



PORTLAND MAINE

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Planning & Urban Development Department

Jeffrey Levine, Director

Planning Division

Alexander Jaegerman, Director

AUGUST 24, 2012

Mr. Trevor Thaxter
The Thaxter Company
55 Bell Street
Portland, Maine 04103

RE: Review Comments for Single Family Site Plan

Project Name: White Single Family
Project ID: 2012-08-4687-SF
Project Address: 66 Shore Road, Cushing Island **CBL:** 106A-C-013001

Planner: Philip DiPierro

Dear Mr. Thaxter:

Thank you for submitting your site plan for a single family residence at 66 Shore Road on Cushing Island.

This proposal is being reviewed as a single family site plan for Planning Authority review subject to the following applicable Land Use Code provisions:

- Site Plan Ordinance, Article V

The following additional information must be submitted in order for the approval process to move forward.

Survey Requirements:

1. Please submit a revised survey to include the following information:
 - Please add the name and address, and the deed book and page numbers of the current property owner to the survey,
 - ✓ • Please add the flood zone information to the survey, ie. what zone the property is in based on the FEMA Flood Insurance Rate Map, - shown on site plan
 - Please add a revision block to the survey,

City Hall, 389 Congress Street . Portland, ME 04101-3509 . Ph (207) 874-8719 . Fx 756-8258 . TTY 874-8936

O:\PLAN\DRC\Projects\Islands\Cushing Island\Shore Road 66 - White Single Family\Review Letter w-Letterhead 8-24-12.doc

- Please reduce the width of the driveway opening at the street line. The maximum allowable driveway width at the curb line is 24 feet per the City of Portland Technical Manual.

Zoning Requirements:

1. Please submit a revised site plan that includes the following information:
 - The site plan needs to show the 75' setback and the 250' setback from the high tide for the Shoreland Zone.
 - The existing cottage does not meet the 20' setback on the right side of the property. There is no evidence that the existing footprint is legal. If the owner can't show that the footprint was permitted, the new structure must be relocated to meet the 20' side setback.

Additional Submittals Required:

1. The Planning Authority may request additional information during the continued review of the proposal according to applicable laws, ordinances and regulations.

Please submit three (3) complete sets of revised final plans to address staff comments. Upon receipt of the revised material, the City of Portland will review the additional plans and information for conformance with applicable ordinances. If you have any questions, feel free to contact me at 874-8632 or by email at pd@portlandmaine.gov.

Sincerely,



Philip DiPierro
Development Review Coordinator

Electronic Distribution:

Ann Machado, Zoning Specialist
David Margolis-Pineo, Deputy City Engineer

Memorandum
Department of Planning and Development
Planning Division



TO: Inspections Department

FROM: Philip DiPierro, Development Review Coordinator

DATE: July 24, 2013

RE: C. of O. for # 66 Shore Road, Cushing Island, Anholt-White Single
Family Home Project
(Id#2012-08-4687-SF) (CBL 106A C 013001)

After visiting the site, I have the following comments:

Site work complete:

At this time, **I recommend issuing a permanent Certificate of Occupancy.**

Cc: Tammy Munson, Inspection Services Manager
Barbara Barhydt, Development Review Services Manager
File: UI

Philip DiPierro - Re: FYI - Certificate of Occupancy Cushings Island. Property Addr: 66 SHORE RD Parcel ID: 106A C013001 Dist: 1

From: Gayle Guertin
To: George Froehlich; Lannie Dobson
Date: 6/19/2013 3:00 PM
Subject: Re: FYI - Certificate of Occupancy Cushings Island. Property Addr: 66 SHORE RD Parcel ID: 106A C013001 Dist: 1
CC: Benjamin Wallace; Brian Laflamme; Chris Pirone; Gayle Guertin; John ...

He changed his inspection to Thursday, June 27, 2013

Gayle

>>> Lannie Dobson 6/19/2013 2:58 PM >>>

>>> Lannie Dobson 6/19/2013 2:36 PM >>>

George,

I scheduled this for Tuesday. But.... I left him a message that this may not be the set day. I ask that you give him a call and set the day and time, as this is Cushings Island.

Date: 6/25/2013 Time:

Note: Trevor 653-8346

Application Type: Prmt
Application ID: 201246994

Contact: Thaxter Company
Phone1: 9785264406 Phone2:

Owner Name: ANHOLT-WHITE ALISON L & NICHOLAS R JTS
Owner Addr: 9 SPY ROCK HILL
Manchester, MA 01944

6/27/13
for CO, need
- Copy of signed, stamped
Full size survey
- Confirmation all pins
have been set.

Planning Department Conditions of Approval

1. NO CHANGES IN GRADING ARE PROPOSED. ANY CHANGES IN TOPOGRAPHY SHALL REQUIRE ADDITIONAL REVIEW AND APPROVAL BY THE CITY.
2. The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.
3. The applicant shall have a licensed surveyor install, prior to the issuance of any Certificate of Occupancy, permanent monumentation/pins identifying property corners.
4. All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a certificate of occupancy.
5. The Development Review Coordinator (874-8632) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.
6. Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.
7. All Site work (final grading, landscaping, loam and seed) must be completed prior to issuance of a certificate of occupancy. A performance guarantee will be required to cover the cost of site work not completed due to seasonal conditions ie., finish grading, loaming, seeding, mulching, installation of street trees, etc. The performance guarantee must be reviewed, approved, and accepted by the Planning Authority prior to the release of a Temporary Certificate of Occupancy.
8. Trees that are designated to be saved are to be protected during excavation and construction. Tree protection fencing is to be installed around the tree canopy drip line prior to the start of any excavation. Tree protection measures are to be inspected and maintained daily.
9. Erosion and Sedimentation control shall be established and inspected by the Development Review Coordinator prior to soil disturbance, and shall be done in accordance with Best Management Practices, Maine Department of Environmental Protection Technical and Design Standards and Guidelines. All Erosion and Sedimentation control measures must be inspected and maintained daily.
10. A revised survey meeting the requirements outlined in Bill Clark's (Public Services) e-mail dated 9-28-2012 (adding state plane coordinates) must be submitted, reviewed, and accepted prior to the issuance of any certificate of occupancy.
11. All site work will conform to the City of Portland Ordinance on shoreland regulations, Division 26.



Albert Frick Associates, Inc.

Environmental Consultants

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(207) 839-5563
www.albertfrick.com

Gorham, Maine 04038
FAX (207) 839-5564
info@albertfrick.com

Albert Frick, SS, SE
James Logan, SS, SE
Matthew Logan, SE
Brady Frick, SE
Bryan Jordan, SE
William O'Connor, SE
Noel Dunn, Office Manager

October 1, 2012

Trevor Thaxter
Thaxter Company
55 Bell Street
Portland, Maine 04103

Re: White Property, Shore Road, Portland (Cushing Island)

Dear Mr. Thaxter:

We met at the above-referenced property earlier today in order to evaluate the existing subsurface wastewater disposal system. It is my understanding that the need for this evaluation has arisen since the dwelling has been razed and is in the process of being replaced.

The septic tank, which serves both the White property, as well as the abutting property (N/F Thayer), was uncovered and observed to be constructed of concrete. The septic tank measured 4' x 16' and consisted of two compartments. We uncovered the first compartment and found the liquid level to be satisfactory. We then uncovered the second compartment and found that the outlet baffle has become disconnected; which could be easily repaired or replaced in order to continue the use of the system. The outlet pipe was heading in an easterly direction along the front of the property. No evidence of malfunction was observed onsite at the time of inspection.

There is adequate area for a replacement system should it become necessary in the future. We are in the process of completing a replacement Subsurface Wastewater Disposal System application to be available in the future, if needed.

If you have any questions or concerns regarding this property, please do not hesitate to contact our office.

Respectfully,

Matthew Logan
ML/nd

Enc. Inspection report

INSPECTION FINDINGS

Functional Disposal System:	Properly functioning system (current design on file)
Functional Disposal System:	Properly functioning system, but undersized per current Code requirements, and grandfathered for use.
✓ Limited Functioning Disposal System:	Limitations are not of a severity that would indicate failure in the immediate future. With conservative water use and proper maintenance, disposal system failure can be avoided or delayed for an indefinite period of time.
Pre-Failure Disposal System:	No surface wastewater break-out observed, but characteristics of the disposal system indicate that wastewater level is above normal working conditions.
Failed Disposal System:	Wastewater is being discharged to surface of ground

COMMENTS/OBSERVATIONS:

See attached letter dated October 1, 2012.

The above is a report of conditions observed during an on-site investigation and review of available documents and records pertaining to the disposal system. The disposal system status report is based on our objective observations of the disposal system on the day of the investigation.

Matth Lign
Maine Licensed Site Evaluator

324
SE#

10/2/12
Date



Albert Frick Associates, Inc.
Soil Scientists & Site Evaluators



Level I – Minor Residential Development Review Application Portland, Maine

Planning and Urban Development Department
Planning Division

Portland's Planning and Urban Development Department coordinates the development review process for site plan, subdivision and other applications under the City's Land Use Code. Attached is the application form for a Level I: Minor Residential site plan and building permit.

