

105-Z-22

2013-109

LeRand's Way - Little Diamond  
Pier Reconstruction Island

add to Spreadsheet

City of Portland  
Development Review Application  
Planning Division Transmittal Form

**Application Number:** 2013-109

**Application Date:** 04/02/2013

**CBL:** 105 Z022001

**Application Type:** Level I Site Alteration

**Project Name:** Old Coast Guard pier

**Address:** 6 RAND'S WAY

**Project Description:** Reconstruction of the pier of Little Diamond Island owned by Old Coast Guard Station, LLC.; Improvements (less than 50% to the existing 71' x 31.5' building located on the pier.

**Zoning:** IB

**Other Required Reviews:**

- |   |   |  |
|---|---|--|
| <input type="checkbox"/> Traffic Movement | <input type="checkbox"/> 14-403 Streets | <input type="checkbox"/> Housing Replacement   |
| <input type="checkbox"/> Storm Water      | # Units _____                           | <input type="checkbox"/> Historic Preservation |
| <input type="checkbox"/> Subdivision      | <input type="checkbox"/> Flood Plain    | <input type="checkbox"/> Other:                |
| # Lots _____                              | <input type="checkbox"/> Shoreland      |  |
| <input type="checkbox"/> Site Location    | <input type="checkbox"/> Design Review  |  |
| # Unit _____                              |   |  |

**Distribution List:**

<b>Planner</b>	Jean Fraser	<b>Parking</b>	John Peverada
<b>Zoning</b>	Marge Schmuckal	<b>Design Review</b>	Alex Jaegerman
<b>Traffic Engineer</b>	Tom Errico	<b>Corporation Counsel</b>	Danielle West-Chuhta
<b>Civil Engineer</b>	David Senus	<b>Sanitary Sewer</b>	John Emerson
<b>Fire Department</b>	Chris Pirone	<b>Inspections</b>	Tammy Munson
<b>City Arborist</b>	Jeff Tarling	<b>Historic Preservation</b>	Deb Andrews
<b>Engineering</b>	David Margolis-Pineo	<b>DRC Coordinator</b>	Phil DiPierro
		<b>Outside Agency</b>	

**Comments needed by 5/7/2013**



# PORTLAND MAINE

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## Planning & Urban Development Department

Jeff Levine, AICP, Director

## Planning Division

Alexander Jaegerman, FAICP, Director

July 24<sup>th</sup>, 2013

Charles (Kip) Moore  
Old Coast Guard Station LLC  
2 Union Street, Suite 500  
Portland, ME 04101

Barney Baker, PE  
7 Spruce Road  
Freeport, ME 04032

Project Name: **Old Coast Guard Pier Reconstruction**  
Project ID: 2013-109  
Address: 6 Rand's Way, Little Diamond Island  
CBL: 105 Z022 001  
Applicant: Charles (Kip) Moore  
Planner: Jean Fraser

Dear Mr Moore and Mr Baker:

On July 24<sup>th</sup>, 2013, the Planning Authority approved with conditions a Level I: Site Alteration site plan for reconstruction of the existing pier within the same footprint, and associated increase to the existing building elevations, located at 6 Rand's Way, Little Diamond Island.

The site plan approval is based on the submissions prepared by Baker Design Consultants dated April 17, 2013 and by Royal River Survey Company submitted June 5, 2013.

### SITE PLAN REVIEW

The Planning Authority found the plan is in conformance with the Site Plan Standards of the Land Use Code subject to the following conditions of approval:

1. That the approval is subject to the issuance of the Flood Hazard Development Permit; and
2. That a building permit is required, and must be obtained from the Code Enforcement and Inspections office prior to starting any work; and
3. That this site plan approval does not relate to the use of the existing large (71 ft by 31.5 ft) building on the pier, which is subject to previous permits/approvals and the I-B zone ordinance requirements.

The approval is based on the submitted site plan. If you need to make any modifications to the approved site plan, you must submit a revised site plan for staff review and approval.

**STANDARD CONDITIONS OF APPROVAL**

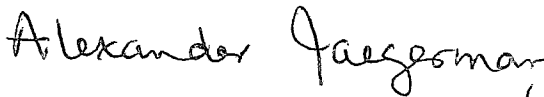
Please note the following standard conditions of approval and requirements for all approved site plans:

1. **Develop Site According to Plan** The site shall be developed and maintained as depicted on the site plan and in the written submission of the applicant. Modification of any approved site plan or alteration of a parcel which was the subject of site plan approval after May 20, 1974, shall require the prior approval of a revised site plan by the Planning Board or Planning Authority pursuant to the terms of Chapter 14, Land Use, of the Portland City Code.
2. **Separate Building Permits Are Required** This approval does not constitute approval of building plans, which must be reviewed and approved by the City of Portland's Inspection Division.
3. **Site Plan Expiration** The site plan approval will be deemed to have expired unless work has commenced within one (1) year of the approval or within a time period up to three (3) years from the approval date as agreed upon in writing by the City and the applicant. Requests to extend approvals must be received before the one (1) year expiration date.
4. **Department of Public Services Permits** If work will occur within the public right-of-way such as utilities, curb, sidewalk and driveway construction, a street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8828. (Only excavators licensed by the City of Portland are eligible.)

The Development Review Coordinator must be notified five (5) working days prior to the date required for final site inspection. The Development Review Coordinator can be reached at the Planning Division at 874-8632. All site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

If there are any questions, please contact Jean Fraser at (207) 874- 8728.

Sincerely,

  
Alexander Jaegerman, FAICP (LBG)  
Planning Division Director

cc:

Jeff Levine, AICP, Director of Planning and Urban Development  
Alexander Jaegerman, FAICP, Planning Division Director  
Barbara Barhydt, Development Review Services Manager  
Jean Fraser, Planner  
Philip DiPierro, Development Review Coordinator, Planning  
Marge Schmuckal, Zoning Administrator, Inspections Division  
Tammy Munson, Inspection Division Director  
Lannie Dobson, Administration, Inspections Division  
Gayle Guertin, Administration, Inspections Division  
Michael Bobinsky, Public Services Director  
Katherine Earley, Engineering Services Manager, Public Services  
Bill Clark, Project Engineer, Public Services  
David Margolis-Pineo, Deputy City Engineer, Public Services  
Doug Roncarati, Stormwater Coordinator, Public Services

Greg Vining, Associate Engineer, Public Services  
Michelle Sweeney, Associate Engineer  
John Low, Associate Engineer, Public Services  
Rhonda Zazzara, Field Inspection Coordinator, Public Services  
Mike Farmer, Project Engineer, Public Services  
Jane Ward, Administration, Public Services  
Jeff Tarling, City Arborist, Public Services  
Jeremiah Bartlett, Public Services  
Captain Chris Pirone, Fire Department  
Danielle West-Chuhta, Corporation Counsel  
Thomas Errico, P.E., TY Lin Associates  
David Senus, P.E., Woodard and Curran  
Rick Blackburn, Assessor's Department  
Approval Letter File



# PORTLAND MAINE

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## Planning & Urban Development Department

Jeff Levine, AICP, Director

## Planning Division

Alexander Jaegerman, FAICP, Director

July 24<sup>th</sup>, 2013

Charles (Kip) Moore  
Old Coast Guard Station LLC  
2 Union Street, Suite 500  
Portland, ME 04101

Barney Baker, PE  
7 Spruce Road  
Freeport, ME 04032

Project Name: **Old Coast Guard Pier Reconstruction**  
Project ID: 2013-109  
Address: 6 Rand's Way, Little Diamond Island  
CBL: 105 Z022 001  
Applicant: Charles (Kip) Moore  
Planner: Jean Fraser

Dear Mr Moore and Mr Baker:

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The site plan approval is based on the submissions prepared by Baker Design Consultants dated April 17, 2013 and by Royal River Survey Company submitted June 5, 2013.

### **SITE PLAN REVIEW**

The Planning Authority found the plan is in conformance with the Site Plan Standards of the Land Use Code subject to the following conditions of approval:

1. That the approval is subject to the issuance of the Flood Hazard Development Permit; and
2. That a building permit is required, and must be obtained from the Code Enforcement and Inspections office prior to starting any work; and
3. That this site plan approval does not relate to the use of the existing large (71 ft by 31.5 ft) building on the pier, which is subject to previous permits/approvals and the I-B zone ordinance requirements.

The approval is based on the submitted site plan. If you need to make any modifications to the approved site plan, you must submit a revised site plan for staff review and approval.

**STANDARD CONDITIONS OF APPROVAL**

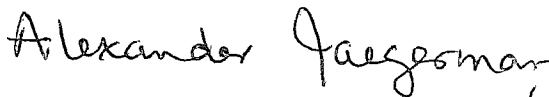
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4. **Department of Public Services Permits** If work will occur within the public right-of-way such as utilities, curb, sidewalk and driveway construction, a street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8828. (Only excavators licensed by the City of Portland are eligible.)

The Development Review Coordinator must be notified five (5) working days prior to the date required for final site inspection. The Development Review Coordinator can be reached at the Planning Division at 874-8632. All site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

If there are any questions, please contact Jean Fraser at (207) 874- 8728.

