

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



CITY OF PORTLAND

BUILDING PERMIT

This is to certify that ALISON L ANHOLT-WHITE

Located At 66 SHORE RD

Job ID: 2012-08-4687-SF

CBL: 106A-C-013-001

has permission to New Single Family, 2 stories, 24' x 28'

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

Fire Prevention Officer



Code Enforcement Officer / Plan Reviewer

9-26-12

THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY
PENALTY FOR REMOVING THIS CARD

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**

Footings/Setbacks prior to pouring concrete

Close In Elec/Plmb/Frame prior to insulate or gyp

Final Inspection

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Director of Planning and Urban Development
Jeff Levine

Job ID: 2012-08-4687-SF

Located At: 66 SHORE RD

CBL: 106A- C-013-001

Conditions of Approval:

Zoning

1. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
2. This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
3. As discussed during the review process, the property must be clearly identified prior to pouring concrete and compliance with the required setbacks must be established. Due to the proximity of the setbacks of the proposed structure, it may be required to be located by a surveyor.

Building

1. Separate permits are required for any electrical, plumbing, sprinkler, fire alarm HVAC systems, heating appliances, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.
2. The attic scuttle opening must be 22" x 30".
3. Renovations of residential dwellings shall install a CO detector in each area within or giving access to bedrooms. That detection must be powered by the electrical service in the building and battery.
4. Hazardous locations must have tempered glass. Please review prior to installing.

Fire

1. All construction shall comply with City Code Chapter 10.
2. A separate no fee One- or Two-family Fire Sprinkler Permit is required.
3. All smoke detectors and smoke alarms shall be photoelectric.
4. Hardwired Carbon Monoxide alarms with battery back up are required on each floor.
- 5. Sprinkler requirements**
6. The sprinkler system shall be installed in accordance with NFPA 13D. A compliance letter is required.
7. All control valves shall be supervised in accordance with NFPA 13D. Pad locks shall only be installed on valves designed to be secured in the open position by pad lock.
8. Application requires State Fire Marshal approval.

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: 2012-08-4687-SF	Date Applied: 8/13/2012	CBL: 106A-C-013-001	
Location of Construction: 66 SHORE RD, Cushing Island	Owner Name: ALISON ANHOLT-WHITE & NICHOLAS WHITE	Owner Address: 9 SPY ROCK HILL MANCHESTER, MA 01944	Phone: 978-526-4406
Business Name:	Contractor Name: Trevor Thaxter-The Thaxter Co.	Contractor Address: 55 Bell St., Portland ME 04103	Phone: (207) 653-8346
Lessee/Buyer's Name:	Phone:	Permit Type: BLDG - Building	Zone: IR-1
Past Use: Vacant land – old single family demolished under permit #2012-08-4688	Proposed Use: New Single family – build new two story, single family 24' x 28' & 18' x 20'	Cost of Work: 441000.00	CEO District:
		Fire Dept: <input type="checkbox"/> Approved <input type="checkbox"/> Denied <input type="checkbox"/> N/A Signature: <i>[Signature]</i>	Inspection: Use Group: <i>R-3</i> Type: <i>SB</i> <i>IRC 07</i> Signature: <i>[Signature]</i>
Proposed Project Description: New single family, 2 stories, 3 bed, 2 bath; no ga		Pedestrian Activities District (P.A.D.)	
Permit Taken By: Brad		Zoning Approval	

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building Permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.	Special Zone or Reviews <input checked="" type="checkbox"/> Shoreland <i>house beyond 75' setback</i> <input type="checkbox"/> Wetlands <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <i>Parcel 17 - zone C</i> <input checked="" type="checkbox"/> Site Plan <i>Level I</i> <i>Minor Residential</i> <input type="checkbox"/> Maj <input type="checkbox"/> Min <input type="checkbox"/> MM Date: <i>OK w/conditions 9/14/12 ABM</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in Dist or Landmark <input type="checkbox"/> Does not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>ABM</i>
	CERTIFICATION		

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

IR-1
Standard

Extend 8/13/12 (B)

Project Address: <u>66 SHORE RD. PORTLAND, ME. (CUSHING'S ISLAND)</u>		
Total Square Footage of Proposed Structure/Area: <u>1500 SF</u>	Area of lot (total sq. ft.): <u>74052</u> Garage: Yes ___ No <u>X</u> Attached ___ Detached ___ Sq. Ft.: _____	Number of Stories: <u>2</u> Number of Bathrooms: <u>2</u> Number of Bedrooms: <u>3</u>
Tax Assessor's Chart, Block & Lot(s): Chart# <u>106A</u> Block # <u>C013</u> Lot # <u>001</u>		# <u>2012 - 08 - 4687 - 5f</u> RECEIVED AUG 13 2012 Dept. of Building Inspections City of Portland Maine
Current legal use: <u>RESIDENCE</u> Number of Residential Units <u>1</u> If vacant, what was the previous use? <u>NA</u> Is property part of a subdivision? <u>NO</u> If yes, please name _____		
Project Description: <u>DEMOLITION OF WERENT STRUCTURE AND BUILDING OF NEW COTTAGE.</u>		
Applicant - must be owner, Lessee or Buyer Name: <u>TREVOR THAXTER</u> Business Name, if applicable: <u>THE THAXTER CO.</u> Address: <u>55 BELL ST.</u> City/State: <u>PORTLAND, ME.</u> Zip Code: <u>04103</u>		Applicant Contact Information Work # <u>(207) 878-5553</u> Home# _____ Cell # <u>(207) 653-8346</u> e-mail: <u>trevor@thaxtercompany.com</u>
Owner - (if different from Applicant) Name: <u>NICK WHITE + ALISON ANHOLT-WHITE</u> Address: <u>9 SPY ROCK HILL</u> City/State: _____ Zip Code: _____ <u>MANCHESTER, MA. 01944</u>		Owner Contact Information Work # <u>(978) 526-4406</u> Home# <u>(978) 526-4406</u> Cell # <u>NICK: (978) 618-6925</u> <u>ALISON: (978) 618-6924</u> e-mail: <u>nick.white@ieee.org</u> <u>alison.aholt@dhicbeans.com</u>
Billing Information Name: <u>THE THAXTER CO.</u> Address: <u>55 BELL ST.</u> City/State: <u>PORTLAND, ME</u> Zip Code: <u>04103</u> Phone Number: <u>(207) 878-5553</u>		Contact when Building Permit is Ready: Name: <u>TREVOR THAXTER</u> Address: <u>55 BELL ST</u> City/State: <u>PORTLAND, ME</u> Zip Code: <u>04103</u> Phone Number: <u>(207) 653-8346</u>

DEVELOPMENT REVIEW FEES:

Payment may be made in cash, credit card or check addressed to the City of Portland.

<p>Level I Minor Residential Site Plan</p> <p>1. Application Fee - \$300.00</p> <p>2. Inspection Fee - \$100.00 (for site plan inspection by the Planning Division)</p> <p>3. Certificate of Occupancy Fee - \$75.00</p> <p>4. Building Permit (Cost of Work) ^{441,000} _{440,916}</p> <p style="text-align: right;">Total Due:</p>	<p>Fees Paid:</p> <p>\$ <u>300.00</u></p> <p>\$ <u>100.00</u></p> <p>\$ <u>75.00</u></p> <p>\$ <u>4430.00</u></p> <p>\$ <u>4905.00</u></p>
<p>Building Permit Fee - \$30 for the first \$1,000 construction cost - \$10 every additional \$1,000.</p>	
<p>Performance Guarantee - Exempt except for those projects that complete construction in the winter and the site work is incomplete.</p>	

4,400
30

4,430

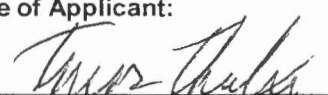
Please submit all of the information outlined on the applicable Checklist, shown on Page 4 and 5 of this Application. In addition, a CD or PDF (e-mailed to buildinginspections@portlandmaine.gov) of the entire Application, including all plans, must be submitted with the Application. Failure to do so may result in the automatic denial of your permit.

Portland's development review process and requirements are outlined in the Land Use Code (Chapter 14), which includes the Subdivision Ordinance (Section 14-491) and the Site Plan Ordinance (Section 14-521). Portland's Land Use Code is on the City's web site: www.portlandmaine.gov Copies of the ordinances may be purchased through the Planning Division. All of the information on the checklist must be submitted for review. The applicant must check off the items contained in the application package to ensure the application is complete.

Property Taxes:
If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before a permit of any kind is accepted.

Separate Permits:
Separate permits are required for internal and external plumbing, HVAC, and electrical installations.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Planning Authority and Code Enforcement's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

<p>Signature of Applicant: </p>	<p>Date: 8/13/12</p>
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This is not a permit - you may not commence any work until the permit is issued.

(A CD or PDF (e-mailed to buildinginspections@portlandmaine.gov) of the entire application, including all plans, must be submitted with the application.)

General Submittal Requirements – Level I Minor Residential

Applicant Checklist	Planner Checklist (internal)	Number of Copies	Submittal Requirement
✓	✓	2	Completed application form and check list.
✓	✓	1	Application fees.
✓	✓	2	Evidence of right, title and interest.
✓ NA	NA	2	Copies of required state and/or federal permits.
✓ NA	NA	2	Written Description of existing and proposed easements or other burdens.
✓ NA	NA	2	Written requests for waivers from individual site plan and/or technical standards.
✓	✓	2	Written summary of fire safety (referencing NFPA fire code and Section 3 of the City of Portland Technical Manual). Refer to Fire Department Checklist on page 6 of this application.

Site Plans and Boundary Survey Requirements – Level I Minor Residential

Applicant Checklist	Planner Checklist (internal)	Number of Copies	Submittal Requirement
✓		3	Boundary survey meeting the requirements of section 13 of the City of Portland Technical Manual with the site plan information listed below shown on the plan, including a north arrow and a scale greater than or equal to 1"=20'. (Photocopies of the plat or hand drawn building footprints will not be accepted.)
✓			<ul style="list-style-type: none"> ▪ Zoning district, setbacks and dimensional requirements. Show zone lines and overlay zones that apply to the property, including Shoreland Zone &/or Stream Protection Zone.
✓			<ul style="list-style-type: none"> ▪ Existing and proposed structures (including location of proposed piers, docks or wharves if in Shoreland Zone).
✓			<ul style="list-style-type: none"> ▪ Location and dimension of existing and proposed paved areas.
✓			<ul style="list-style-type: none"> ▪ Proposed ground floor area of building.
✓			<ul style="list-style-type: none"> ▪ Finish floor elevation (FEE) or sill elevation.
✓			<ul style="list-style-type: none"> ▪ Exterior building elevations (show all 4 sides).
✓			<ul style="list-style-type: none"> ▪ Existing and proposed utilities (or septic system, where applicable)
✓			<ul style="list-style-type: none"> ▪ Existing and proposed grading and contours.
✓			<ul style="list-style-type: none"> ▪ Proposed stormwater management and erosion controls.
✓			<ul style="list-style-type: none"> ▪ Total area and limits of proposed land disturbance.
✓			<ul style="list-style-type: none"> ▪ Proposed protections to or alterations of watercourses.
✓			<ul style="list-style-type: none"> ▪ Proposed wetland protections or impacts.
✓			<ul style="list-style-type: none"> ▪ Existing vegetation to be preserved and proposed site landscaping and street trees (2 trees per unit for a single or two-family house).

✓		▪ Existing and proposed curb and sidewalk, except for a single family home.
✓		▪ Existing and proposed easements or public or private rights of way.
✓		▪ Show foundation/perimeter drain and outlet.
✓		▪ Additional requirements may apply for lots on unimproved streets.

Building Permit Submittal Requirements –Level I: Minor Residential Development			
Applicant Checklist	Planner Checklist (internal)	Number of Copies	Submittal Requirement
✓		1	One (1) complete set of construction drawings must include:
✓			▪ Cross section with framing details
✓			▪ Floor plans and elevations to scale
✓			▪ Stair details including dimensions of : rise/run, head room, guards/handrails, baluster space
✓			▪ Window and door schedules
✓			▪ Foundation plans w/required drainage and damp proofing , if applicable
✓			▪ Detail egress requirements and fire separation, if applicable
✓			▪ Insulation R-factors of walls, ceilings & floors & U-factors of windows per the IECC 2003
✓			▪ Deck construction including: pier layout, framing, fastenings, guards, stair dimensions
✓			▪ As of September 16, 2010 all new construction of one and two family homes are required to be sprinkled in compliance with NFPA 13D. This is required by City Code. (NFPA 101 2009 ed.)
✓			▪ Reduced plans or electronic files in pdf format are also required if original plans are larger than 11X17"

**** Reminder: ****

1. **A CD or PDF of the entire application, including all plans, must be submitted with the application.**
2. Separate permits are required for internal and external plumbing, HVAC, and electrical installations.
3. Please submit all of the information outlined in this application checklist.
4. If the application is incomplete, the application may be refused.
5. The Planning and Urban Development Department may request additional information prior to the issuance of a permit.

WARRANTY DEED
(Maine Statutory Short Form)

17303

KNOW ALL MEN BY THESE PRESENTS,

That I **Roberta M. Weil**, of RFD 1, Box 882, South Harpswell, ME 04079, for consideration paid, grant(s) to **Alison L. Anholt-White and Nicholas R. White**, whose mailing address is **21 Friend Court, Wenham, MA 01984**, AS JOINT TENANTS with WARRANTY COVENANTS, the land in **Portland**, County of **Cumberland**, State of **Maine**, described as follows:

MAINE REAL ESTATE TAX PAID

A certain lot or parcel of land with the buildings thereon, situated on the southerly side of the Shore Road, also known as Calumet Avenue, on Cushing's Island in the City of Portland, County of Cumberland and State of Maine, bounded and described as follows:

Beginning at a point on the southerly side of the Shore Road at the northeasterly corner of a parcel of land conveyed by Langdon T. Thaxter to Eileen C. Davis by Warranty Deed dated September 18, 1954 and recorded in the Cumberland County Registry of Deeds in Book 2192, Page 441, as delineated on Plan of Property at Cushing's Island, recorded in said Registry of Deeds in Plan Book 42, Page 17; thence South 25° 55' East 10 feet to an iron post; thence South 25° 55' East 129.84 feet to a point; thence South 63° 57' West 48.50 feet to a point; thence South 2° 40' East 106.10 feet to a point; thence South 33° 23' East 59.08 feet to a point; thence North 61° 57' East 284.61 feet to a point; thence North 25° 55' West to the southeasterly sideline of said Shore Road; thence westerly along the southeasterly side of said Shore Road to the point of beginning.

The above described courses are magnetic as of the year 1934.

Together with the right to use in common with the other owners of property on said Island the beaches and shores of said Island and all public grounds, avenues, ways, and landings as the same were conveyed to Sidney W. Thaxter in part by Dame Catherine Cushing, et al, by deed dated December 29, 1885 and recorded in said Registry of Deeds in Book 522, Page 428 and in part by Francis Cushing by deed dated December 5, 1885 and recorded in said Registry of Deeds in Book 522, Page 292.

Being a portion of Lots 33 and 34 as shown on the so-called Olmstead Plan of Cushing's Island, recorded in said Registry of Deeds in Plan Book 4, Page 56. Reference is also made to a certain Plan of Property at Cushing's Island, made by H.I. and E.C. Jordan, Civil Engineers, dated September, 1954 and recorded in said Registry of Deeds in Plan Book 42, Page 17 and to Affidavit of John P.R. Cyr dated March 14, 1983 and recorded in said Registry of Deeds in Book 6132, Page 266.

Together with a right of way 8 feet in width from the southwesterly corner of the above described premises southwesterly to Ottawa Avenue as reserved by Langdon T. Thaxter in deed to Edward T. Gignoux, et al, dated September 18, 1954 and recorded in said Registry of Deeds in Book 2195, Page 310; in deed to Sidney St. Felix Thaxter dated November 12, 1947, recorded in said Registry of Deeds in Book 1893, Page 379; and in deed to Cushing's Island Company dated November 12, 1947 and recorded in said Registry of Deeds in Book 1893, Page 376.

Meaning and intending to convey the same premises described in a deed from Gordon L. Weil to the Grantor herein dated June 23, 1992 and recorded in the Cumberland County Registry of Deeds in Book 10151, Page 139.

WITNESS my hand(s) and seal(s) this 21st day of April, 1995.

Ann M. Merino *Roberta M. Weil*

Beginning at a point on the southerly side of the Shore Road at the northeasterly corner of a parcel of land conveyed by Langdon T. Thaxter to Eileen C. Davis by Warranty Deed dated September 18, 1954 and recorded in the Cumberland County Registry of Deeds in Book 2192, Page 441, as delineated on Plan of Property at Cushing's Island, recorded in said Registry of Deeds in Plan Book 42, Page 17; thence South 25° 55' East 10 feet to an iron post; thence South 25° 55' East 129.84 feet to a point; thence South 63° 57' West 48.50 feet to a point; thence South 2° 40' East 106.10 feet to a point; thence South 33° 23' East 59.08 feet to a point; thence North 61° 57' East 284.61 feet to a point; thence North 25° 55' West to the southeasterly sideline of said Shore Road; thence westerly along the southeasterly side of said Shore Road to the point of beginning.

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Meaning and intending to convey the same premises described in a deed from Gordon L. Weil to the Grantor herein dated June 23, 1992 and recorded in the Cumberland County Registry of Deeds in Book 10151, Page 139.

WITNESS my hand(s) and seal(s) this 21st day of April, 1995.

Connie Jo Minervino

Roberta M. Weil
Roberta M. Weil

STATE OF MAINE

April 21, 1995

COUNTY OF Cumberland ss:

Personally appeared the above-named Roberta M. Weil, and acknowledged the above instrument to be her free act and deed.

RECEIVED
RECORDED REGISTRY OF DEEDS

95 APR 24 PM 12:22

CUMBERLAND COUNTY

John B. ...

Before me,
Connie Jo Minervino
Notary Public/Attorney at Law

My Commission Expires _____

Typed Name of Notary, Attorney: _____

CONNIE JO MINERVINO
NOTARY PUBLIC MAINE
COMMISSION EXPIRES NOVEMBER 22 2000



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Receipts Details:

Tender Information: Check , Check Number: 99999

Tender Amount: 4905.00

Receipt Header:

Cashier Id: bsaucier

Receipt Date: 8/13/2012

Receipt Number: 46995

Receipt Details:

Referance ID:	7598	Fee Type:	BP-C of O
Receipt Number:	0	Payment Date:	
Transaction Amount:	75.00	Charge Amount:	75.00
Job ID: Job ID: 2012-08-4687-SF - New single family, 2 stories, 3 bed, 2 bath; no ga			
Additional Comments: 66 Shore Rd			

Referance ID:	7599	Fee Type:	BP-Constr
Receipt Number:	0	Payment Date:	
Transaction Amount:	4430.00	Charge Amount:	4430.00
Job ID: Job ID: 2012-08-4687-SF - New single family, 2 stories, 3 bed, 2 bath; no ga			

Additional Comments:

Referance ID:	7600	Fee Type:	BP-MSFSR
Receipt Number:	0	Payment Date:	
Transaction Amount:	300.00	Charge Amount:	300.00

Job ID: Job ID: 2012-08-4687-SF - New single family, 2 stories, 3 bed, 2 bath; no ga

Additional Comments:

Referance ID:	7601	Fee Type:	BP-INSP
Receipt Number:	0	Payment Date:	
Transaction Amount:	100.00	Charge Amount:	100.00

Job ID: Job ID: 2012-08-4687-SF - New single family, 2 stories, 3 bed, 2 bath; no ga

Additional Comments:

Thank You for your Payment!

RECEIVED

SEP 14 2012

Doc#: 51672 Bk:29921 Pg: 282

Dept. of Building Inspections
City of Portland Maine

BOUNDARY LINE ADJUSTMENT THROUGH EXCHANGE OF
SHORT FORM QUITCLAIM DEEDS
WITHOUT COVENANTS

As part of a boundary line adjustment, CUSHINGS ISLAND CONSERVATION CORPORATION, a Maine corporation doing business in Portland, Cumberland County, Maine ("CICC"), RELEASES to NICHOLAS R. WHITE and ALISON L. ANHOLT-WHITE having a mailing address of 9 Spy Rock Hill, Manchester, MA 01944, as joint tenants and not as tenants in common (the "Whites"), the following described real property located on Cushing's Island in the City of Portland, County of Cumberland and State of Maine:

SEE EXHIBIT "A" ATTACHED HERETO AND MADE A PART HEREOF.

In exchange and as consideration for the above transfer, NICHOLAS R. WHITE and ALISON L. ANHOLT-WHITE of Manchester, MA, RELEASE to CUSHINGS ISLAND CONSERVATION CORPORATION, a Maine corporation having a mailing address of P. O. Box 334, Portland, ME 04112, the following described real property located on Cushing's Island in the City of Portland, County of Cumberland and State of Maine:

SEE EXHIBIT "B" ATTACHED HERETO AND MADE A PART HEREOF.

These transfers will result in a revised boundary line between properties owned by CICC and the Whites respectively, as reflected in the attached sketch.

SEE EXHIBIT "C" ATTACHED HERETO AND MADE A PART HEREOF.

The parties have agreed (i) that the transfer of property from the Whites to CICC is fair and adequate consideration for the exchange of the parcel of similar size and similar value located along the same boundary line from CICC to the Whites, and (ii) that the transfer of property from CICC to the Whites is fair and adequate consideration for the exchange of the parcel of similar size and similar value located along the same boundary line from the Whites to CICC.

IN WITNESS WHEREOF, CUSHINGS ISLAND CONSERVATION CORPORATION has caused this instrument to be executed by John Spencer, its duly authorized President, this 2 day of September, 2012.

WITNESS:

CUSHINGS ISLAND CONSERVATION CORPORATION

William A. Moore

By: John Spencer
Print Name: John Spencer
Title: President

STATE OF MAINE
CUMBERLAND, SS.

Sept 2, 2012

Personally appeared the above-named John Spencer,
President of CUSHINGS ISLAND CONSERVATION CORPORATION, as
aforesaid, and acknowledged the foregoing instrument to be his/her free act and deed in
his/her said capacity and the free act and deed of said Corporation.

Before me,

[Signature]
Notary Public/Attorney-at-Law
Print Name: Peter L. Murray
My commission expires: _____

IN WITNESS WHEREOF, NICHOLAS R. WHITE and ALISON L. ANHOLT-
WHITE have hereunto set their hands and seals this 2nd day of September, 2012.

WITNESS:

William A. Moore

NR White

Nicholas R. White

William A. Moore

Alison L. Anholt-White

Alison L. Anholt-White

STATE OF MAINE
CUMBERLAND, SS.

Sept 2, 2012

Personally appeared the above-named Nicholas R. White and Alison L. Anholt-
White, as aforesaid, and acknowledged the foregoing instrument to be their free act and
deed.

Before me,

[Signature]
Notary Public/Attorney-at-Law
Print Name: Peter L. Murray
My commission expires: _____

EXHIBIT A

A certain triangular shaped lot or parcel of land situated on the southeasterly sideline of Calumet Avenue, on Cushing's Island, in the City of Portland, County of Cumberland, and State of Maine, being more particularly bounded and described as follows:

Beginning at a found #5 steel rebar with survey cap #1175 on the assumed southeasterly sideline of Calumet Avenue marking the northwesterly corner of the herein described premises, the northeasterly corner of land described in a deed from Roberta M. Weil to Alison L. Anholt-White and Nicholas R. White, dated April 21, 1995 and recorded at the Cumberland County Registry of Deeds in Book 11891, Page 147, and the northwesterly corner of land described as Parcel 2 in a deed from Cushings Conversion Limited Liability Company to Cushings Island Conservation Corporation, dated December 26, 1995 and recorded at said Registry of Deeds in Book 12287, Page 12;

Thence $S25^{\circ}55'00''E$ along said land of White, a distance of one hundred ninety-five and sixteen hundredths (195.16') feet to a found #5 steel rebar with survey cap #1175 marking the southerly corner of the herein described premises;

Thence $N22^{\circ}59'W$ through said land of Cushings Island Conservation Corporation, a distance of one hundred ninety-four and five tenths (194.5') feet to a #5 steel rebar with survey cap #2124 to be set marking the northeasterly corner of the herein described parcel on said southeasterly sideline of Calumet Avenue;

Thence $S69^{\circ}24'03''W$ along said southeasterly sideline of Calumet Avenue, a distance of ten and no hundredths (10.00') feet to the point of beginning.

Total area of the herein described parcel equals 971 square feet. The bearings in this description are Magnetic North of 1934 per plan entitled "Standard Boundary Survey Land of Roberta M. Weil, Shore Road, Cushing's Island, Portland, Maine", dated August 12, 1993, revised August 31, 1993 by Brian Smith Surveying, Inc., recorded October 6, 1994 in the Cumberland County Registry of Deeds in Book 194, Page 328.

Meaning and intending to describe a portion of the premises described as Parcel 2 in a deed from Cushings Conversion Limited Liability Company to Cushings Island Conservation Corporation, dated December 26, 1995 and recorded at the Cumberland County Registry of Deeds in Book 12287, Page 12.

EXHIBIT B

A certain triangular shaped lot or parcel of land situated southeasterly of, but not adjacent to, the southeasterly sideline of Calumet Avenue, on Cushing's Island, in the City of Portland, County of Cumberland, and State of Maine, being more particularly bounded and described as follows:

Beginning at a found #5 steel rebar with survey cap #1175 marking the southeasterly corner of the herein described premises, the southeasterly corner of land described in a deed from Roberta M. Weil to Alison L. Anholt-White and Nicholas R. White, dated April 21, 1995 and recorded at the Cumberland County Registry of Deeds in Book 11891, Page 147, and a corner of land described as Parcel 2 in a deed from Cushings Conversion Limited Liability Company to Cushings Island Conservation Corporation, dated December 26, 1995 and recorded in said Registry of Deeds in Book 12287, Page 12;

Thence $N25^{\circ}55'00''W$ along said land of Cushings Island Conservation Corporation, a distance of one hundred twenty-seven and eighty hundredths ($127.80'$) feet to a found #5 steel rebar with survey cap #1175 marking the northerly corner of the herein described premises;

Thence $S19^{\circ}09'40''E$ through said land of White, a distance of one hundred twenty-nine and twenty-five hundredths ($129.25'$) feet to a #5 steel rebar with survey cap #2124 to be set marking the southwesterly corner of the herein described parcel on the northwesterly line of said Cushings Island Conservation Corporation;

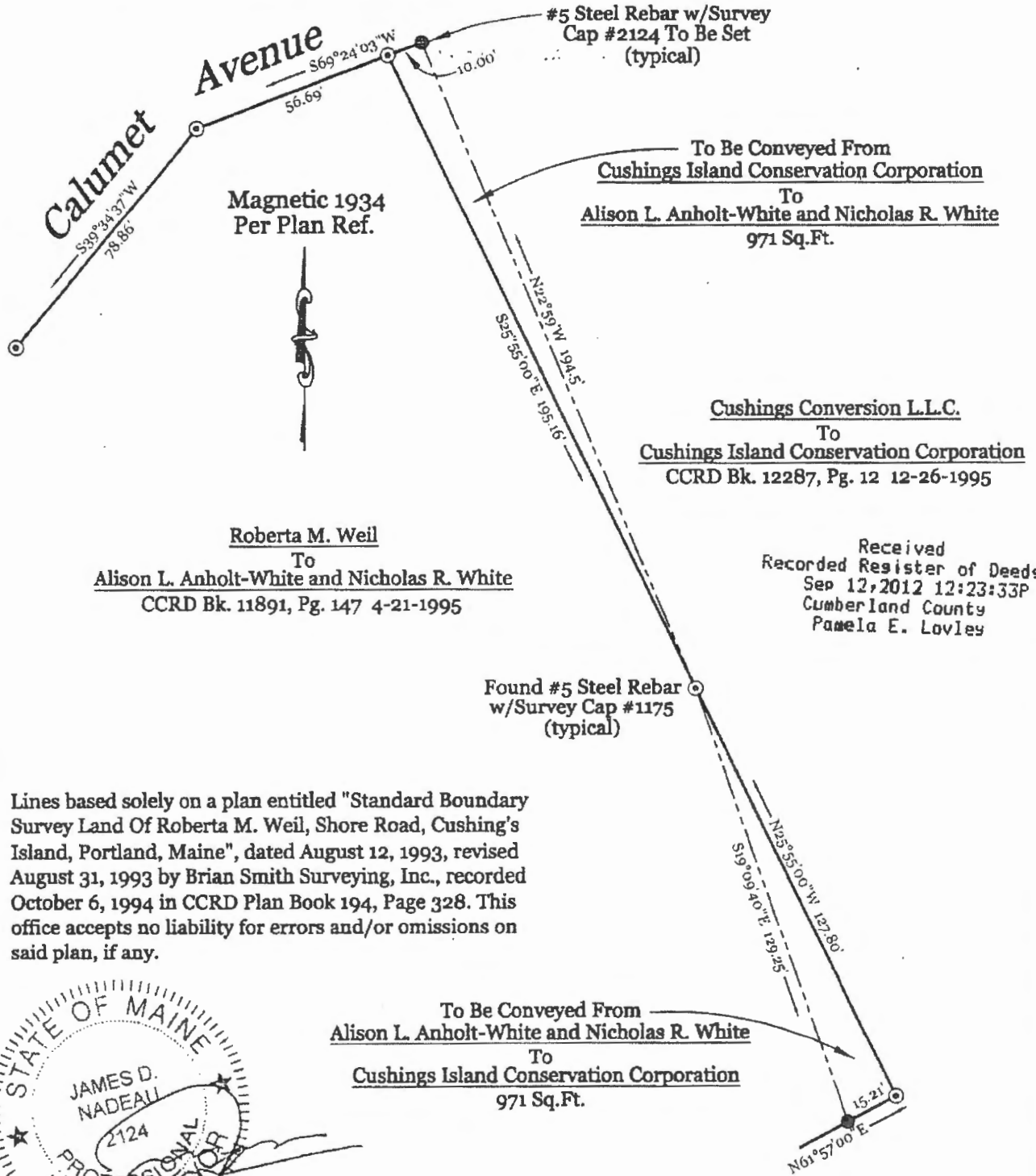
Thence $N61^{\circ}57'00''E$ along said land of Cushings Island Conservation Corporation, a distance of fifteen and twenty-one hundredths ($15.21'$) feet to the point of beginning.

