OF PORTLAND, ME  
 SEP 13 2006  
**RECEIVED**



ELEVATION 117.18'

EXISTING CONTOUR OF LEDGE & TOP SOIL

ISLAND AVENUE

AVERAGE ELEVATION AT 4 CORNERS OF BUILDING - 110.17'

HEIGHT OF BUILDING FROM AVERAGE ELEVATION TO MIDPOINT OF ROOF 30.92'

STEPPED FOOTING TO MATCH LEDGE

BENCH MARK SET AT 100.0'

BENNETT PROPERTY  
CLIFF ISLAND

SOUTHWEST ELEVATION

AVG ELEV 110.17'

ELEVATION 105.28'

440.69 ÷ 4

110.17

**City of Portland, Maine - Building or Use Permit Application 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716**

Location of Construction: <b>ISLAND AVE CLIFF ISLAND, PORTLAND, ME</b>		Owner: <b>JOSEPH BENNETT</b>	Phone: <b>1-407-539-1891</b>
Owner Address: <b>232 OSCAROLA CIRCLE</b>		Lessee/Buyer's Name:	Phone:
Contractor Name: <b>BELL DEVELOPEMENT CORP.</b>		Address: <b>35 VAL HALLIA ROAD, CUMBERLAND, ME</b>	Phone: <b>04021</b>
Past Use: <b>SINGLE FAMILY</b>		Proposed Use: <b>SINGLE FAMILY</b>	COST OF WORK: <b>\$100,000.00</b>
Proposed Project Description: <b>RECONSTRUCTION OF BUILDING; REPAIR 1ST &amp; 2ND LEVELS with new porches to be added</b>		PERMIT FEE: <b>\$624.00</b>	INSPECTION: Use Group <b>3</b> Type <b>1B</b>
Permit Taken By: <b>GAYLE</b>	Date Applied For: <b>JANUARY 10, 2001</b>	Signature: <i>[Signature]</i>	Signature: <i>[Signature]</i>
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Conditions <input type="checkbox"/> Denied		Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Conditions <input type="checkbox"/> Denied	

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.

\*\*\*CALL 207-829-6486

*Don Belding*

**PERMIT ISSUED WITH REQUIREMENTS**

**CERTIFICATION**  
I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

SIGNATURE OF APPLICANT \_\_\_\_\_ ADDRESS: \_\_\_\_\_ JANUARY 10, 2001 DATE: \_\_\_\_\_ PHONE: \_\_\_\_\_

RESPONSIBLE PERSON IN CHARGE OF WORK TITLE \_\_\_\_\_ PHONE: \_\_\_\_\_

Write-Permit Desk Green-Assessor's Canary-D.P.W. Pink-Public File Ivory Card-Inspector

Permit No:  
**010047**

Permit Issued:

**Jan 17 2001**

1998 Fee 2  
Zoning: **CB1: 100 SF 002**  
Zoning Approval: *[Signature]*  
Special Zones or Reviews:  
 Shoreland  IS  Wetland  Flood Zone  Subdivision  Site Plan  Minor  5400  Assessors

Zoning Appeal  
 Variance  
 Miscellaneous  
 Conditional Use  
 Interpretation  
 Approved  
 Denied

Historic Preservation  
 Not in District or Landmark  
 Does Not Require Review  
 Requires Review

Action:  
 Approved  
 Approved with Conditions  
 Denied

Date: *[Signature]*

**PERMIT ISSUED WITH REQUIREMENTS**

CEO DISTRICT

2

Applicant: Don Bellanger

Date: 1/16/01

Address: Island Way Cliff Island

Case No: 109B-F-002

**CHECK-LIST AGAINST ZONING ORDINANCE**

Date - existing

Zone Location - IB Zone

Interior or corner lot -

Proposed Use/Work - Remain A single fam.

Sevage Disposal - hooking up to AN existing common system

Lot Street Frontage -

facing water

Front Yard - 20' req - 35' shown

facing the street

Rear Yard - 10' req - 10' shown

CEO should check

Side Yard - 10' req - 10.9' shown at closest

Projections - deck around the front & side

Width of Lot -

Height - 35' MAX Allowed - Just under the existing

Lot Area -

5400 sq ft per assessment

Lot Coverage Impervious Surface - 50% of

2700 sq ft MAX

Area per Family -

Off-street Parking - exist.