Sincerely,

  
Alexander Jaegerman, FAICP (LB3)  
Planning Division Director

cc:

Jeff Levine, AICP, Director of Planning and Urban Development  
Alexander Jaegerman, FAICP, Planning Division Director  
Barbara Barhydt, Development Review Services Manager  
Jean Fraser, Planner  
Philip DiPiero, Development Review Coordinator, Planning  
Marge Schmuckal, Zoning Administrator, Inspections Division  
Tammy Munson, Inspection Division Director  
Lannie Dobson, Administration, Inspections Division  
Gayle Guertin, Administration, Inspections Division  
Michael Bobinsky, Public Services Director  
Katherine Earley, Engineering Services Manager, Public Services  
Bill Clark, Project Engineer, Public Services  
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Captain Chris Pirone, Fire Department  
Danielle West-Chuhta, Corporation Counsel  
Thomas Errico, P.E., TY Lin Associates  
David Senus, P.E., Woodard and Curran  
Rick Blackburn, Assessor's Department  
Approval Letter File



# PORTLAND MAINE

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**Planning & Urban Development Department**  
Jeff Levine, AICP, Director

**Planning Division**  
Alexander Jaegerman, FAICP, Director

June 12<sup>th</sup>, 2013

Charles (Kip) Moore  
Old Coast Guard Station LLC  
2 Union Street, Suite 500  
Portland, ME 04101

*6-12-13  
Barney  
confirmed they  
are waiting for  
MOEP so have  
some handi*

Barney Baker, PE  
7 Spruce Road  
Freeport, ME 04032

Project Name: **Old Coast Guard Pier Reconstruction**  
Project ID: 2013-109  
Address: 6 Rand's Way, Little Diamond Island  
CBL: 105 Z022 001  
Applicant: Charles (Kip) Moore  
Planner: Jean Fraser

*Annotated 6-12-13*

Dear Mr Moore:

On June 12<sup>th</sup>, 2013, the Planning Authority approved with conditions a Level I: Site Alteration site plan for reconstruction of the existing pier and associated increase to the building elevations of the existing building at 6 Rand's Way, Little Diamond Island.

The approval is based on the submissions prepared by Baker Design Consultants dated April 17, 2013 and by Royal River Survey Company submitted June 5, 2013.

### SITE PLAN REVIEW

The Planning Authority found the plan is in conformance with the Site Plan Standards of the Land Use Code subject to the following conditions of approval:

1. That the approval is subject to the issuance of the Flood Hazard Development Permit; and
2. That the use of the large (71ft by 31.5 ft) existing building on the pier complies with zoning.

*MOEP.*

The approval is based on the submitted site plan. If you need to make any modifications to the approved site plan, you must submit a revised site plan for staff review and approval.

*He will send -  
that or to approved user -  
Spoke to Barney Baker 6.12.13 -  
was a Pl. Consent from 20yrs ago - maybe refer to*

② spoke to Phil - this is mod. to match the one he did at Welch St.

**STANDARD CONDITIONS OF APPROVAL**

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4. **Performance Guarantee and Inspection Fees** A performance guarantee covering the site improvements, inspection fee payment of 2.0% of the guarantee amount must be submitted to and approved by the Planning Division and Public Services Department prior to the release of a building permit, street opening permit or certificate of occupancy for site plans. If you need to make any modifications to the approved plans, you must submit a revised site plan application for staff review and approval.
5. **Defect Guarantee** A defect guarantee, consisting of 10% of the performance guarantee, must be posted before the performance guarantee will be released.
6. **Preconstruction Meeting** Prior to the release of a building permit or site construction, a pre-construction meeting shall be held at the project site. This meeting will be held with the contractor, Development Review Coordinator, Public Service's representative and owner to review the construction schedule and critical aspects of the site work. At that time, the Development Review Coordinator will confirm that the contractor is working from the approved site plan. The site/building contractor shall provide three (3) copies of a detailed construction schedule to the attending City representatives. It shall be the contractor's responsibility to arrange a mutually agreeable time for the pre-construction meeting.
7. **Department of Public Services Permits** If work will occur within the public right-of-way such as utilities, curb, sidewalk and driveway construction, a street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8828. (Only excavators licensed by the City of Portland are eligible.)
8. **As-Built Final Plans** Final sets of as-built plans shall be submitted digitally to the Planning Division, on a CD or DVD, in AutoCAD format (\*.dwg), release AutoCAD 2005 or greater.

Envision  
Control  
not an issue

\$200

Keep on



The Development Review Coordinator must be notified five (5) working days prior to the date required for final site inspection. The Development Review Coordinator can be reached at the Planning Division at 874-8632. All site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

If there are any questions, please contact Jean Fraser at (207) 874- 8728.

Sincerely,

Alexander Jaegerman, FAICP  
Planning Division Director

cc: Jeff Levine, AICP, Director of Planning and Urban Development  
Alexander Jaegerman, FAICP, Planning Division Director  
Barbara Barhydt, Development Review Services Manager  
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Rick Blackburn, Assessor's Department  
Approval Letter File

**Jean Fraser - Fwd: RE: RE: 6 Rand's Road Pier Re-Construction**

**From:** Jean Fraser  
**To:** Baker, Barney PE  
**Date:** 6/20/2013 3:11 PM  
**Subject:** Fwd: RE: RE: 6 Rand's Road Pier Re-Construction

Barney

We discussed this by 'phone last week and I would like to send out the approval letter. I suggest that the second condition could be worded:

- That this approval does not relate to any change of use for the existing large (71 ft by 31.5 ft) building on the pier, which is subject to previous site plan approvals and the I-B zone ordinance limitations.

thank you  
Jean

>>> Jean Fraser 6/12/2013 11:23 AM >>>  
Barney

The Fire Department has "signed off" based on this information and I am finalizing the Level I Site Alteration approval letter which will go out in the next day or two. It will have 2 conditions:

- Subject to the issuance of the Flood Hazard Dev. Permit; and
- Subject to the use of the larger building on the pier being in compliance with zoning.

Please note that Part 2 of the Flood Hazard Development application needs to be completed before a building permit can be issued; Marge Schmuckal can clarify that process if you have any questions.

thank you  
Jean

Jean Fraser, Planner  
City of Portland  
874 8728

>>> "Barney Baker" <b.baker@bakerdesignconsultants.com> 6/7/2013 5:39 PM >>>  
Hi Chris,  
I did review the exemption and shared it with the property owner. I can confirm that it does apply to this pier replacement project as the structure qualifies as a "private, non-commercial docking facility constructed or occupied for the use of the owners or residents of an associated (upland) single-family dwelling".  
Let me know if you need any additional information.

*Barney called me  
going to check app  
if no fln all OK  
no hurry as other  
approvals  
awaited.*

Thanks,  
Barney Baker, PE  
Baker Design Consultants

Mailing Address:  
7 Spruce Road  
Freeport, Maine 04032

Contact Information:  
B.Baker@BakerDesignConsultants.com  
tel. 207.846.9724 cell.207.838.3636

-----Original Message-----

From: Chris Pirone [mailto:cpp@portlandmaine.gov]  
Sent: Friday, June 07, 2013 3:40 PM  
To: b.baker@bakerdesignconsultants.com  
Cc: Jean Fraser  
Subject: Fwd: RE: 6 Rand's Road Pier Re-Construction

Mr Baker,

Have you had a chance to review 2009 NFPA 1 28.1.2 to confirm this applies to this pier.

I need to provide comments for Jean Fraser.

Thank you.

Captain Chris Pirone  
Portland Fire Department  
Fire Prevention Bureau  
380 Congress Street  
Portland, ME 04101  
(t) 207.874.8405  
(f) 207.874.8410

Notice: Under Maine law, documents - including e-mails - in the possession of public officials or city employees about government business may be classified as public records. There are very few exceptions. As a result, please be advised that what is written in an e-mail could be released to the public and/or the media if requested.

**From:** Chris Pirone  
**To:** Fraser, Jean  
**Date:** 6/11/2013 9:43 PM  
**Subject:** Fwd: RE: RE: 6 Rand's Road Pier Re-Construction  
**Attachments:** RE: RE: 6 Rand's Road Pier Re-Construction

Based on this info. fire is all set.

Thank you Jean for your assistance.

Captain Chris Pirone  
Portland Fire Department  
Fire Prevention Bureau  
380 Congress Street  
Portland, ME 04101  
(t) 207.874.8405  
(f) 207.874.8410

**Jean Fraser - RE: 6 Rand's Road Pier Re-Construction**

---

**From:** Jean Fraser  
**To:** Baker, Barney; Pirone, Chris  
**Date:** 6/7/2013 11:32 AM  
**Subject:** RE: 6 Rand's Road Pier Re-Construction  
**CC:** Bannon, Daniel; Moore, Charles

---

Barney

Thank you for the revised survey which addresses my concerns; I do not need any further information. From the site plan perspective I am ready to sign off but have not yet seen the Zoning Administrator comments and also need Chris Pirone to sign off- I see he has sent you a further question. Feel free to contact Marge Schmuckal re the Flood Hazard Development permit if you wish, but I will follow up with her in any case.

thank you  
Jean

*Jean Fraser, Planner  
City of Portland  
874 8728*

>>> "Barney Baker" <b.baker@bakerdesignconsultants.com> 6/5/2013 11:45 AM >>>

Hi Jean and Captain Pirone,  
This email follows up on your request for additional information that relate to the proposed Pier re-construction at Little Diamond Island.

**BOUNDARY SURVEY REQUIREMENTS**-We had our surveyor prepare the attached plan to address your comments with regard to the Boundary Survey requirements. Please let me know if you need any additional information to process the permit application.

**FIRE CODE ISSUES**-Dan Bannon from my office did follow up with Captain Pirone of Portland Fire Department. A summary of the key points of their discussion is below. Based on this discussion, Captain Pirone indicated preliminarily that there would be no issues or concerns with the project. He did indicate he may need to follow-up on fire code issues that relate to the length of the pier so I have copied him in on this email.