Total area of the herein described parcel equals 971 square feet. The bearings in this description are Magnetic North of 1934 per plan entitled "Standard Boundary Survey Land of Roberta M. Weil, Shore Road, Cushing's Island, Portland, Maine", dated August 12, 1993, revised August 31, 1993 by Brian Smith Surveying, Inc., recorded October 6, 1994 in the Cumberland County Registry of Deeds in Book 194, Page 328.

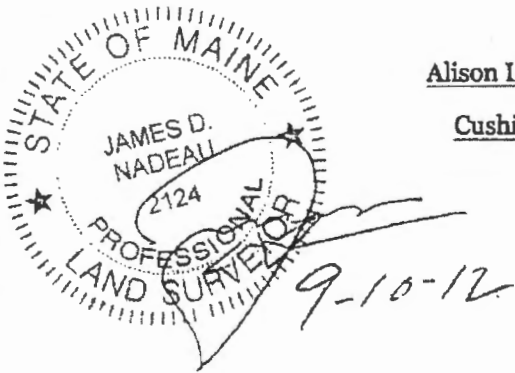
Meaning and intending to describe a portion of the premises described in a deed from Roberta M. Weil to Alison L. Anholt-White and Nicholas R. White, dated April 21, 1995 and recorded at the Cumberland County Registry of Deeds in Book 11891, Page 147.

Sketch For Anholt-White Exhibit

Calumet Avenue, Cushing's Island, Maine 04112 September 10, 2012 1" = 40'
Job #2121277 Nadeau Land Surveys, 918 Brighton Ave., Portland, Maine 04102



Lines based solely on a plan entitled "Standard Boundary Survey Land Of Roberta M. Weil, Shore Road, Cushing's Island, Portland, Maine", dated August 12, 1993, revised August 31, 1993 by Brian Smith Surveying, Inc., recorded October 6, 1994 in CCRD Plan Book 194, Page 328. This office accepts no liability for errors and/or omissions on said plan, if any.



To Be Conveyed From
Alison L. Anholt-White and Nicholas R. White
To
Cushing's Island Conservation Corporation
971 Sq.Ft.

This is not a Boundary Survey
Apparent property lines depicted hereon based on existing monumentation found in the vicinity.

RECORD OF BUILDINGS

GRADE DENOTES QUALITY OF CONSTRUCTION: A—EXCELLENT; B—GOOD; C—AVERAGE; D—CHEAP; E—VERY CHEAP

JUN 26 1956
#2

YEAR 19

CONSTRUCTION

FOUNDATION		FLOOR CONST.			PLUMBING	
CONCRETE		WOOD JOIST			BATHROOM	<input checked="" type="checkbox"/>
CONCRETE BLOCK		STEEL JOIST			TOILET ROOM	<input checked="" type="checkbox"/>
BRICK OR STONE	<input checked="" type="checkbox"/>	MILL TYPE			WATER CLOSET	
PIERS		REIN. CONCRETE			LAVATORY	
CELLAR AREA FULL		FLOOR FINISH			KITCHEN SINK	<input checked="" type="checkbox"/>
1/4 1/2 3/4			B	1 2 3	STD. WAT. HEAT	<input checked="" type="checkbox"/>
NO. CELLAR	<input checked="" type="checkbox"/>	CEMENT			AUTO. WAT. HEAT	<input checked="" type="checkbox"/>
EXTERIOR WALLS		EARTH			ELECT. WAT. SYST.	
CLAPBOARDS	<input checked="" type="checkbox"/>	PINE		<input checked="" type="checkbox"/>	LAUNDRY TUBS	
WIDE SIDING		HARDWOOD			NO PLUMBING	
DROP SIDING		TERRAZZO			TILING	
NO SHEATHING		TILE			BATH FL. & WCOT.	
WOOD SHINGLES					TOILET FL. & WCOT.	
ASBES. SHINGLES		ATTIC FLR. & STAIRS			LIGHTING	
STUCCO ON FRAME		INTERIOR FINISH			ELECTRIC	<input checked="" type="checkbox"/>
STUCCO ON TILE			B	1 2 3	NO LIGHTING	
BRICK VENEER		PINE		<input checked="" type="checkbox"/>	NO. OF ROOMS	
BRICK ON TILE		HARDWOOD			BSMT.	2ND
SOLID BRICK		PLASTER			1ST <i>H</i>	3RD
STONE VENEER		UNFINISHED			OCCUPANCY	
CONC. OR CIND. BL.		METAL CLG.			SINGLE FAMILY	<input checked="" type="checkbox"/>
		<i>WB</i>			TWO FAMILY	
TERRA COTTA		<i>WB</i>			APARTMENT	
VITROLITE		RECREAT. ROOM			STORE	
PLATE GLASS		FINISHED ATTIC			THEATRE	
INSULATION		FIREPLACE		<input checked="" type="checkbox"/>	HOTEL	
WEATHERSTRIP		HEATING			OFFICES	
ROOFING		PIPELESS FURNACE			WAREHOUSE	
ASPH. SHINGLES	<input checked="" type="checkbox"/>	HOT AIR FURNACE			COMM. GARAGE	
WOOD SHINGLES		FORCED AIR FURN.			GAS STATION	
ASBES. SHINGLES		STEAM			ECONOMIC CLASS	
SLATE TILE		HOT WAT. OR VAPOR			OVER BUILT	
METAL		NO HEATING		<input checked="" type="checkbox"/>	UNDER BUILT	
COMPOSITION					DT.	AR. <i>32</i>
ROLL ROOFING		GAS BURNER			LD. <i>1st</i>	PD. <i>32</i>
INSULATION		OIL BURNER			MS. <i>52</i>	CK. <i>32</i>
		STOKER				

COMPUTATIONS

UNIT	1951				
616 S. F.	1340				
S. F.					
ADDITIONS	—				
BASEMENT					
WALLS					
ROOF					
FLOORS					
ATTIC					
FINISH	-130				
FIREPLACE	+160				
HEATING					
PLUMBING	+240				
TILING					
TOTAL	1640				
FACT. +10	+130				
REP. VAL.	1770				

photo - view 1935

FR. 22x28

SUMMARY OF BUILDINGS

OCC'Y	TYPE	GR.	AGE	REMOD.	COND.	REP. VAL.	P. D.	PHY. VAL.	F. D.	SOUND VAL.	TAX VAL.	YR.
COTTAGE	A 1 1/2 FR	DC	16			1770	25/10	1330	A	1330	800	
	B								B			
	C								C			
	D								D			
	E								E			
	F								F			
	G								G			
YEAR	1951					1951 TOTAL BLDGS.				1330	800	
TAX VAL.						19			19			
OLD VAL.						19			19			
CHANGE						19			19			

MEMORANDUM

RECEIVED

RECEIVED SEP 10 2012

DATE: September 5, 2012
TO: Trevor Thaxter,
Thaxter Company
55 Bell Street
Portland ME 04103
653-8346 Dept. of Building Inspections
City of Portland Maine
SEP 10 2012
PROJECT: Anholt – White Cottage, 66 Shore Road, Cushing Island
RE: Comments from City of Portland Planning & Urban Development Department
BY: Stephen Blatt / Ron Rioux, SBA

The following are responses to comments dated August 24, 2012 from Philip DiPierro of the City Of Portland Planning Division regarding the Anholt – White Cottage.

- Survey Requirements:
 - Please submit a revised survey to include the following information:
 - Please add Name and address, and the deed book and page numbers of the current property owner to the survey.
 - **Response: To be provided by Nadeau Land Surveys.**
 - Please add the flood zone information to the survey, ie. What zone the property is based on the FEMA Flood Insurance Rate Map,
 - **Response: This is shown on the topo survey by Nadeau Land Surveys.**
 - Please add a revision block to the survey,
 - **Response: To be shown on topo survey by Nadeau Land Surveys.**
 - Boundary Survey plans, based on the State of Maine Professional Licensing Boards legal requirements, shall bear the seal of a Professional Land Surveyor licensed to practice in the State of Maine. Please add the surveyor's seal to the survey.
 - **Response: See Standard Boundary Survey for Land of Roberta M. Weil, Shore Road, Cushing's Island, Portland Maine, and Dated August 31, 1993, certified and sealed by Brian Smith Surveying Inc.**
 - Property Corners: Location and description of all property corners set or found, proposed to be set, and all granite survey monuments set. Please note, where no property markers exist, The City of Portland requires that the property marker be installed and that a licensed surveyor set and confirm proposed building locations on site prior to the issuance of a building permit.
 - **Response: See Survey noted above showing property markers.**

areas, such as porch and office are supported on posts and open below.

- Please show how you plan to connect the water utility to the well and the sewer utility to the septic system.
 - **Response: The water service will be connected to the existing seasonal Portland Water District service in the street. A well will be added for use during the off season. A note has been added to the site plan.**
 - **The sewer will be connected to the existing sewer line and septic system. A note has been added to the site plan.**

- Please include the soil type on the plan.
 - **Response: The septic system is existing and will be reused. New foundations and footings will bear on existing ledge. Ledge in the area of the existing and new cottage is predominantly near ground surface.**

- Please add erosion control plan to include silt fence or erosion control mix around the disturbed areas along both sides and the front of the site.
 - **Response: Silt fence has been added to the site plan.**

- Please show existing vegetation that is to be preserved that meets the City's landscape preservation standard, including proposed street trees that meet the City's arboriculture standard for minimum tree size,
 - **Response: The line of existing vegetation has been added to the site plan. The new cottage replaces the existing cottage. There is no significant vegetation in the building footprint.**
 - **Some vegetation will be removed for construction of the gravel driveway.**

- Please show the location, area in square feet, and the limits of the proposed site disturbance on the site plan,
 - **Response: The area to be disturbed is limited to the foot print of the existing cottage and the new cottage that mostly overlays the existing. The area of disturbance for the cottage is approximately 1500 s.f.**
 - **The area of disturbance for the driveway is approximately 2700 s.f.**
 - **These areas have been added to the site plan.**

- Please show the foundation/ perimeter drain outlet on the site plan,
 - **Response: Most of the cottage is sitting on ledge that is near ground surface. A perimeter drain will be installed on the out side perimeter of the crawl space foundation as ledge permits. A note has been added to the site plan.**

- Please reduce the width of the driveway opening at the street line. The maximum allowable driveway width at the curb line is 24 feet per City of Portland Technical Manual.
 - **Response: The width of the curb opening at the street line has been reduced to 20 feet and shown on the site plan.**

- Zoning Requirements:
 - Please submit a revised site plan that includes the following information:
 - The site plan needs to show the 75' setback and the 250' set back from high tide for the Shoreland Zone.
 - **Response: The 75 foot setback from the high water has been added to the site plan.**
 - **Both the 75 and the 250 foot setbacks are shown on the topo survey by Nadeau Land Surveys.**
 - The existing cottage does not meet the 20' setback on the right side of the property. There is no evidence that the existing footprint is legal. If the owner can't show that the footprint was permitted, the new structure must be relocated to meet the 20' side setback.
 - **Response: Records confirming the legality of the existing foot print could not be found. The cottage has been moved to the east to conform to the 20 foot side setback.**
 - The Planning Authority may request additional information during the continued review of the proposal according to applicable laws, ordinances and regulations.
- Additional Submittals Required:
 - The Planning Authority may request additional information during the continued review of the proposal according to applicable laws, ordinances and regulations.

Please submit (3) complete sets of revised final plans to address staff comments.

Attached (3) complete sets of revised final plans:

Cover Drawing with Site Plan

Topographical Survey: Nadeau Land Surveys

Boundary Survey: Standard Boundary Survey for Land of Roberta M. Weil, Shore Road, Cushing's Island, Portland Maine, Dated Revised August 31, 1993, certified by Brian Smith Surveying Inc.

CC: File

5 South Street

Post Office Box
583 DTS

Portland, Maine
04112-0583

Voice:
207.761.5911

Fax:
207.761.2105

Email:
sba@sbarchitects.com

Stephen Blatt
Architects

MEMORANDUM

DATE: September 10, 2012

TO: Trevor Thaxter,
Thaxter Company
55 Bell Street
Portland ME 04103

PROJECT: Anholt – White Cottage, 66 Shore Road, Cushing Island

RE: Land Swap and Clearing Area

BY: Ron Rioux, SBA

Trevor,

Attached PDF files of the following:

- 1 Survey Sketch of the Land Swap for the driveway
- 2 Revised cover drawing with the Land Swap area
- 3 ASK-3 sketch showing the total property area within the 250 ft set back from high water, the existing cleared area and the new area to be cleared for the driveway. The area calculations are shown on the sketch. We have recalculated the driveway area.

CC: File

RECEIVED

SEP 11 2012

Dept. of Building Inspections
City of Portland Maine

5 South Street

Post Office Box
583 DTS

Portland, Maine
04112-0583

Voice:
207.761.5911

Fax:
207.761.2105

Email:
sba@sbarchitects.com

Owner
Applicant: Nick White & Alison Anhalt-White

Date: 8/23/12

Address: 66 Shore Rd, Cushings Island

C-B-L: 109A 106A C013, 16/017

CHECK-LIST AGAINST ZONING ORDINANCE

Permit # - 2012-08-4687

Approved site plan 9/10/12

revised site plan 9/11/12

Date - original house built 1935 - dem permit. 2012-08-4687 - building new cottage

Zone Location - IR-1

Interior or corner lot -

Proposed Use/Work - build new two story single family home.

Sevage Disposal - private

Lot Street Frontage - 100' min. - 205.7' given (OK) on survey

Front Yard - 30' min - scales @ ~~55'~~ 60' (OK) ✓

Rear Yard - 30' min - scales @ 207' from survey ✓

Side Yard - 20' min @ scales @ 13.25' on left side - scales @ exactly 20' on right side.
scales @ 12.2' on left (OK) from landing ✓

Projections -

Width of Lot - 100' min. - 200' scaled on survey (OK)
25.55' scaled

Height - 35' max - 25' scaled (OK) from existing side

Lot Area - ~~40,000~~ 60,000 sq. ft. min. - 1.7 acres given 74052 (OK)

Lot Coverage / Impervious Surface - 20% = 14,810

3x6	= 12
4x13	= 52
4x9.5	= 38
28x24	= 672
11x10	= 110
12x18	= 216
1/2(8.5x14)	= 72.5
<hr/>	
	1,176.5 (OK)

Area per Family -

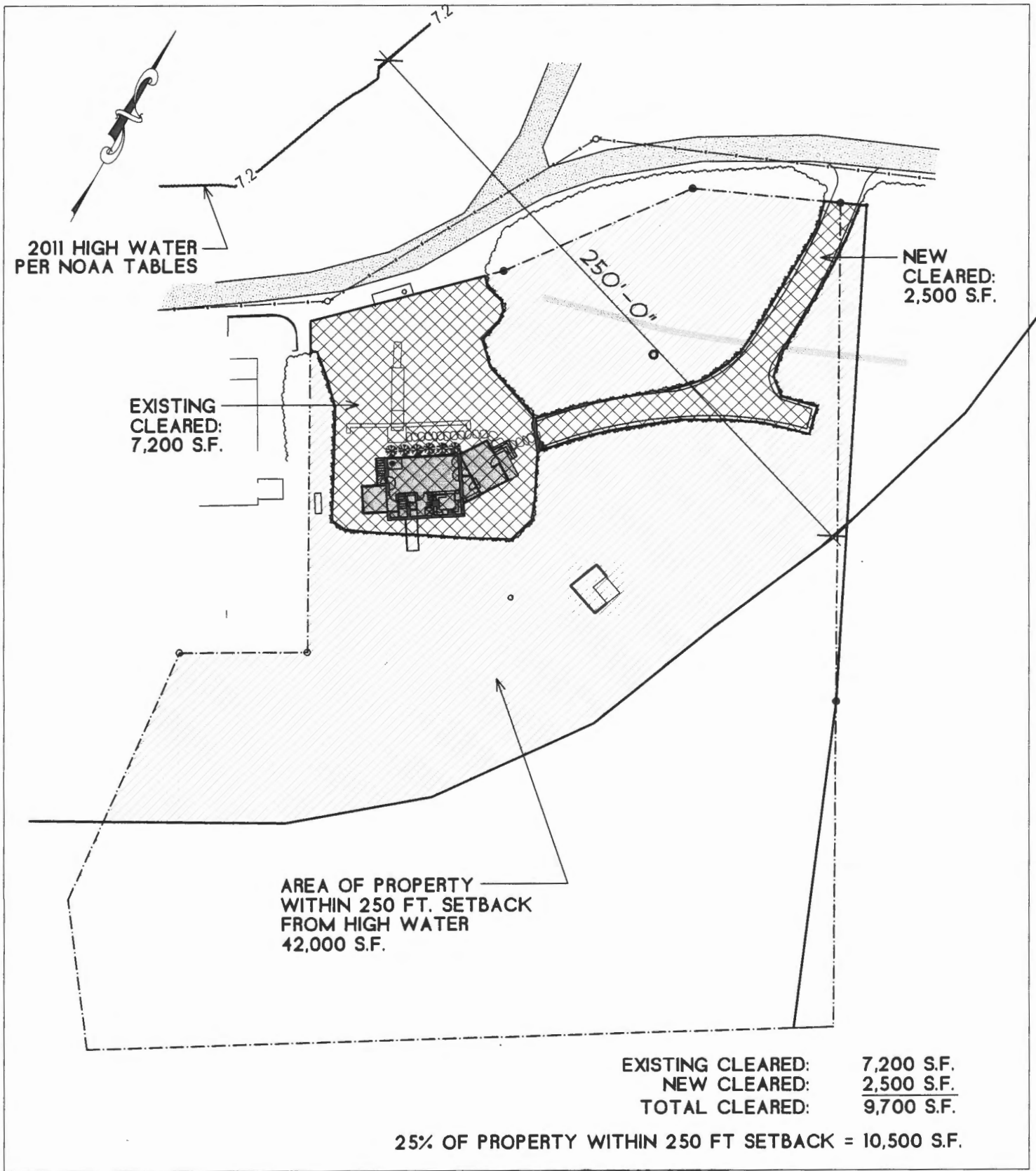
Off-street Parking - 2 spaces - dr - 11' wide - 90' beyond setback (OK)

Loading Bays - N/A

Site Plan - Level I Minor Residential.

Shoreland Zoning/ Stream Protection - Property w/in 250' - structure beyond - entry clearing (OK)
Cleared area - existing & proposed 23%

Flood Plains - Zone C - map 17



RECEIVED

Date: SEPTEMBER 10, 2012

SEP 11 2012

Anholt-White Cottage,
Cushings Island,
Portland, Maine

Stephen Blatt
Architects

Addendum:
Reference: COVER

Dept. of Building Inspections
City of Portland Maine

ASK-3

Sketch For Anholt-White Exhibit

Calumet Avenue, Cushing's Island, Maine 04112 September 10, 2012 1" = 40'
 Job #2121277 Nadeau Land Surveys, 918 Brighton Ave., Portland, Maine 04102



Roberta M. Weil
 To
Alison L. Anholt-White and Nicholas R. White
 CCRD Bk. 11891, Pg. 147 4-21-1995

Cushings Conversion L.L.C.
 To
Cushings Island Conservation Corporation
 CCRD Bk. 12287, Pg. 12 12-26-1995

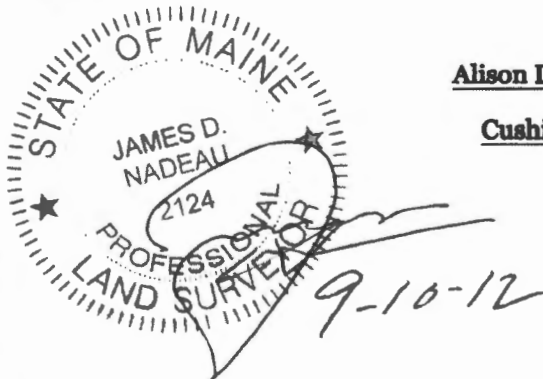
RECEIVED

SEP 11 2012

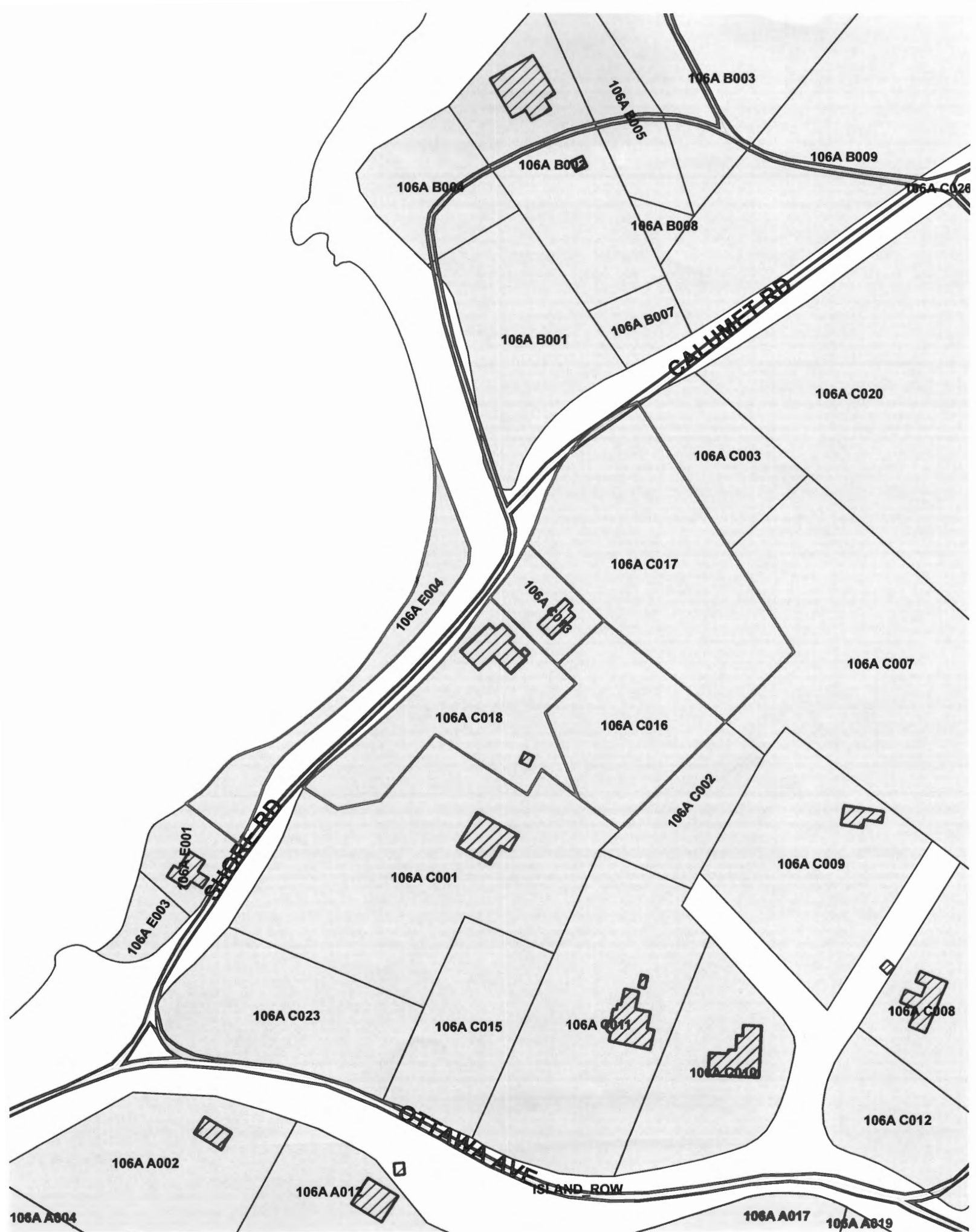
Dept. of Building Inspections
 City of Portland Maine

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To Be Conveyed From
Alison L. Anholt-White and Nicholas R. White
 To
Cushings Island Conservation Corporation
 971 Sq.Ft.



This is not a Boundary Survey
 Apparent property lines depicted hereon based on existing monumentation found in the vicinity.



ANHOLT-WHITE ALISON L &
NICHOLAS R JTS
9 SPY ROCK HILL
MANCHESTER , MA 01944

CUSHINGS ISLAND CONSERVATION
CORPORATION
PO BOX 334
PORTLAND, ME 04112

GREGG TRUST
EDWARD PRENETA TRUSTEE
12 WOODSIDE DRIVE
UNIONVILLE, CT 06085

ROCKECLIFF LLC
77 DAVIS ST
SOUTH PORTLAND , ME 04106

THAYER PHILIP K ETALS
39 OAK AVE
BELMONT , MA 02478

Labels Requested For CBL:

106A C001

106A C002

106A C013

106A C018

106A E001

GIS_ROW

GIS_TIDAL

IMPORTANT NOTICE FROM CITY OF PORTLAND

To residents and property owners: A Level I Minor Residential Development application was submitted to the Portland Inspections Division by Alison Anholt-White and Nicholas White to build a new single family home at 66 Shore Road, Cushings Island.

In accordance with the Portland Land Use Ordinance, notices of receipt of a Level I Minor Residential Development application must be sent to neighbors. This application will be reviewed administratively by City Staff.

Plans are available in the Portland Inspections Division, Room 315, City Hall. If you have any questions or wish to submit comments, contact Ann Machado, Zoning Specialist at 874-8709 or email amachado@portlandmaine.gov

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Gayle Guertin - 66 Shore Road Cushings Island

From: Gayle Guertin
To: Ann Machado; Marge Schmuckal
Date: 8/27/2012 2:23 PM
Subject: 66 Shore Road Cushings Island
CC: Gayle Guertin

Sent out the abutter notices for 66 shore Road as of 8-27-12.