Level I: Minor Residential development includes:

- Development of a single-family or a two-family building, excluding building additions, decks, or accessory structures, such development shall be deemed minor residential development for purposes of this article regardless of its size.
- The addition of any additional dwelling unit to a building initially reviewed as a two-family dwelling or multifamily structure, if the additional dwelling unit does not require subdivision review under Maine State Statutes and Portland's Subdivision Ordinance.

RECEIVED

AUG 13 2012

As of September 16, 2010 all new construction of one and two family homes are required to be sprinkled in compliance with NFPA 13D. This is required by City Code (NFPA 101 2009 ed.)

The Maine Home Construction Contracts Act requires that any home construction or repair work for more than \$3000 in materials or labor must be based on a written contract unless the parties agree to exempt themselves. A sample contract is available on the City's website at www.portlandmaine.gov, or contact the Inspections Office to have one mailed to you.

The Land Use Code (including Article V), the Technical Manual, and the Design Manual are available on the City's web site at <http://www.portlandmaine.gov/planning/default.asp> or copies may be purchased at the Planning Division Office.

Inspection Division
Room 315, City Hall
389 Congress Street
(207) 874-8703

Office Hours
Monday, Tuesday, Wednesday and Friday
8:00 a.m. – 4:00 p.m.
Thursday
8:00 a.m. – 1:00 p.m.

Planning Division
Fourth Floor, City Hall
389 Congress Street
(207) 874-8721

Office Hours
Monday thru Friday
8:00 a.m. – 4:30 p.m.

Project Address: <u>66 SHORE RD. PORTLAND, ME. (CUSHING'S ISLAND)</u>		
Total Square Footage of Proposed Structure/Area: <u>1500 SF</u>	Area of lot (total sq. ft.): <u>74052</u> Garage: Yes ___ No <u>X</u> Attached ___ Detached ___ Sq. Ft.: _____	Number of Stories: <u>2</u> Number of Bathrooms: <u>2</u> Number of Bedrooms: <u>3</u>
Tax Assessor's Chart, Block & Lot(s): Chart# <u>106A</u> Block # <u>C</u> Lot # <u>013-001</u>		
Current legal use: <u>RESIDENCE</u> Number of Residential Units <u>1</u> If vacant, what was the previous use? <u>NA</u> Is property part of a subdivision? <u>NO</u> If yes, please name _____		RECEIVED AUG 13 2012 Dept. of Building Inspections City of Portland Maine
Project Description: <u>DEMOLITION OF EXISTING STRUCTURE AND BUILDING OF NEW COTTAGE.</u>		
Applicant – must be owner, Lessee or Buyer Name: <u>TREVOR THAXTER</u> Business Name, if applicable: <u>THE THAXTER CO.</u> Address: <u>55 BELL ST.</u> City/State: <u>PORTLAND, ME.</u> Zip Code: <u>04103</u>		Applicant Contact Information Work # <u>(207) 878-5553</u> x104 Home# _____ Cell # <u>(207) 653-8346</u> e-mail: <u>trevor@thaxtercompany.com</u>
Owner – (if different from Applicant) Name: <u>NICK WHITE + ALISON ANHOLT-WHITE</u> Address: <u>9 SPY ROCK HILL</u> City/State: _____ Zip Code: <u>01944</u> <u>MANCHESTER, MA.</u>		Owner Contact Information Work # <u>(978) 526-4406</u> Home# <u>(978) 526-4406</u> Cell # <u>NICK: (978) 618-6925</u> <u>ALISON: (978) 618-6924</u> e-mail: <u>nick.white@ieee.org</u> <u>alison.aholt@elbicebeams.com</u>
Billing Information Name: <u>THE THAXTER CO.</u> Address: <u>55 BELL ST.</u> City/State: <u>PORTLAND, ME</u> Zip Code: <u>04103</u> Phone Number: <u>(207) 878-5553</u>		Contact when Building Permit is Ready: Name: <u>TREVOR THAXTER</u> Address: <u>55 BELL ST</u> City/State: <u>PORTLAND, ME</u> Zip Code: <u>04103</u> Phone Number: <u>(207) 653-8346</u>

DEVELOPMENT REVIEW FEES:

Payment may be made in cash, credit card or check addressed to the City of Portland.

<p>Level I Minor Residential Site Plan</p> <p>1. Application Fee - \$300.00</p> <p>2. Inspection Fee - \$100.00 (for site plan inspection by the Planning Division)</p> <p>3. Certificate of Occupancy Fee - \$75.00</p> <p>4. Building Permit (Cost of Work) 440,910</p> <p style="text-align: right;">Total Due:</p>	<p>Fees Paid:</p> <p>\$ <u>300.00</u></p> <p>\$ <u>100.00</u></p> <p>\$ <u>75.00</u></p> <p>\$ <u>4429.10</u></p> <p>\$ <u>4904.10</u></p>
<p>Building Permit Fee - \$30 for the first \$1,000 construction cost - \$10 every additional \$1,000.</p>	
<p>Performance Guarantee - Exempt except for those projects that complete construction in the winter and the site work is incomplete.</p>	

Please submit all of the information outlined on the applicable Checklist, shown on Page 4 and 5 of this Application. In addition, a CD or PDF (e-mailed to buildinginspections@portlandmaine.gov) of the entire Application, including all plans, must be submitted with the Application. Failure to do so may result in the automatic denial of your permit.

Portland's development review process and requirements are outlined in the Land Use Code (Chapter 14), which includes the Subdivision Ordinance (Section 14-491) and the Site Plan Ordinance (Section 14-521). Portland's Land Use Code is on the City's web site: www.portlandmaine.gov Copies of the ordinances may be purchased through the Planning Division. All of the information on the checklist must be submitted for review. The applicant must check off the items contained in the application package to ensure the application is complete.


Property Taxes:

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before a permit of any kind is accepted.

Separate Permits:

Separate permits are required for internal and external plumbing, HVAC, and electrical installations.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Planning Authority and Code Enforcement's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

<p>Signature of Applicant:</p> 	<p>Date:</p> <p style="font-size: 1.5em;">8/13/12</p>
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This is not a permit - you may not commence any work until the permit is issued.

(A CD or PDF (e-mailed to buildinginspections@portlandmaine.gov) of the entire application, including all plans, must be submitted with the application.)

General Submittal Requirements – Level I Minor Residential

Applicant Checklist	Planner Checklist (internal)	Number of Copies	Submittal Requirement
✓		2	Completed application form and check list.
✓	✓	1	Application fees.
✓	✓	2	Evidence of right, title and interest.
✓ NA		2	Copies of required state and/or federal permits.
✓ NA	✓	2	Written Description of existing and proposed easements or other burdens.
✓ NA	✓	2	Written requests for waivers from individual site plan and/or technical standards. <i>None</i>
✓		2	Written summary of fire safety (referencing NFPA fire code and Section 3 of the City of Portland Technical Manual). Refer to Fire Department Checklist on page 6 of this application.

Site Plans and Boundary Survey Requirements – Level I Minor Residential

Applicant Checklist	Planner Checklist (internal)	Number of Copies	Submittal Requirement
✓		3	Boundary survey meeting the requirements of section 13 of the City of Portland Technical Manual with the site plan information listed below shown on the plan, including a north arrow and a scale greater than or equal to 1"=20'. (Photocopies of the plat or hand drawn building footprints will not be accepted.)
✓	✓		<ul style="list-style-type: none"> Zoning district, setbacks and dimensional requirements. Show zone lines and overlay zones that apply to the property, including Shoreland Zone &/or Stream Protection Zone.
✓	✓		<ul style="list-style-type: none"> Existing and proposed structures (including location of proposed piers, docks or wharves if in Shoreland Zone).
✓	✓		<ul style="list-style-type: none"> Location and dimension of existing and proposed paved areas. <i>None</i>
✓	✓		<ul style="list-style-type: none"> Proposed ground floor area of building.
✓	✓		<ul style="list-style-type: none"> Finish floor elevation (FEE) or sill elevation.
✓	✓		<ul style="list-style-type: none"> Exterior building elevations (show all 4 sides).
✓	✓		<ul style="list-style-type: none"> Existing and proposed utilities (or septic system, where applicable)
✓	✓		<ul style="list-style-type: none"> Existing and proposed grading and contours.
✓	✓		<ul style="list-style-type: none"> Proposed stormwater management and erosion controls.
✓	✓		<ul style="list-style-type: none"> Total area and limits of proposed land disturbance.
✓	✓		<ul style="list-style-type: none"> Proposed protections to or alterations of watercourses. <i>None</i>
✓	✓		<ul style="list-style-type: none"> Proposed wetland protections or impacts. <i>None</i>
✓	✓		<ul style="list-style-type: none"> Existing vegetation to be preserved and proposed site landscaping and street trees (2 trees per unit for a single or two-family house).

✓	✓	▪ Existing and proposed curb and sidewalk, except for a single family home.
✓	✓	▪ Existing and proposed easements or public or private rights of way.
✓	✓	▪ Show foundation/perimeter drain and outlet.
✓	✓	▪ Additional requirements may apply for lots on unimproved streets.