- They discussed the status of the recreational building on the pier and whether the proposed construction involved any renovations to the interior of the building. Dan confirmed that no changes were proposed to the current Use and that the only structure change was that the building will be raised 2-ft along with the pier. Captain Pirone indicated that because the building interior is not being modified and the Use is not changing no upgrades to fire protection will be required.
- Captain Pirone did ask about the length and Use of the pier. Dan reported the pier extends approximately 180-ft seaward from shore and confirmed the existing size and Use would not change.

## Jean Fraser - Re: Old Coast Guard Station (Pier Reconstruction, LDI)

---

**From:** Jean Fraser  
**To:** Schmuckal, Marge  
**Date:** 6/7/2013 10:36 AM  
**Subject:** Re: Old Coast Guard Station (Pier Reconstruction, LDI)  
**Attachments:** RRS Survey Plan Update 5.24.13.pdf

---

Marge

As I recall I lent you the file which contained the detailed application and plans.

I do not see any comments in UI; Chris Pirone and I are getting near a sign off and I would like to know whether you have signed off regarding the Flood Hazard Dev Permit?

I attach the recently submitted survey which ties into the originally submitted subdivision plat - in case this matters.

thank you  
Jean

>>> Marge Schmuckal 5/16/2013 3:01 PM >>>

Hi Jean,

I started reviewing this submission. However, when Barbara & I looked at it, I thought he submitted the Floodplain forms. I do not see them in e-plans. Do you have them?

Marge

**From:** Chris Pirone  
**To:** Fraser, Jean; b.baker@bakerdesignconsultants.com  
**CC:** kipmoore@aol.com; d.bannon@bakerdesignconsultants.com  
**Date:** 6/6/2013 11:24 AM  
**Subject:** RE: 6 Rand's Road Pier Re-Construction

Mr. Baker,

Can you take a look at 2009 NFPA 1 28.1.2 to confirm this applies to this pier.

Thank you.

Captain Chris Pirone  
Portland Fire Department  
Fire Prevention Bureau  
380 Congress Street  
Portland, ME 04101  
(t) 207.874.8405  
(f) 207.874.8410

>>> "Barney Baker" 06/05/13 11:45 AM >>>

Hi Jean and Captain Pirone,

This email follows up on your request for additional information that relate to the proposed Pier re-construction at Little Diamond Island.

BOUNDARY SURVEY REQUIREMENTS-We had our surveyor prepare the attached plan to address your comments with regard to the Boundary Survey requirements. Please let me know if you need any additional information to process the permit application.

FIRE CODE ISSUES-Dan Bannon from my office did follow up with Captain Pirone of Portland Fire Department. A summary of the key points of their discussion is below. Based on this discussion, Captain Pirone indicated preliminarily that there would be no issues or concerns with the project. He did indicate he may need to follow-up on fire code issues that relate to the length of the pier so I have copied him in on this email.

. They discussed the status of the recreational building on the pier and whether the proposed construction involved any renovations to the interior of the building. Dan confirmed that no changes were proposed to the current Use and that the only structure change was that the building will be raised 2-ft along with the pier. Captain Pirone indicated that because the building interior is not being modified and the Use is not changing no upgrades to fire protection will be required.

. Captain Pirone did ask about the length and Use of the pier. Dan reported the pier extends approximately 180-ft seaward from shore and confirmed the existing size and Use would not change. The owner keeps a boat at a deep-water float on the seaward end. The pier is used by resident commercial fisherman to load and unload traps. Larger vessels will occasionally berth at pier head to embark visitors.

Please let me know if you need any additional information.

Thank you,

Barney Baker, PE

Baker Design Consultants

Mailing Address:

7 Spruce Road

Freeport, Maine 04032

Contact Information:

B.Baker@BakerDesignConsultants.com

tel. 207.846.9724 cell.207.838.3636

From: Barney Baker [mailto:b.baker@bakerdesignconsultants.com]

Sent: Monday, May 20, 2013 5:40 PM

To: 'Jean Fraser'

Cc: Charles Moore; Daniel Bannon

Subject: RE: 6 Rand's Road Pier Re-Construction

Hi Jean,

Thanks for your email. I have provided the responses below to your comments in italics. Where noted, we will follow up with additional information.

1. BOUNDARY SURVEY REQUIREMENT:

. Because we are building in a pier footprint that was established some 200 years ago, we thought the boundary survey waiver was a reasonable request. I have noted your survey suggestions will get back to you.

2. STATUS OF OTHER PERMITS:

. Portland Harbor Commissioners Marine Construction Permit: Approved after workshop and hearing with the Board.

. Army Corps of Engineers: Dept. of the Army Permit: Approved.Rehabilitation/Replacement of existing Structure.

. Maine DEP NRPA: Pending (No issues to date) - Lisa Vickers is the project representative.

. Submerged Lands Lease: Pending (No issues to date)- Carol DiBello is the project representative.



3. FIRE CODE ISSUES:

We will contact Captain Chris Pirone at CPP@portlandmaine.gov (874 8400) to review Fire Code issues and compliance.

4. ... I know Marge Schmuckal has been reviewing the Flood Hazard Development Permit application and I will be discussing it with her Wednesday morning.

I look forward to hearing from you. Note that my client and I met with Marge prior to submitting the applications.

5. ... Otherwise the site plan review is very limited; there may be a condition regarding the delivery of materials - just to confirm that this would be by barge direct to the site as outlined in the application.

Yes, the intention is to deliver all material associated with pier construction to the site by barge.

Barney Baker, PE

Baker Design Consultants

Mailing Address:

7 Spruce Road

Freeport, Maine 04032

Contact Information:

B.Baker@BakerDesignConsultants.com

tel. 207.846.9724 cell.207.838.3636

From: Jean Fraser [mailto:JF@portlandmaine.gov]  
Sent: Monday, May 20, 2013 3:43 PM  
To: b.baker@bakerdesignconsultants.com  
Subject: 6 Rand's Road Pier Re-Construction

Barney

I apologize for not writing sooner in regard to the site plan application (and other associated reviews) for this pier reconstruction/building improvements.

There are several aspects that I would like to follow up on:

1. BOUNDARY SURVEY REQUIREMENT:

I note that you have requested a waiver of the boundary survey requirement and you stated that the topographic survey for the site has been completed by a licensed PLS. We seldom waive this fundamental requirement (a current application for reconstruction of a smaller dock on another island has been requested to submit, and has submitted, a full boundary survey), but in this case it may be possible if you can have the licensed surveyor stamp the "existing conditions" plan in respect of the topography, and if you can provide some survey information on the "existing conditions plan" (also stamped by the surveyor) that ties it into the subdivision plat ("amended recording plat" 1988) and to the State Plane coordinates (see below). I note that the 1988 plat shows the pier and associated buildings somewhat differently from the existing conditions plan.

(14-527) Boundary survey stamped by a professional surveyor licensed to practice in the State of Maine, drawn to scale and tied into the State Plane Coordinates, NAD 1983, Maine West Zone, as specified in Section 13 of the Technical Manual.

2. STATUS OF OTHER PERMITS: I note that there are at least 4 non-Portland reviews taking place concurrently. Could you give me an indication of the status of the other reviews?

3. FIRE CODE ISSUES: You will note that our application includes a requirement to address the Fire Dept checklist at the site plan stage because we have found that often the Fire Code/Life Safety reviews result in changes to the proposals. In this case the Fire Department is concerned about the larger building and its use/occupancy and associated fire protection. I have been requested to include a condition of site plan approval that a fire code analysis be undertaken and submitted to the Fire Dept that addresses and confirms uses of the building. You may wish to contact the Fire Department directly on this- the contact is Captain Chris

Pirone at CPP@portlandmaine.gov (874 8400).

I know Marge Schmuckal has been reviewing the Flood Hazard Development Permit application and I will be discussing it with her Wednesday morning.

Otherwise the site plan review is very limited; there may be a condition regarding the delivery of materials - just to confirm that this would be by barge direct to the site as outlined in the application.

Please do not hesitate to contact me regarding the above.

Thank you

Jean

Jean Fraser, Planner

City of Portland

874 8728

Notice: Under Maine law, documents - including e-mails - in the possession of public officials or city employees about government business may be classified as public records. There are very few exceptions. As a result, please be advised that what is written in an e-mail could be released to the public and/or the media if requested. --

## Jean Fraser - RE: 6 Rand's Road Pier Re-Construction

---

**From:** "Barney Baker" <b.baker@bakerdesignconsultants.com>  
**To:** "Jean Fraser" <JF@portlandmaine.gov>  
**Date:** 5/20/2013 5:39 PM  
**Subject:** RE: 6 Rand's Road Pier Re-Construction  
**CC:** "Charles Moore" <kipmoore@aol.com>, "Daniel Bannon" <d.bannon@bakerdesig...

*Ask Marge re Flood Permit*

Hi Jean,

Thanks for your email. I have provided the responses below to your comments in italics. Where noted, we will follow up with additional information.

1. *BOUNDARY SURVEY REQUIREMENT:*

- Because we are building in a pier footprint that was established some 200 years ago, we thought the boundary survey waiver was a reasonable request. I have noted your survey suggestions will get back to you.

2. *STATUS OF OTHER PERMITS:*

- Portland Harbor Commissioners Marine Construction Permit: Approved after workshop and hearing with the Board.
- Army Corps of Engineers: Dept. of the Army Permit: Approved...Rehabilitation/Replacement of existing Structure.
- Maine DEP NRPA: Pending (No issues to date) – Lisa Vickers is the project representative.
- Submerged Lands Lease: Pending (No issues to date)- Carol DiBello is the project representative.

3. *FIRE CODE ISSUES:*

- We will contact Captain Chris Pirone at CPP@portlandmaine.gov (874 8400) to review Fire Code issues and compliance.