Gayle

FOUNDATION NOTES:

- DESIGN BEARING CAPACITY TO BE FOUND ON LEDE.
- PLACE FOOTINGS DIRECTLY ON LEDE. STRIP SOIL COVER AND CLEAN ALL LOOSE MATERIAL FROM LEDE SURFACE BEFORE CONSTRUCTING FOOTINGS. MINIMUM FOOTING THICKNESS = 4" UNLESS OTHERWISE NOTED. UNDESIRABLE MATERIALS ARE ENCOUNTERED AT FOOTING SURFACE.
- UNDER SLAB, REMOVE TOPSOIL AND UNDESIRABLE MATERIALS. FILL TO SLAB SUBGRADE ELEVATION WITH GRAVEL.
- UNDER SLAB COMPACT MATERIAL TO 95% OF MAX. DENSITY DETERMINED BY ASTM D693, MOISTED.
- PROVIDE MATERIAL MEETING THE FOLLOWING GRADATIONS BY HEIGHT:

STRUCTURAL FILL:	SEIVE SIZE	% PASSING
	NO. 40	100
	NO. 200	0 - 5
- SAND:

SEIVE SIZE	% PASSING
NO. 4	100
NO. 10	85 - 100
NO. 20	7 - 10

CONCRETE NOTES:

- DESIGN CODE: AC 308-08
- MIN. 28 DAY COMPRESSIVE STRENGTH 3,000 PSF
 - FOUNDATIONS: MAX. WATER CEMENT RATIO, 0.50
MIN. CEMENT CONTENT, 400 LBS. PER CU. YD.
SUMP, NOT MORE THAN 4"
MAX. AGGREGATE SIZE, 3/4"
AIR CONTENT: 4 - 6%
 - SLABS: MAX. WATER CEMENT RATIO, 0.50
MIN. CEMENT CONTENT, 441 LBS. PER CU. YD.
SUMP, NOT MORE THAN 5"
MAX. AGGREGATE SIZE, 3/4"
AIR CONTENT: 5% (INCLUDES STRIPPED AIR)
(NO ENTRAINED AIR PERMITTED)
- REINFORCEMENT: GRADE 40, ASTM A63
- MIN. CONCRETE COVER: 3" FOR CONCRETE CAST AGAINST SOIL
2" FOR OTHER CONCRETE UNLESS SHOWN OTHERWISE.

- PROVIDE CONTROL JOINTS OR CONSTRUCTION JOINTS IN FOUNDATION WALLS 6" MIN. CLEARANCE FROM CORNERS WHERE POSSIBLE. LOCATE CONTROL JOINTS AWAY FROM WALL CORNERS WHERE POSSIBLE.

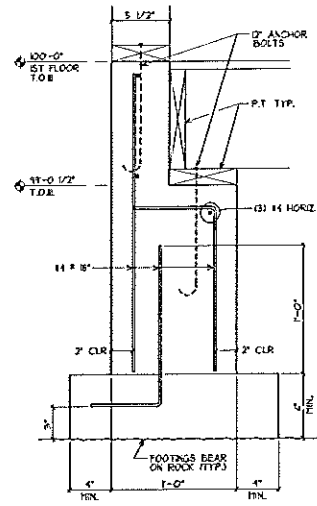
- SPICE LENGTHS UNLESS SHOWN OTHERWISE:

HORIZONTAL BARS IN WALLS	LONGITUDINAL BARS IN FOOTINGS
NO. 4: 12"	12"
NO. 5: 12"	12"
NO. 6: 12"	12"
NO. 7: 12"	12"
NO. 8: 12"	12"

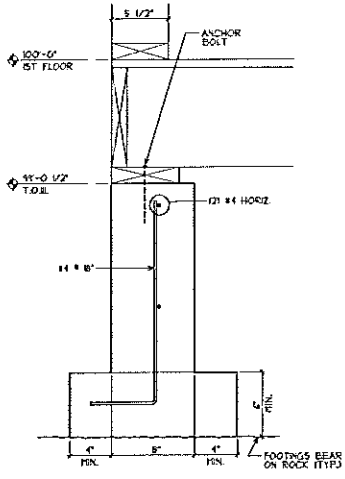
- COORDINATE PENETRATIONS THRU CONCRETE WITH ARCHITECTURAL, CIVIL, MECHANICAL AND ELECTRICAL DRAWINGS.

GENERAL NOTES

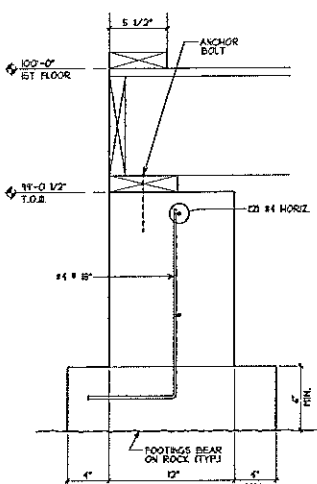
- SEE BUILDING SECTIONS FOR CEILING FRAMING.
- SEE S2 FOR GOOD FRAMING NOTES.



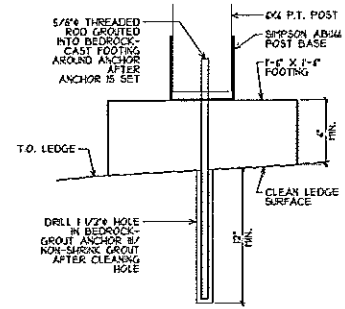
A DETAIL @ HIGH WALL
SCALE: 1 1/2" = 1'-0"



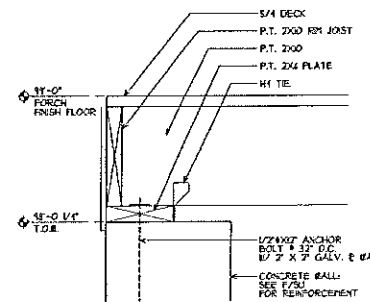
B TYPICAL FOUNDATION DETAIL
SCALE: 1 1/2" = 1'-0"



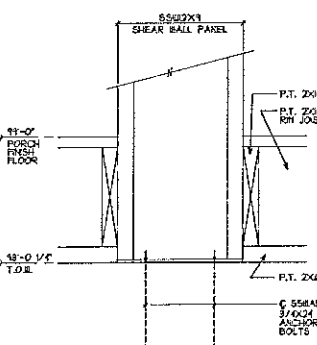
C FOUNDATION DETAIL
SCALE: 1 1/2" = 1'-0"



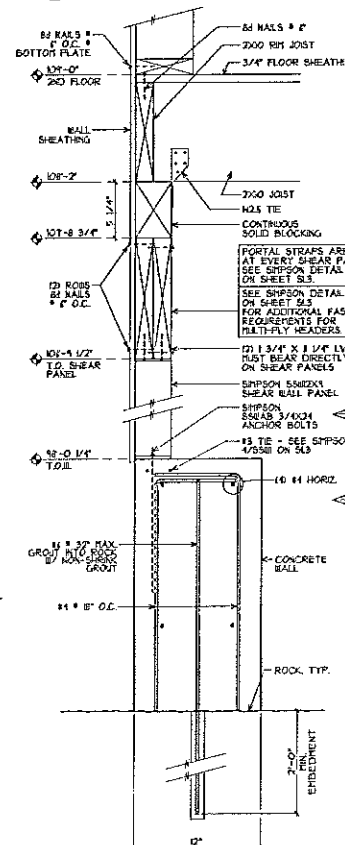
CI ANCHORAGE @ POST FOOTINGS
SCALE: 1 1/2" = 1'-0"



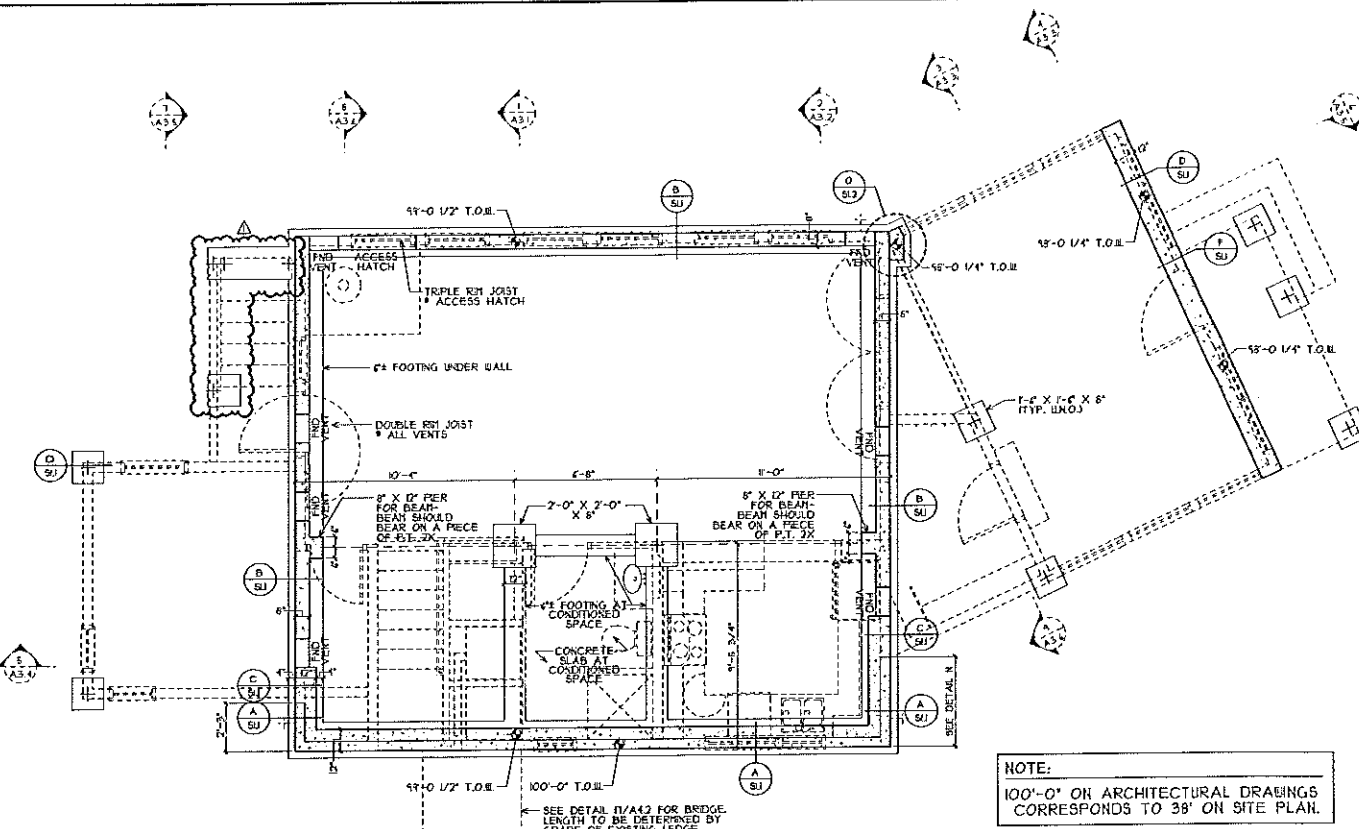
D DETAIL @ SHEAR WALL BETWEEN SHEAR WALL PANELS
SCALE: 1 1/2" = 1'-0"



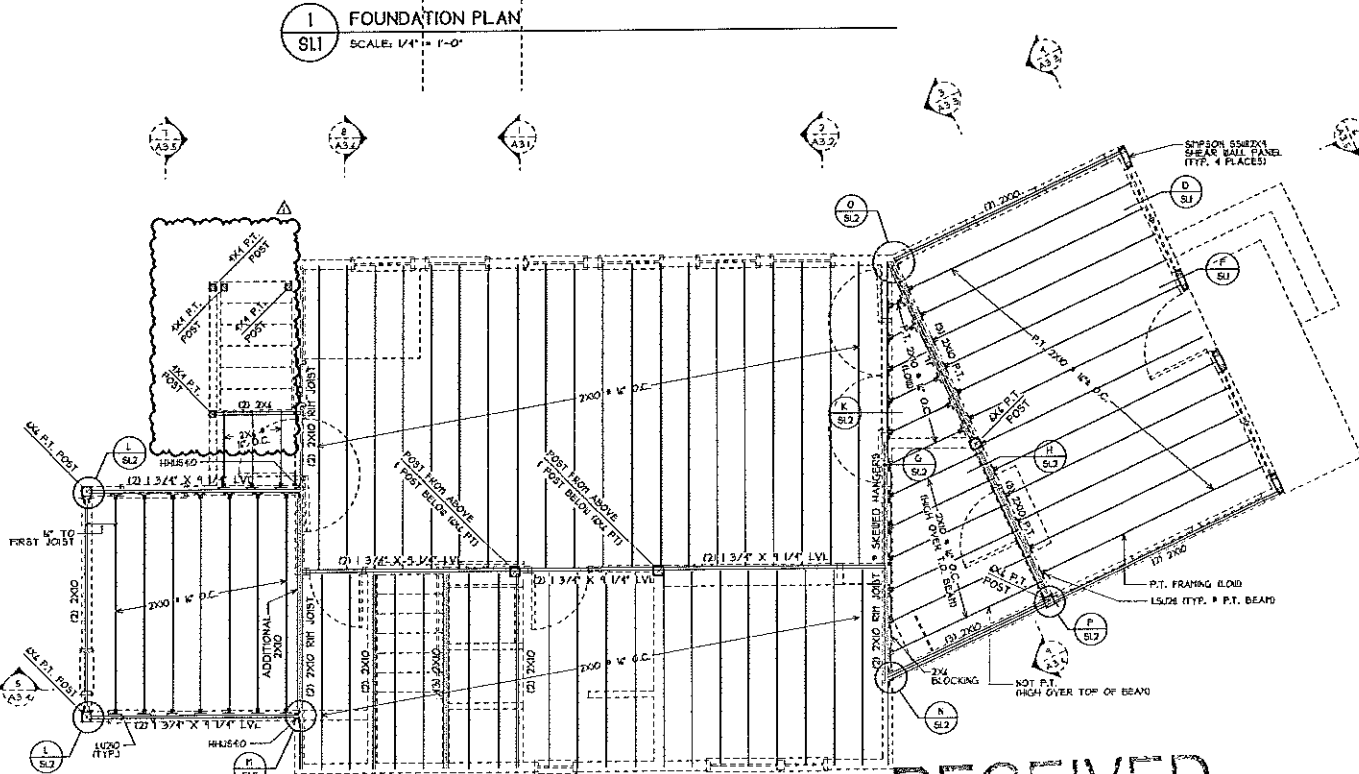
E SECT. AT SHEAR PANEL
SCALE: 1 1/2" = 1'-0"



F DETAIL @ SHEAR WALL
SCALE: 1 1/2" = 1'-0"



1 FOUNDATION PLAN
SCALE: 1/4" = 1'-0"



2 FIRST FLOOR FRAMING
SCALE: 1/4" = 1'-0"

NOTE:
100'-0" ON ARCHITECTURAL DRAWINGS
CORRESPONDS TO 38" ON SITE PLAN.

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Revisions
AUGUST 8, 2012

Job No: 11.11
Date: 17 MAY 2012
Scale: AS NOTED
Drawn by: CR
Checked by: S.B.

Drawing Title:
Foundation Plan,
First Floor Framing Plan,
Notes

S1.1
FOR CONSTRUCTION

RECEIVED

AUG 13 2012

Dept. of Building Inspection
City of Portland Maine

WOOD FRAMING NOTES:

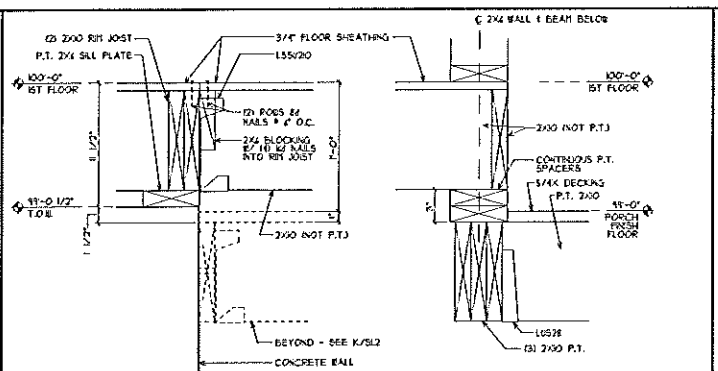
- STRUCTURAL LUMBER: NO. 2 SPOUCE-PINE-FR OR BETTER, MAX. MOISTURE CONTENT.
PRESSURE TREATED LUMBER: NO. 2 OR BETTER SOUTHERN YELLOW PINE LAMINATED VENEER LUMBER (LVL) EQUIVALENT TO VERRA-LAM 20 300 FOR BEAMS AND VERRA-LAM 11 350 FOR POSTS AND COLUMNS BY BOSE ENGINEERED WOOD PRODUCTS.
LUMBER SIZES SHOWN ARE NOMINAL SIZES.
- DESIGN CODES: NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION BY THE AMERICAN FOREST & PAPER ASSOCIATION.
- FASTENERS: COMPLY WITH RECOMMENDED FASTENING SCHEDULES OF THE 2004 INTERNATIONAL BUILDING CODES UNLESS SHOWN OTHERWISE ON THE DRAWINGS.
- NAILING REQUIREMENTS FOR PLYWOOD FLOOR DECKS, ROOF DECK, AND SHEATHING: PROVIDE IN CONCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS FOR JOIST OR RIGID JOIST NAILS FOR FLOORS AS FOLLOWS UNLESS SHOWN OTHERWISE:
C. O.C. ALONG ALL PANEL EDGES
D. O.C. ALONG INTERMEDIATE JOISTS FOR ROOF AND WALLS
E. O.C. ALONG INTERMEDIATE JOISTS FOR FLOORS
SEE DETAILS FOR NAILING REQUIREMENTS FOR SHEAR WALLS.
- JOIN TOGETHER ALL FRAMING MEMBERS WHICH ARE BUILT-UP USING 2-RODS OF 1/2" NAILS AT 6" O.C. STAGGERED.
- PROVIDE GALVANIZED METAL JOIST HANGERS AT RUSH FRAMED CONNECTIONS IF SIZES ARE NOT SHOWN ON PLANS FOR SINGLE JOIST PROVIDE HANGERS EQUAL TO SIMPSON UHQ OR LUHQ FOR BUILT-UP JOISTS PROVIDE SIMPSON U OR LU SERIES HANGERS AS REQUIRED BY SIZE OF MEMBER.
- PROVIDE GALVANIZED METAL RAFTER TIES EQUAL TO SIMPSON H 25 BETWEEN RAFTERS ON ROOF TRUSSES AND SUPPORTING WALLS OR MEMBERS UNLESS SHOWN OTHERWISE.
- PROVIDE DOUBLE TOP PLATE IN ALL EXTERIOR WALLS AND ALL BEARING WALLS. SPACERS TOP PLATE SPACES IN EXTERIOR WALLS 6" O.C. AND PROVIDE AT LEAST 1-1/2" NAILS EACH SIDE OF SPACE.
- PROVIDE PRESSURE TREATED LUGGER FOR ALL LUMBER IN CONTACT WITH MASONRY OR CONCRETE.
- PROVIDE 1/4" OF 2-X2 STUDS AT ENDS OF ALL BUILT-UP 2X BEAMS UNLESS SHOWN OTHERWISE.
- WHERE POST CAPS OR BASES ARE NOT SHOWN ON DRAWINGS, PROVIDE THE FOLLOWING:
POST FRAMING UNDER OR OVER BEAMS: SIMPSON LFC SERIES POST CAPS FOR CAPS AND BASES.
POST FRAMING ON TO SILL: SIMPSON BOC40 OR BOC40 BASES.
POST ON CONCRETE FOOTINGS: SIMPSON AB SERIES BASES WITH 1/2" DIAMETER ANCHOR BOLT.
- ROOF, FLOOR AND WALL SHEATHING: APA RATED SHEATHING, EXPOSURE 1 OR STRUCTURAL I OR II RATED SHEATHING, EXPOSURE 1.
ROOF: SPAN RATING 40/20, MIN. THICKNESS 1/2"
FLOORS: SPAN RATING 40/24, MIN. THICKNESS 23/32", 110 P.N. THICKNESS 3/4"
INSTALL SHEETS WITH FACE GRAIN DIRECTION PERPENDICULAR TO SUPPORTING MEMBERS.
- POSTS:
UNLESS SHOWN OTHERWISE:
POSTS AT BUILT-UP LVL BEAMS: (1) 2X4 IN 4" WALLS
(2) 2X4 IN 4" WALLS
POSTS AT BUILT-UP LUMBER BEAMS:
ALL POSTS TO INDIVIDUAL FOOTINGS: 4X4 P.T.
HEADERS:
ALL HEADERS NOT SHOWN IN FR. PLANS: (1) 2X6 W/ FULL LENGTH PLYWOOD SPACERS
- PROVIDE FULL DEPTH BLOCKING AT ENDS AND INTERIOR SUPPORTS OF ALL JOISTS AND RAFTERS WHERE JOISTS AND RAFTERS FRAME OVER SUPPORTS.
- PROVIDE 100% DIAGONAL BRACING OR FULL DEPTH BLOCKING FOR EACH 8' OF SPAN FOR ALL JOISTS AND RAFTERS.
- PROVIDE 1/2" DIAMETER ANCHOR BOLTS WITH MINIMUM 4" EMBEDMENT INTO FOUNDATION FOR ALL SILL PLATES. PROVIDE A MINIMUM OF 2 BOLTS PER SECTION OF PLATE, ONE BOLT AT EACH END OF EACH SECTION OF PLATE. WITH INTERMEDIATE BOLTS PLACED NOT MORE THAN 6'-0" ON-CENTER.
- WHERE POSTS FRAME THROUGH FLOOR LEVELS, PROVIDE A CONTINUOUS LOAD PATH THROUGH FLOOR TO BEAMS OR FOUNDATION BELOW. POSTS MAY BE SPICED AT FLOOR LEVEL. PROVIDE SOLID BLOCKING WITH CROSS SECTIONAL AREA AND COMPRESSIVE STRENGTH EQUAL TO OR GREATER THAN POSTS AT TOP AND BOTTOM. POSTS ARE NOT IN CONTACT WITH EACH OTHER.
- PROVIDE SOLID BLOCKING AT ENDS OF ALL BEAMS (STEEL & WOOD) TO PREVENT ROTATION OF BEAM END.
- CONNECTIONS - PRESSURE-TREATED (P.T.) WOOD:
FASTENERS AND PLATE FINISHES:
STAINLESS STEEL OR HOT-DIP GALVANIZED PER ASTM A53
LIGHT GAUGE METAL CONNECTIONS:
STEAK OR HOT-DIP GALVANIZED CONNECTIONS BY SIMPSON STRONG-TIE.
WHERE 2X4X OR HDG CONNECTIONS ARE NOT AVAILABLE,
PROVIDE GRACE VIBROR DECK PROTECTOR REBRAKE TO PREVENT CONTACT OF METAL CONNECTION WITH P.T. WOOD.

GENERAL NOTES

- SEE BUILDING SECTIONS FOR CEILING FRAMING.
- SEE S1 FOR FOUNDATION, CONCRETE AND STRUCTURAL STEEL NOTES.

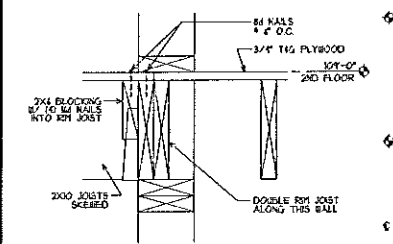
WOOD TRUSS NOTES

- DESIGN CODES:
A. NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION BY THE AMERICAN FOREST & PAPER ASSOCIATION.
B. NATIONAL DESIGN STANDARD FOR METAL PLATE CONNECTED WOOD TRUSS CONSTRUCTION (ANSI/TPI 1).
 - TRUSS MEMBERS: NO. 2 OR BETTER, EX. MAXIMUM MOISTURE CONTENT.
 - TRUSS TEMPORARY BRACING: COMPLY WITH BCSD-80 SUMMARY SHEET. TRUSSES ARE NOT STABLE AND REQUIRE TEMPORARY SUPPORT UNTIL TOP CHORD PLYWOOD AND PERMANENT BRACING ARE INSTALLED.
 - TRUSS PERMANENT BRACING: INSTALL PERMANENT BRACING IN ACCORDANCE WITH BCSD-80 AND BCSD-80 SUMMARY SHEETS AND AS FOLLOWS:
A. PERMANENT BRACING AND NUMBER REINFORCING ENFORCED BY TRUSS DESIGN. PROVIDE 2X BRACING AT ALL JOINTS, CONTINUOUS LATERAL BRACING AND DIAGONAL BRACING AT ALL LOCATIONS REQUIRED BY THE TRUSS DESIGN. PROVIDE 2X BRACING AT ALL JOINTS AND AT INTERVALS NOT TO EXCEED 30 FEET.
B. PERMANENT BOTTOM CHORD BRACING: PROVIDE 2X BRACING AT 10 TO 15 FOOT INTERVALS (AT ALL PANEL POINTS) ALONG LENGTH OF TRUSS. PROVIDE DIAGONAL BRACING AT ALL JOINTS AND AT INTERVALS NOT TO EXCEED 30 FEET.
C. PERMANENT RED ENDER BRACING: PROVIDE 2X4 CONTINUOUS LATERAL BRACING AS SHOWN IN STEP 1 OF BCSD-80 AND LEAVE IN PLACE.
D. PERMANENT TOP CHORD BRACING IS NOT REQUIRED. ADEQUATE BRACING IS PROVIDED BY ROOF PLYWOOD SHEATHING.
 - PROVIDE 2X4 (CONSTRUCTION GRADE OR BETTER) OR 2X4 DO. 3 OR BETTER MEMBERS FOR BRACING. CONNECT BRACING TO EACH TRUSS WITH AT LEAST 2-1/2" MAX. 1/4" DIAMETER BRACING FASTENERS OVER AT LEAST (2) TRUSSES.
 - PROVIDE SIMPSON H-25 TIES AT ALL TRUSS BEARING POINTS UNLESS SHOWN OTHERWISE.
- TRUSS LOADS:
TOP CHORD DL: 10 PSF ON HORIZ. PROJECTION
Q PSF
BOTTOM CHORD DL: 10 PSF
BALANCED SNOB: 4 PSF
CONCENTRATED LOADS: 100 LBS. AT LOCATIONS SHOWN ON ROOF FRAMING PLAN.
PROVIDE VERTICAL RES. MEMBER TO ACCOMMODATE SPECIFIED HANGERS.
- UNBALANCED SNOB:
RIDGE: 8'-0"
H. PSF: 4 PSF

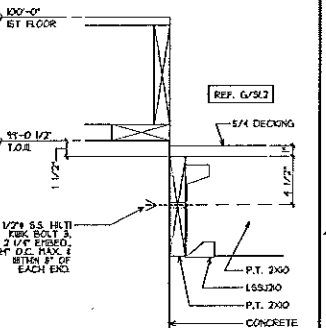


G DINING / MUD DETAIL
SCALE: 1 1/2" = 1'-0"

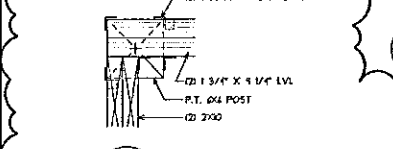
H MUD / PORCH DETAIL
SCALE: 1 1/2" = 1'-0"



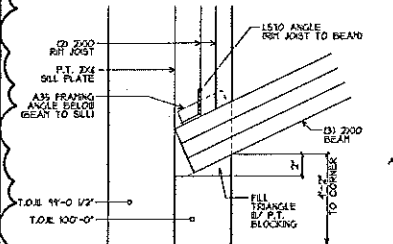
J SECOND FLOOR @ PORCH
SCALE: 1 1/2" = 1'-0"