Building Permit Submittal Requirements—Level I: Minor Residential Development			
Applicant Checklist	Planner Checklist (internal)	Number of Copies	Submittal Requirement
✓		1	One (1) complete set of construction drawings must include:
✓			▪ Cross section with framing details
✓			▪ Floor plans and elevations to scale
✓			▪ Stair details including dimensions of : rise/run, head room, guards/handrails, baluster space
✓			▪ Window and door schedules
✓			▪ Foundation plans w/required drainage and damp proofing , if applicable
✓			▪ Detail egress requirements and fire separation, if applicable
✓			▪ Insulation R-factors of walls, ceilings & floors & U-factors of windows per the IEEC 2003
✓			▪ Deck construction including: pier layout, framing, fastenings, guards, stair dimensions
✓			▪ As of September 16, 2010 all new construction of one and two family homes are required to be sprinkled in compliance with NFPA 13D. This is required by City Code. (NFPA 101 2009 ed.)
✓			▪ Reduced plans or electronic files in pdf format are also required if original plans are larger than 11X17"

**** Reminder: ****

- 1. A CD or PDF of the entire application, including all plans, must be submitted with the application.**
- Separate permits are required for internal and external plumbing, HVAC, and electrical installations.
- Please submit all of the information outlined in this application checklist.
- If the application is incomplete, the application may be refused.
- The Planning and Urban Development Department may request additional information prior to the issuance of a permit.

Site Plan Standards for Review of Level I: Minor Residential

Level I: Minor Residential site plan applications are subject to the following site plan standards*, as contained in section 14-526 of Article V, Site Plan:

- 14-526 (a) **Transportation Standards:** *ok ok*
 - 2.a. Site Access and Circulation (i) and (ii);
 - 2.c. Sidewalks: *(if the site plan is a two-family or multi-family building only); ok N/A*
 - 4.a. Location and required number of vehicle parking spaces: (i) and (iv)
ok ok

- 14-526 (b) **Environmental Quality Standards:**
 - 1. Preservation of significant natural features. *ok*
 - 2.a. Landscaping and landscape preservation *ok*
 - 2.b. Site landscaping (iii) *ok*
 - 3.a. Water quality, stormwater management and erosion control: a., d., e., and f. *ok ok ok ok*

- 14-526 (c) **Public Infrastructure and Community Safety Standards:**
 - 1. Consistency with Master Plan *ok*
 - 2. Public Safety and fire prevention *ok*
 - 3. Availability and adequate capacity of public utilities; a., c., d., and e. *ok ok ok ok*

- 14-526 (d) **Site Design Standards:**
 - 5. Historic Resources *ok*
 - 9. Zoning related design standards *ok*

• *Except as provided in Article III of the City Code, or to conditions imposed under Section 14-526(e) only, or to those submission requirements set forth in section 14-527 as relate solely thereto.*



PORTLAND FIRE DEPARTMENT SITE REVIEW FIRE DEPARTMENT CHECKLIST



A separate drawing[s] shall be provided to the Portland Fire Department for all site plan reviews.

1. Name, address, telephone number of applicant.
2. Name address, telephone number of architect
3. Proposed uses of any structures [NFPA and IBC classification]
4. Square footage of all structures [total and per story]
5. Elevation of all structures
6. Proposed fire protection of all structures
 - **As of September 16, 2010 all new construction of one and two family homes are required to be sprinkled in compliance with NFPA 13D. This is required by City Code. (NFPA 101 2009 ed.)**
7. Hydrant locations

Philip DiPierro - Re: Fwd: Thaxter Co - 66 Shore

From: Philip DiPierro
To: Trevor Thaxter
Subject: Re: Fwd: Thaxter Co - 66 Shore
CC: lisa@thaxtercompany.com

Hi Trevor, following up on our telephone conversation earlier today, and in order to move the process forward, I just confirmed with the Inspections Office that we can accept a letter from your site evaluator confirming the adequacy and condition of the septic system.

The site plan looks like it only needs 1 revision. I confirmed with Public Services that Shore Road is not an accepted City street. Please note on the site plan that it is unaccepted. Since none of the roads on Cushing Island are accepted City roads, the encroachment of the septic tank into the right-of-way is not a City issue.

I have included Bill Clark's comment, attached, on the survey. He's looking for state plane coordinates for two property corners along Shore Road. Your surveyor should be able to provide this information.

Once these issues are dealt with, I should be able to sign off on the site plan review so the full building permit can be issued.

Again, I apologize for all the delays, and your patience and willingness to work through this is much appreciated. Please contact me with any questions. Thanks.

Phil

Philip DiPierro - New Single family - 66 Shore Road, Cushing Island

From: Ann Machado
To: Philip DiPierro
Date: 8/24/2012 9:03 AM
Subject: New Single family - 66 Shore Road, Cushing Island

Phil -

I have completed my review. I'm going to move the permit forward in the review process but I can't sign off yet. I have not notified the applicant.

I need the following:

1. A site plan that shows the whole property.
2. The site plan needs to show the 75' setback and the 250' setback from the high tide for the Shoreland Zone..
3. The existing cottage does not meet the 20' setback on the right side of the property. There is no evidence that the existing footprint is legal. If the owner can't show that the footprint was permitted, the new structure must be relocated to meet the 20 side setback.

Ann

WARRANTY DEED
(Maine Statutory Short Form)

17303

KNOW ALL MEN BY THESE PRESENTS,

That I **Roberta M. Weil**, of RFD 1, Box 882, South Harpswell, ME 04079, for consideration paid, grant(s) to **Alison L. Anholt-White and Nicholas R. White**, whose mailing address is **21 Friend Court, Wenham, MA 01984**, AS JOINT TENANTS with **WARRANTY COVENANTS**, the land in **Portland**, County of **Cumberland**, State of **Maine**, described as follows:

MAINE REAL ESTATE TAX PAID

A certain lot or parcel of land with the buildings thereon, situated on the southerly side of the Shore Road, also known as Calumet Avenue, on Cushing's Island in the City of Portland, County of Cumberland and State of Maine, bounded and described as follows:

Beginning at a point on the southerly side of the Shore Road at the northeasterly corner of a parcel of land conveyed by Langdon T. Thaxter to Eileen C. Davis by Warranty Deed dated September 18, 1954 and recorded in the Cumberland County Registry of Deeds in Book 2192, Page 441, as delineated on Plan of Property at Cushing's Island, recorded in said Registry of Deeds in Plan Book 42, Page 17; thence South 25° 55' East 10 feet to an iron post; thence South 25° 55' East 129.84 feet to a point; thence South 63° 57' West 48.50 feet to a point; thence South 2° 40' East 106.10 feet to a point; thence South 33° 23' East 59.08 feet to a point; thence North 61° 57' East 284.61 feet to a point; thence North 25° 55' West to the southeasterly sideline of said Shore Road; thence westerly along the southeasterly side of said Shore Road to the point of beginning.

The above described courses are magnetic as of the year 1934.

Together with the right to use in common with the other owners of property on said Island the beaches and shores of said Island and all public grounds, avenues, ways, and landings as the same were conveyed to Sidney W. Thaxter in part by Dame Catherine Cushing, et al, by deed dated December 29, 1885 and recorded in said Registry of Deeds in Book 522, Page 428 and in part by Francis Cushing by deed dated December 5, 1885 and recorded in said Registry of Deeds in Book 522, Page 292.

Being a portion of Lots 33 and 34 as shown on the so-called Olmstead Plan of Cushing's Island, recorded in said Registry of Deeds in Plan Book 4, Page 56. Reference is also made to a certain Plan of Property at Cushing's Island, made by H.I. and E.C. Jordan, Civil Engineers, dated September, 1954 and recorded in said Registry of Deeds in Plan Book 42, Page 17 and to Affidavit of John P.R. Cyr dated March 14, 1983 and recorded in said Registry of Deeds in Book 6132, Page 266.

Together with a right of way 8 feet in width from the southwesterly corner of the above described premises southwesterly to Ottawa Avenue as reserved by Langdon T. Thaxter in deed to Edward T. Gignoux, et al, dated September 18, 1954 and recorded in said Registry of Deeds in Book 2195, Page 310; in deed to Sidney St. Felix Thaxter dated November 12, 1947, recorded in said Registry of Deeds in Book 1893, Page 379; and in deed to Cushing's Island Company dated November 12, 1947 and recorded in said Registry of Deeds in Book 1893, Page 376.

Meaning and intending to convey the same premises described in a deed from Gordon L. Weil to the Grantor herein dated June 23, 1992 and recorded in the Cumberland County Registry of Deeds in Book 10151, Page 139.

WITNESS my hand(s) and seal(s) this 21st day of April, 1995.