4. .... I know Marge Schmuckal has been reviewing the Flood Hazard Development Permit application and I will be discussing it with her Wednesday morning.

- I look forward to hearing from you. Note that my client and I met with Marge prior to submitting the applications.

5. .... Otherwise the site plan review is very limited; there may be a condition regarding the delivery of materials - just to confirm that this would be by barge direct to the site as outlined in the application.
- Yes, the intention is to deliver all material associated with pier construction to the site by barge.

Barney Baker, PE  
Baker Design Consultants

Mailing Address:  
7 Spruce Road  
Freeport, Maine 04032

Contact Information:  
[B.Baker@BakerDesignConsultants.com](mailto:B.Baker@BakerDesignConsultants.com)  
tel. 207.846.9724 cell.207.838.3636

---

**From:** Jean Fraser [mailto:JF@portlandmaine.gov]  
**Sent:** Monday, May 20, 2013 3:43 PM  
**To:** b.baker@bakerdesignconsultants.com  
**Subject:** 6 Rand's Road Pier Re-Construction

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*Jean Fraser, Planner  
City of Portland  
874 8728*

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## Jean Fraser - 6 Rand's Road Pier Re-Construction

---

**From:** Jean Fraser  
**To:** Baker, Barney PE  
**Date:** 5/20/2013 3:43 PM  
**Subject:** 6 Rand's Road Pier Re-Construction

---

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*Jean Fraser, Planner  
City of Portland  
874 8728*





**CITY OF PORTLAND**  
**DEPARTMENT OF PLANNING & URBAN DEVELOPMENT**

389 Congress Street  
 Portland, Maine 04101

**INVOICE FOR FEES**

<b>Application No:</b> 2013-109	<b>Applicant:</b> OLD COAST GUARD STATION L
<b>Project Name:</b> Old Coast Guard pier	<b>Location:</b> 6 RAND'S WAY
<b>CBL:</b> 105 Z022001	<b>Development Type:</b> Level I Site Alteration
<b>Invoice Date:</b> 04/29/2013	

<b>Previous Balance</b>	-	<b>Payment Received</b>	+	<b>Current Fees</b>	-	<b>Current Payment</b>	=	<b>Total Due</b>	<b>Payment Due Date</b>
\$0.00		\$0.00		\$200.00		\$100.00		\$100.00	On Receipt

**First Billing**

**Previous Balance** **\$0.00**

<b>Fee Description</b>	<b>Qty</b>	<b>Fee/Deposit Charge</b>
Level I Site Alteration	1	\$200.00
		<u>\$200.00</u>
	<b>Total Current Fees:</b>	+ <b>\$200.00</b>
	<b>Total Current Payments:</b>	- <b>\$100.00</b>
	<b>Amount Due Now:</b>	<u><b>\$100.00</b></u>

-----  
 Detach and remit with payment

**CBL** 105 Z022001  
**Bill to:** Baker Design Consultants  
 7 Spruce Road  
 Portland, ME 04032

**Application No:** 2013109  
**Invoice Date:** 04/29/2013  
**Invoice No:** 40912  
**Total Amt Due:** \$100.00  
**Payment Amount:**

Make checks payable to the *City of Portland*, ATTN: Inspections, 3rd Floor, 389 Congress Street, Portland, ME 04101.



312 Canco Road Portland, ME 04103

**Request for Project Review**



**TO:** Noelle Ronan, Inland Fisheries and Wildlife  
Brian Swan, Department of Marine Resources  
Army Corps of Engineers  
Town of Portland (*notification only*)

**FROM:** Lisa Vickers, DEP Project Manager

**DATE:** April 29, 2013

This constitutes a request for your agency's review of the project identified below and your submission of comments in accordance with our Memorandum of Agreement on Project Reviews. Questions may be directed to, **Lisa Vickers**, Bureau of Land & Water Quality, at **615 -3236** (fax: 822-6303, email: Lisa.Vickers@Maine.gov)

**The deadline for agency comments is May 29, 2013 or ASAP**

---

**DEP Application #:** L-25974-4P-A-N/L-25974-TW-B-N

**Applicant Name:** Old Coast Guard Station, LLC

**Project Name:** Pier Replacemnt

**Contact:** Barney Baker                      **Tel #:** (207) 846- 9724

**Location:** Little Diamond Island, Portland

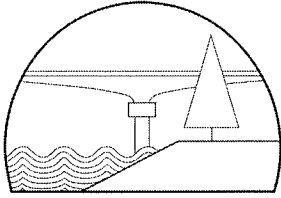
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**Notes to Reviewers:** A portion of the pier replacement is located in Tidal Waterfowl and Wading Bird habitat.

---

After a thorough review of the above project, as presented to us, and consideration of our agency's standards, programs and responsibilities, the following comments are submitted to the Department of Environmental Protection.

Check if requesting copy of draft Findings of Fact and Order.  
(Comments must be signed and dated in order to be accepted by this Department. If additional space is needed, please attach another sheet).



BAKER DESIGN CONSULTANTS  
Civil, Marine and Structural Engineering

# NRPA

April 22, 2013

Bill Bullard, Project Manager  
Maine Dept. of Environmental Protection  
Division of Land Resource Regulation  
312 Canco Road  
Portland, ME 04103

Jay Clement  
US Army Corps of Engineers  
New England Division  
Maine Project Office  
675 Western Ave # 3  
Manchester, ME 04351

Carol DiBello, Submerged Lands Coordinator  
Department of Conservation  
22 State House Station  
Augusta, ME 04333

Jeff C. Liick, Portland Harbor Master  
2 Portland Fish Pier  
Marine Trade Center  
Suite 102  
Portland, ME 04101

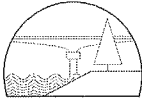
Barbara Barhydt, Development Review  
Services Manager  
City of Portland  
Dept. of Planning & Urban Development  
389 Congress Street  
Augusta, ME 04101

**Subject:** Old Coast Guard Pier Reconstruction: **NRPA Individual Permit Application**  
Little Diamond Island, Portland, Maine

Dear Regulatory Permit Representative,

I have enclosed a copy of the NRPA Application for reconstruction of the pier owned by Old Coast Guard Station, LLC located on Little Diamond Island for review and consideration for permit approval.

- DEP has been provided with 4 (four) copies and the appropriate application fee.
- Separate correspondence has been mailed to the Maine Historic Preservation Commission to identify project related historical or archeological impacts.
- Separate correspondence has been mailed to the Indian Tribal nations to identify any tribal heritage impacts.
- A copy has been provided to the Maine Department of Conservation - Submerged Lands Bureau as a part of the associated Submerged Lands Lease application.
- A copy has been provided to the Army Corps of Engineers, New England Division along with the Category 1 General Notification Form.
- A copy (without attachments) has been provided to the Port of Portland, Board of Harbor Commissioners as a part of their Marine Construction Permit application.
- The City of Portland has been notified of the application as a part of the Site Alteration and Flood Hazard Development Permit applications.



Old Coast Guard Pier Reconstruction; Little Diamond Island, Portland, Maine  
April 22, 2013

PAGE 2 Of 2

- A Project Notice has been placed in the Portland Press Herald and abutting owners have been notified by certified mail.

On behalf of the client, I appreciate early permit consideration on the application. Please do not hesitate to call me with any questions or comments.

Sincerely,

BAKER DESIGN CONSULTANTS, Inc.

A handwritten signature in cursive script that reads "Barney Baker".

Barney Baker PE  
Principal

BJB

JN: 12-34

CC: Charles G. Moore – Old Coast Guard Station, LLC



<b>27. TIER 1</b>		<b>TIER 2/3 AND INDIVIDUAL PERMITS</b>	
<input type="checkbox"/> Title, right or interest documentation <input type="checkbox"/> Topographic Map <input type="checkbox"/> Narrative Project Description <input type="checkbox"/> Plan or Drawing (8 1/2x11) <input type="checkbox"/> Photos of Area <input type="checkbox"/> Statement of Avoidance & Minimization <input type="checkbox"/> Statement/Copy of cover letter to MHPC		<input checked="" type="checkbox"/> Title, right or interest documentation <input checked="" type="checkbox"/> Topographic Map <input checked="" type="checkbox"/> Copy of Public Notice/Public Information Meeting Documentation <input checked="" type="checkbox"/> Wetlands Delineation Report (Attachment 1) that contains the <input checked="" type="checkbox"/> Information listed under Site Conditions <input checked="" type="checkbox"/> Alternatives Analysis (Attachment 2) including description of how wetland impacts were Avoided/Minimized	
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<b>28. FEES, Amount Enclosed:</b>		361+90=\$451 (coastal: docks, piers, or wharves)	
<b>CERTIFICATIONS AND SIGNATURES LOCATED ON PAGE 2</b>			

# NRPA

## Old Coast Guard Pier Reconstruction

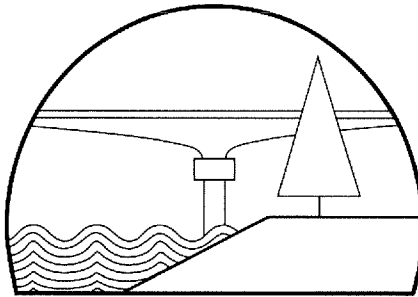
Little Diamond Island, Portland, Maine

**Applicant:**

Charles G. Moore, Old Coast Guard Pier, LLC  
2 Union Street, Suite 500  
Portland, ME 04101

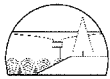
**Submitted To:**

Maine Dept. of Environmental Protection  
Division of Land Resource Regulation  
17 State House Station  
Augusta, ME 04333