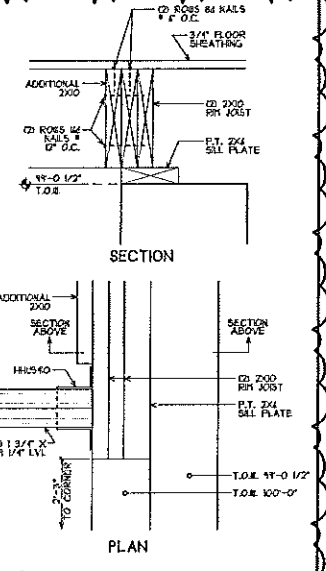
K DINING / PORCH DETAIL
SCALE: 1 1/2" = 1'-0"



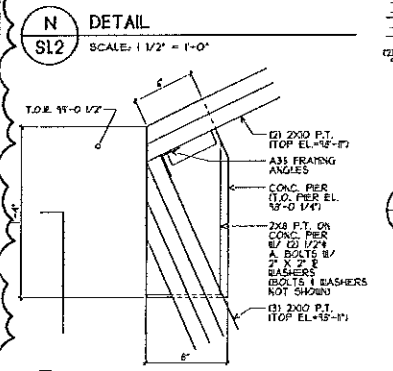
L DETAIL
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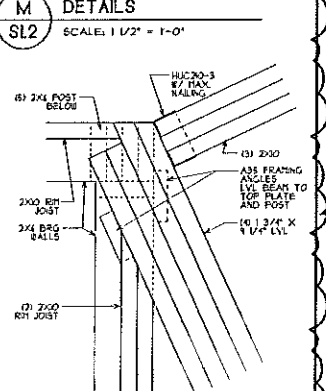
N DETAIL
SCALE: 1 1/2" = 1'-0"



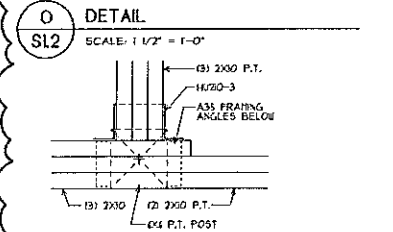
M DETAILS
SCALE: 1 1/2" = 1'-0"



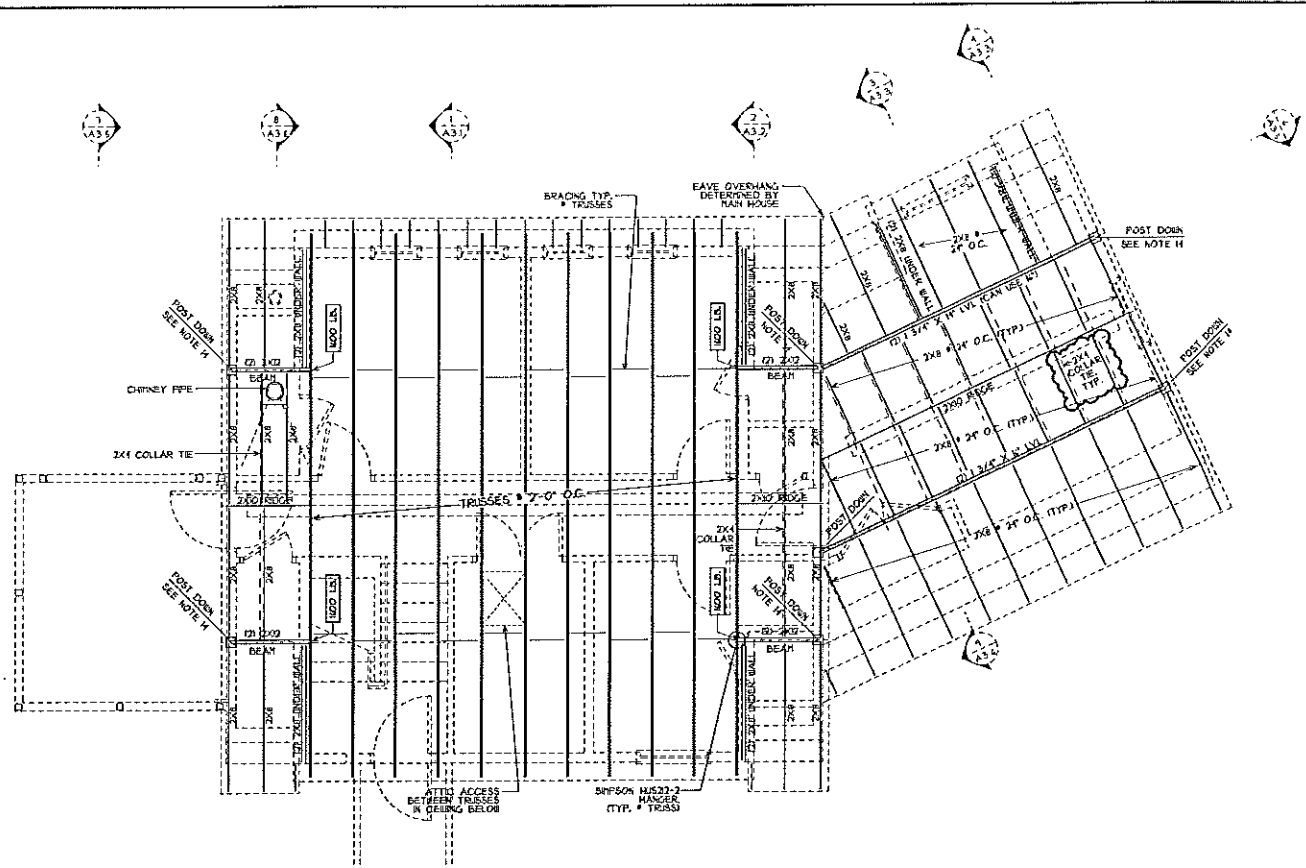
O DETAIL
SCALE: 1 1/2" = 1'-0"



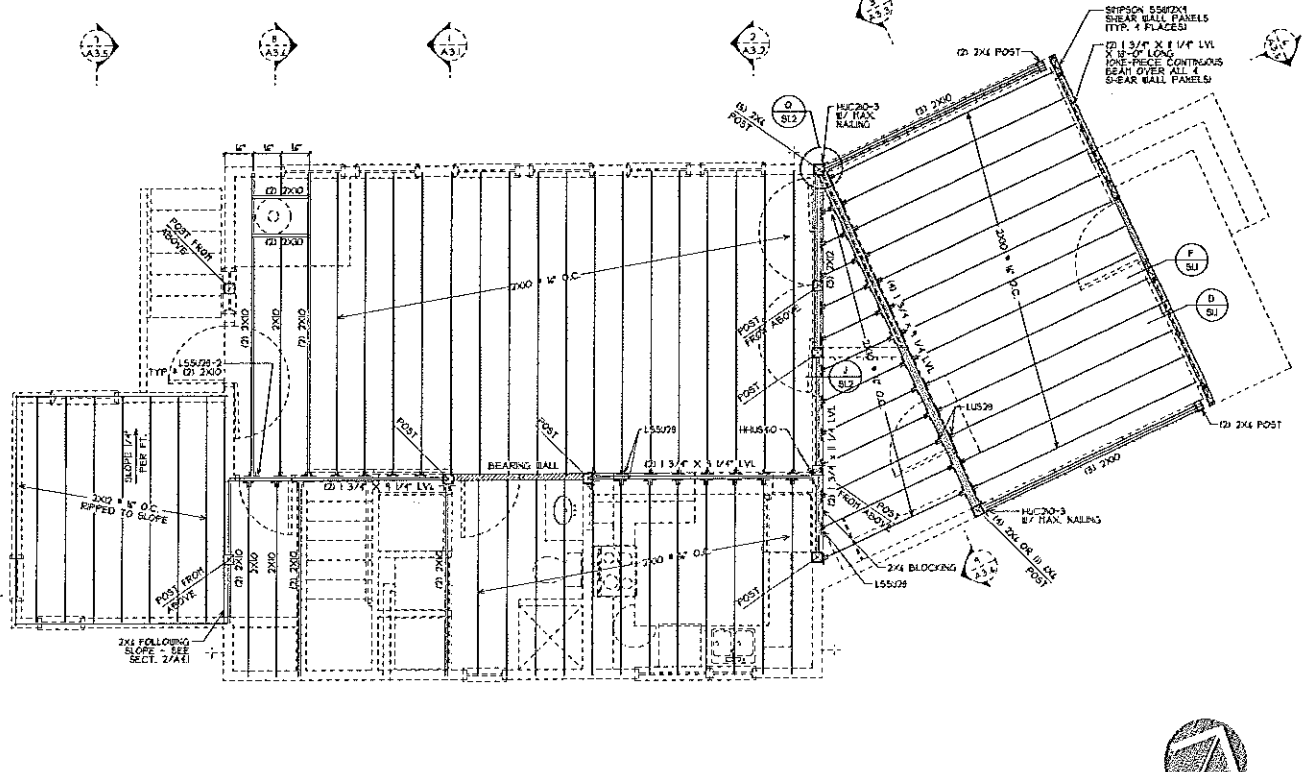
Q DETAIL
SCALE: 1 1/2" = 1'-0"



P DETAIL
SCALE: 1 1/2" = 1'-0"



4 ROOF FRAMING
SCALE: 1/4" = 1'-0"



3 SECOND FLOOR FRAMING
SCALE: 1/4" = 1'-0"

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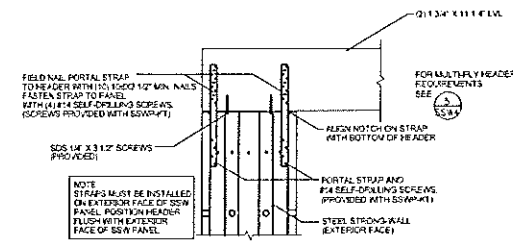
Revisions
AUGUST 8, 2004

Job No.: 1111
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Scale: 1/4" = 1'-0"
Drawn by: CG
Checked by: SB

Drawing Title:
Second Floor Framing Plan, Roof Framing Plan, Notes

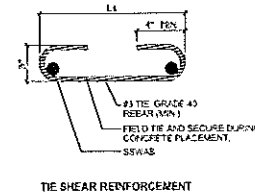
S1.2

FOR CONSTRUCTION



TOP OF WALL CONNECTION 4

FROM SIMPSON **SSW4** SCALE: N.T.S.

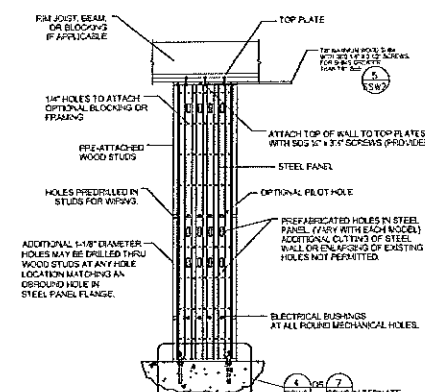


STEEL STRONG-WALL ANCHOR BOLT SHEAR ANCHORAGE 4

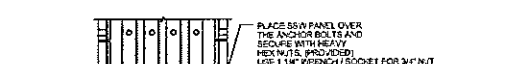
FROM SIMPSON **SSW1** SCALE: N.T.S.

STEEL STRONG-WALL SHEAR ANCHORAGE					
MODEL	W OR L ¹ (ft)	SHEAR REINFORCEMENT	MINIMUM CURB/STAIR WALL WIDTH (in)	WIND ⁴	
				MINIMUM CURB/STAIR WALL WIDTH (in)	ASD ALLOWABLE SHEAR LOAD (kips)
SSW12	5	(1) #3 TE	6	NONE REQUIRED	6 1370 540 ¹
SSW14	12	(1) #3 TE	6	NONE REQUIRED	6 1765 1260 ¹
SSW16	14	(1) #3 MULTISPN	6	(1) #3 MULTISPN	6 N/A
SSW21	15	(1) #3 MULTISPN	6	(1) #3 MULTISPN	6 N/A
SSW24	17	(2) #3 MULTISPN	6	(2) #3 MULTISPN	6 N/A

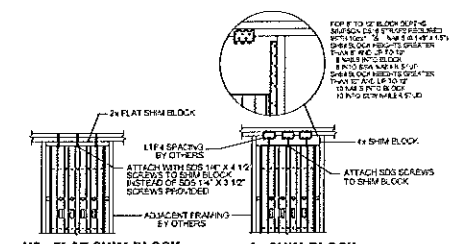
- NOTES:
 1. SHEAR ANCHORAGE DESIGN CONFORM TO AISC 318CS AND ASSUME MINIMUM (2) 200 PSI CONCRETE. SEE DETAILS SSWA1 TO SSWA4 FOR TENSION ANCHORAGE.
 2. SHEAR REINFORCEMENT IS NOT REQUIRED FOR PANELS INSTALLED ON A WOOD FLOOR, INTERIOR FOUNDATION APPLICATIONS (PANEL INSTALLED AWAY FROM EDGE OF CONCRETE) OR BRACED WALL PANEL APPLICATIONS.
 3. DESIGN PROVIDES SEISMIC DESIGN CATEGORY C THROUGH F, DETACHED 1 AND 2 FAMILY DWELLINGS. IN SDC C MAY USE WIND ANCHORAGE SOLUTIONS.
 4. WIND INCLUDES SEISMIC DESIGN CATEGORY A AND B.
 5. MINIMUM CURB/STAIR WALL WIDTHS R¹ WHEN STANDARD STRENGTH SEWAB IS USED.
 6. IF MINIMUM CURB/STAIR WALL ALLOWABLE SHEAR IS 2015 LBS OR UNCHECKED AND 1440 LBS CHECKED, USE SEISMIC SHEAR REINFORCEMENT FOR HIGHER SHEAR LOADS.
 7. IF MINIMUM CURB/STAIR WALL ALLOWABLE SHEAR IS 2015 LBS OR UNCHECKED AND 1440 LBS CHECKED, USE SEISMIC SHEAR REINFORCEMENT FOR HIGHER SHEAR LOADS.
 8. CONCRETE EDGE DISTANCE FOR ANCHORS MUST COMPLY WITH AISC 318 D.8.2.



SINGLE-STORY SSW ON CONCRETE 2

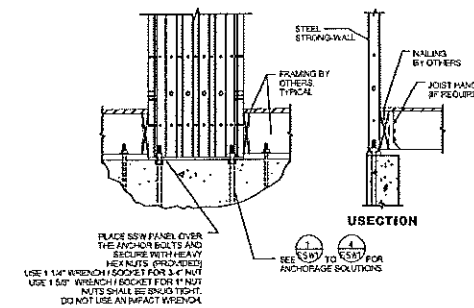


STRONG-WALL ON CONCRETE 4

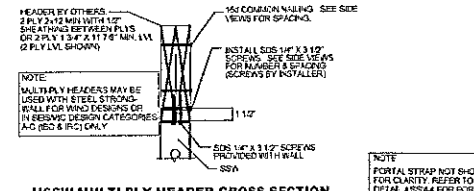


TOP OF WALL HEIGHT ADJUSTMENTS 5

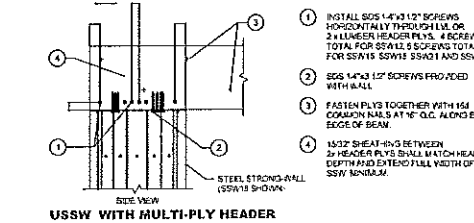
FROM SIMPSON **SSW2** SCALE: N.T.S.



ALTERNATE 1ST FLOOR WOOD FRAMING 7



U2x MULTI-PLY HEADER CROSS SECTION



MULTI-PLY HEADERS 11

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Revision
 AUGUST 8, 2012

Job No: 1111
 Date: 11 MAY 2012
 Scale: N.T.S.
 Drawn by: CR
 Checked by: SJB

Drawing Title
 Simpson
 Shear Wall Details

S1.3
 FOR CONSTRUCTION

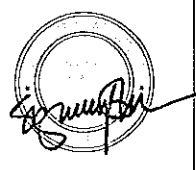
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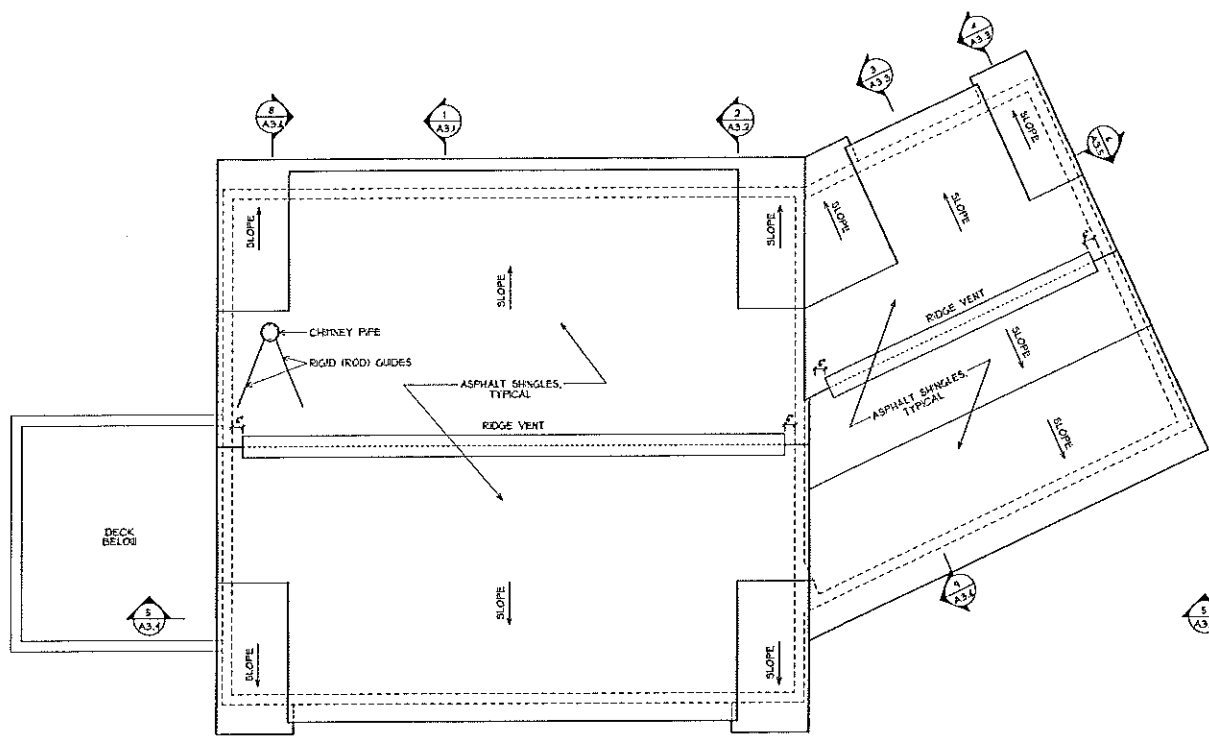


Revisions
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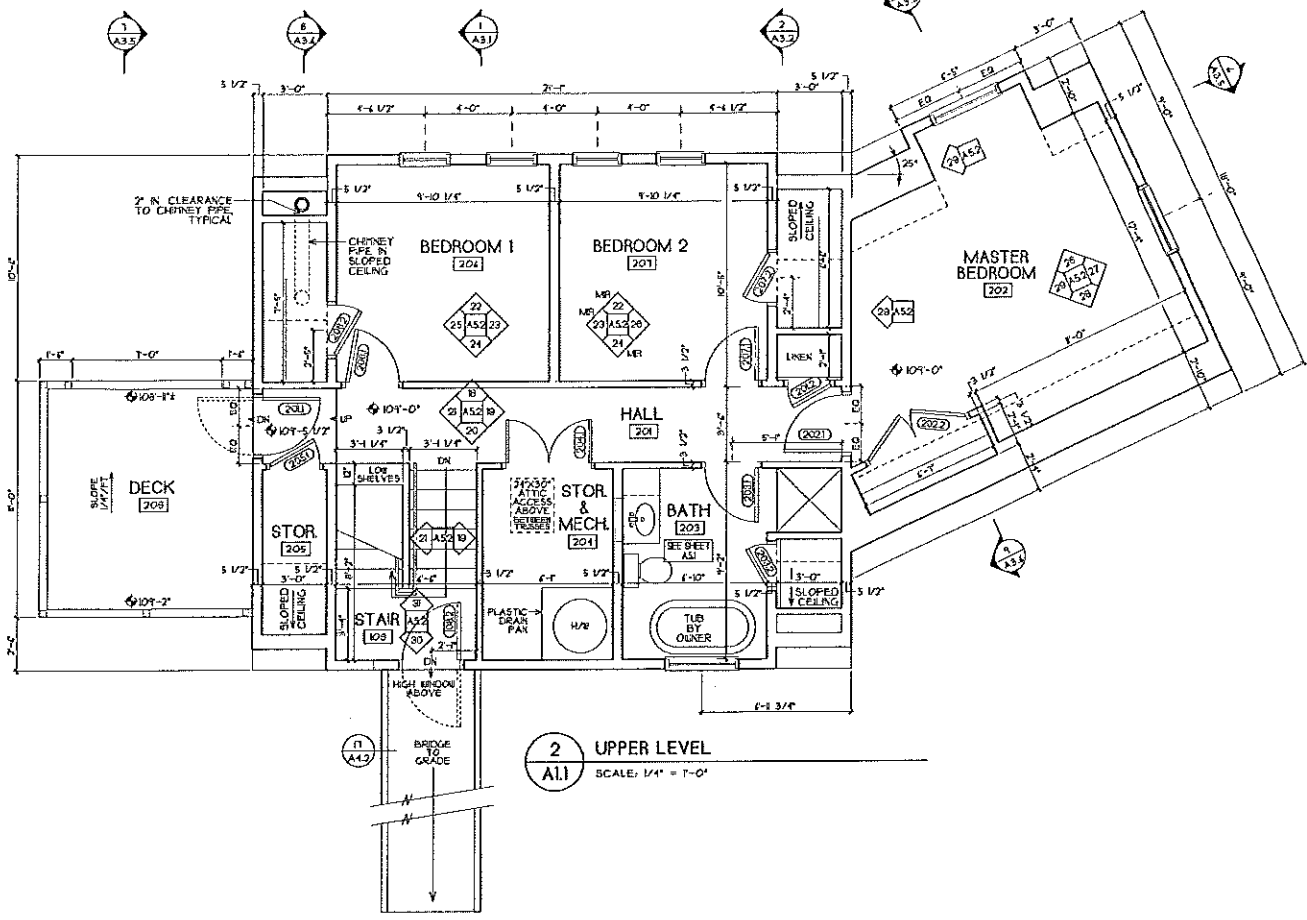
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 Date: 11 MAY 2012
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 Drawn by: CR
 Checked by: S.B.

Drawing Title
 Floor Plans

A1.1
 FOR CONSTRUCTION

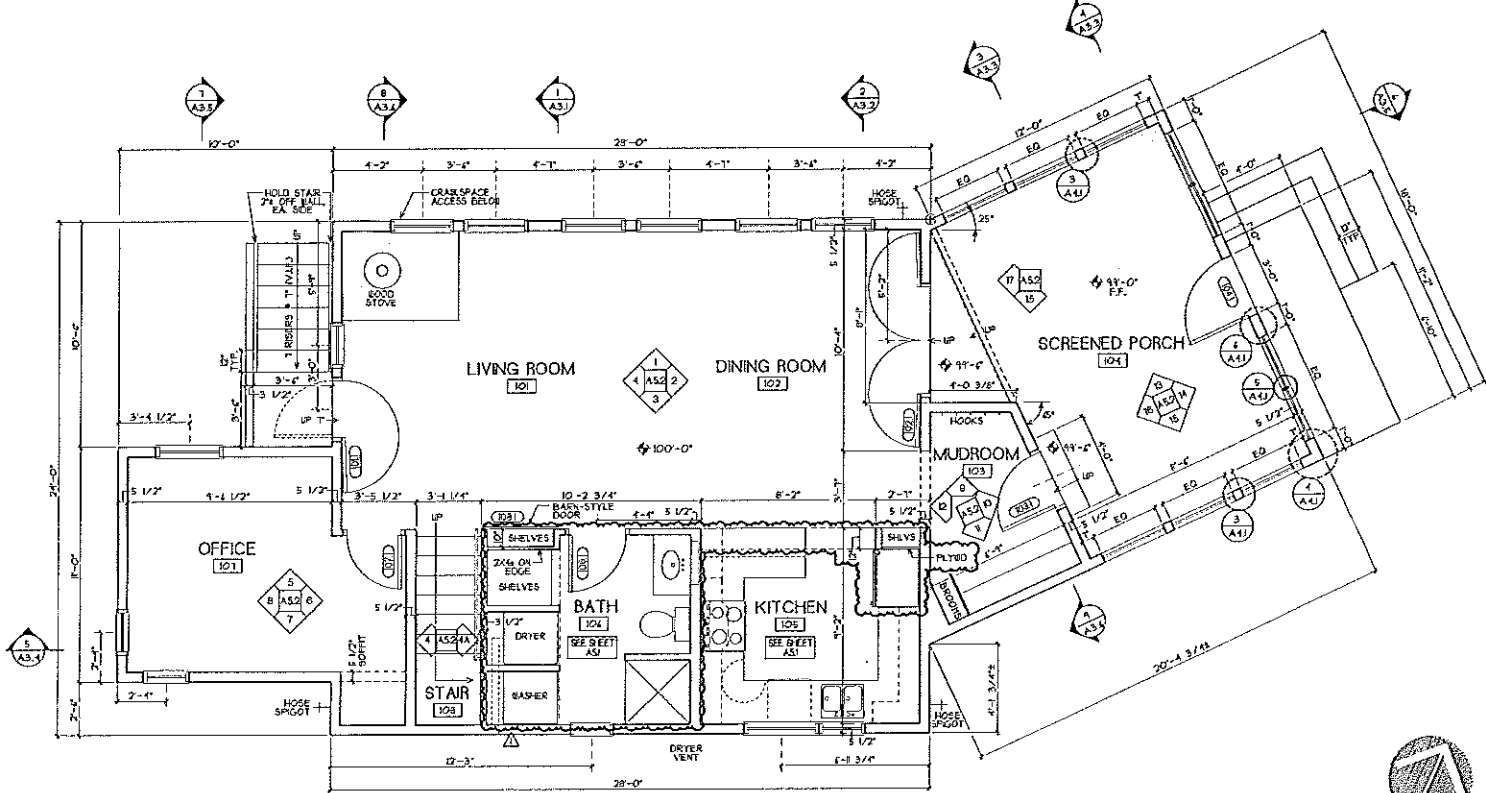


3 ROOF
 ALL SCALE: 1/4" = 1'-0"

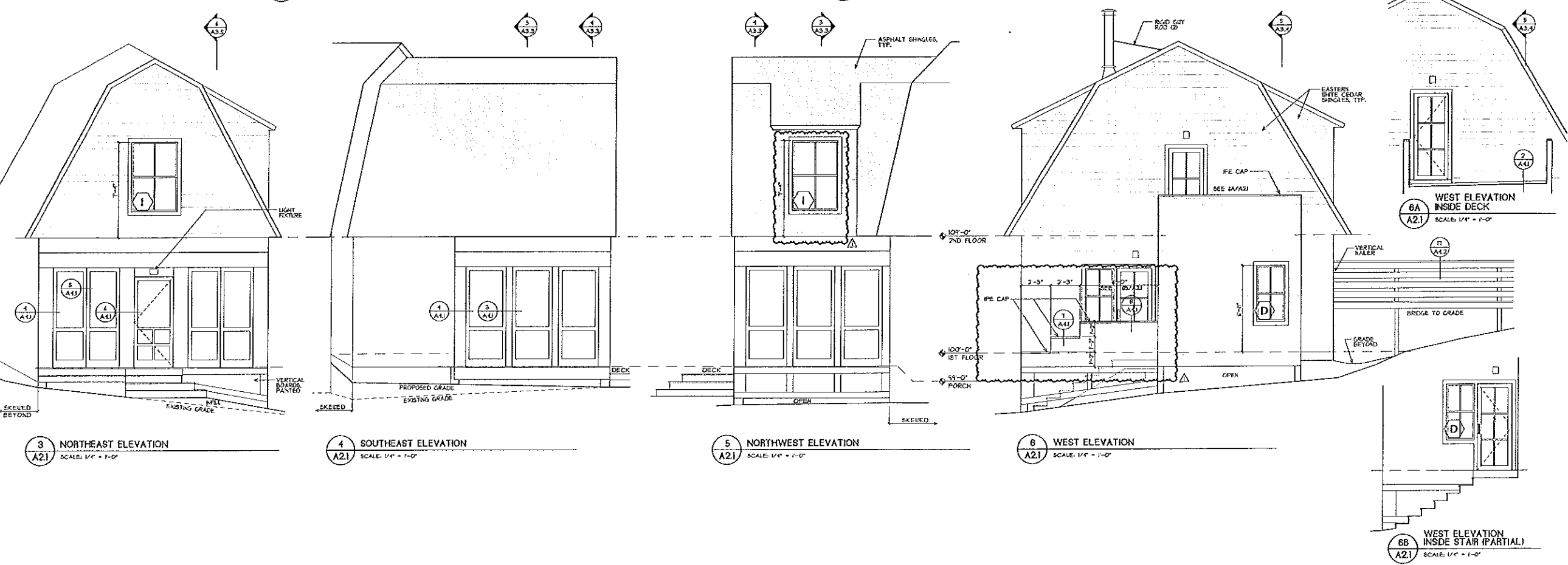
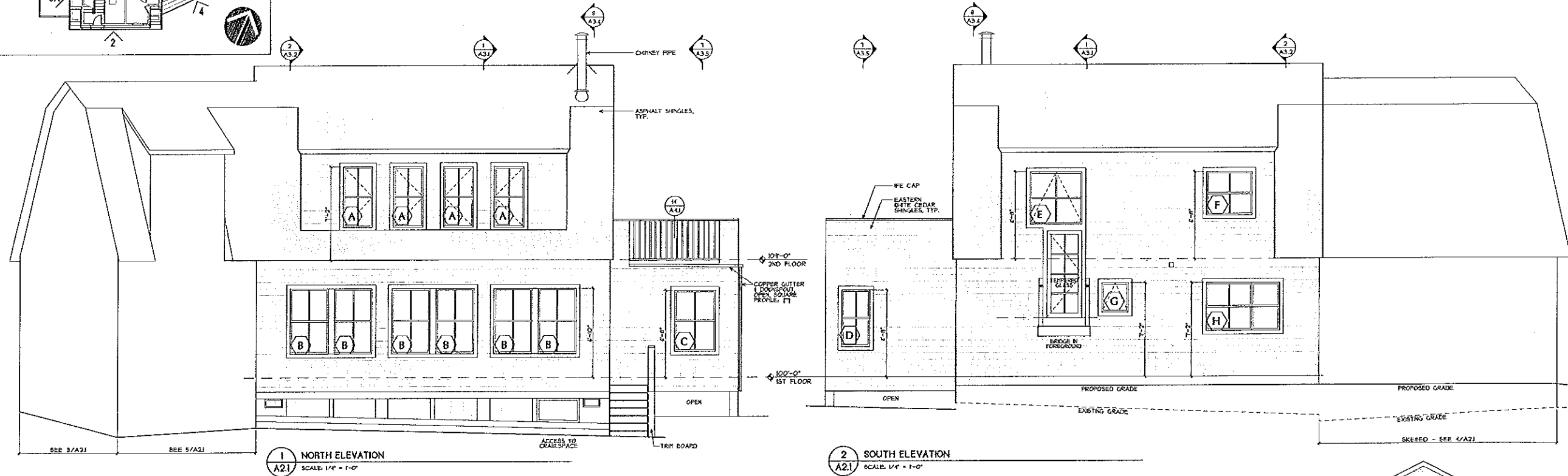
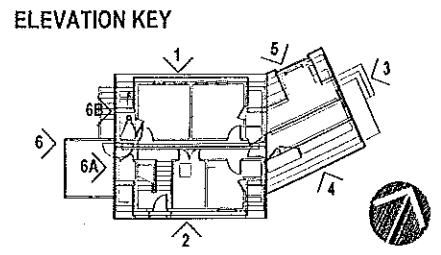