Roberta M. Weil
Alison L. Anholt-White
Nicholas R. White

Beginning at a point on the southerly side of the Shore Road at the northeasterly corner of a parcel of land conveyed by Langdon T. Thaxter to Eileen C. Davis by Warranty Deed dated September 18, 1954 and recorded in the Cumberland County Registry of Deeds in Book 2192, Page 441, as delineated on Plan of Property at Cushing's Island, recorded in said Registry of Deeds in Plan Book 42, Page 17; thence South 25° 55' East 10 feet to an iron post; thence South 25° 55' East 129.84 feet to a point; thence South 63° 57' West 48.50 feet to a point; thence South 2° 40' East 106.10 feet to a point; thence South 33° 23' East 59.08 feet to a point; thence North 61° 57' East 284.61 feet to a point; thence North 25° 55' West to the southeasterly sideline of said Shore Road; thence westerly along the southeasterly side of said Shore Road to the point of beginning.

The above described courses are magnetic as of the year 1934.

Together with the right to use in common with the other owners of property on said Island the beaches and shores of said Island and all public grounds, avenues, ways, and landings as the same were conveyed to Sidney W. Thaxter in part by Dame Catherine Cushing, et al, by deed dated December 29, 1885 and recorded in said Registry of Deeds in Book 522, Page 428 and in part by Francis Cushing by deed dated December 5, 1885 and recorded in said Registry of Deeds in Book 522, Page 292.

Being a portion of Lots 33 and 34 as shown on the so-called Olmstead Plan of Cushing's Island, recorded in said Registry of Deeds in Plan Book 4, Page 56. Reference is also made to a certain Plan of Property at Cushing's Island, made by H.I. and E.C. Jordan, Civil Engineers, dated September, 1954 and recorded in said Registry of Deeds in Plan Book 42, Page 17 and to Affidavit of John P.R. Cyr dated March 14, 1983 and recorded in said Registry of Deeds in Book 6132, Page 266.

Together with a right of way 8 feet in width from the southwesterly corner of the above described premises southwesterly to Ottawa Avenue as reserved by Langdon T. Thaxter in deed to Edward T. Gignoux, et al, dated September 18, 1954 and recorded in said Registry of Deeds in Book 2195, Page 310; in deed to Sidney St. Felix Thaxter dated November 12, 1947, recorded in said Registry of Deeds in Book 1893, Page 379; and in deed to Cushing's Island Company dated November 12, 1947 and recorded in said Registry of Deeds in Book 1893, Page 376.

Meaning and intending to convey the same premises described in a deed from Gordon L. Weil to the Grantor herein dated June 23, 1992 and recorded in the Cumberland County Registry of Deeds in Book 10151, Page 139.

WITNESS my hand(s) and seal(s) this 21st day of April, 1995.

Connie Jo Minervino

Roberta M. Weil
Roberta M. Weil

STATE OF MAINE

April 21, 1995

COUNTY OF Cumberland ss:

Personally appeared the above-named Roberta M. Weil, and acknowledged the above instrument to be her free act and deed.

RECEIVED
RECORDED REGISTRY OF DEEDS

95 APR 24 PM 12:22

CUMBERLAND COUNTY

John B. O'Brien

Before me,
Connie Jo Minervino
Notary Public/Attorney at Law

My Commission Expires _____ CONNIE JO MINERVINO
NOTARY PUBLIC, MAINE

Typed Name of Notary, Attorney: _____
COMMISSION EXPIRES NOVEMBER 22 200

DIVISION 13 FIRE SUPPRESSION

GENERAL

1.01 SECTION INCLUDES

Complete automatic suppression system, wet.

1.02 REFERENCE STANDARDS

National Fire Protection Association (NFPA) 13D, Standard for the Installation of Sprinkler Systems in One & Two Family Dwellings, 2010 edition.

City of Portland Fire Department Rules and Regulations for Fixed Fire Protection Systems.

1.03 ADMINISTRATIVE REQUIREMENTS

The intent of this Specification is to install a 100% complete NFPA 13D-compliant automatic sprinkler system in the entire building.

All work shall be conducted in a workmanship like manner consistent with current industry standards for the installation of fire suppression systems.

Designer/Installer (DI) shall be responsible for coordinating specific requirements for this system with the State of Maine Fire Marshals Office and the Local Fire Department.

1.04 GENERAL DESCRIPTION

DI shall provide labor, materials, equipment, and services to perform operations required for the complete installation and related work as required in Specification.

Equipment and accessories furnished under the terms of this Specification shall be the standard products of a single manufacturer.

1.05 CODES AND PERMITS

All work under this contract shall comply fully with requirements, rules and regulations of agencies having jurisdiction including, but not limited to the Local Fire Department, State of Maine Fire Marshal's Office and owner's insurance carrier.

System is to be compliant with 2010 (latest) edition of NFPA 13D.

Any work that has to be changed to conform to the regulations and codes shall be made at the Sprinkler Contractor's expense.

Any conditions noted in the Specification, which would be contrary to such regulations shall be brought to the attention of the Architect before work is started.

Permits and fees shall be obtained by the Sprinkler Contractor.

All sprinkler systems installed shall have a plumbing permit from the local Building Department.

SYSTEM DESCRIPTION AND PERFORMANCE REQUIREMENTS

RECEIVED
AUG 13 2012
Dept. of Building Inspections
City of Portland Maine

QUALITY ASSURANCE

The fire protection system designer is to be a Fire Protection Engineer licensed in the State of Maine.

Drawings, hydraulic calculations, and sway bracing calculations shall be stamped by a Fire Protection Engineer licensed in the State of Maine.

PRODUCTS

2.01 MATERIALS, GENERAL

- A. Sprinkler equipment shall be new and comply with referenced standards and other requirements specified in this Section applicable to each material indicated.
- B. Sprinkler equipment shall be listed in "List of Inspected Fire Protection and Material", published annually by Underwriters Laboratories (UL) and shall bear UL approved stamp or label.
- C. Trade names and specific manufacturer's model numbers, which define type and quality of materials and equipment, shall be required.
- D. Unless otherwise specified, equipment or materials of the same type or classification used for the same purpose shall be the product of the same manufacturer.

2.02 PIPING AND FITTINGS

- A. All piping shall meet the standards set forth in NFPA 13D.
- B. Aboveground piping shall be black steel or CPVC Blaze Master piping.

2.03 SPRINKLERS

- A. Heads shall be of automatic type approved for use in the system.
 - 1. Sprinklers in finished areas shall be white concealed type. Sprinklers in unfinished areas to be brass uprights.
 - 2. Wall type sprinkler heads shall white recessed heads.
 - 3. All heads shall be listed for use in the area placed (i.e. residential areas).
- B. Fusible temperature for heats shall be 155 degrees F for pendent and upright heads.
- C. Sprinkler head guards to be installed in all mechanical rooms and storage rooms.
- D. Acceptable sprinkler manufacturers are as follows or as follows:
 - 1. Victaulic, Reliable, Viking, Grinnell, and Automatic Sprinkler of America.

2.04 VALVES

- A. All underground valves shall be UL approved for the service intended designed for 175 W.P. minimum. Rotation of opening for underground valves shall conform to the local water authority standards.
- B. Sprinkler system control valves shall be IBBM, solid wedge gate, rising stem OS&Y for 175 psi W.W.P. Install with electronically wired tamper switch. The wiring of each switch to an alarm shall be done by an Electrical Contractor.
- C. Acceptable control valves shall be as follows or approved equal:
 - 1. Kennedy, Clow, Jenkins, Walworth.
- D. Wet-pipe systems shall include UL/FM approved alarm check valve.
 - 1. Alarm valve shall be equipped with a removable cover/clapper assembly. Alarm valve shall be listed for installation in the vertical or horizontal position. Alarm

3.02 INSTALLATION

- A. Keep the interior of piping clean during installation at all times. All open ends of pipe shall be properly capped or plugged during the construction period to prevent entrance of foreign matter.
- B. Piping within the building shall run concealed wherever possible and shall be installed as close to the structure as possible.
- C. All piping, in general, shall be run as straight and direct as possible forming right angles or parallel lines with the building walls and other pipes, and be neatly spaced. Check closely with other trades to prevent interference. No claims will be allowed for extra work caused by failure to coordinate with others.
- D. During the installation of the system, coordinate the final location of all the piping and appurtenances to permit the proper installation and operation of other trades and of all systems.
- E. No pipe shall be installed outside of the building or in an exterior wall unless adequate provision is made to protect such pipe from freezing.
- F. Escutcheons shall be provided for all exposed piping passing through finished rooms.

3.03 WORKMANSHIP

- A. All work shall be executed in a workmanship-like manner and shall present a neat, mechanical appearance when completed.

3.04 FLUSHING

- A. The system shall be thoroughly flushed before sprinklers are in place in order to free the system from any stones or other obstructing material that might clog the orifices of sprinklers.
- B. Where evidence of stoppage appears in piping or equipment, disconnect, clean, repair, and reconnect obstructed parts. The Contractor shall bear the cost of cutting, patching and joining work necessitated by such cleaning and repairing.

3.05 FIELD QUALITY CONTROL

- A. Prior to any concealing of sprinkler equipment, the Engineer shall visually verify that the installation is in accordance with approved shop drawings. Inspection shall verify pipe sizes and lengths, pipe supports and fitting locations.