BAKER DESIGN CONSULTANTS  
Civil, Marine, and Structural Engineering  
7 Spruce Road, Freeport, ME 04032

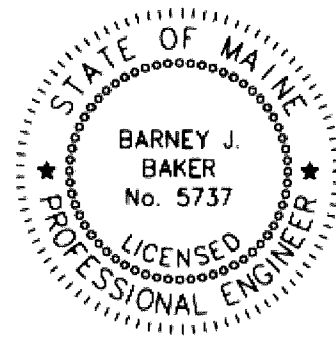


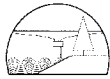


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Baker Design Consultants  
7 Spruce Road  
Freeport, Maine 04032  
207-846-9724  
[b.baker@bakerdesignconsultants.com](mailto:b.baker@bakerdesignconsultants.com)





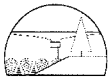
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Part I NRPA PERMIT APPLICATION

<b>1. Name of Applicant:</b>		Old Coast Guard Station, LLC - Charles G. Moore		<b>5. Name of Agent: (if applicable)</b>		Barney Baker PE Baker Design Consultants			
<b>2. Applicant's Mailing Address:</b>		2 Union Street, Suite 500 Portland, ME 04101		<b>6. Agent's Mailing Address:</b>		7 Spruce Road Freeport, Maine 04032			
<b>3. Applicant's Daytime Phone:</b>		(207) 761-0717		<b>7. Agent's Daytime Phone #:</b>		(207) 846-9724			
<b>4. Applicant's Email Address</b> <small>Required from either applicant or agent:</small>		kipmoore@aol.com		<b>8. Agent's Email Address:</b>		b.baker@bakerdesignconsultants.com			
<b>9. Location of Activity: Nearest Road, Street, Rt. #).</b>		6 Rand's Way, Little Diamond Island		<b>10. Town:</b>		Portland			
						<b>11. County:</b> Cumberland			
<b>12A. Significant Groundwater Well?</b>		<input type="checkbox"/> Yes or		<input checked="" type="checkbox"/> No					
<b>12. Type of Resource: (Check all that apply)</b>		<input type="checkbox"/> River, stream or brook <input type="checkbox"/> Great Pond <input checked="" type="checkbox"/> Coastal Wetland <input type="checkbox"/> Freshwater Wetland <input type="checkbox"/> Wetland Special Significance <input type="checkbox"/> Significant Wildlife Habitat <input type="checkbox"/> Fragile Mountain		<b>13. Name of Resource:</b>		Casco Bay, Atlantic Ocean			
				<b>14. Amount of Impact (Sq.Ft.):</b>		90 ft <sup>2</sup>			
				Dredging/Veg Removal/Other: NA					
<b>15. Type of Wetland: (Check all that apply)</b>		<input type="checkbox"/> Forested <input type="checkbox"/> Scrub Shrub <input type="checkbox"/> Emergent <input type="checkbox"/> Wet Meadow <input type="checkbox"/> Peatland <input checked="" type="checkbox"/> Open Water <input type="checkbox"/> Other		<b>FOR FRESHWATER WETLANDS:</b>					
				<b>Tier 1</b>		<b>Tier 2</b>		<b>Tier 3</b>	
				<input type="checkbox"/> 0 - 4,999 sq. ft. <input type="checkbox"/> 5,000 - 9,999 sq. ft. <input type="checkbox"/> 10,000 - 14,999 sq. ft.		<input type="checkbox"/> 15,000 - 43,560 sq. ft.		<input type="checkbox"/> > 43,560 sq. ft. <input type="checkbox"/> Smaller than 43,560 sq. ft., not eligible for Tier 1	
<b>16. Brief Project Description:</b>		<p>The project involves the demolition and reconstruction of an aging timber pier. The existing pier is approximately 7,500-ft<sup>2</sup> in area. The new pier will be constructed in the same footprint as the existing. The elevation of the pier will be increased by 2-ft. An existing 71-ft x 31.5-ft pier building and two existing accessory sheds will be raised with the pier.</p>							
<b>17. Size of Lot or Parcel:</b>		<input type="checkbox"/> square ft <input checked="" type="checkbox"/> acres		1.5668		Lat/Long: 43.6672° N		70.2038° W	
<b>18. Title, Right or Interest:</b>		<input checked="" type="checkbox"/> own		<input type="checkbox"/> lease		<input type="checkbox"/> purchase option		<input type="checkbox"/> written agreement	
<b>19. Deed Reference Numbers:</b>		Book#: 13833		Page: 058		<b>20. Map and Lot Numbers:</b>		Map #: 105-Z Lot #: 25	
<b>21. DEP Staff Previously Contacted:</b>		Jim Glasgow, Bill Bullard		<b>22. Part of a larger project:</b>		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		After-the-Fact: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
<b>23. Resubmission of Application?</b>		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		If yes, previous application #		N/A		Previous project manager: N/A	
<b>24. Written Notice of Violation?</b>		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		If yes, name of DEP enforcement staff involved:		NA		<b>25. Previous Wetland Alteration:</b>	
								<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
<b>26. Detailed Directions to the Project Site:</b>		<p>From Casco Bay Ferry Pier, North on Sandy Beach Rd, Cityview Rd, Rockledge Ave, turn right at Rand's Way and follow to end. The pier can also be accessed directly by boat, on the NE of Little Diamond Island at the Lat/Long coordinates provided in Block 17.</p>							



<b>27. TIER 1</b>		<b>TIER 2/3 AND INDIVIDUAL PERMITS</b>	
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<b>28. FEES, Amount Enclosed:</b>	361+90=\$451 (coastal: docks, piers, or wharves)		
<b>CERTIFICATIONS AND SIGNATURES LOCATED ON PAGE 2</b>			



## Signature Page

IMPORTANT: IF THE SIGNATURE BELOW IS NOT THE APPLICANT'S SIGNATURE, ATTACH LETTER OF AGENT AUTHORIZATION SIGNED BY THE APPLICANT

By signing below the applicant (or authorized agent), certifies that he or she has read and understood the following:

### PRIVACY ACT STATEMENT

Authority: 33 USC 401, Section 10; 1413, Section 404. Principal Purpose: These laws require permits authorizing activities in or affecting navigable waters of the United States, the discharge of dredged or fill material into waters of the United States, and the transportation of dredged material for the purpose of dumping it into ocean waters. Disclosure: Disclosure of requested information is voluntary. If information is not provided, however, the permit application cannot be processed nor a permit be issued.

### CORPS SIGNATORY REQUIREMENT

USC Section 1001 provides that: Whoever, in any manner within the jurisdiction of any department or agency of the United States knowingly and willfully falsifies, conceals, or covers up any trick, scheme, or disguises a material fact or makes any false, fictitious or fraudulent statements or representations or makes or uses any false writing or document knowing same to contain any false, fictitious or fraudulent statements or entry shall be fined not more than \$10,000 or imprisoned not more than five years or both. I authorize the Corps to enter the property that is subject to this application, at reasonable hours, including buildings, structures or conveyances on the property, to determine the accuracy of any information provided herein.

### DEP SIGNATORY REQUIREMENT

I certify under penalty of law that I have personally examined the information submitted in this document and all attachments thereto and that, based on my inquiry of those individuals immediately responsible for obtaining the information, I believe the information is true, accurate, and complete. I authorize the Department to enter the property that is the subject of this application, at reasonable hours, including buildings, structures or conveyances on the property, to determine the accuracy of any information provided herein. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment.

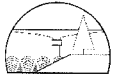
Further, I hereby authorize the DEP to send me an electronically signed decision on the license I am applying for with this application by emailing the decision to the address located on the front page of this application (see #4 for the applicant and #9 for the agent. Do not sign if you elect to "opt out" or receive the decision via regular mail.

April 17, 2013

SIGNATURE OF AGENT/APPLICANT

DATE

NOTE: Any changes in activity plans must be submitted to the DEP and the Corps in writing and must be approved by both agencies prior to implementation. Failure to do so may result in enforcement action and/or the removal of the unapproved changes to the activity.



## Public Notice Filing and Certification

Department Rules, Chapter 2, require an applicant to provide public notice for all Tier 2, Tier 3 and individual Natural Resources Protect Act projects. In the notice, the applicant must describe the proposed activity and where it is located. "Abutter" for the purposes of the notice provision means any person who owns property that is BOTH (1) adjoining and (2) within one mile of the delineated project boundary, including owners of property directly across a public or private right of way.

1. **Newspaper:** You must publish the Notice of Intent to File in a newspaper circulated in the area where the activity is located. The notice must appear in the newspaper within 30 days prior to the filing of the application with the Department. You may use the attached Notice of Intent to File form, or one containing identical information, for newspaper publication and certified mailing.

**Refer to Attachment 10 - Notice of Intent to File.**

2. **Abutting Property Owners:** You must send a copy of the Notice of Intent to File by certified mail to the owners of the property abutting the activity. Their names and addresses can be obtained from the town tax maps or local officials. They must receive notice within 30 days prior to the filing of the application with the Department.

**Refer to next page for a list of abutting property owners (Map.Lot.Addresses).**

3. **Municipal Office:** You must send a copy of the Notice of Intent to File and a duplicate of the entire application to the Municipal Office.

### CERTIFICATION

By signing below, the applicant or authorized agent certifies that:

4. A Notice of Intent to File was published in a newspaper circulated in the area where the project site is located within 30 days prior to filing the application;
5. A certified mailing of the Notice of Intent to File was sent to all abutters within 30 days of the filing of the application;
6. A certified mailing of the Notice of Intent to File, and a duplicate copy of the application was sent to the town office of the municipality in which the project is located; and
7. Provided notice of and held a public informational meeting, if required, in accordance with Chapter 2, Rules Concerning the Processing of Applications, Section 13, prior to filing the application. Notice of the meeting was sent by certified mail to abutters and to the town office of the municipality in which the project is located at least ten days prior to the meeting. Notice of the meeting was also published once in a newspaper circulated in the area where the project site is located at least seven days prior to the meeting.