2 UPPER LEVEL
 ALL SCALE: 1/4" = 1'-0"

NOTE:
 ELEVATIONS ARE TO SUBFLOOR,
 EXCEPT ON DECK.
 100'-0" ON ARCHITECTURAL DRAWINGS
 CORRESPONDS TO 38" ON SITE PLAN.
 ALL DIMENSIONS ARE TO FACE
 OF STUD.



1 LOWER LEVEL
 ALL SCALE: 1/8" = 1'-0"



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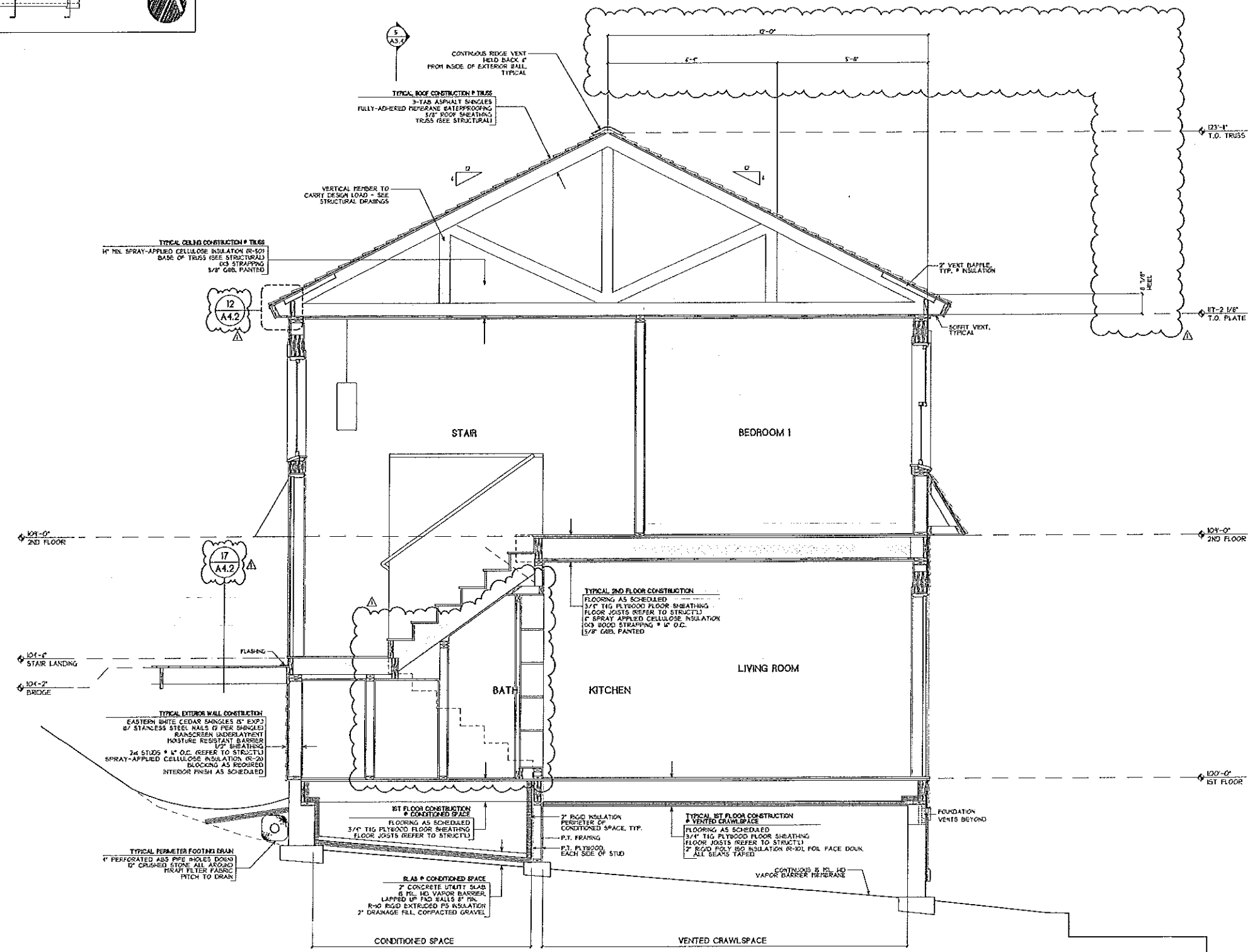
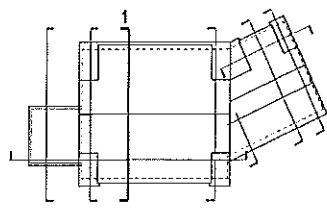
Revisions
A AUGUST 6, 2009

Job No.: 11.11
Date: 11 MAY 2012
Scale: 1/4" = 1'-0"
Drawn by: CR
Checked by: SB

Drawing Title
Exterior Elevations

A2.1
FOR CONSTRUCTION

SECTION KEY



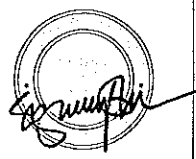
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Revisions
 AUGUST 8, 2012

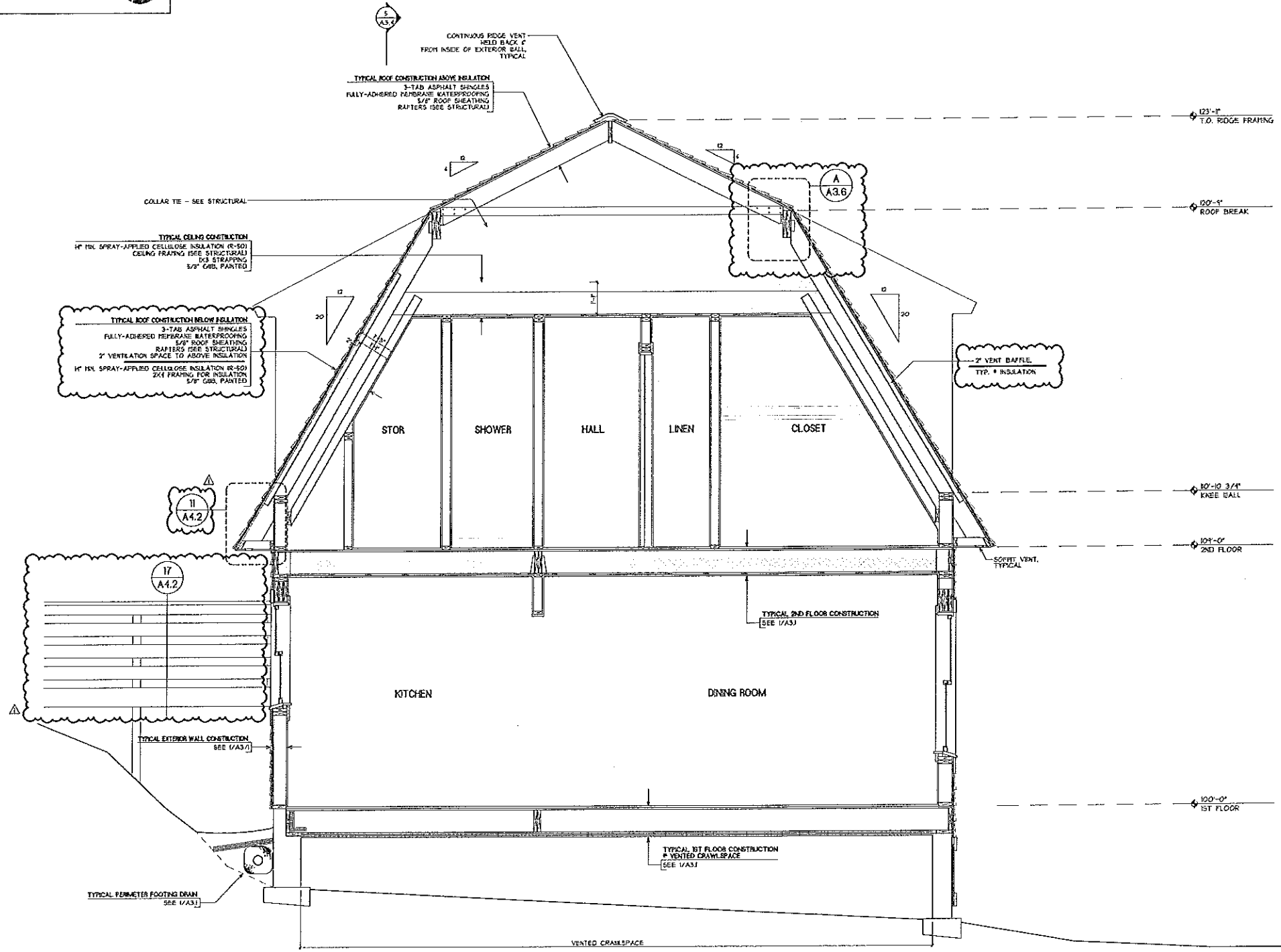
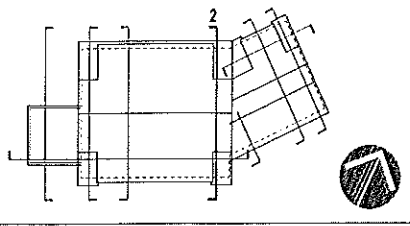
Job No: 11.11
 Date: 11 MAY 2012
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 Drawn by: CR
 Checked by: SJS

Drawing Title
Building Section

A3.1

FOR CONSTRUCTION

SECTION KEY



2 SECTION
A3.2 SCALE: 1/2" = 1'-0"

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Revisions
AUGUST 8, 2012

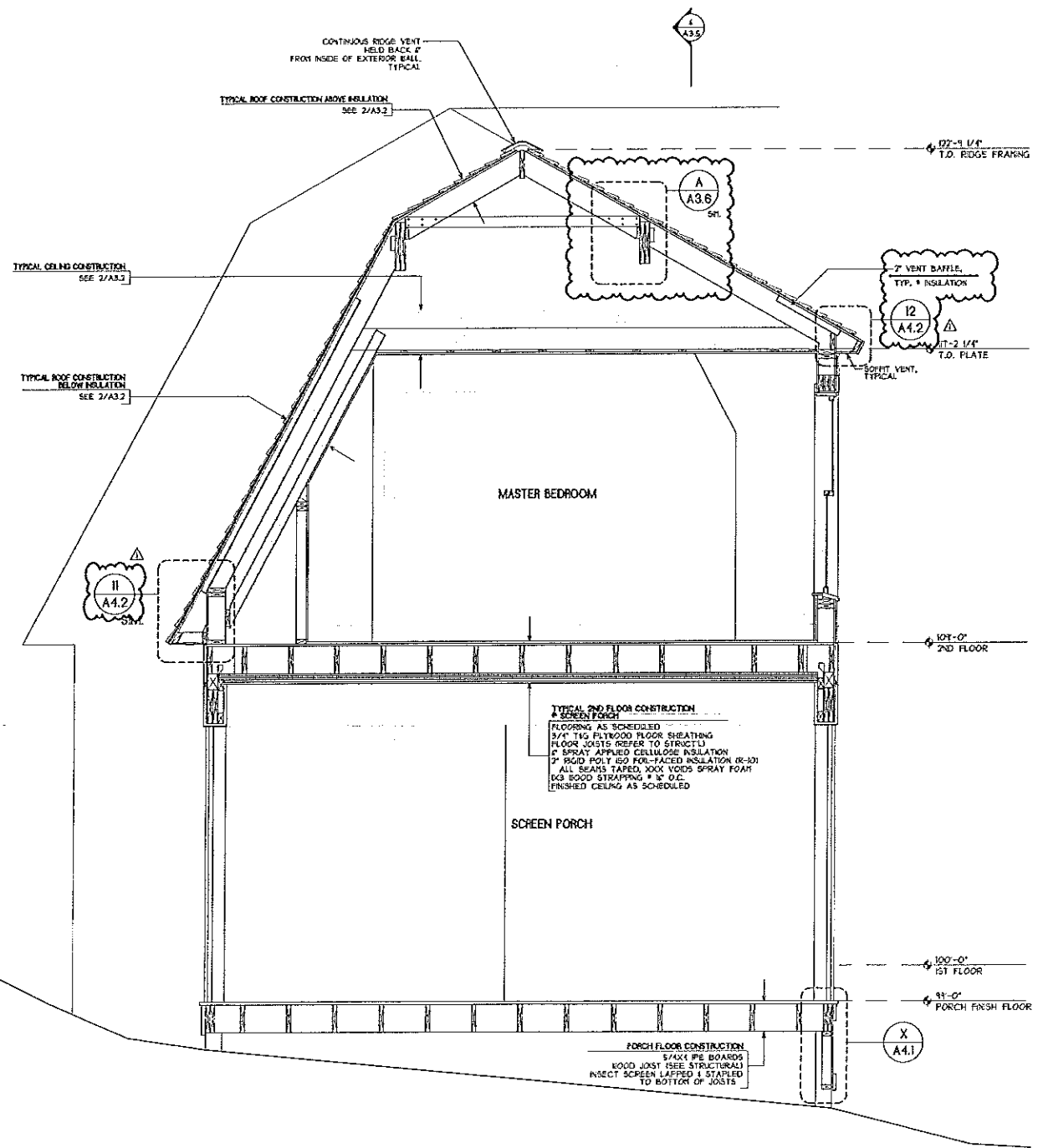
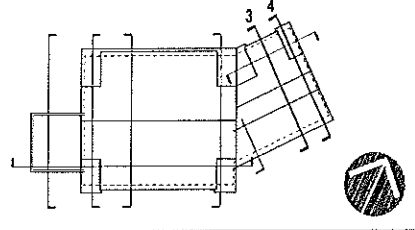
Job No.: 11.11
Date: 11 MAY 2012
Scale: 1/2" = 1'-0"
Drawn by: CR
Checked by: SJB

Drawing Title
Building Section

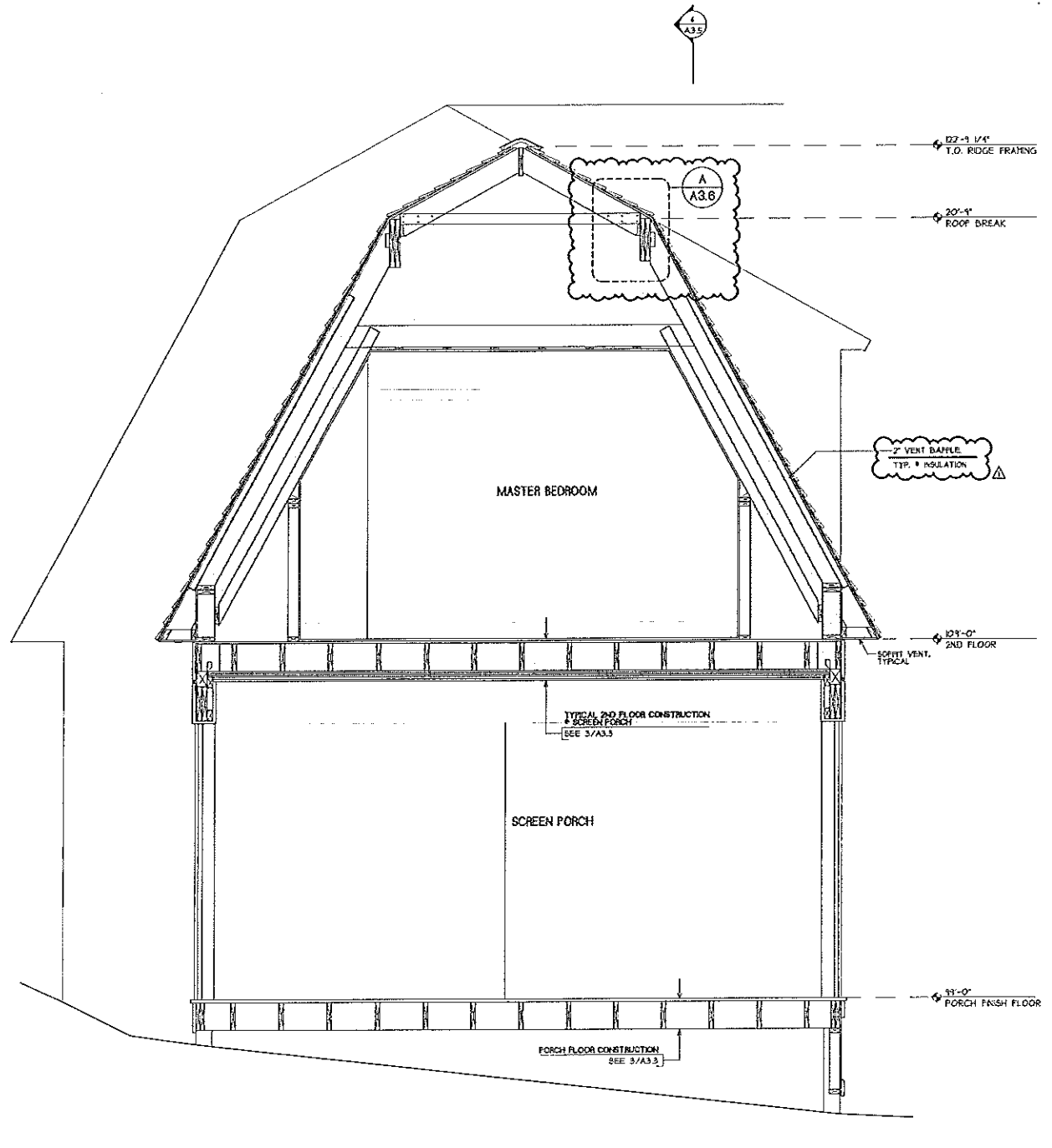
A3.2

FOR CONSTRUCTION

SECTION KEY



3 SECTION
A3.3 SCALE: 1/2" = 1'-0"



4 SECTION
A3.3 SCALE: 1/2" = 1'-0"

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COTTAGE

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207.764.2155
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Revisions
AUGUST 8, 2002

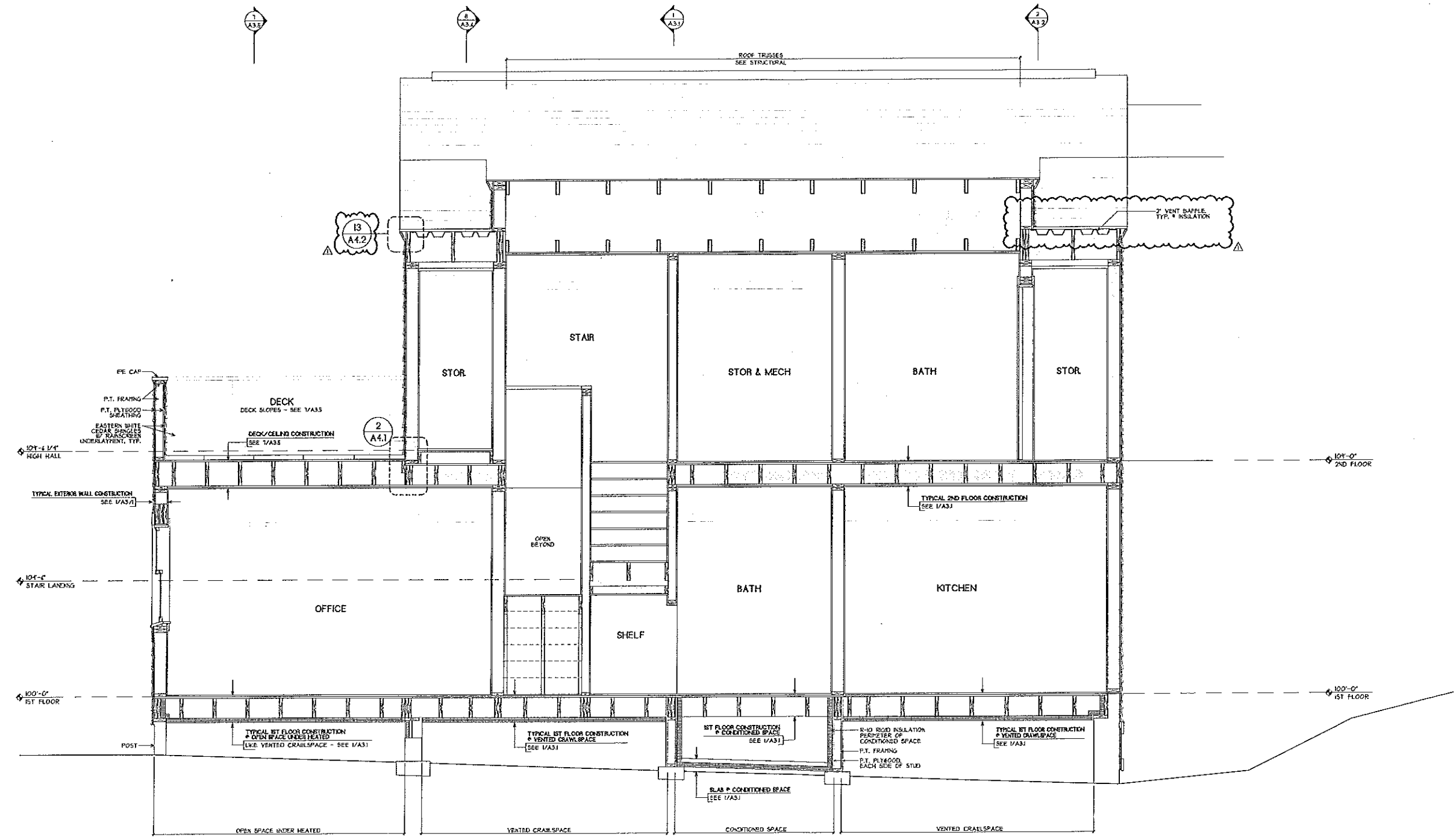
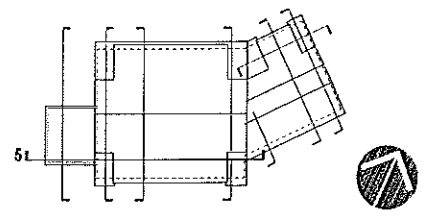
Job No: 1111
Date: 11 MAY 2012
Scale: 1/2" = 1'-0"
Drawn by: CR
Checked by: SJR

Drawing Title:
Building Sections

A3.3

FOR CONSTRUCTION

SECTION KEY



5 SECTION
A3.4 SCALE: 1/2" = 1'-0"

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Revisions
AUGUST 8, 2012

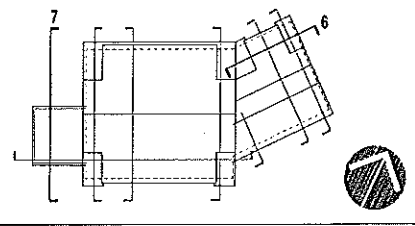
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Drawn by: CR
Checked by: SJR

Drawing Title:
Building Sections

A3.4

FOR CONSTRUCTION

SECTION KEY



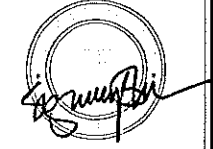
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COTTAGE**