3.06 ACCEPTANCE TESTING

- A. Contractor shall furnish all instruments, ladders, test equipment, and personnel required for the testing of systems. Dispose of all test and waste water.
- B. System shall be hydrostatically tested at 200 psig for a period of two (2) hours. Alarms and other devices shall be tested by flowing water through the inspectors test connection.
 - 1. After satisfactory final inspection and test by the approving authority, a copy of the letter of acceptance shall be filed with the Owner.
- C. When hydrostatic and alarm tests have been completed and all necessary corrections made, the Contractor shall submit a signed and dated certificate, as required by NFPA 13D, with a request for an inspection.
- D. A competent representative of the sprinkler installer shall be present during the field tests and inspection.
- E. All defects or deficiencies shall be corrected by the Contractor at Contractor's own expense and additional tests made until it has been demonstrated that the systems comply with all contract requirements. All appliances and equipment for additional

MEMORANDUM

DATE: September 5, 2012

TO: Trevor Thaxter,
Thaxter Company
55 Bell Street
Portland ME 04103
653-8346

PROJECT: Anholt – White Cottage, 66 Shore Road, Cushing Island

RE: Comments from City of Portland Planning & Urban Development Department

BY: Stephen Blatt / Ron Rioux, SBA

The following are responses to comments dated August 24, 2012 from Philip DiPierro of the City Of Portland Planning Division regarding the Anholt – White Cottage.

- Survey Requirements:
 - Please submit a revised survey to include the following information:
 - Please add Name and address, and the deed book and page numbers of the current property owner to the survey.
 - **Response: To be provided by Nadeau Land Surveys.**
 - Please add the flood zone information to the survey, ie. What zone the property is based on the FEMA Flood Insurance Rate Map,
 - **Response: This is shown on the topo survey by Nadeau Land Surveys.**
 - Please add a revision block to the survey,
 - **Response: To be shown on topo survey by Nadeau Land Surveys.**
 - Boundary Survey plans, based on the State of Maine Professional Licensing Boards legal requirements, shall bear the seal of a Professional Land Surveyor licensed to practice in the State of Maine. Please add the surveyor's seal to the survey.
 - **Response: See Standard Boundary Survey for Land of Roberta M. Weil, Shore Road, Cushing's Island, Portland Maine, and Dated August 31, 1993, certified and sealed by Brian Smith Surveying Inc.**
 - Property Corners: Location and description of all property corners set or found, proposed to be set, and all granite survey monuments set. Please note, where no property markers exist, The City of Portland requires that the property marker be installed and that a licensed surveyor set and confirm proposed building locations on site prior to the issuance of a building permit.
 - **Response: See Survey noted above showing property markers.**

areas, such as porch and office are supported on posts and open below.

- Please show how you plan to connect the water utility to the well and the sewer utility to the septic system.
 - **Response: The water service will be connected to the existing seasonal Portland Water District service in the street. A well will be added for use during the off season. A note has been added to the site plan.**
 - **The sewer will be connected to the existing sewer line and septic system. A note has been added to the site plan.**

- Please include the soil type on the plan.
 - **Response: The septic system is existing and will be reused. New foundations and footings will bear on existing ledge. Ledge in the area of the existing and new cottage is predominantly near ground surface.**
- ✓○ Please add erosion control plan to include silt fence or erosion control mix around the disturbed areas along both sides and the front of the site.
 - **Response: Silt fence has been added to the site plan.**
- ✓○ Please show existing vegetation that is to be preserved that meets the City's landscape preservation standard, including proposed street trees that meet the City's arboriculture standard for minimum tree size,
 - **Response: The line of existing vegetation has been added to the site plan. The new cottage replaces the existing cottage. There is no significant vegetation in the building footprint.**
 - **Some vegetation will be removed for construction of the gravel driveway.**
- ✓○ Please show the location, area in square feet, and the limits of the proposed site disturbance on the site plan,
 - **Response: The area to be disturbed is limited to the foot print of the existing cottage and the new cottage that mostly overlays the existing. The area of disturbance for the cottage is approximately 1500 s.f.**
 - **The area of disturbance for the driveway is approximately 2700 s.f.**
 - **These areas have been added to the site plan.**
- ✓○ Please show the foundation/ perimeter drain outlet on the site plan,
 - **Response: Most of the cottage is sitting on ledge that is near ground surface. A perimeter drain will be installed on the out side perimeter of the crawl space foundation as ledge permits. A note has been added to the site plan.**
- ✓○ Please reduce the width of the driveway opening at the street line. The maximum allowable driveway width at the curb line is 24 feet per City of Portland Technical Manual.
 - **Response: The width of the curb opening at the street line has been reduced to 20 feet and shown on the site plan.**

- Zoning Requirements:
 - Please submit a revised site plan that includes the following information:
 - The site plan needs to show the 75' setback and the 250' set back from high tide for the Shoreland Zone.
 - **Response: The 75 foot setback from the high water has been added to the site plan.**
 - **Both the 75 and the 250 foot setbacks are shown on the topo survey by Nadeau Land Surveys.**
 - The existing cottage does not meet the 20' setback on the right side of the property. There is no evidence that the existing footprint is legal. If the owner can't show that the footprint was permitted, the new structure must be relocated to meet the 20' side setback.
 - **Response: Records confirming the legality of the existing foot print could not be found. The cottage has been moved to the east to conform to the 20 foot side setback.**
 - The Planning Authority may request additional information during the continued review of the proposal according to applicable laws, ordinances and regulations.
- Additional Submittals Required:

Please submit (3) complete sets of revised final plans to address staff comments.

Attached (3) complete sets of revised final plans:

Cover Drawing with Site Plan

Topographical Survey: Nadeau Land Surveys

Boundary Survey: Standard Boundary Survey for Land of Roberta M. Weil, Shore Road, Cushing's Island, Portland Maine, Dated Revised August 31, 1993, certified by Brian Smith Surveying Inc.

CC: File

5 South Street

Post Office Box
583 DTS

Portland, Maine
04112-0583

Voice:
207.761.5911

Fax:
207.761.2105

Email:
sba@sbarchitects.com

Philip DiPierro - 66 Shore Road

From: Trevor Thaxter <Trevor@thaxtercompany.com>
To: "pd@portlandmaine.gov" <pd@portlandmaine.gov>
Date: 9/12/2012 9:08 AM
Subject: 66 Shore Road

Phil,

As a follow-up to our conversations, I am writing to request that The Thaxter Company be allowed to begin work at 66 Shore Road, Cushings Island. As you know, we have been issued the Demolition Permit but we cannot begin this work as we do not have access to the demolition site. I am requesting that we be allowed to grub in the driveway/construction road and install our erosion control. This will allow us access to the site so that we can commence demolition.

We understand that no additional work can occur without issuance of the Building Permit.

Thank you for your consideration,

Trevor Thaxter

The Thaxter Company
55 Bell Street
Portland, ME 04103
Phone: 207-878-5553 x108
Fax: 207-878-5424

Suzanne J. Johnson
sjohnson@curtisthaxter.com

September 11, 2012

Cumberland County Registry of Deeds
P.O. Box 7230
Portland, ME 04112-7230
ATTN: Mary

Re: Nicholas White

Dear Mary:

Enclosed for recording is a Boundary Line Adjustment Agreement by and between Cushings Island Conservation Corporation and Nicholas R. White and Alison L. Anholt-White together with our check in the amount of \$24.00 to cover the recording fee.

The parties, who abut each other, are swapping triangular slivers of land of equal value. The Declaration of Value needs to identify both tax map/lots involved as well as identify each party as both Grantor and Grantee. Pursuant to our telephone conversation, I have included a Declaration of Value as well as a Supplemental Identity List identifying the parties as such and also identifying both tax map/lots involved in the swap.

Please call with any questions.

Sincerely,


Suzanne J. Johnson, CLA
Paralegal

Enclosure

cc: Sidney St.F. Thaxter, Esq. (w/encl.)

O:\SJ\LETTERS\REGISTRY-CUMBERLAND.DOC

WITNESS:

CUSHINGS ISLAND CONSERVATION CORPORATION

William G. Moore

By: John Spencer
Print Name: John Spencer
Title: President

STATE OF MAINE
CUMBERLAND, SS.

Sept 2, 2012

Personally appeared the above-named John Spencer,
President of CUSHINGS ISLAND CONSERVATION CORPORATION, as
aforesaid, and acknowledged the foregoing instrument to be his/her free act and deed in
his/her said capacity and the free act and deed of said Corporation.

Before me,

Peter L. Murray
Notary Public/Attorney-at-Law
Print Name: Peter L. Murray
My commission expires: _____

IN WITNESS WHEREOF, NICHOLAS R. WHITE and ALISON L. ANHOLT-
WHITE have hereunto set their hands and seals this 2nd day of September, 2012.

WITNESS:

William G. Moore

NR White

Nicholas R. White

William G. Moore

Alison L. Anholt-White

Alison L. Anholt-White

STATE OF MAINE
CUMBERLAND, SS.