The Public Informational Meeting was held on \_\_\_\_\_ (Date).

Approximately \_\_\_\_\_ members of the public attended the Public Informational Meeting.

**A Public Meeting was not required for this application.**

SIGNATURE OF AGENT/APPLICANT

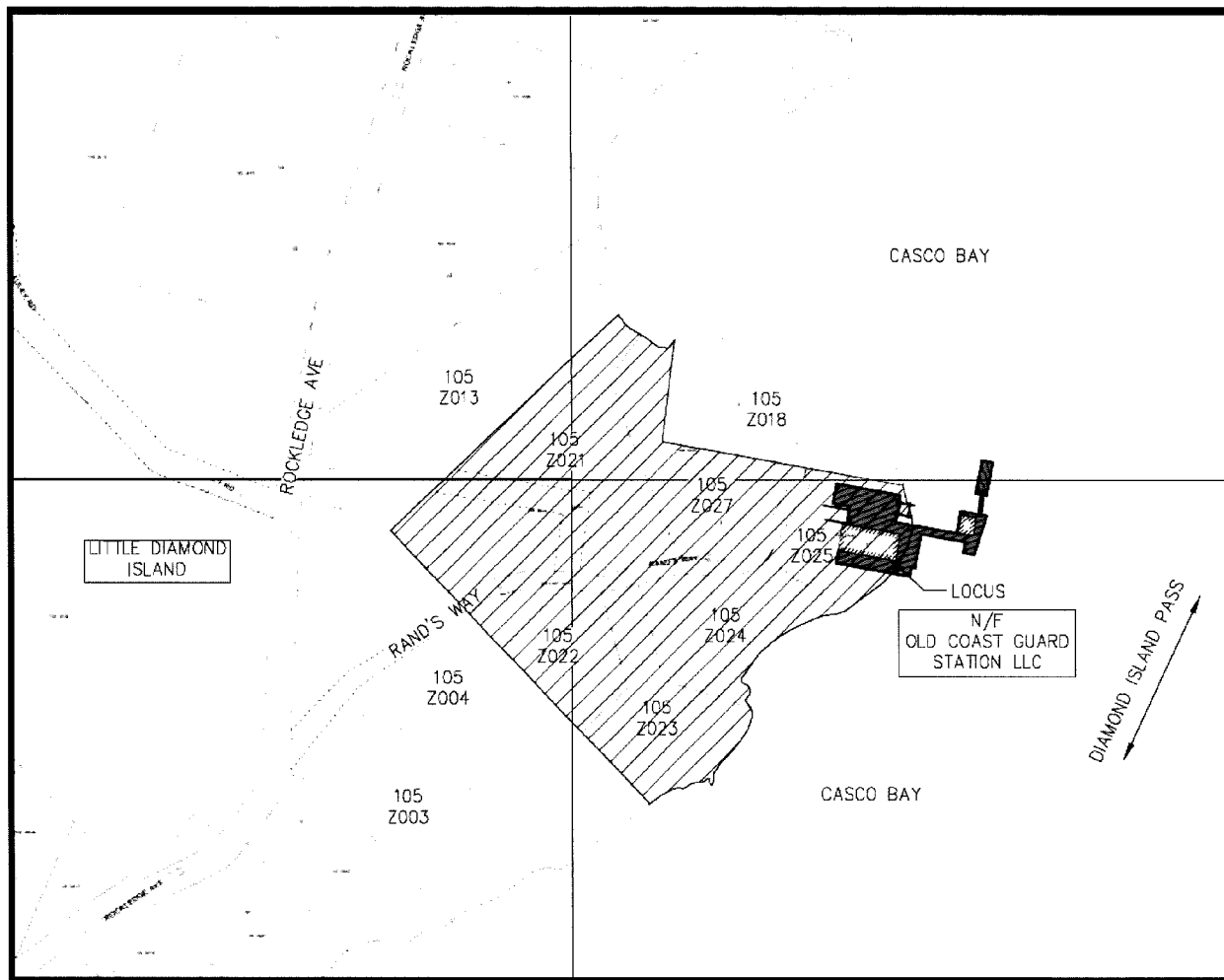
April 17, 2013

Date



## Abutting Property Owners

A section of the Portland Tax Map and abutter information are provided below.



CITY OF PORTLAND TAX MAP G14NE

ABUTTERS LIST			
LOT	LOCATION	OWNER	OWNER ADDRESS
105 Z013001	0 ROCKLEDGE AVENUE	PUTNAM, DAVID W C TRUSTEE	PO BOX B, OLD ORCHARD BEACH, ME 04064
105 Z018001	1 RAND'S WAY	RAND, MARK	PO BOX 7911, PORTLAND, ME 04112
105 Z004001	0 ROCKLEDGE AVENUE	PUTNAM, DAVID W C TRUSTEE	PO BOX B, OLD ORCHARD BEACH, ME 04064

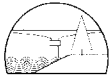


## Right, Title or Interest

The following documents are provided to show right, title or interest for the project.

1. Quitclaim Deed with Covenant 029946, CCRD Book 13833, Page 058-060.
2. 1988 Subdivision Plat (boundary Survey) by Land Use Consultants for William Gaynor of Shore Road, Cape Elizabeth, ME; 28 April 1998 marked up to show littoral boundary. Charles Moore purchased the entire subdivision property.





BK 13833PG058

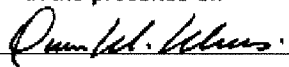
QUITCLAIM DEED WITH COVENANT  
Maine Statutory Short Form

029946

KNOW ALL BY THESE PRESENTS, that I, Charles G. Moore, III, of Portland, County of Cumberland and State of Maine, for consideration paid, GRANTS to Old Coast Guard Station, LLC, a limited liability company formed pursuant to the provisions of the Maine Limited Liability Company Act, 31 M.R.S.A. § 602 et seq., with a mailing address of 75 Pearl Street, Suite 209, Portland, Maine 04101, with **QUITCLAIM COVENANTS**, the land in Portland, County of Cumberland and State of Maine, which is more particularly described in Exhibit A attached hereto and made a part hereof.

WITNESS my hand and seal this 30th day of January, 1998.

Signed, Sealed and Delivered  
in the presence of:

  
\_\_\_\_\_

  
Charles G. Moore, III

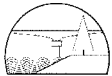
STATE OF MAINE  
CUMBERLAND, ss.

January 30, 1998

Then personally appeared the above-named Charles G. Moore, III and acknowledged the foregoing instrument to be his free act and deed.

Before me,

  
\_\_\_\_\_  
Notary Public/Attorney at Law  
Printed Name: Owen W. Wells



BK | 3833 PG 059

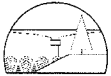
Exhibit A

**Certain real estate situated in Portland, County of Cumberland and State of Maine, being more particularly described as follows:**

**A certain lot or parcel of land, together with the buildings thereon and appurtenant thereto, situated on Little Diamond Island (formerly known as Little Hog Island) in Casco Bay, City of Portland, in the County of Cumberland and State of Maine, situated on the southeasterly end of said Island, and bounded and described as follows: Beginning at an iron bolt set in the rock on the southeasterly shore of said Little Diamond Island at a point about four hundred and twenty (420) feet southwest of the old wooden wharf on the southeasterly end of said Island; thence from said iron bolt on a course of North 30 degrees West, a distance of four hundred and fifty (450) feet to an iron bolt set in a stone in the valley; thence North 60 degrees East, a distance of two hundred forty-nine (249) feet to a third iron bolt set in stone; thence continuing on the same course North 60 degrees East, a distance of seventy (70) feet to high water mark; thence by the shore in a direction southerly, easterly, and southwesterly to the point begun at; containing four (4) acres of upland, and including the shore appurtenant to the upland and the pile wharf above-mentioned now existing at the southeast end of the premises herein conveyed.**

Excepting and reserving from the above-described premises the following parcel of land, with the buildings thereon, bounded and described as follows: Beginning at a point at the top of the bank on the easterly end of Little Diamond Island marked by an iron pipe; which point is located fifty-eight and eight tenths (58.8) feet from the southeast corner of a small brick building and seventy-three and two tenths (73.2) feet from the southwest corner of a larger brick building, which buildings now stand on the parcel being described; thence North 63 degrees 50' 40" West, one hundred ninety-seven and sixty-five hundredths (197.65) feet to a point; thence North 22 degrees 44' 00" East, forty-four (44) feet, more or less, to the shore; thence along the shore northeasterly, easterly and southerly to a point on the shore; thence North 63 degrees 50' 40" West, thirty (30) feet, more or less, to the point of beginning; meaning to describe a parcel of land approximately one-half acre in size upon which are located the two buildings previously mentioned, also the shore appurtenant thereto. Subject to conditions and reservations as contained in deed from United States of America to Theodore T. Rand, dated May 17, 1954, and recorded in the Cumberland County Registry of Deeds in Book 2171, Page 337.

Reserving to Theodore T. Rand, his heirs and assigns, the perpetual right to use and repair the water lines, power lines, telephone lines, and sewer and cable television lines should they become available, running over and under the premises being conveyed to the premises excepted herein, with said Theodore T. Rand, his heirs and assigns, to pay to the Grantee for metered water.