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Portland, Maine

SOBESKI
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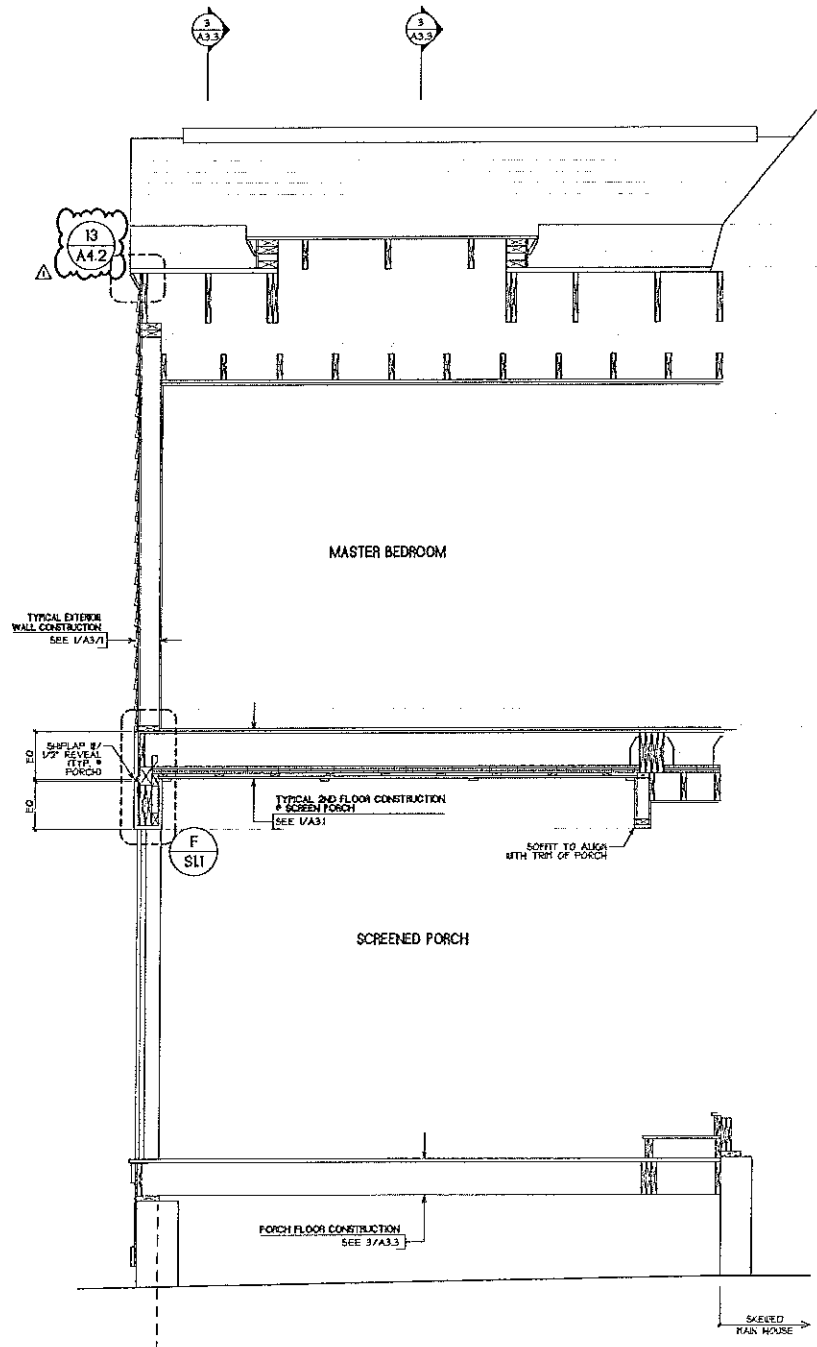
Revisions
▲ AUGUST 6, 2012

Job No.: 1111
Date: 11 MAY 2012
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Drawn by: CR
Checked by: SJB

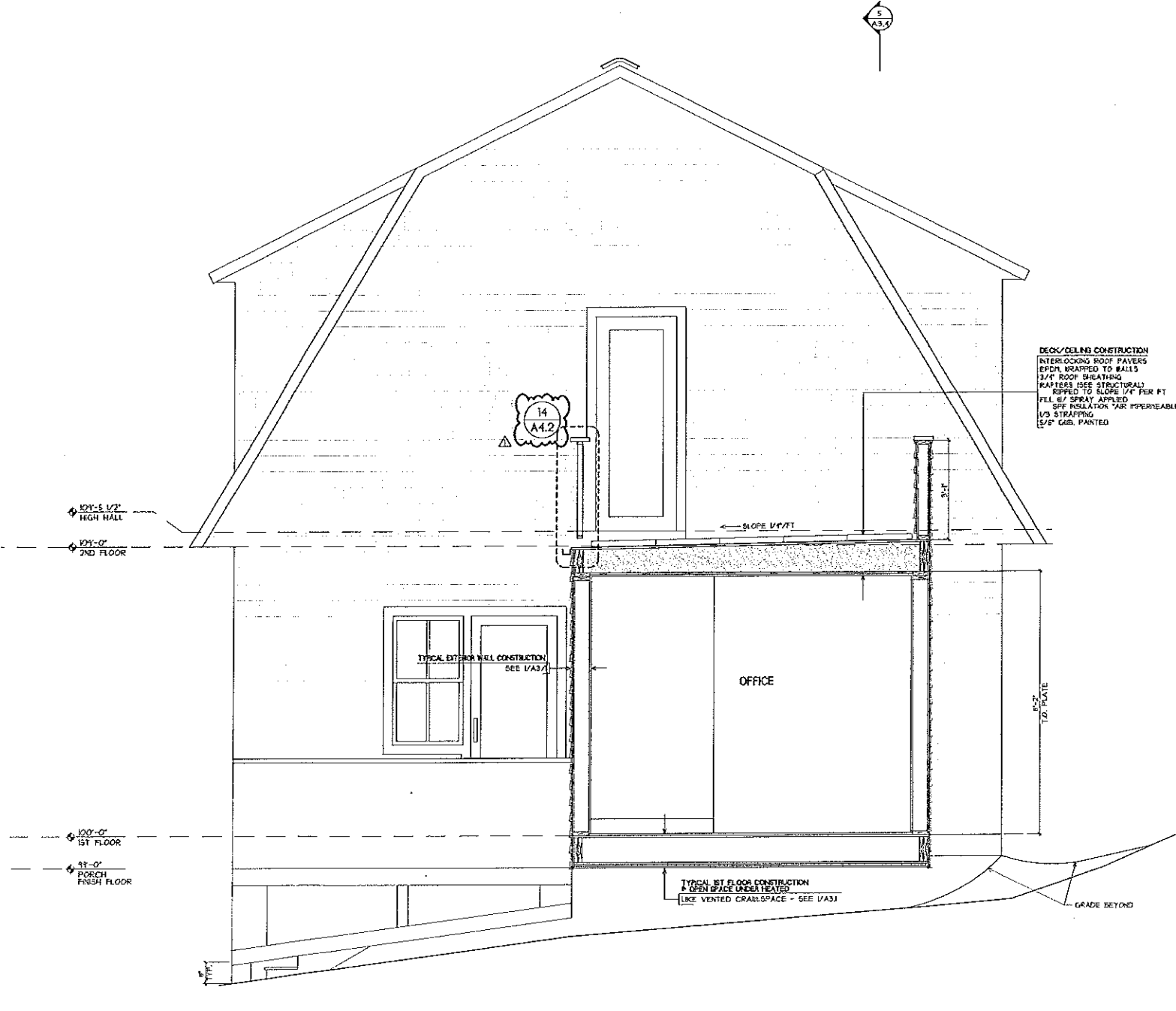
Drawing Title:
Building Sections

A3.5

FOR CONSTRUCTION



6 SECTION
A3.5 SCALE: 1/2" = 1'-0"



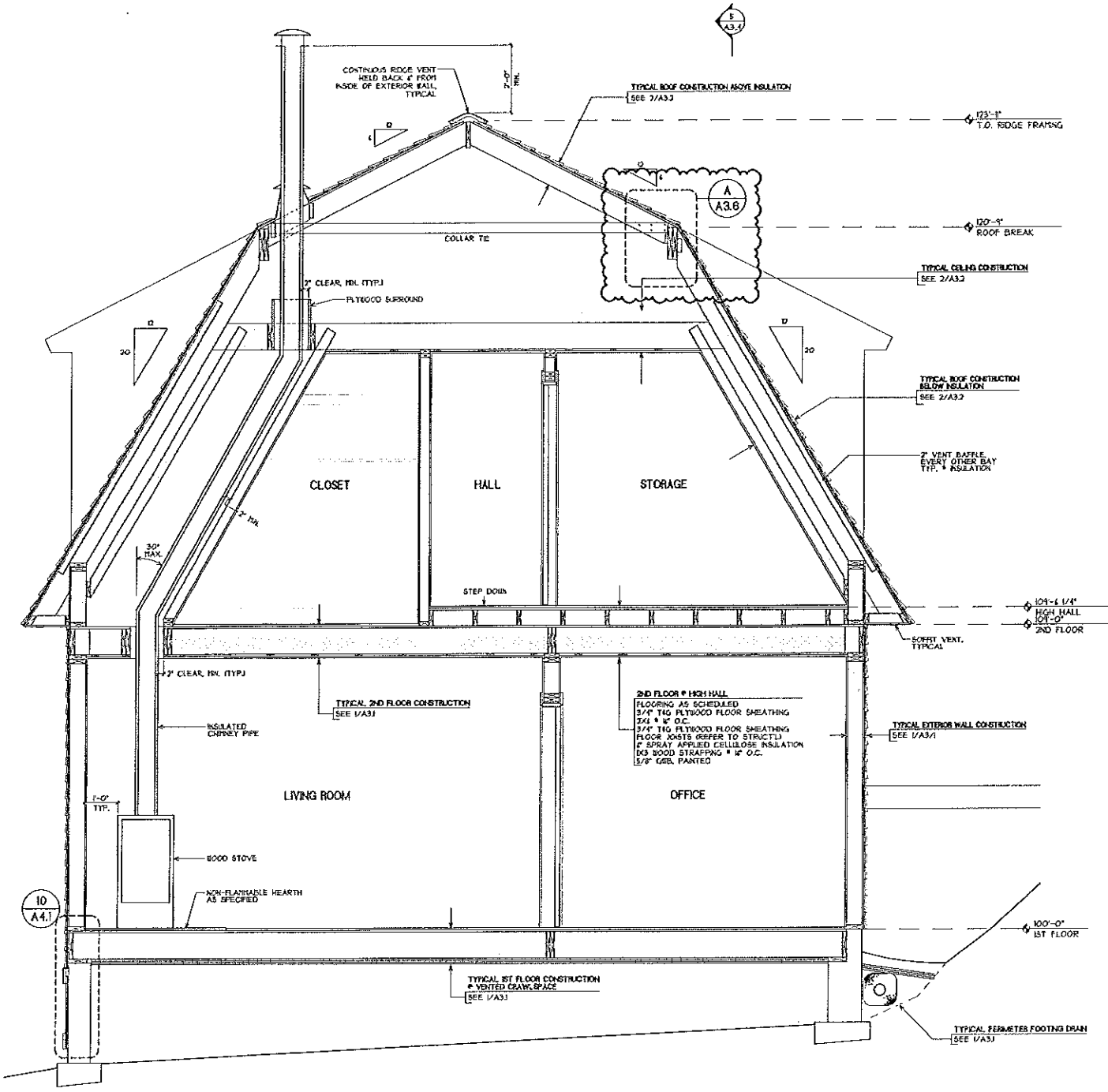
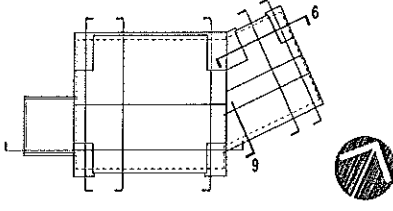
7 SECTION
A3.5 SCALE: 1/2" = 1'-0"

DECK/CEILING CONSTRUCTION
INTERLOCKING ROOF PLYERS
EPDM WRAPPED TO WALLS
3/4" ROOF BREATHING
FASTENERS (SEE STRUCTURAL)
REFLECT TO SLOPE 1/4" PER FT
FILL w/ SPRAY APPLIED
GFI INSULATION (AIR IMPERMEABLE)
1/2" STRAPPING
1/2" GAB. PAINTED

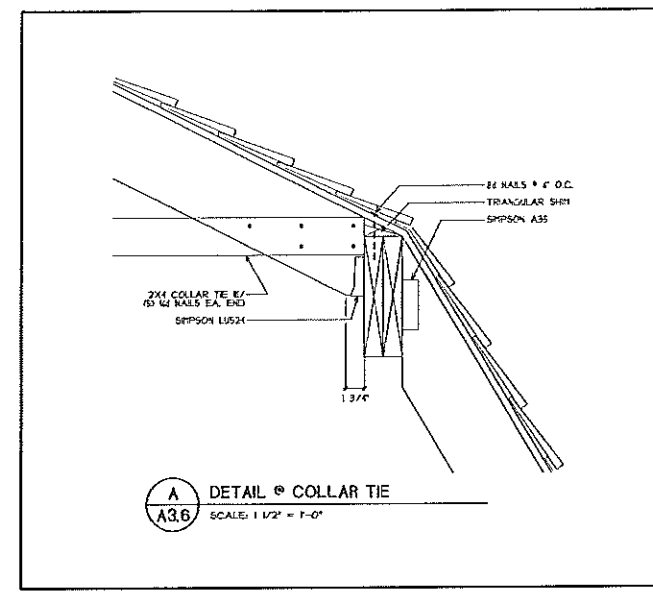
TYPICAL 1ST FLOOR CONSTRUCTION
* OPEN SPACE UNDER HEATED
(LIKE VENTED CRAWLSPACE - SEE V/A3)

GRADE BEYOND

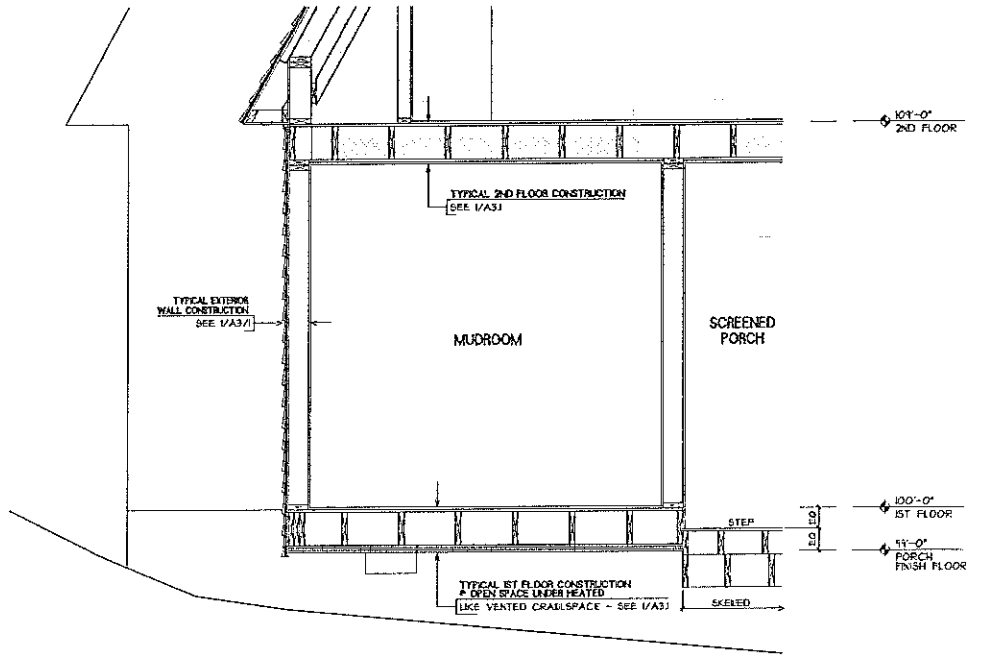
SECTION KEY



8 SECTION
A3.6 SCALE: 1/2" = 1'-0"



A3.6 DETAIL OF COLLAR TIE
SCALE: 1/2" = 1'-0"



9 SECTION (PARTIAL)
A3.6 SCALE: 1/2" = 1'-0"

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Revisions
AUGUST 8, 2009

Job No.: 11.11
Date: 11 MAY 2012
Scale: 1/2" = 1'-0"
Drawn by: CR
Checked by: SJD

Drawing Title
Building Sections

A3.6

FOR CONSTRUCTION

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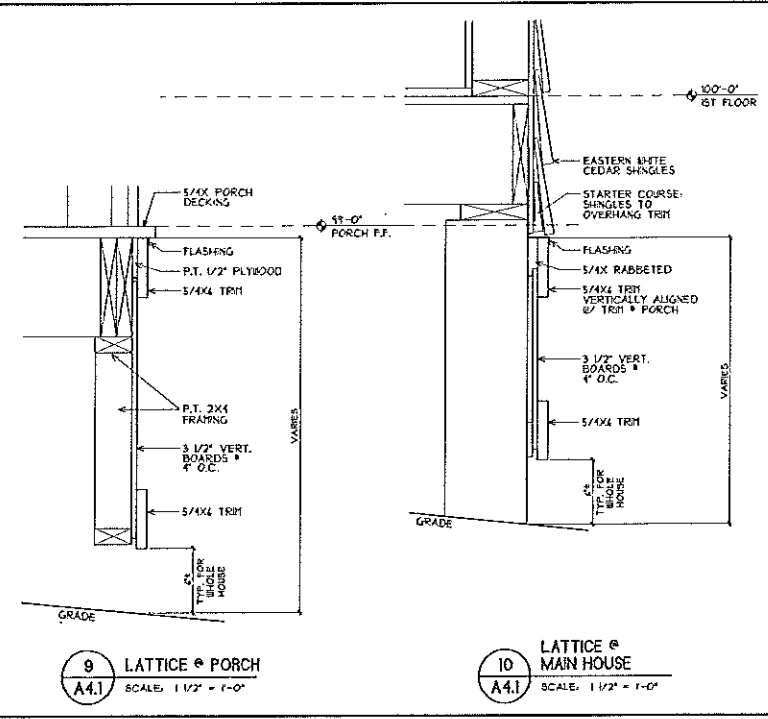
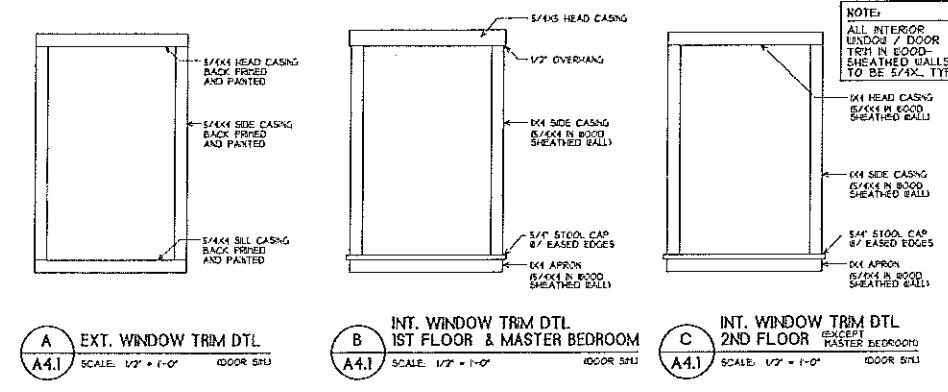
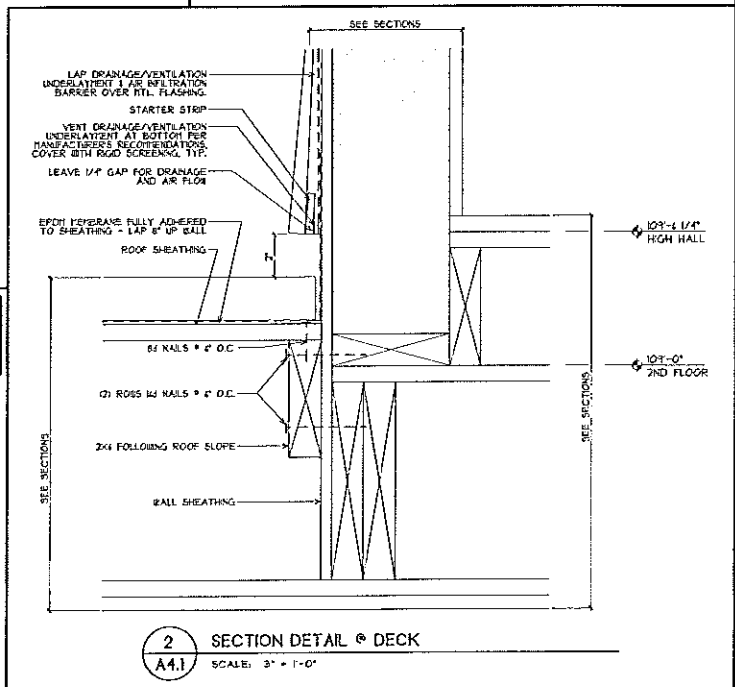
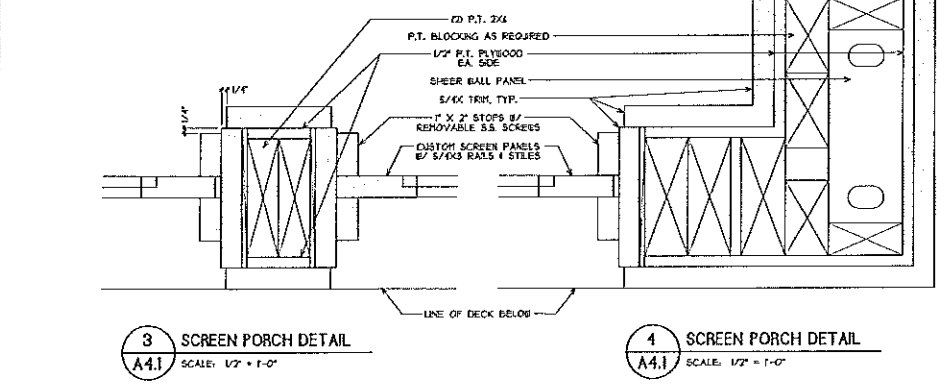
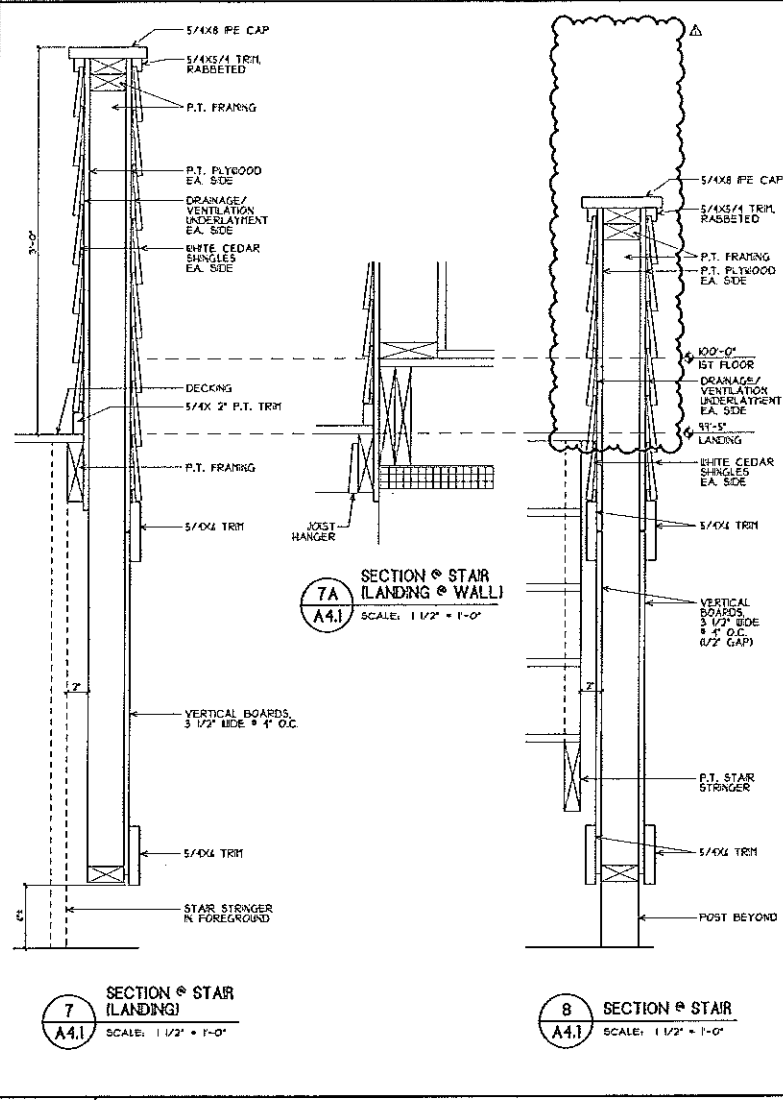
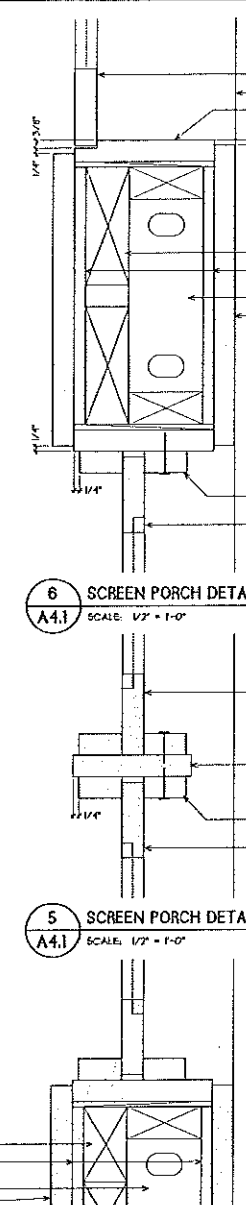
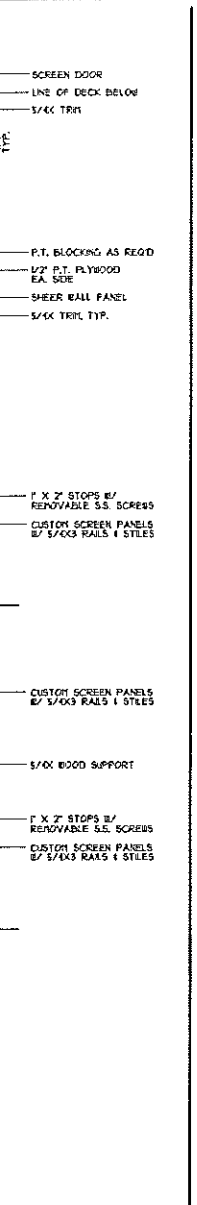
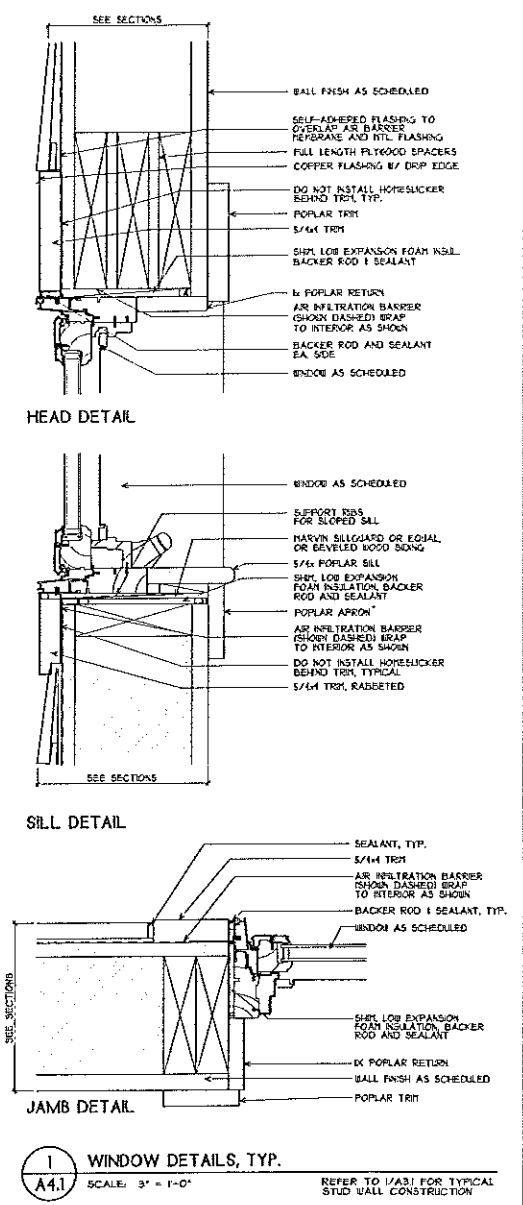


Revisions
AUGUST 8, 200

Job No.: 1151
Date: 17 MAY 2012
Scale: AS NOTED
Drawn by: CR
Checked by: SJB

Drawing Title
Details

A4.1
FOR CONSTRUCTION



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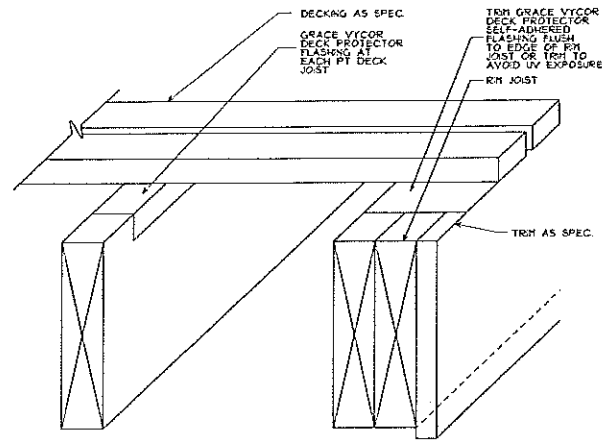
Revisions
▲ AUGUST 8, 2002