Sept 2, 2012

Personally appeared the above-named Nicholas R. White and Alison L. Anholt-
White, as aforesaid, and acknowledged the foregoing instrument to be their free act and
deed.

Before me,

Peter L. Murray
Notary Public/Attorney-at-Law
Print Name: Peter L. Murray
My commission expires: _____

EXHIBIT B

A certain triangular shaped lot or parcel of land situated southeasterly of, but not adjacent to, the southeasterly sideline of Calumet Avenue, on Cushing's Island, in the City of Portland, County of Cumberland, and State of Maine, being more particularly bounded and described as follows:

Beginning at a found #5 steel rebar with survey cap #1175 marking the southeasterly corner of the herein described premises, the southeasterly corner of land described in a deed from Roberta M. Weil to Alison L. Anholt-White and Nicholas R. White, dated April 21, 1995 and recorded at the Cumberland County Registry of Deeds in Book 11891, Page 147, and a corner of land described as Parcel 2 in a deed from Cushings Conversion Limited Liability Company to Cushings Island Conservation Corporation, dated December 26, 1995 and recorded in said Registry of Deeds in Book 12287, Page 12;

Thence $N25^{\circ}55'00''W$ along said land of Cushings Island Conservation Corporation, a distance of one hundred twenty-seven and eighty hundredths (127.80') feet to a found #5 steel rebar with survey cap #1175 marking the northerly corner of the herein described premises;

Thence $S19^{\circ}09'40''E$ through said land of White, a distance of one hundred twenty-nine and twenty-five hundredths (129.25') feet to a #5 steel rebar with survey cap #2124 to be set marking the southwesterly corner of the herein described parcel on the northwesterly line of said Cushings Island Conservation Corporation;

Thence $N61^{\circ}57'00''E$ along said land of Cushings Island Conservation Corporation, a distance of fifteen and twenty-one hundredths (15.21') feet to the point of beginning.

Total area of the herein described parcel equals 971 square feet. The bearings in this description are Magnetic North of 1934 per plan entitled "Standard Boundary Survey Land of Roberta M. Weil, Shore Road, Cushing's Island, Portland, Maine", dated August 12, 1993, revised August 31, 1993 by Brian Smith Surveying, Inc., recorded October 6, 1994 in the Cumberland County Registry of Deeds in Book 194, Page 328.

Meaning and intending to describe a portion of the premises described in a deed from Roberta M. Weil to Alison L. Anholt-White and Nicholas R. White, dated April 21, 1995 and recorded at the Cumberland County Registry of Deeds in Book 11891, Page 147.



0599900

RETTD

00

MAINE REVENUE SERVICES
REAL ESTATE TRANSFER TAX
DECLARATION

TITLE 36, M.R.S.A. SECTIONS 4641-4641N

PLEASE TYPE OR PRINT CLEARLY

1. COUNTY **CUMBERLAND** **DO NOT USE RED INK!**

2. MUNICIPALITY/TOWNSHIP **PORTLAND**

BOOK/PAGE—REGISTRY USE ONLY

3. GRANTEE/ PURCHASER

3a) Name (LAST, FIRST, MI) **WHITE, NICHOLAS R.**

3b) SSN or Federal ID **230-25-3511**

3c) Name (LAST, FIRST, MI) **ANHOLT-WHITE, ALISON L.**

3d) SSN or Federal ID **230-25-5611**

3e) Mailing Address **9 SPY ROCK HILL**

3f) City **MANCHESTER**

3g) State **MA** 3h) Zip Code **01944**

4. GRANTOR/ SELLER

4a) Name (LAST, FIRST, MI) **CUSHINGS ISLAND CONSERVATION CORP.**

4b) SSN or Federal ID **010-37-4834**

4c) Name (LAST, FIRST, MI)

4d) SSN or Federal ID

4e) Mailing Address **P. O. BOX 334**

4f) City **PORTLAND**

4g) State **ME** 4h) Zip Code **04112**

5. PROPERTY

5a) Map Block Lot Sub-Lot **106A - C - 3 & 17**

5b) Type of property—Enter the code number that best describes the property being sold. (See instructions)

5c) Physical Location **0 CALUMET AVE. & 66 SHORE RD.**

Check any that apply:

No tax maps exist

Multiple parcels

Portion of parcel

5d) Acreage:

6. TRANSFER TAX

6a) Purchase Price (If the transfer is a gift, enter "0") 6a \$ **0.00**

6b) Fair Market Value (enter a value only if you entered "0" in 6a) or if 6a) was of nominal value) 6b \$ **0.00**

6c) Exemption claim - Check the box if either grantor or grantee is claiming exemption from transfer tax and explain.

Transfer of triangular slivers of land between abutters to establish new boundary line

7. DATE OF TRANSFER (MM-DD-YYYY) **09-02-2012**

MONTH DAY YEAR

8. WARNING TO BUYER—If the property is classified as Farmland, Open Space or Tree Growth, a Substantial financial penalty could be triggered by development, subdivision, partition or change in use. CLASSIFIED

9. SPECIAL CIRCUMSTANCES—Were there any special circumstances in the transfer which suggest that the price paid was either more or less than its fair market value? If yes, check the box and explain:

10. INCOME TAX WITHHELD— Buyer(s) not required to withhold Maine income tax because:

Seller has qualified as a Maine resident

A waiver has been received from the State Tax Assessor

Consideration for the property is less than \$50,000

11. OATH

Aware of penalties as set forth by Title 36 54641-K, we hereby swear or affirm that we have each examined this return and to the best of our knowledge and belief, it is true, correct and complete. Grantee(s) and Grantor(s) or their authorized agent(s) are required to sign below:

Grantee **NR White** Date **9/2/2012** Grantor **Cushings Island Conservation Corp**

Grantee **Alison White** Date **9/2/2012** Grantor **by John S. Spencer, Pres 9/2/12**

12. PREPARER

Name of Preparer **SST, CURTIS THAXTER LLC** Phone Number **207-774-9000**

Mailing Address **P.O. BOX 7320** E-Mail Address **SST@CURTISTHAXTER.COM**

PORTLAND, ME 04112-7320

CURTIS THAXTER LLC

066999

VENDOR: **REGISTRY OF DEEDS, CUMBERLAND COUNTY**
YOUR INVOICE NUMBER: _____ INVOICE DATE: _____

CHECK NO: **66999**
DISCOUNT TAKEN: _____

OUR REF. NO.	INVOICE AMOUNT	AMOUNT PAID	DISCOUNT TAKEN
61199	24.00	24.00	0.00

Check Date: **September 11, 2012**

THIS CHECK IS PROTECTED BY A VOID PANTOGRAPH, MICROPRINT SIGNATURE LINE AND A HEAT SENSITIVE PADLOCK ICON. ADDITIONAL SECURITY FEATURES ARE LISTED ON BACK.

CURTIS THAXTER LLC
ONE CANAL PLAZA
PORTLAND, MAINE 04101

KEY BANK NATIONAL ASSOCIATION
PORTLAND, MAINE

066999

PAY
Twenty-four and NO/100

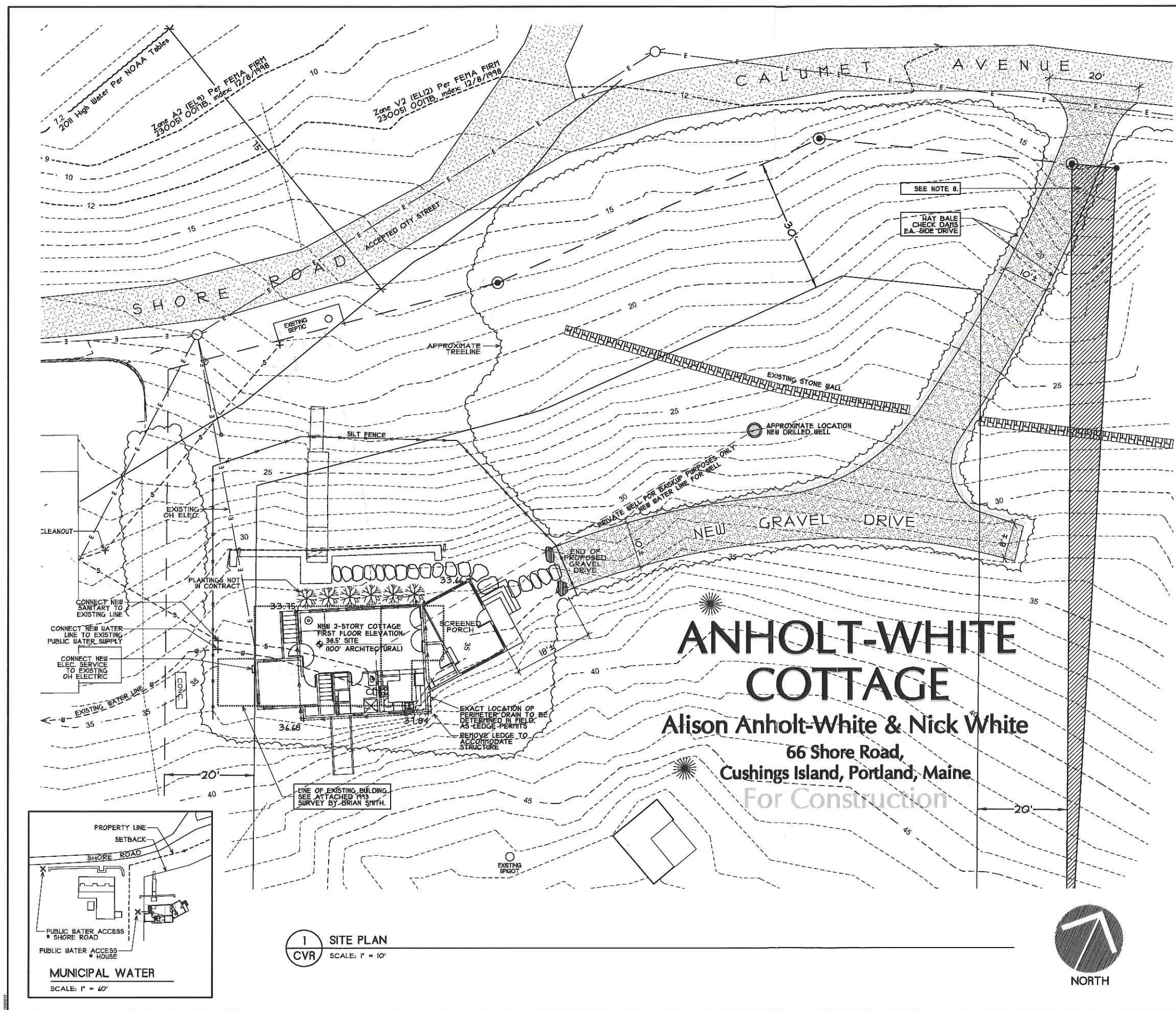
TO THE ORDER OF
CUMBERLAND COUNTY REGISTRY OF DEEDS
142 FEDERAL STREET
PORTLAND, ME 04101-4162