DK 13833 PG 060

Also reserving to Theodore T. Rand, his heirs and assigns, a perpetual easement from the above-excepted parcel of land to and from the main wharf and floats on the premises conveyed herein, and the use of the same for ingress and egress to the excepted parcel of land, and also reserving an easement across land conveyed herein and land now or formerly of St. Joseph's Convent & Hospital, to Rockledge Avenue on Little Diamond Island. In the event Theodore T. Rand should convey the above-described excepted parcel of land, with the buildings thereon, then said Grantee shall have the first refusal to purchase the same at a price and on the terms which Theodore T. Rand would convey the same to any other person.

Also conveying a right of way and easement as described in a deed of St. Joseph's Convent & Hospital to Theodore T. Rand, dated May 8, 1985, and recorded in said Registry of Deeds in Book 6771, Page 62.

Being the same premises conveyed to the Grantor herein by Peoples Heritage Savings Bank by Deed dated August 31, 1992 and recorded in the Cumberland County Registry of Deeds in Book 10258, Page 10.

This conveyance is made subject to a Mortgage given by the Grantor to Peoples Heritage Savings Bank dated August 31, 1992 and recorded in said Registry of Deeds in Book 10258, Page 14, which the Grantee herein by its acceptance of this deed hereby assumes and agrees to pay.

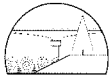
RECEIVED  
RECORDED REGISTRY OF DEEDS

1998 MAY 19 PM 3:25

CUMBERLAND COUNTY

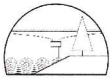
*John B. O'Brien*

-2-



# ATTACHMENTS

Attachment 1	Activity Description
Attachment 2	Alternatives Analysis
Attachment 3	Location Map
Attachment 4	Color Photographs
Attachment 5	Project Plans
Attachment 6	Additional Plans
Attachment 7	Construction Plan
Attachment 8	Erosion Control Plan
Attachment 9	Site Condition Report
Attachment 10	Notice of Intent to File
Attachment 11	Maine Historic Preservation



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## ATTACHMENT 1 Activity Description

The outline below provides a description of the project which replaces an existing timber pier in the same footprint and raises the deck elevation by 2-ft. Three existing pier buildings are also raised as part of the project. Reference should be made to Attachment 4 – Color Photographs, and the project plans in Attachment 5 and Attachment 6.

### Description of Proposed Work

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The two major elements of the proposed work are defined below. Sheet C-1 Existing Conditions shows the current configuration and Sheets S-1 to S-5 show the new design.

#### 1. Pier Reconstruction

The existing timber pier will be demolished and a new pier will be reconstructed in the same footprint as the existing structure. The pier will be raised 2-ft. The existing pier is approximately 7,530-ft<sup>2</sup>, the new pier will have an area of approximately 7,520-ft<sup>2</sup> due to several minor adjustments to overall geometry (reduction of approximately 10-ft<sup>2</sup>). Approximately 120 existing timber bearing piles will be cut off and removed above the mudline, and 84 new timber or composite piles will be installed to support the new pier. Approximately 30 timber fender piles will be cut off and removed above the mudline and replaced with 29 timber fender piles. The pier deck elevation will be increased by 2-ft to provide greater clearance above the coastal resource. Two small accessory buildings located on the pier (10-ft x 14-ft shed and 12.5-ft x 23-ft shed) will be set aside during the reconstruction and installed in their original locations on the new pier. The existing float will be reinstalled in its current location with a new gangway.

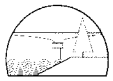
#### 2. Increase Building Elevation

An existing 71-ft x 31.5-ft pile-supported building (2,236.5-ft<sup>2</sup>) within the pier footprint will be lifted and new timber or composite piles will be installed beneath it. Existing piles to be removed are included in the totals presented in Work Item 1, 18 new piles will be installed beneath the building, and these are also included in the total pile counts presented in Work Item 1. The building elevation will be increased 2-ft to provide greater clearance over the coastal resource and to maintain access from the pier.

### Summary of Intertidal and Subtidal Impacts

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Existing piles will be cut off and left below the mudline to prevent disturbance to the seabed. The new piles will have a total footprint of approximately 90-ft<sup>2</sup> (approximately 65-ft<sup>2</sup> within the intertidal zone and 25-ft<sup>2</sup> within the subtidal zone). Because the pier is being replaced in the same footprint as existing at an elevation 2-ft higher than existing, the areas of shading beneath the pier will change slightly both within the intertidal and subtidal zones.



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## Visual Impact Considerations

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Pictures located in Attachment 4 show views of the existing pier and building and surrounding properties. When the work is finished the views from shore and the water will be similar to that which currently exists, with the exception of the 2-ft increase in elevation.

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## ATTACHMENT 2 Alternatives Analysis

A summary of the alternatives considered is provided below:

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### Do Nothing Option

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The existing timber pier is over 70 years old and significant deterioration has occurred to the structural condition. While the owner intends to keep the pier in service in the short-term, doing nothing on a longer-term basis would allow for continued deterioration of the pier condition and compromised safety at some point in the near future. Further, the current pier and building elevation put the structures at risk of damage during storm events. In order to ensure safe operation of the pier into the future, and improve the overall reliability, the proposed improvements must be completed. The do-nothing option is not recommended.

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### Preferred Alternative

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The Project Plans referenced in Attachment 5 and Attachment 6 detail the Preferred Alternative. This configuration evolved during numerous meetings with the client. The design utilizes a pile spacing and elevation that is appropriate for today's marine construction methods and materials and reduces the number of bearing piles beneath the pier by approximately 30%. The design also places the pier and building at an elevation that will provide increased clearance over the coastal resource, while maintaining the usability of the working pier.

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### Alternative 1 – Increased Pier Elevation

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An alternative was considered that increases the pier deck elevation to 2-ft above the base flood elevation per City of Portland Land Use Zoning Ordinance. This would require that the pier deck elevation be increased approximately 7.8-ft from existing. This would substantially impede the functionality of the working pier and is not a practical option.

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### Alternative 2 – Increased Pile Spacing

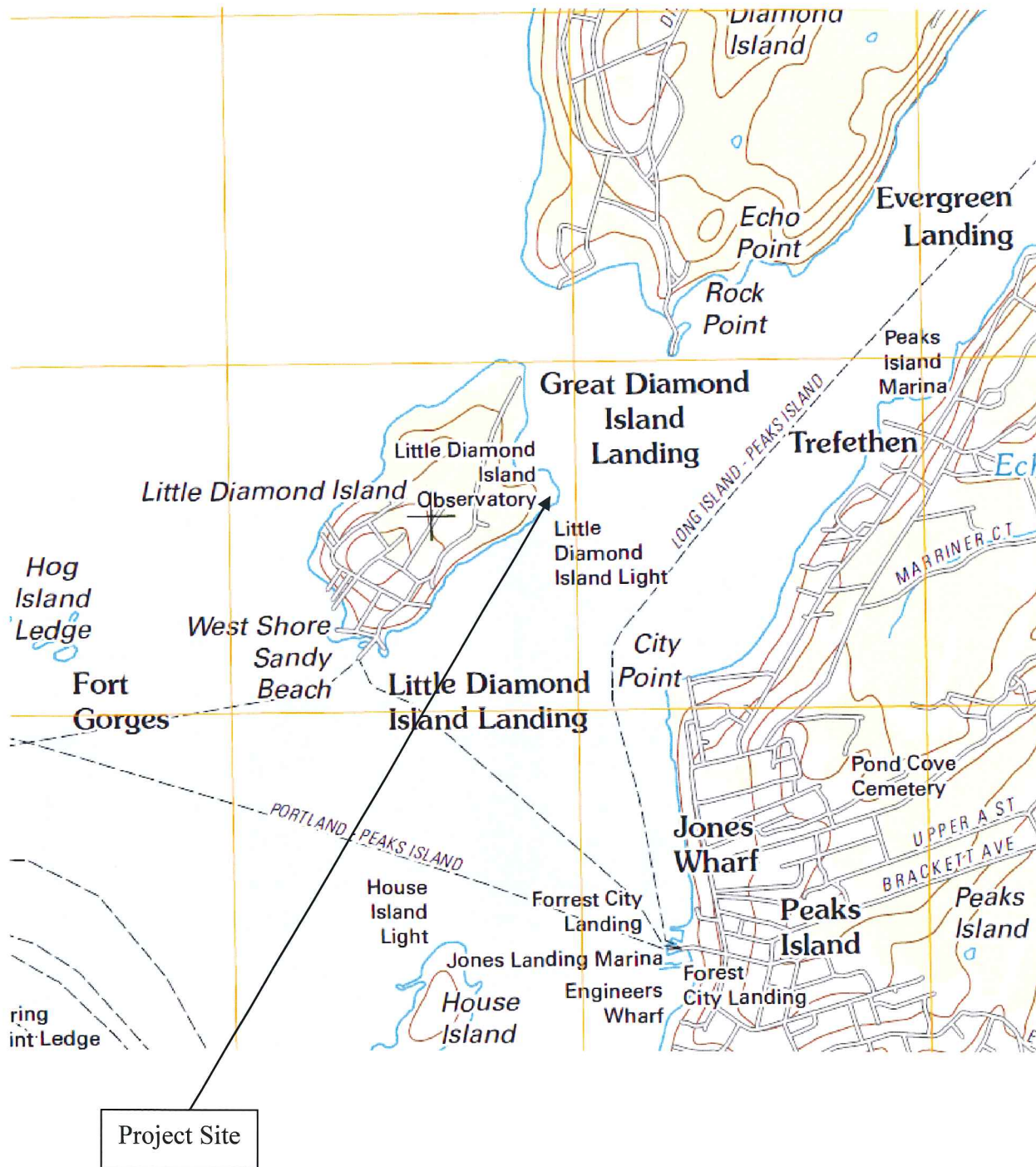
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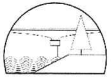
An alternative was considered that utilizes high-strength concrete-filled composite piles with pile spacings of up to 24-ft. This layout utilized approximately 69 bearing piles (an 18% reduction from the proposed 84 bearing piles, and similar reduction to pile footprint). The large spans (and deep members) that result for cap and stringer elements are not practical for conventional timber construction and require the use of high-strength beam elements. The cost increase resulting from this layout is substantial and is not justified by the minimal savings to pile footprint.