Job No: 1151
Date: 17 MAY 2012
Scale: AS NOTED
Drawn by: CR
Checked by: SJS

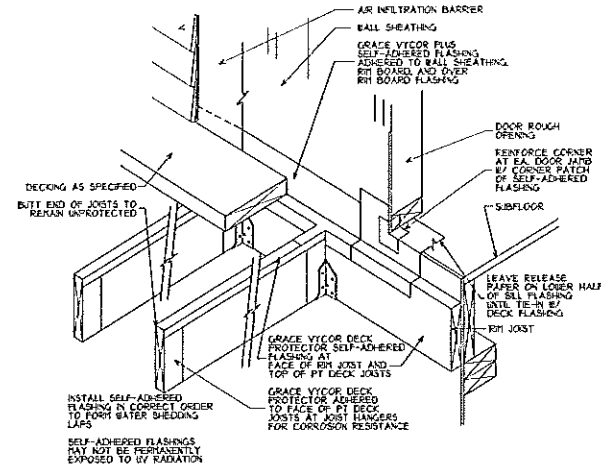
Drawing Title
Details

A4.2

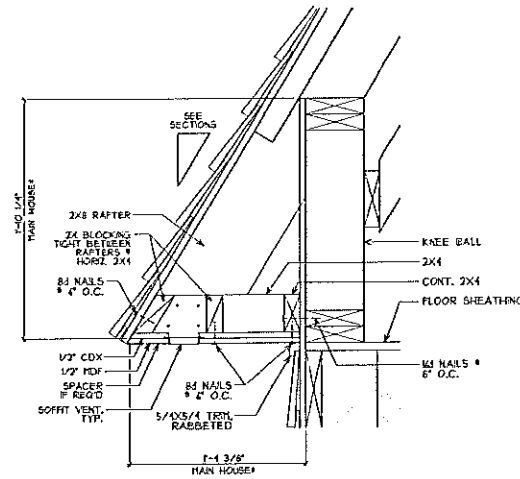
FOR CONSTRUCTION



15 DECK FLASHING, TYP.
A4.2 SCALE: N.T.S.

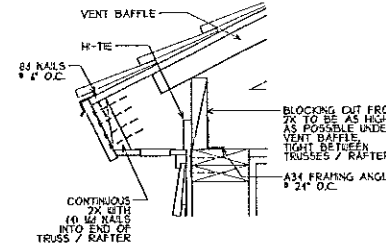


16 DECK FLASHING, TYP.
A4.2 SCALE: N.T.S.

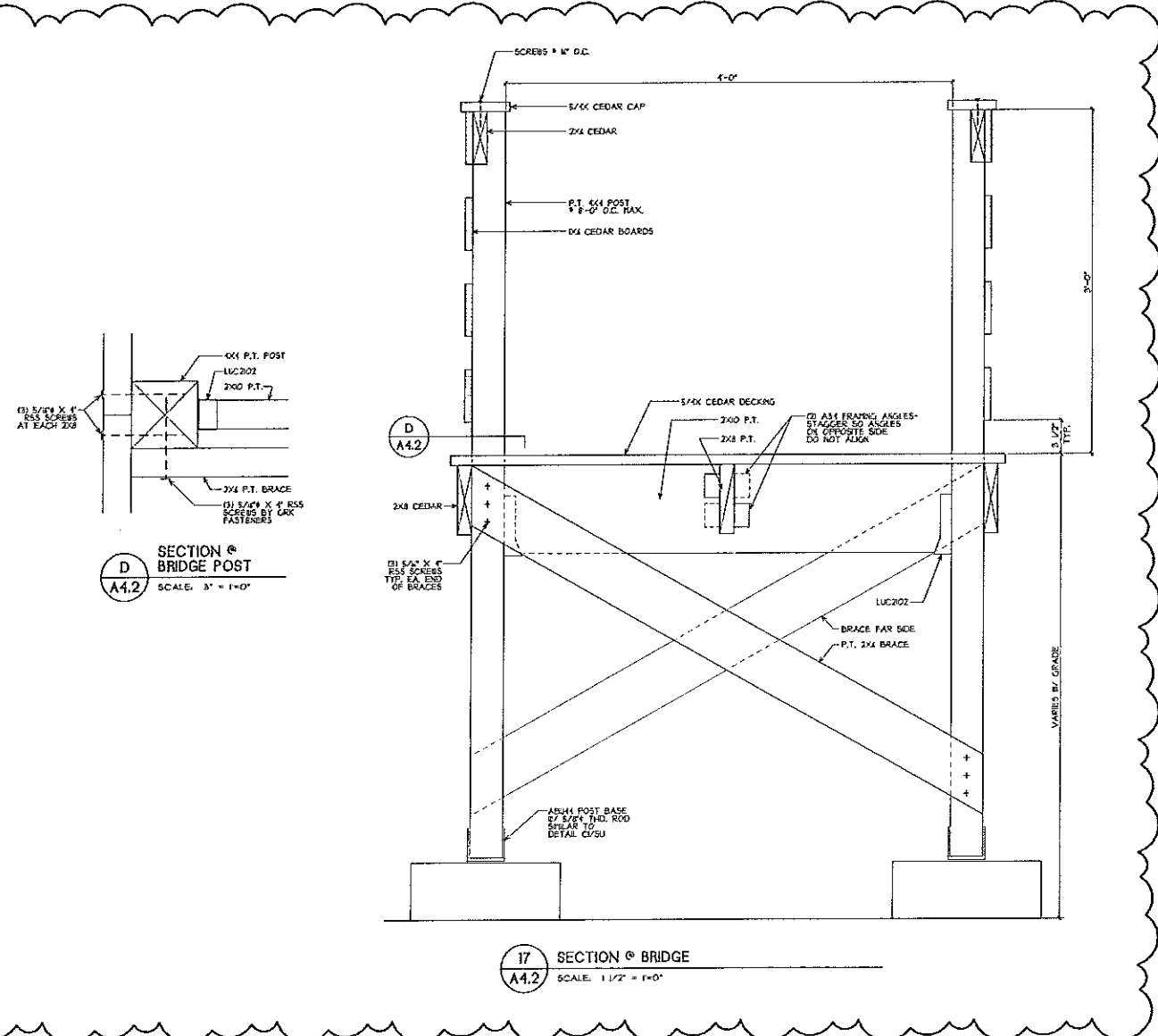


11 EAVE DETAIL @ STEEP RAFTERS
A4.2 SCALE: 1 1/2" = 1'-0"

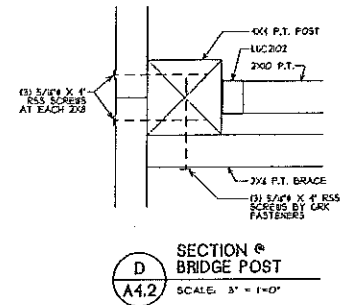
1 NOTE:
EAVE OVERHANGS AT MASTER BEDROOM / PORCH BNG IS DETERMINED BY INTERSECTION WITH EAVE OF MAIN HOUSE



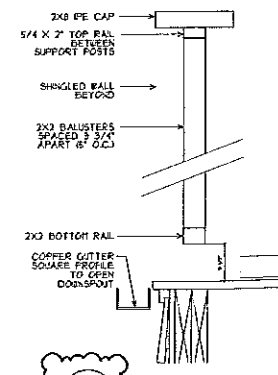
12 EAVE DETAIL @ DORMERS
A4.2 SCALE: 1 1/2" = 1'-0"



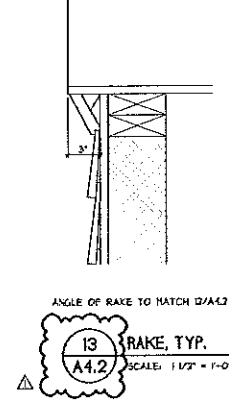
17 SECTION @ BRIDGE
A4.2 SCALE: 1 1/2" = 1'-0"



D SECTION @ BRIDGE POST
A4.2 SCALE: 3" = 1'-0"



14 SECTION @ DECK
A4.2 SCALE: 1 1/2" = 1'-0"



13 RAKE, TYP.
A4.2 SCALE: 1 1/2" = 1'-0"

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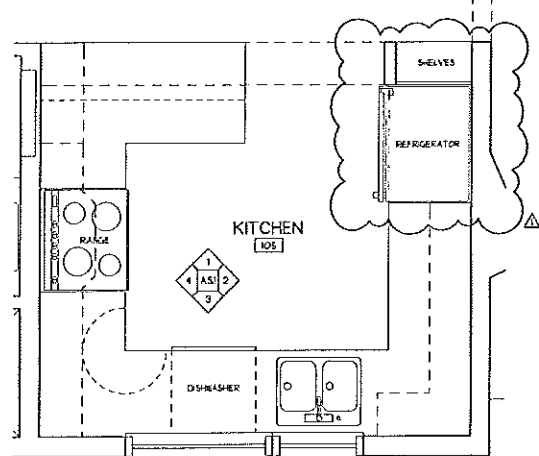
Revisions
▲ AUGUST 6, 2002

Job No.: 11.11
Date: 11 MAY 2012
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Drawn by: CR
Checked by: SJB

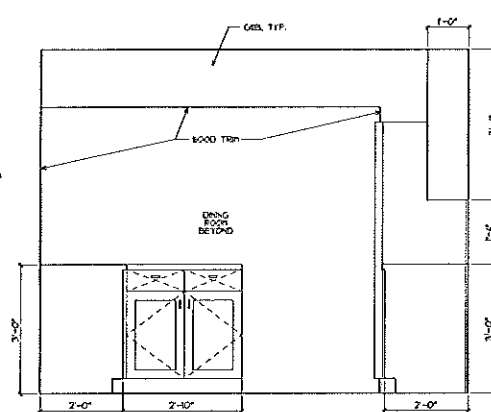
Drawing Title:
Interior Elevations;
Kitchen & Baths

A5.1

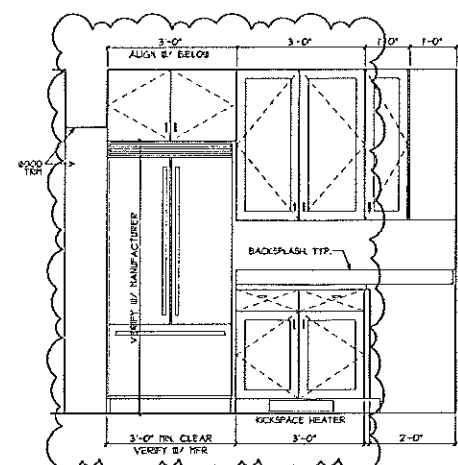
FOR CONSTRUCTION



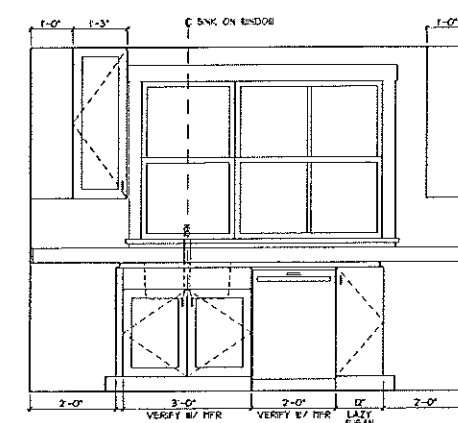
A KITCHEN - PLAN
A5.1 SCALE: 1/2" = 1'-0"



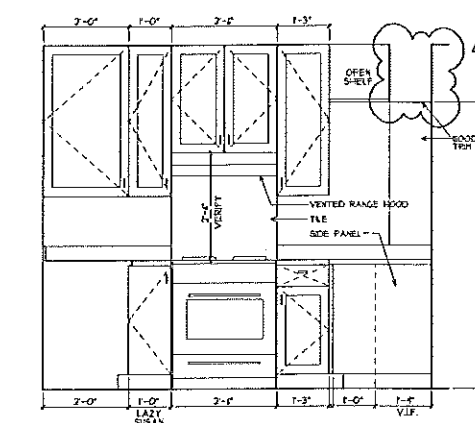
1 KITCHEN
A5.1 SCALE: 1/2" = 1'-0"



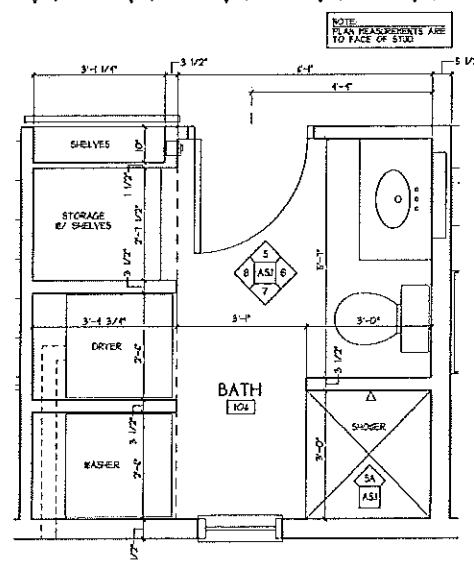
2 KITCHEN
A5.1 SCALE: 1/2" = 1'-0"



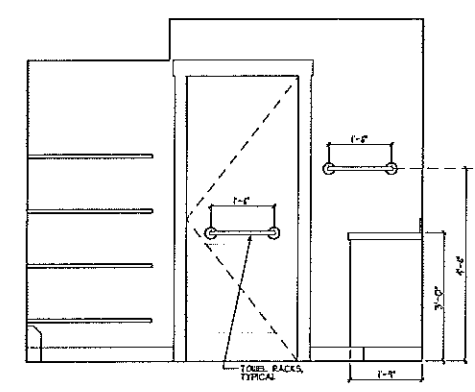
3 KITCHEN
A5.1 SCALE: 1/2" = 1'-0"



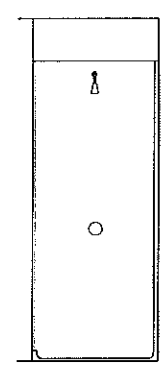
4 KITCHEN
A5.1 SCALE: 1/2" = 1'-0"



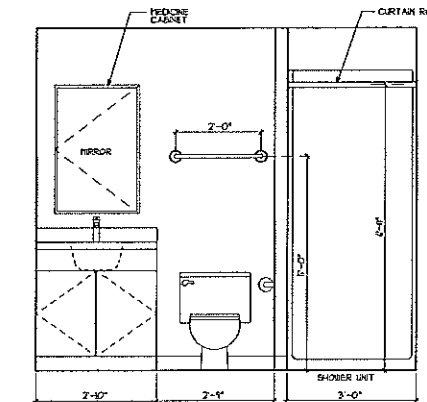
B BATH 106 - PLAN
A5.1 SCALE: 1/2" = 1'-0"



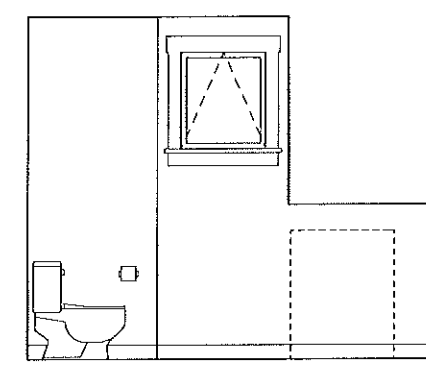
5 BATH 106
A5.1 SCALE: 1/2" = 1'-0"



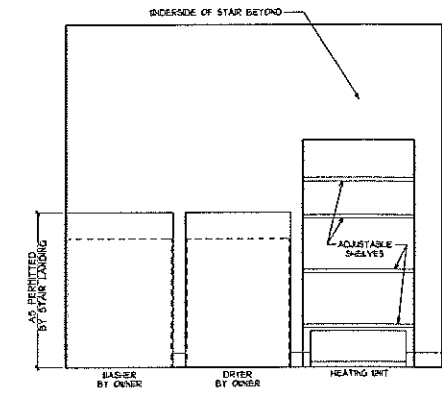
5A BATH 106 IN SHOWER
A5.1 SCALE: 1/2" = 1'-0"



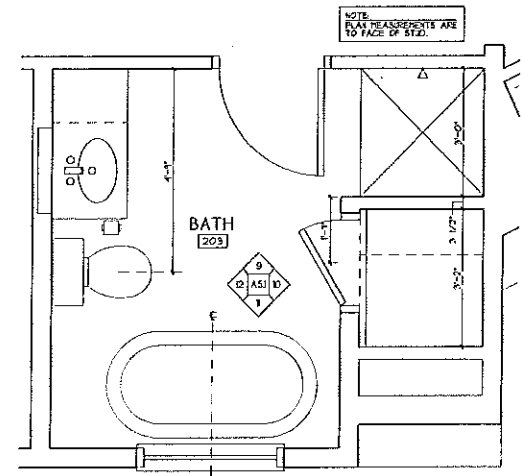
6 BATH 106
A5.1 SCALE: 1/2" = 1'-0"



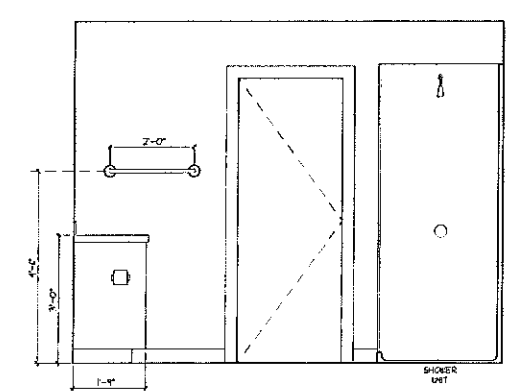
7 BATH 106
A5.1 SCALE: 1/2" = 1'-0"



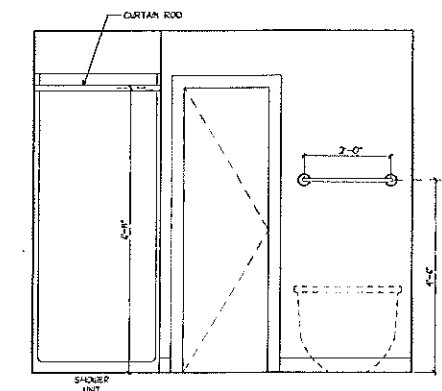
8 BATH 106
A5.1 SCALE: 1/2" = 1'-0"



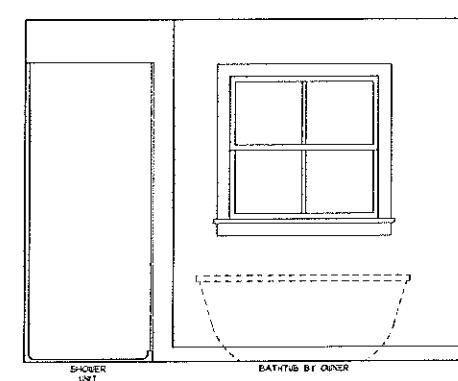
C BATH 203 - PLAN
A5.1 SCALE: 1/2" = 1'-0"



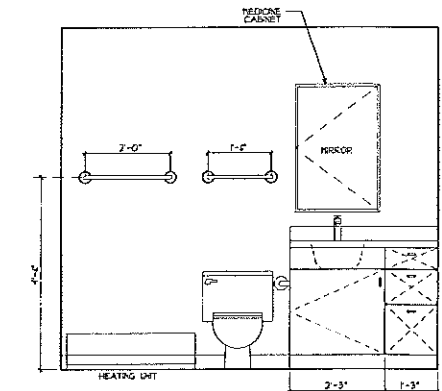
9 BATH 203
A5.1 SCALE: 1/2" = 1'-0"



10 BATH 203
A5.1 SCALE: 1/2" = 1'-0"

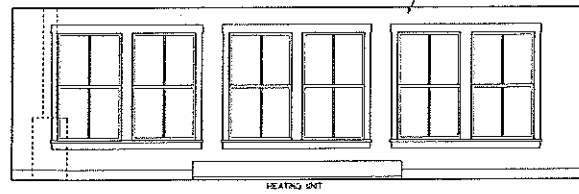


11 BATH 203
A5.1 SCALE: 1/2" = 1'-0"

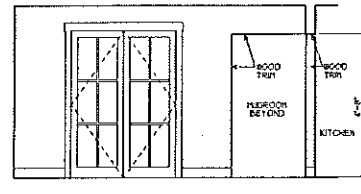


12 BATH 203
A5.1 SCALE: 1/2" = 1'-0"

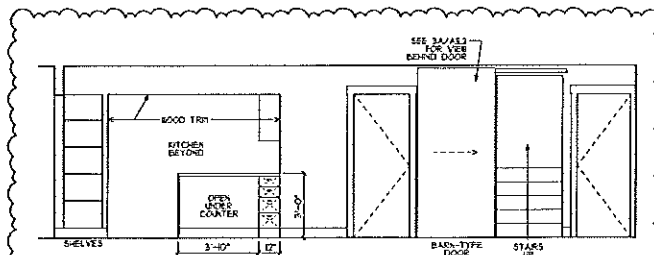
LOWER LEVEL



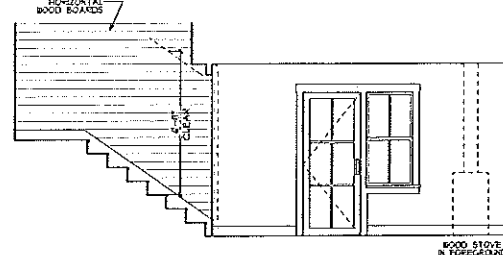
1 LIVING ROOM DINING ROOM
A5.2 SCALE: 1/4" = 1'-0"



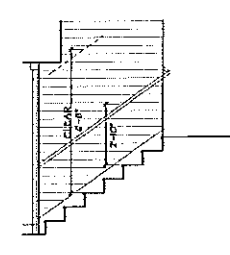
2 DINING ROOM
A5.2 SCALE: 1/4" = 1'-0"



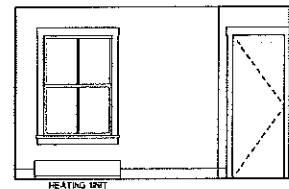
3 DINING ROOM LIVING ROOM
A5.2 SCALE: 1/4" = 1'-0"



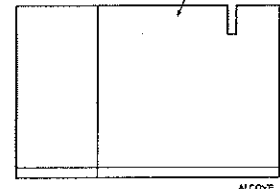
4 STAIR LIVING ROOM
A5.2 SCALE: 1/4" = 1'-0"



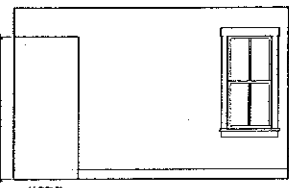
4A STAIR
A5.2 SCALE: 1/4" = 1'-0"



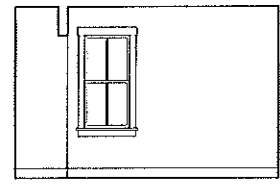
5 OFFICE
A5.2 SCALE: 1/4" = 1'-0"



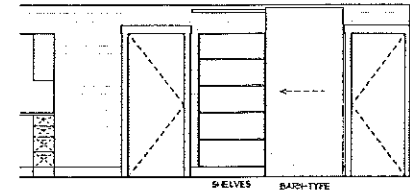
6 OFFICE
A5.2 SCALE: 1/4" = 1'-0"



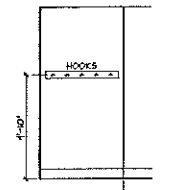
7 OFFICE
A5.2 SCALE: 1/4" = 1'-0"



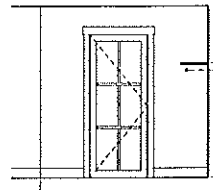
8 OFFICE
A5.2 SCALE: 1/4" = 1'-0"



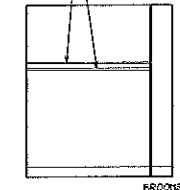
3A LIVING ROOM W/ BARN DOOR CLOSED
A5.2 SCALE: 1/4" = 1'-0"



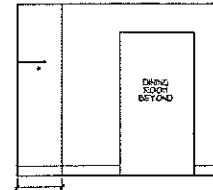
9 MUDROOM
A5.2 SCALE: 1/4" = 1'-0"



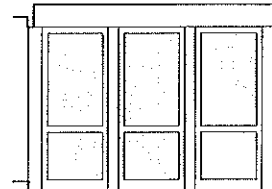
10 MUDROOM
A5.2 SCALE: 1/4" = 1'-0"



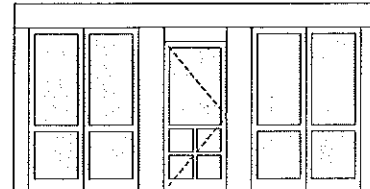
11 MUDROOM
A5.2 SCALE: 1/4" = 1'-0"



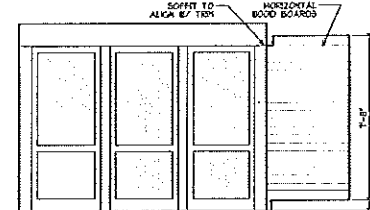
12 MUDROOM
A5.2 SCALE: 1/4" = 1'-0"



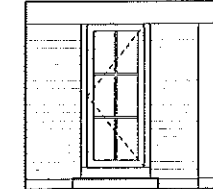
13 SCREENED PORCH
A5.2 SCALE: 1/4" = 1'-0"



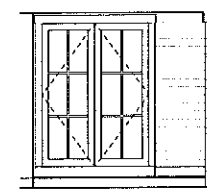
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15 SCREENED PORCH
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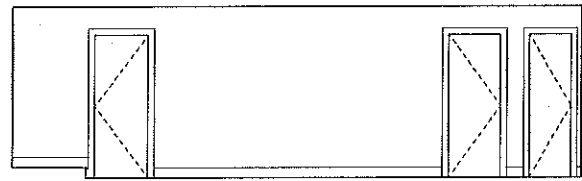


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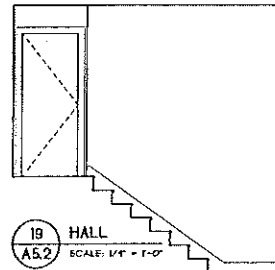


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A5.2 SCALE: 1/4" = 1'-0"

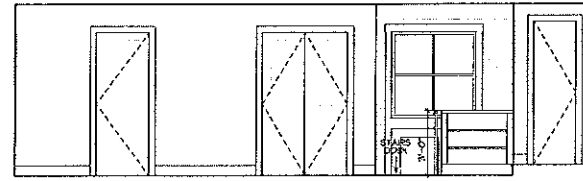
UPPER LEVEL



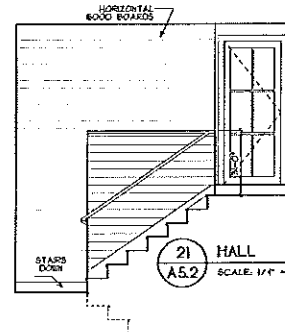
18 HALL
A5.2 SCALE: 1/4" = 1'-0"



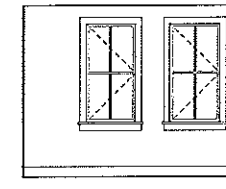
19 HALL
A5.2 SCALE: 1/4" = 1'-0"



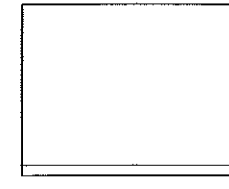
20 HALL
A5.2 SCALE: 1/4" = 1'-0"



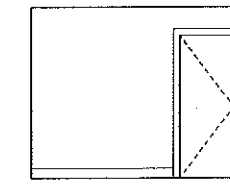
21 HALL
A5.2 SCALE: 1/4" = 1'-0"