Loading Bays - N/A

Site Plan -

Shoreland Zoning Stream Protection -

Flood Plains - Bldg is outside

Panel 10 - Zoned

from the centerline of the street

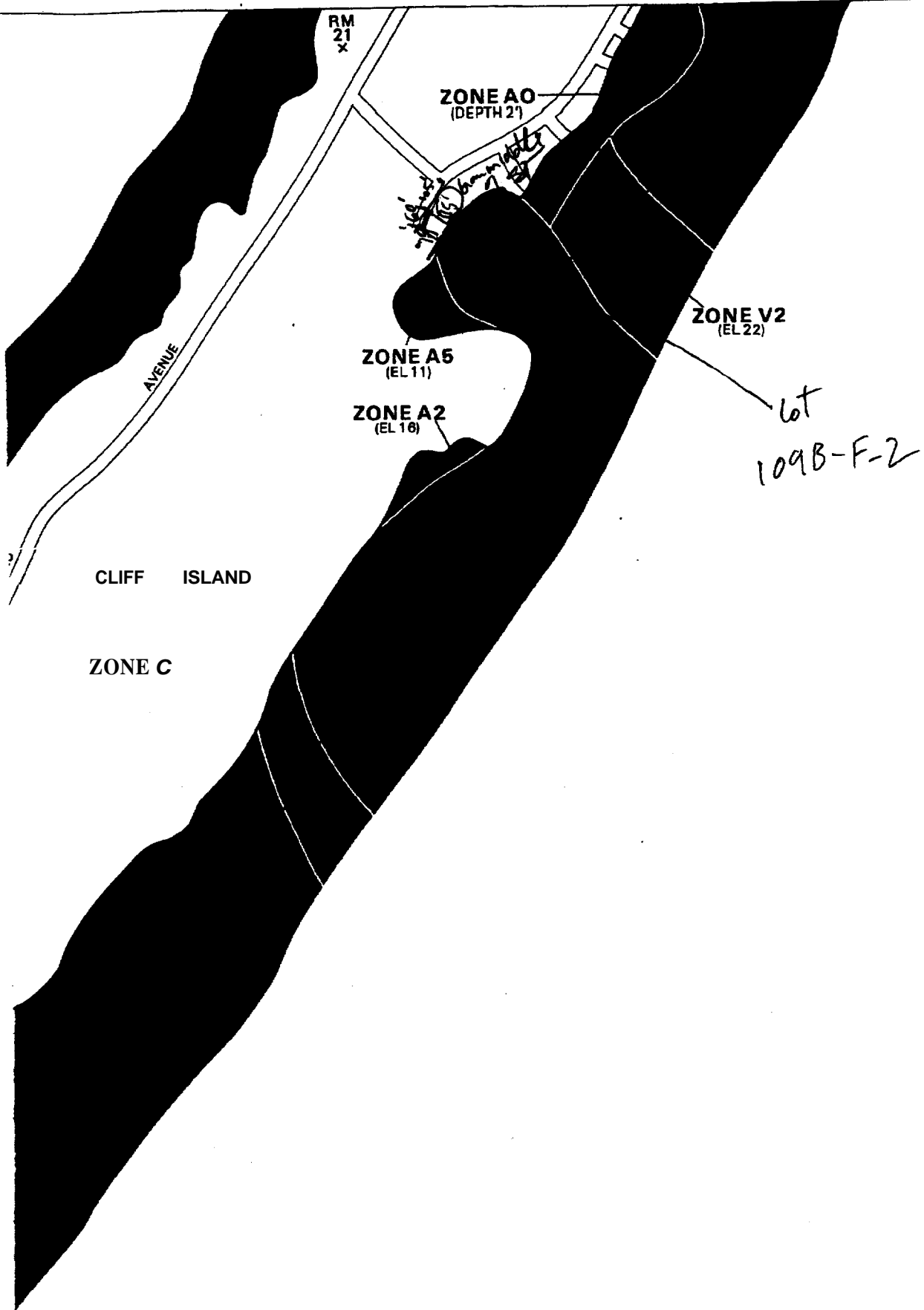
within, but IB zone is exempt for  
The 75' setback from HWM  
1A-444

conversation with Don Bellanger

1/7 lot - The steps toward the street are OK if they do NOT go beyond the BAG window

35' sh	30	720
<del>27</del>	<del>27</del>	<del>729</del>
16	35	210
6	27	132
		<u>370</u>

OK  
2415  
1662 sq ft



500-Year Flood Bou  
 100-Year Flood Bou  
 Zone Designations\*

100-Year Flood Bou  
 500-Year Flood Bou

Base Flood Elevation  
 With Elevation In Fe

Base Flood Elevation  
 Where Uniform With  
 Elevation Reference

Zone D Boundary—  
 River Mile

\*\*Referenced to the

**\*EXPLANAT**

**ZONE**

- A** Areas o  
flood ha
- A0** Areas o  
are betw  
of inund  
are deter
- AH** Areas o  
are betw  
elevation  
are deter
- A1-A30** Areas o:  
flood hai
- A99** Areas o:  
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elevation
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year flo  
ing with  
the cdnt  
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- C** Areas of
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- V** Areas of  
action); t  
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- V1-V30** Areas of  
action); t  
determin

Certain areas not in t  
may be protected by t

This map is for flood  
poxs only; it does no  
ing in the communit  
flood hazard areas.  
differ significantly fro  
Service for hurricane e

For adjoining map p  
Panels.

Coastal base flood ele  
of wave action.