CHECK NO: **66999**
CHECK DATE: **09/11/2012**
CHECK AMOUNT: **24.00**
VENDOR NO: _____

⑈066999⑈ ⑆01200608⑆ 002⑈79315⑈

permits - septic
how many bedrooms
- how many
proposed

showing age
agreement
revocable
license for
septic



DRAWING LIST

- CVR Cover Sheet, Site Plan, Drawing List, General Notes
- SRV Survey Plan
- S1.1 Foundation Plan, First Floor Framing Plan, Notes, Details
- S1.2 Second Floor Framing Plan, Roof Framing Plan, Notes, Details
- S1.3 Simpson Shear Wall Details
- A1.1 Floor Plans
- A2.1 Exterior Elevations
- A3.1 Building Sections
- A3.2 Building Sections
- A3.3 Building Sections
- A3.4 Building Sections
- A3.5 Building Sections
- A3.6 Building Sections
- A4.1 Details
- A4.2 Details
- A5.1 Interior Elevations: Kitchen, Baths
- A5.2 Interior Elevations
- A6.1 Reflected Ceiling / Elec. & Lighting
- A7.1 Schedules & Specifications

- GENERAL NOTES**
1. DIMENSIONS ARE TO THE FACE OF FRAMING/FOUNDATION UNLESS NOTED OTHERWISE.
 2. DO NOT SCALE DRAWINGS. WORK FROM DIMENSIONS ONLY.
 3. GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES TO ARCHITECT BEFORE PROCEEDING WITH ANY WORK.
 4. ALL WORK SHALL COMPLY WITH APPLICABLE NATIONAL, STATE & LOCAL CODES.
 5. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS.
 6. CONTRACTOR SHALL PROPERLY DISPOSE OF ALL CONSTRUCTION DEBRIS OFF-SITE.
 7. CONTRACTOR SHALL INSTALL BLOCKING IN WALLS FOR CABINETRY, SHELVING, HANDRAILS, MIRRORS, AND ACCESSORIES.
 8. SEE OUTLINE SPECIFICATIONS FOR ADDITIONAL INFORMATION.
 9. DOORS SHALL BE LOCATED A MINIMUM OF 5" FROM ADJOINING WALLS EXCEPT WHERE NOTED OR DIMENSIONED OTHERWISE.
 10. WOOD BLOCKING IN CONTACT WITH CONCRETE OR MASONRY TO BE PRESERVATIVE TREATED BY PRESSURE PROCESS AND WHERE NOTED P.T. SEAL CUTS IN PRESERVATIVE TREATED WOOD WITH FIELD APPLIED PRESERVATIVE.
 11. BEFORE PENETRATING OR OTHERWISE MODIFYING JOISTS, BEAMS, OR OTHER STRUCTURAL MEMBERS CONSULT WITH THE ARCHITECT ON MAXIMUM SIZE AND LOCATION.
 12. PROVIDE DOUBLE STUDS AT ALL DOOR FRAMES.
 13. ALL MATERIALS IN THIS BUILDING SHALL BE NEW AND NOT PREVIOUSLY USED, UNLESS NOTED OTHERWISE.
 14. GENERAL CONTRACTOR SHALL COORDINATE ALL UTILITIES.
 15. ALL PENETRATIONS THROUGH RATED WALLS AND FLOOR/CEILING ASSEMBLIES SHALL BE FIRE STOPPED BY SPECIFIC SUBCONTRACTOR REQUIRING PENETRATION.

PROJECT NOTES

1. PROTECT AND SAVE ALL EXISTING TREES AND SHRUBS EXCEPT FOR NEW DRIVE.
2. PROTECT EXISTING STONE WALLS AND STEPS.
3. SPOT ELEVATIONS AT BUILDING REPRESENT PROPOSED GRADING.
4. GROUND FLOOR AREA OF BUILDING:

BUILDING	1074 SF.
PORCH & DECKS	248 SF.
EXTERIOR WOOD STEPS	80 SF.
5. SEE STAMPED DRAWING BY BRIAN SMITH FOR BOUNDARY SURVEY OF ENTIRE PARCEL.
6. FOUNDATION IS INTENDED TO BE SET ENTIRELY ON LEDGE. SEE FOUNDATION NOTES ON SHEET S11. SOIL TYPE NOT RELEVANT.
7. AREA TO BE DISTURBED IS BUILDING FOOTPRINT: 1500 SF. DECKS, STEPS, AND NEW DRIVE (APPROX). NEW DRIVE (APPROX): 2,500 SF.
8. PARCEL TO BE CONVEYED FROM CUSHINGS ISLAND CONSERVATION CORPORATION TO ALISON L. ANHOLT-WHITE AND NICHOLAS R. WHITE - 871 SF. SEE ACCOMPANYING SKETCH BY NADEAU LAND SURVEYS.
9. SOIL TYPE(S): CUMBERLAND COUNTY H 1 B HINCKLEY GRAVELLY SANDY LOAM, 4 TO 8 PERCENT SLOPES

ANHOLT-WHITE COTTAGE

Cushings Island, Portland, Maine



6 South Street
Post Office Box
63373
Portland, Maine
04112-6383
Voice: 207.761.5911
Fax: 207.761.5105
Email: sba@sbaarchitects.com

Consultants
Structural Engineer
PINKHAM & GREER



- Revisions
- ▲ AUGUST 8, 2012
 - ▲ SEPTEMBER 4, 2012
REVISED HOUSE LOCATION
REVISED HOUSE ELEVATION
REVISED ENTRY DRIVE
ADDED NOTES
 - ▲ LAND SHAP INFORMATION
REVISED NEW DRIVE AREA
 - ▲ SEPT. 17, 2012: ADDED NOTES
 - ▲ SEPT. 20, 2012:
WATER, SEWER LINES

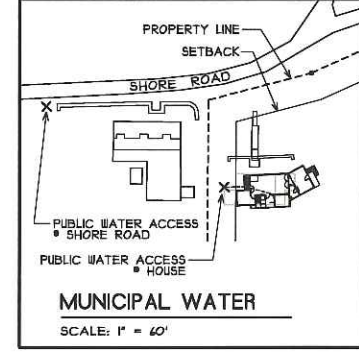
Job No.: 11.11
Date: 31 AUGUST 2012
Scale: 1" = 50'
Drawn by: CR
Checked by: SJB