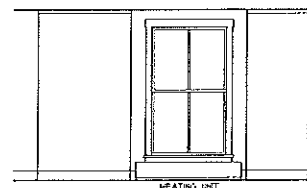
22 BEDROOM 1 BEDROOM 2 MIR.
A5.2 SCALE: 1/4" = 1'-0"



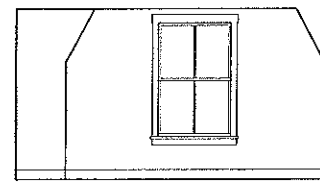
23 BEDROOM 1 BEDROOM 2 MIR.
A5.2 SCALE: 1/4" = 1'-0"



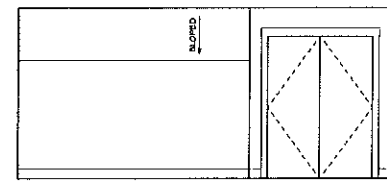
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A5.2 SCALE: 1/4" = 1'-0"



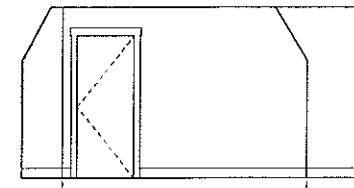
26 MASTER BEDROOM
A5.2 SCALE: 1/4" = 1'-0"



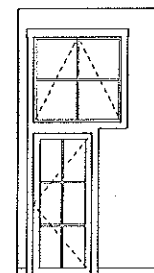
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A5.2 SCALE: 1/4" = 1'-0"



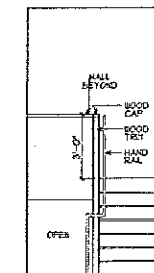
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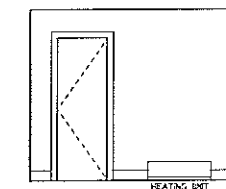
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A5.2 SCALE: 1/4" = 1'-0"



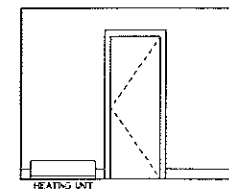
30 STAIR LANDING
A5.2 SCALE: 1/4" = 1'-0"



31 STAIR LANDING
A5.2 SCALE: 1/4" = 1'-0"



25 BEDROOM 1
A5.2 SCALE: 1/4" = 1'-0"



26 BEDROOM 2
A5.2 SCALE: 1/4" = 1'-0"

ANHOLT-WHITE COTTAGE

Cushings Island, Portland, Maine

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Consultants

Structural Engineer
PINKHAM & GREER



Revisions
AUGUST 6, 2012

Job No: 1111
Date: 11 MAY 2012
Scale: 1/4" = 1'-0"
Drawn by: CR
Checked by: SJB

Drawing Title:
Interior Elevations

A5.2

FOR CONSTRUCTION

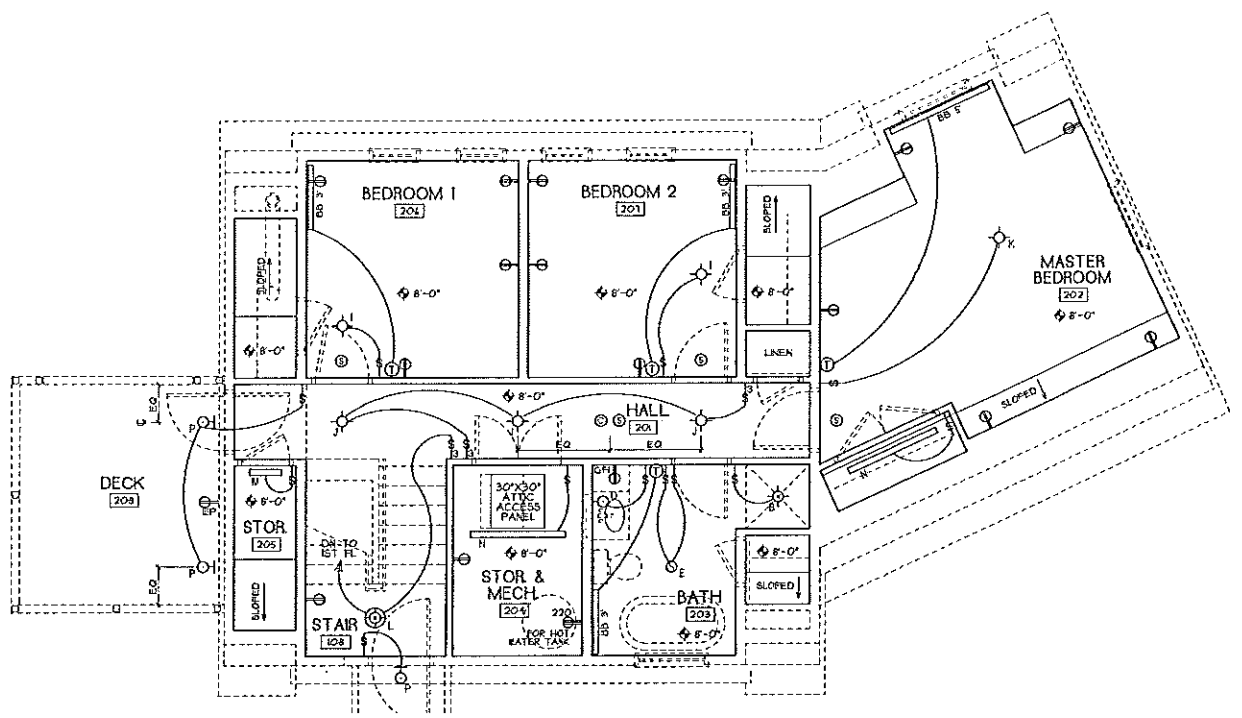
LIGHTING FIXTURE SCHEDULE				
TYPE	DESCRIPTION	MANUFACTURER	MODEL NUMBER	LAMPING
A	RECESSED CEILING FIXTURE	LIGHTOLIER	1002H BY 1002H	RC
B	SURFACE MOUNTED / KEY LOCATION - CEILING	FORECAST	F4035-BNY	RC
C	SURFACE MOUNTED - WALL	FORECAST	F390-342	FL
D	SURFACE MOUNTED - WALL	FORECAST	F391-321	FL
E	CEILING / FAN LIGHT	PANASONIC	FV-40VSL-1	RC
F ₁	UNDER CABINET LIGHT	LIGHTOLIER	TASKMASTER L 1 1/2" PROFILE, 3"	FL
F ₂	UNDER CABINET LIGHT	LIGHTOLIER	TASKMASTER L 1 1/2" PROFILE, 3"	FL
G	-	-	-	-
H	SURFACE MOUNTED - CEILING FOR PENDANT	BY OWNER	-	-
I	SURFACE MOUNTED - CEILING	FORECAST	F40-342	FL
J	SURFACE MOUNTED - CEILING	FORECAST	F240-342	FL
K	SURFACE MOUNTED - CEILING	FORECAST	F240-342	FL
L	PENDANT (BOTTOM OF FIXTURE 8'-0" AFF)	FORECAST	F66-121	FL
M	CLOSET FIXTURE	LIGHTOLIER	LS2814NVPF	FL
N	CLOSET FIXTURE	LIGHTOLIER	LS4029NVPF	FL
O	EXTERIOR FIXTURE AT ENTRANCE	H-LITE	HS20-B-N-CLR-CAL-24 CLR-BCH-11	FL
P	EXTERIOR WALL / KEY LOCATION	FORECAST	F414-1	RC

NOTES:
 1. SUPPLY CUT SHEETS ON ALL PROPOSED FIXTURES TO ARCHITECT AND OWNER PRIOR TO PURCHASE.
 2. SUPPLY APPROPRIATE BULBS FOR ALL FIXTURES. SUPPLY 10 EXTRA BULBS OF EACH TYPE.

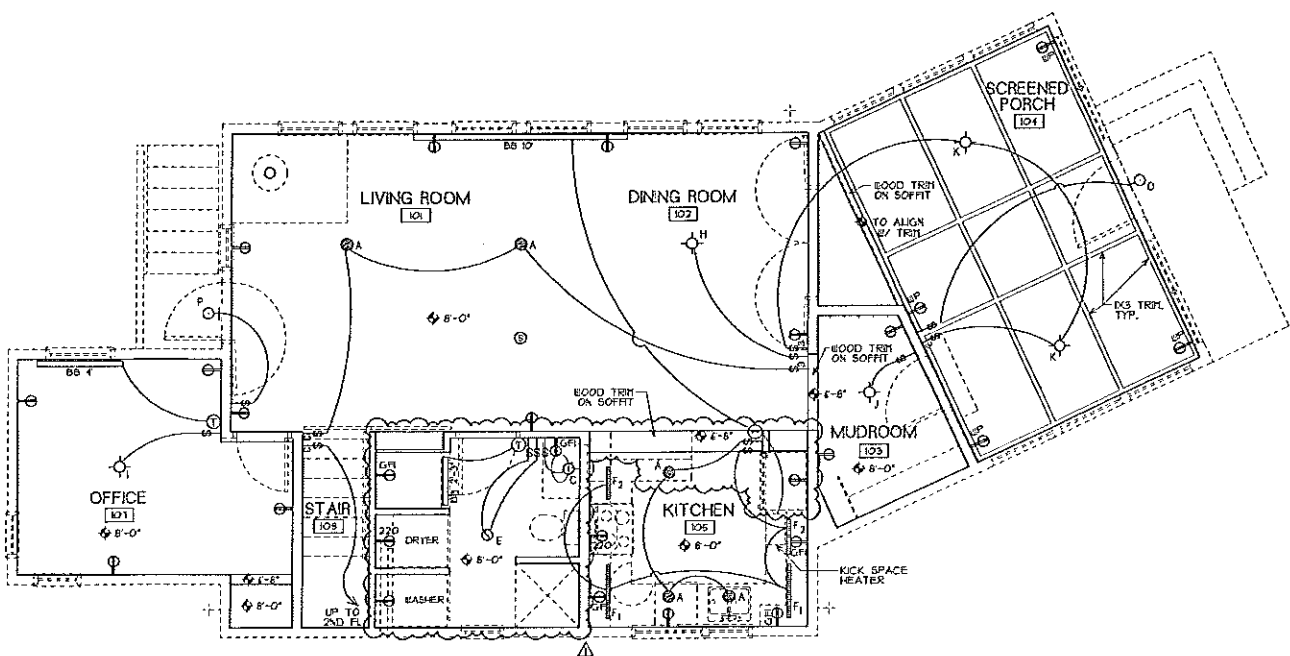
- ### ELECTRICAL NOTES
- ALL WORK SHALL CONFORM TO LOCAL AND STATE CODES AND THE N.E.C.
 - SWITCHES SHALL BE MOUNTED 4'-0" TO TOP OF PLATE. SWITCHES SHOWN IN SAME AREA SHALL BE GANGED UNDER A COMMON PLATE UP TO THREE SWITCHES MAXIMUM. MOUNT SWITCHES AS CLOSE AS POSSIBLE TO EDGE OF DOOR FRAME ON LOCKSIDE.
 - MINIMUM WIRE SHALL BE #14G COPPER. ALL REFERENCE TO WIRE SIZE IS INTENDED AS COPPER. CIRCUIT BREAKER SIZE SHALL Dictate WIRE SIZE OF ALL CONDUCTORS.
 - THE ENTIRE ELECTRICAL SYSTEM SHALL BE GROUNDED BY MEANS OF A SEPARATE GROUND CONDUCTOR. GROUND SHALL NOT BE CONSIDERED A GROUND CONDUCTOR BUT SHALL BE GROUNDED. USE TABLE 250-56 IN N.E.C.
 - THIS CONTRACTOR SHALL COORDINATE WITH OTHER TRADES WHERE EQUIPMENT AND/OR DEVICES ARE FURNISHED BY OTHER TRADES AND BEED RESULT OF IN PART BY THIS CONTRACTOR SO AS TO ACHIEVE A COMPLETE AND OPERATING SYSTEM.
 - OUTLETS OR JUNCTION BOXES MOUNTED BACK TO BACK SHALL BE PROVIDED.
 - THIS CONTRACTOR SHALL VERIFY MOUNTING HEIGHTS FOR ALL OUTLETS. COORDINATE RECEPTACLES CAREFULLY PRIOR TO INSTALLATION.
 - ALL KITCHEN AND BATHROOM OUTLETS TO BE GROUND FAULT INTERRUPT.
 - SWITCHED OUTLETS SHALL BE SPLIT-WIRE. TOP LINE, BOTTOM SWITCHED.
 - FINAL LOCATION OF ALL FIXTURES & OUTLETS TO BE APPROVED IN FIELD BY ARCHITECT AND/OR OWNER PRIOR TO ROUGH-IN.
 - THIS CONTRACTOR SHALL BE RESPONSIBLE FOR DUCTING ALL BATHROOM EXHAUST FANS TO EXTERIOR. SOFFIT EXHAUST VENTS. ONLY RGG PVC OR GALVANIZED METAL DUCT SHALL BE USED. INSULATE DUCTS IN COLD SPACES.
 - ALL RECESSED LIGHTS AND FANS TO BE DESIGNED FOR SAFE INSTALLATION IN INSULATED CEILING AND BE SHALLOW DEPTH MODELS.
 - REPLACE ALL NONFUNCTIONING OUTLETS AND SWITCHES WITH WHITE OUTLETS, SWITCHES, AND PLATES.
 - INSTALL PORTABLE PLATES OVER ALL NONFUNCTIONING DEVICES AS REQUIRED BY CODE AND GIVE OPTION FOR REMOVAL OF BRING FROM WALLS/CEILING.

ELECTRICAL LEGEND

SYMBOL	DESCRIPTION	NOTES
⊞	SWITCH	
⊞/⊞	3-WAY SWITCH	
⊞/⊞/⊞	4-WAY SWITCH	
⊞	DUPLEX OUTLET	
⊞	DUPLEX OUTLET BELOW COUNTER	
⊞	DUPLEX OUTLET GROUND FAULT INTERRUPT	
⊞	DUPLEX OUTLET WATER PROOF	
⊞	220-240V OUTLET	
⊞	QUAD OUTLET	
⊞	DUPLEX FLOOR OUTLET	PROVIDE WOOD COVER TO MATCH FLOOR
⊞	THERMOSTAT	
⊞	DOORBELL	
⊞	DOORBELL CHIME	
⊞	EXTERIOR POLE-MOUNTED FIXTURE	
⊞	UTILITY CEILING FIXTURE	PORCELAIN OR EQUIVALENT
⊞	SURFACE-MTD CEILING FIXTURE	
⊞	PENDANT CEILING FIXTURE	
⊞	RECESSED CEILING FIXTURE	
⊞	EXTERIOR DIRECTIONAL FIXTURE	
⊞	WALL MOUNTED FIXTURE	
⊞	CLOSET FIXTURE	
⊞	JUNCTION BOX	
⊞	UNDER CABINET FIXTURE	
⊞	EXHAUST FAN / LIGHT	SEPARATE SWITCHES FOR FAN AND LIGHT
⊞	SMOKE DETECTOR	INTERCONNECTED AND HARDWIRED WITH BATTERY BACKUP
⊞	CARBON MONOXIDE SENSOR	INTERCONNECTED AND HARDWIRED WITH BATTERY BACKUP
⊞	COAXIAL CABLE/INTERNET JACK	
⊞	DUPLEX TELEPHONE OUTLET	
⊞	SURFACE-MTD CLOSET FIXTURE	HINGE SWITCH
⊞	BASEBOARD HEAT	



2 ELECTRICAL - UPPER LEVEL
 A6.1 SCALE: 1/4" = 1'-0"



1 ELECTRICAL - LOWER LEVEL
 A6.1 SCALE: 1/4" = 1'-0"

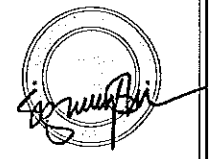
ANHOLT-WHITE COTTAGE

Cushings Island, Portland, Maine

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Consultants
 Structural Engineer
 PINKHAM & GREER



Revisions
 AUGUST 8, 2000

Job No.: 1151
 Date: 18 MAY 2012
 Scale: 1/4" = 1'-0"
 Drawn By: CR
 Checked by: S.S.

Drawing Title:
 Reflected Ceiling /
 Electrical & Lighting

A6.1
 FOR CONSTRUCTION

DIVISION 13 FIRE SUPPRESSION



GENERAL

1.01 SECTION INCLUDES

Complete automatic suppression system, wet.

1.02 REFERENCE STANDARDS

National Fire Protection Association (NFPA) 13D, Standard for the Installation of Sprinkler Systems in One & Two Family Dwellings, 2010 edition.

City of Portland Fire Department Rules and Regulations for Fixed Fire Protection Systems.

1.03 ADMINISTRATIVE REQUIREMENTS

The intent of this Specification is to install a 100% complete NFPA 13D-compliant automatic sprinkler system in the entire building.

All work shall be conducted in a workmanship like manner consistent with current industry standards for the installation of fire suppression systems.

Designer/Installer (DI) shall be responsible for coordinating specific requirements for this system with the State of Maine Fire Marshals Office and the Local Fire Department.

1.04 GENERAL DESCRIPTION

DI shall provide labor, materials, equipment, and services to perform operations required for the complete installation and related work as required in Specification.

Equipment and accessories furnished under the terms of this Specification shall be the standard products of a single manufacturer.

1.05 CODES AND PERMITS

All work under this contract shall comply fully with requirements, rules and regulations of agencies having jurisdiction including, but not limited to the Local Fire Department, State of Maine Fire Marshal's Office and owner's insurance carrier.

System is to be compliant with 2010 (latest) edition of NFPA 13D.

Any work that has to be changed to conform to the regulations and codes shall be made at the Sprinkler Contractor's expense.

Any conditions noted in the Specification, which would be contrary to such regulations shall be brought to the attention of the Architect before work is started.

Permits and fees shall be obtained by the Sprinkler Contractor.

All sprinkler systems installed shall have a plumbing permit from the local Building Department.

SYSTEM DESCRIPTION AND PERFORMANCE REQUIREMENTS

**Anholt-White Cottage
Specifications**

**Cushing's Island, Portland Maine
May 2012**

All portions of the facility are to be equipped with automatic sprinkler protection as required by NFPA 13D. Contractor will be responsible for installing protection in the building fully compliant with this Specification.

Provide sprinklers, pipe and all necessary appurtenances. System shall be designed, installed and tested in accordance with National Fire Protection Association (NFPA) Standard No. 13D, the owner's insurance carrier, and all other governing regulations for the State of Maine and the Local Fire Department.

Sprinkler system shall be hydraulically designed to provide the required densities as per NFPA 13D and the owner's insurance carrier. All piping is to be capable of supplying adequate flow and pressure to conform to appropriate codes. Calculations for all systems to be based on the public water supply only.

All areas of the building are to be calculated based on NFPA 13D requirements.

Piping is to be hung per NFPA 13D.

All valves in the sprinkler system shall have a permanent tag indicating their purpose.

Sprinkler system shall be designed to meet State of Maine Fire Marshal's requirements for Seasonal shut down, with all piping to drain to central low point in the conditioned portion of the crawl space.

Water Supply: Contractor is responsible for verifying water pressure and flows from the Portland Water District. Address 66 Shore Road Cushing's Island Maine. System shall be stand alone type. Hydrant flow test to be performed before system is designed or submitted for approval.

1.06 SUBMITTALS

Submit required documentation for sprinkler system design and features to the State of Maine Fire Marshal's Office and the City of Portland Fire Department.

Shop Drawings: Prior to actual construction, submit shop drawings detailing the materials, fixtures and equipment to be incorporated in the Work, including hydraulic calculations certified by an Engineer licensed in the State of Maine and with sign off approval for design by the Local Fire Department. Shop drawings must contain all information required by NFPA 13D.

Information shall contain specific reference to catalogue numbers and shall be qualified in writing as required. No consideration will be given to brochure or catalogue information not specifically designated or referenced to the Specification by an identifying number.

All shop drawings shall be drawn at a 1/8-inch scale minimum. The Contractor shall submit six (6) sets each of shop drawings and product submittals for approval.

Qualification Data for Firms and Persons: Documentation to verify that the person(s) responsible for system design and installation have the required qualifications as stated in "Quality Assurance" section of this specification.

Submit the following at project close-out:

Record Drawings: Submit record drawings to indicate exact location of all piping, valves, drains, test fittings, switches, etc. Information shall contain specific reference to catalog numbers and shall be qualified in writing as well.

Record Calculations: Submit record calculations based on the exact location of all piping, valves, drains, test fittings, switches, etc.

QUALITY ASSURANCE

The fire protection system designer is to be a Fire Protection Engineer licensed in the State of Maine.

Drawings, hydraulic calculations, and sway bracing calculations shall be stamped by a Fire Protection Engineer licensed in the State of Maine.

PRODUCTS

2.01 MATERIALS, GENERAL

- A. Sprinkler equipment shall be new and comply with referenced standards and other requirements specified in this Section applicable to each material indicated.
- B. Sprinkler equipment shall be listed in "List of Inspected Fire Protection and Material", published annually by Underwriters Laboratories (UL) and shall bear UL approved stamp or label.
- C. Trade names and specific manufacturer's model numbers, which define type and quality of materials and equipment, shall be required.
- D. Unless otherwise specified, equipment or materials of the same type or classification used for the same purpose shall be the product of the same manufacturer.

2.02 PIPING AND FITTINGS

- A. All piping shall meet the standards set forth in NFPA 13D.
- B. Aboveground piping shall be black steel or CPVC Blaze Master piping.

2.03 SPRINKLERS

- A. Heads shall be of automatic type approved for use in the system.
 - 1. Sprinklers in finished areas shall be white concealed type. Sprinklers in unfinished areas to be brass uprights.
 - 2. Wall type sprinkler heads shall white recessed heads.
 - 3. All heads shall be listed for use in the area placed (i.e. residential areas).
- B. Fusible temperature for heats shall be 155 degrees F for pendent and upright heads.
- C. Sprinkler head guards to be installed in all mechanical rooms and storage rooms.
- D. Acceptable sprinkler manufacturers are as follows or as follows:
 - 1. Victaulic, Reliable, Viking, Grinnell, and Automatic Sprinkler of America.

2.04 VALVES

- A. All underground valves shall be UL approved for the service intended designed for 175 W.P. minimum. Rotation of opening for underground valves shall conform to the local water authority standards.
- B. Sprinkler system control valves shall be IBBM, solid wedge gate, rising stem OS&Y for 175 psi W.W.P. Install with electronically wired tamper switch. The wiring of each switch to an alarm shall be done by an Electrical Contractor.
- C. Acceptable control valves shall be as follows or approved equal:
 - 1. Kennedy, Clow, Jenkins, Walworth.
- D. Wet-pipe systems shall include UL/FM approved alarm check valve.
 - 1. Alarm valve shall be equipped with a removable cover/clapper assembly. Alarm valve shall be listed for installation in the vertical or horizontal position. Alarm

valve shall be equipped with gauge connections on the system side and supply side of the valve clapper. Alarm valve to be equipped with an external bypass to eliminate false water flow alarms. Alarm valve trim piping to be galvanized. Valve trim shall include a connection for a non-interruptible pressure switch. Alarm valve body to be ductile iron and available with grooved by grooved, flanged by grooved and flanged by flanged supply and discharge outlets, respectively. Maximum working pressure to 250 PSI.

2.05 VALVE SEALS, TAGS, AND CHARTS

- A. Provide copper wire and approved seal for each manually operated shut-off valve that is required to be sealed in the open position.
- B. Provide identification signs of standard design, fastened securely at designated locations as per NFPA 13 and Authority Having Jurisdiction (AHJ).
- C. Provide brass tags about 2 inches in diameter. Stamp with designating number, secure with 12 gauge copper wire to spindle of all control valves.

2.06 GAUGES

- A. Provide approved gauges as required per NFPA 13D and the Authority Having Jurisdiction.

2.07 ALARM AND TAMPER SWITCHES

- A. Provide a UL/FM tamper switch on all valves to monitor the open position of the valve.
- B. Provide UL/FM flow switches as required by NFPA 13D and local Fire Department.
- C. Provide UL/FM low-pressure switches as required by NFPA 13D and the Local Fire Department.

2.8 ANCHORS, SUPPORTS AND HANGERS

- A. Hangers shall be clevis type or split ring supported from the structure. Confirm all sprinkler loads and hanging details with building designer or structural engineer to ensure proper loading points.

2.9 PIPE SLEEVES, ESCUTCHEONS

- A. Provide proper sleeves to accommodate pipes passing through walls, floors, and partitions. Provide escutcheons at exposed finished surfaces pierced by pipes. Do not cut through any beams or building structural support structure without written permission of Owner.
- B. Extend sleeves 1½ inches above finished floor and pack space between pipe and sleeve as recommended in NFPA 13D.

PART 3 EXECUTION

3.01 PREPARATION

- A. The Contractor shall obtain detailed information from the manufacturers of apparatus that is to be provided by the Contractor for the proper methods of installation.
- B. The Contractor shall keep fully informed as to the shape, size and position of all openings and foundations required for apparatus and shall give full information to the Construction Manager sufficiently in advance of the work so that all such openings and foundations may be built in advance. The Contractor shall also furnish all supports herein specified so that the Construction Manager may build it in place. In case of failure on the part of the Contractor to give proper information as noted above, the Contractor shall assume the cost of having the work done by the Construction Manager.

3.02 INSTALLATION

- A. Keep the interior of piping clean during installation at all times. All open ends of pipe shall be properly capped or plugged during the construction period to prevent entrance of foreign matter.
- B. Piping within the building shall run concealed wherever possible and shall be installed as close to the structure as possible.
- C. All piping, in general, shall be run as straight and direct as possible forming right angles or parallel lines with the building walls and other pipes, and be neatly spaced. Check closely with other trades to prevent interference. No claims will be allowed for extra work caused by failure to coordinate with others.
- D. During the installation of the system, coordinate the final location of all the piping and appurtenances to permit the proper installation and operation of other trades and of all systems.
- E. No pipe shall be installed outside of the building or in an exterior wall unless adequate provision is made to protect such pipe from freezing.
- F. Escutcheons shall be provided for all exposed piping passing through finished rooms.

3.03 WORKMANSHIP

- A. All work shall be executed in a workmanship-like manner and shall present a neat, mechanical appearance when completed.

3.04 FLUSHING

- A. The system shall be thoroughly flushed before sprinklers are in place in order to free the system from any stones or other obstructing material that might clog the orifices of sprinklers.
- B. Where evidence of stoppage appears in piping or equipment, disconnect, clean, repair, and reconnect obstructed parts. The Contractor shall bear the cost of cutting, patching and joining work necessitated by such cleaning and repairing.

3.05 FIELD QUALITY CONTROL

- A. Prior to any concealing of sprinkler equipment, the Engineer shall visually verify that the installation is in accordance with approved shop drawings. Inspection shall verify pipe sizes and lengths, pipe supports and fitting locations.

3.06 ACCEPTANCE TESTING

- A. Contractor shall furnish all instruments, ladders, test equipment, and personnel required for the testing of systems. Dispose of all test and waste water.
- B. System shall be hydrostatically tested at 200 psig for a period of two (2) hours. Alarms and other devices shall be tested by flowing water through the inspectors test connection.
 - 1. After satisfactory final inspection and test by the approving authority, a copy of the letter of acceptance shall be filed with the Owner.
- C. When hydrostatic and alarm tests have been completed and all necessary corrections made, the Contractor shall submit a signed and dated certificate, as required by NFPA 13D, with a request for an inspection.
- D. A competent representative of the sprinkler installer shall be present during the field tests and inspection.
- E. All defects or deficiencies shall be corrected by the Contractor at Contractor's own expense and additional tests made until it has been demonstrated that the systems comply with all contract requirements. All appliances and equipment for additional

**Anholt-White Cottage
Specifications**

**Cushing's Island, Portland Maine
May 2012**

testing shall be furnished by the Contractor and all expenses in connection with the tests shall be defrayed by the Contractor.

3.07 CUTTING AND PATCHING

A. All cutting and patching is the responsibility of the Sprinkler Contractor.