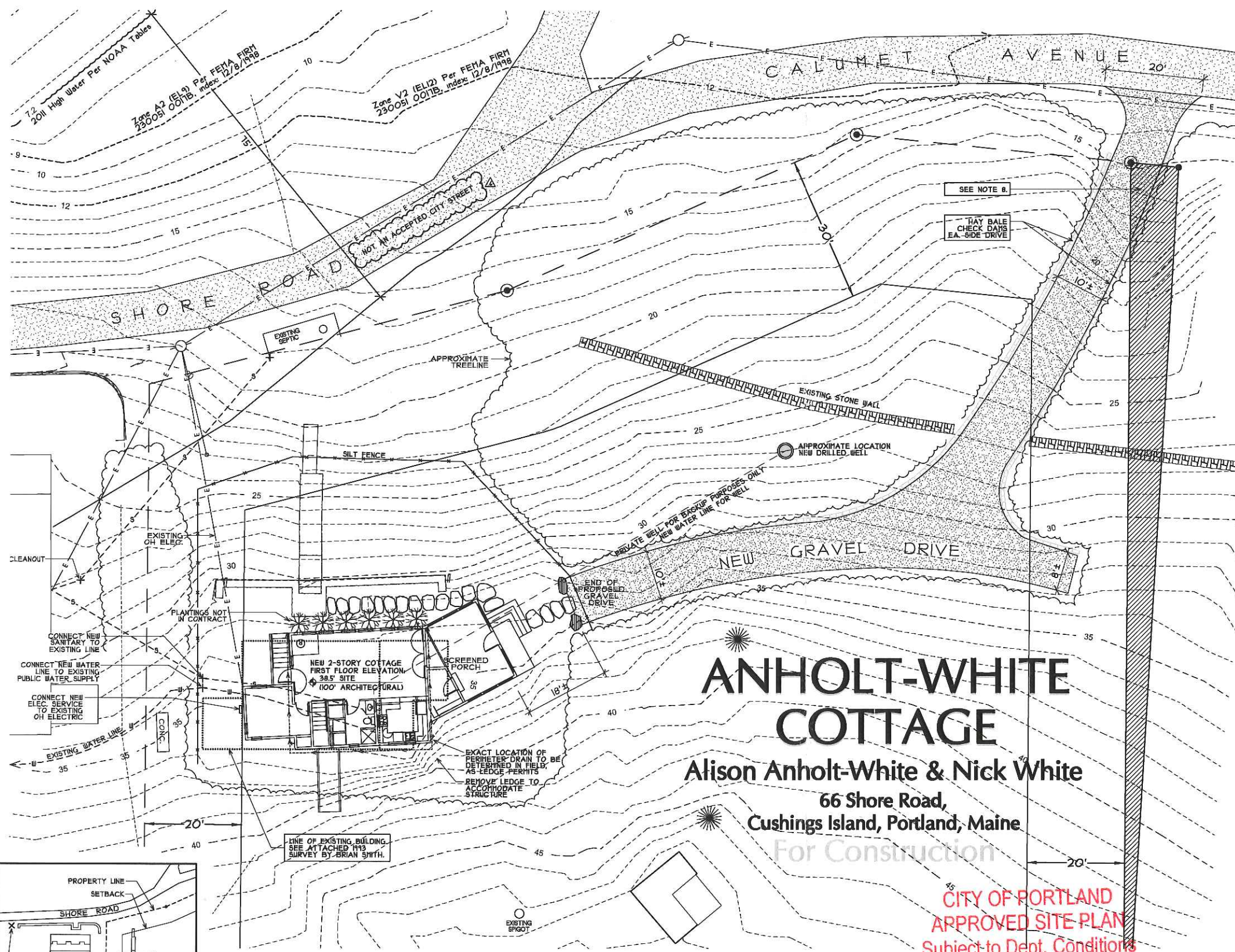
Drawing Title:
Cover, Site, Drawing List,
General Notes

CVR

FOR CONSTRUCTION

1 SITE PLAN
CVR SCALE: 1" = 10'





ANHOLT-WHITE COTTAGE

Alison Anholt-White & Nick White
66 Shore Road,
Cushings Island, Portland, Maine

For Construction

CITY OF PORTLAND
APPROVED SITE PLAN
Subject to Dept. Conditions
Date of Approval: 10/2/12



DRAWING LIST

- CVR Cover Sheet, Site Plan, Drawing List, General Notes
- SRV Survey Plan
- S1.1 Foundation Plan, First Floor Framing Plan, Notes, Details
- S1.2 Second Floor Framing Plan, Roof Framing Plan, Notes, Details
- S1.3 Simpson Shear Wall Details
- A1.1 Floor Plans
- A2.1 Exterior Elevations
- A3.1 Building Sections
- A3.2 Building Sections
- A3.3 Building Sections
- A3.4 Building Sections
- A3.5 Building Sections
- A3.6 Building Sections
- A4.1 Details
- A4.2 Details
- A5.1 Interior Elevations: Kitchen, Baths
- A5.2 Interior Elevations
- A6.1 Reflected Ceiling / Elec. & Lighting
- A7.1 Schedules & Specifications

GENERAL NOTES

1. DIMENSIONS ARE TO THE FACE OF FRAMING/FOUNDATION UNLESS NOTED OTHERWISE.
2. DO NOT SCALE DRAWINGS. WORK FROM DIMENSIONS ONLY.
3. GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES TO ARCHITECT BEFORE PROCEEDING WITH ANY WORK.
4. ALL WORK SHALL COMPLY WITH APPLICABLE NATIONAL, STATE & LOCAL CODES.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS.
6. CONTRACTOR SHALL PROPERLY DISPOSE OF ALL CONSTRUCTION DEBRIS OFF-SITE.
7. CONTRACTOR SHALL INSTALL BLOCKING IN WALLS FOR CABINETRY, SHELVING, HANDRAILS, MIRRORS, AND ACCESSORIES.
8. SEE OUTLINE SPECIFICATIONS FOR ADDITIONAL INFORMATION.
9. DOORS SHALL BE LOCATED A MINIMUM OF 5' FROM ADJOINING WALLS EXCEPT WHERE NOTED OR DIMENSIONED OTHERWISE.
10. WOOD BLOCKING IN CONTACT WITH CONCRETE OR MASONRY TO BE PRESERVATIVE TREATED BY PRESSURE PROCESS AND WHERE NOTED "P.T." SEAL CUTS IN PRESERVATIVE TREATED WOOD WITH FIELD APPLIED PRESERVATIVE.
11. BEFORE PENETRATING OR OTHERWISE MODIFYING JOISTS, BEAMS, OR OTHER STRUCTURAL MEMBERS CONSULT WITH THE ARCHITECT ON MAXIMUM SIZE AND LOCATION.
12. PROVIDE DOUBLE STUDS AT ALL DOOR FRAMES.
13. ALL MATERIALS IN THIS BUILDING SHALL BE NEW AND NOT PREVIOUSLY USED, UNLESS NOTED OTHERWISE.
14. GENERAL CONTRACTOR SHALL COORDINATE ALL UTILITIES.
15. ALL PENETRATIONS THROUGH RATED WALLS AND FLOOR/CEILING ASSEMBLIES SHALL BE PRESTOPPED BY SPECIFIC SUBCONTRACTOR REQUIRING PENETRATION.

PROJECT NOTES

1. PROTECT AND SAVE ALL EXISTING TREES AND SHRUBS EXCEPT FOR NEW DRIVE.
2. PROTECT EXISTING STONE WALLS AND STEPS.
3. SPOT ELEVATIONS AT BUILDING REPRESENT PROPOSED GRADING.
4. GROUND FLOOR AREA OF BUILDING:

BUILDING	1,074 SF.
PORCH & DECKS	248 SF.
EXTERIOR WOOD STEPS	60 SF.
5. SEE STAMPED DRAWING BY BRIAN SMITH FOR BOUNDARY SURVEY OF ENTIRE PARCEL.
6. FOUNDATION IS INTENDED TO BE SET ENTIRELY ON LEDGE. SEE FOUNDATION NOTES ON SHEET S11. SOIL TYPE NOT RELEVANT.
7. AREA TO BE DISTURBED IS BUILDING FOOTPRINT: 1,500 SF. DECKS, STEPS, AND NEW DRIVE (APPROX.): 2,500 SF.
8. PARCEL TO BE CONVEYED FROM CUSHINGS ISLAND CONSERVATION CORPORATION TO ALISON L. ANHOLT-WHITE AND NICHOLAS R. WHITE - 971 SF. SEE ACCOMPANYING SKETCH BY NADEAU LAND SURVEYS.
9. SOIL TYPES: CUMBERLAND COUNTY H1 & HINCKLEY GRAVELLY SANDY LOAM, 4 TO 8 PERCENT SLOPES

ANHOLT-WHITE COTTAGE

Cushings Island, Portland, Maine



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- Revisions
- ▲ AUGUST 8, 2012
 - ▲ SEPTEMBER 4, 2012
REVISED HOUSE LOCATION
REVISED ENTRY DRIVE
ADDED NOTES
 - ▲ LAND SWAP INFORMATION
REVISED NEW DRIVE AREA
 - ▲ SEPT. 11, 2012: ADDED NOTES
 - ▲ SEPT. 20, 2012:
WATER, SEWER LINES
 - ▲ OCT. 1, 2012: STREET STATUS

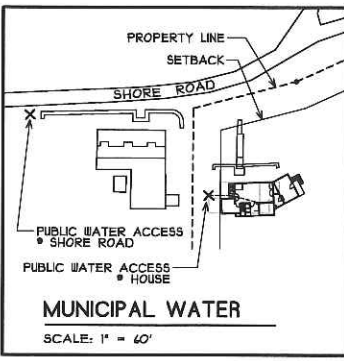
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1 SITE PLAN
CVR SCALE: 1" = 10'



MUNICIPAL WATER
SCALE: 1" = 60'