## ATTACHMENT 3 Location Map

USGS Map, Portland East Quadrangle, 2011



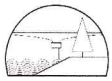


**ATTACHMENT 4**      **Color Photographs**



Aerial view of existing pier looking northeast



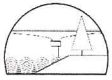


Aerial view of existing pier looking southwest



Panorama of existing pier looking southeast from adjacent beach, taken 8-13-2012

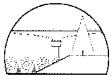
(Note: photos stitched near middle)



View of existing pier looking north, taken 8-13-2012



View of pier/beach near low water, looking southeast, taken 8-13-2012.



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## **ATTACHMENT 5      Project Plans**

The following project plans are included as Appendix C.

- G-1    Cover Sheet
- G-2    Notes & Schedules
- C-1    Existing Conditions
- S-1    Plan & Elevation
- S-2    Pile Layout Plan
- S-3    Typical Sections
- S-4    Deck Plan
- S-5    Framing Plan

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## **ATTACHMENT 6      Additional Plans**

Located on Page 11 is the 1988 Subdivision Plat by Land Use Consultants for William Gaynor of Shore Road, Cape Elizabeth, ME; 28 April 1998 marked up to show littoral boundary.



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## ATTACHMENT 7      Construction Plan

### **Construction Access**

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All material and equipment deliveries will be made to the project site from the mainland by barge.

### **Construction Notices**

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The owner and/or owner's agent will notify abutting property owners when the work starts and will keep them informed of any changes in project schedule.

### **Method of Construction**

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The pier will be constructed on site using materials and equipment brought in from the mainland. The replacement gangway will be prefabricated offsite, delivered to the project site, and installed.

A general summary of the construction process is provided below:

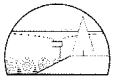
1. Remove gangway, float, sheds, and other components to be reinstalled on new pier and set aside for storage during construction.
2. Demolish and dispose of existing timber pier.
3. Lift large building, translate and temporarily support on timber cribbing on beach to south of existing pier.
4. Install new bearing piles to support pier and building.
5. Move building into position and install on new piles.
6. Construct new pier superstructure.
7. Install fender piles and associated timber components around pier perimeter.
8. Reinstall accessory structures on pier.
9. Reinstall float and install new gangway.
10. Final cleanup and reinstatement of all disturbed areas.

The work is typical of heavy marine construction. Equipment will include a barge mounted crane for pile placement and support vessels. A laydown area will be designated on the adjacent upland for materials and equipment.

### **Construction Schedule.**

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The construction will take place in a period from fall 2013 to spring 2014. It is estimated that it will take eight to twelve weeks to complete the project.

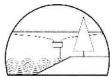


## **ATTACHMENT 8      Erosion Control Plan**

Refer to the appended plans for the project. There is minimal grading, bulldozing, digging, scraping of earth or uncontrolled filling associated with the proposed construction. Disturbance is primarily limited to that associated with pile driving operations.

Erosion control notes are provided on Sheet G-2 (Appendix C) and repeated below.

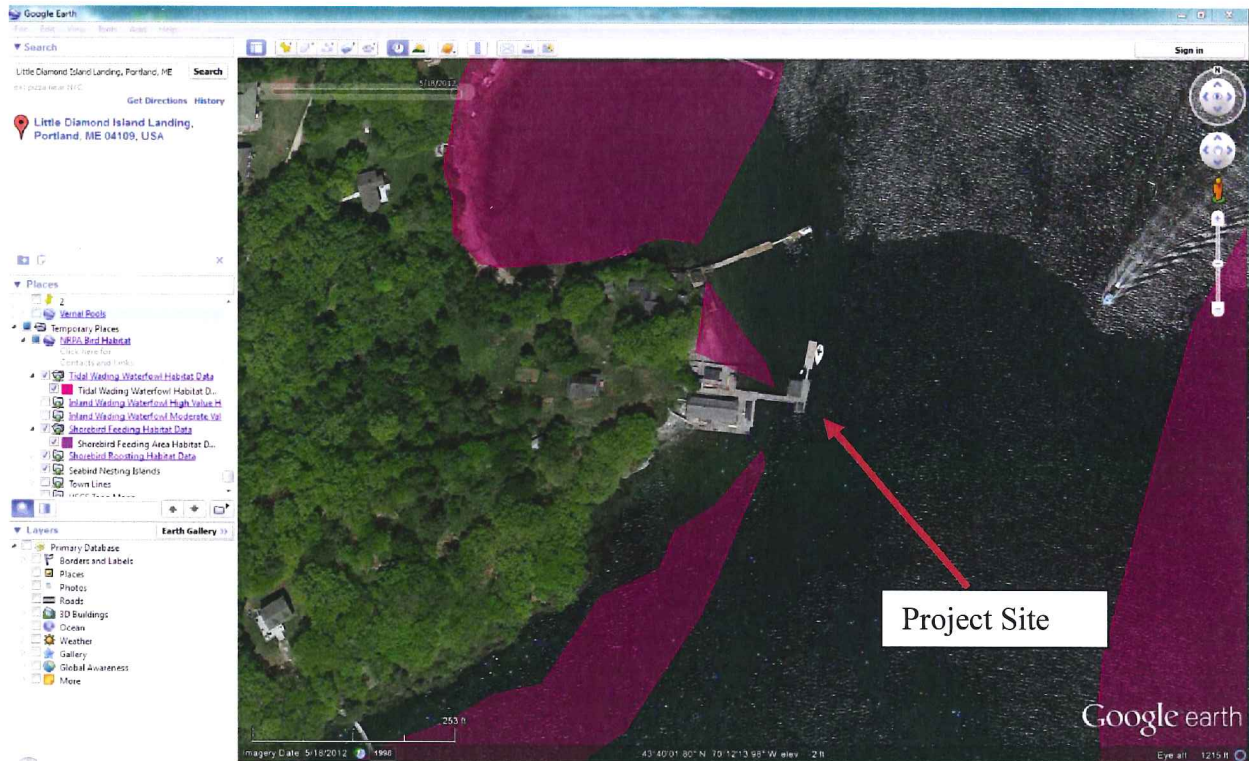
1. Application of temporary and permanent erosion control measures for the project shall be in accordance with procedures and specifications of the current Maine Erosion And Sediment Control Handbook For Construction; Best Management Practices.
2. All areas disturbed during construction shall be reconstructed unless noted otherwise
3. All work shall be executed from shore or by barge. No tracked or wheeled equipment shall be operated below the water level.
4. Temporary erosion control measures shall be removed upon completion of grading operations and establishment of acceptable ground cover.
5. The contractor shall be responsible for maintaining erosion control measures during construction.

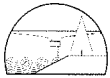


## ATTACHMENT 9 Site Conditions Report

Refer to photographs provided in Attachment 4. An MDEP COASTAL WETLAND CHARACTERIZATION form is provided in Appendix B. A section of the Maine GIS inventory mapping for Tidal Waterfowl and Wading Bird habitat is provided below.

Because the pier reconstruction is in the same footprint as the existing, the activity does not change the existing site conditions or impact existing coastal wetland resources significantly.





## ATTACHMENT 10      Notice of Intent to File

### PUBLIC NOTICE OF INTENT TO FILE

Please take notice that Old Coast Guard Station, LLC; Attn. Charles G. Moore; 2 Union Street, Suite 500; Portland, Maine 04101 is intending to file a Natural Resources Protection Act permit application with the Maine Department of Environmental Protection pursuant to the provisions of 38 M.R.S.A. §§ 480-A through 480-V on or about April 17, 2013.

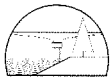
The application is for reconstruction of the pier located at 6 Rand's Way, Little Diamond Island.

A request for a public hearing or a request that the Board of Environmental Protection assume jurisdiction over this application must be received by the Department, in writing, no later than 20 days after the application is found by the Department to be complete and is accepted for processing. A public hearing may or may not be held at the discretion of the Commissioner or Board of Environmental Protection. Public comment on the application will be accepted throughout the processing of the application.

For Federally licensed, permitted, or funded activities in the Coastal Zone, review of this application shall also constitute the State's consistency review in accordance with the Maine Coastal Program pursuant to Section 307 of the federal Coastal Zone Management Act, 16 U.S.C. §1456.

The application will be filed for public inspection at the Department of Environmental Protection's office in Augusta during normal working hours. A copy of the application may also be seen at the City of Portland municipal offices, 389 Congress Street, Portland, ME, 04101.

Written public comments may be sent to the regional office in Augusta where the application is filed for public inspection: DEP, Division of Land Resource Regulation; 17 State House Station, Augusta, ME 04333.



## **ATTACHMENT 11      Maine Historic Preservation**

The State office of the Maine Historic Preservation has been provided a copy of key plans with a request for comment.

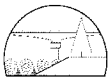
## **ATTACHMENT 12      Functional Assessment**

No Functional Assessment has been undertaken. As indicated on the plans provided in Attachment 5, the project replaces an existing pier in the same footprint. The only disturbance will be due to installation of new piles and is not a net long-term impact.

## **ATTACHMENT 13      Plan of Proposed Compensation**

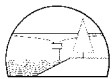
The proposed pier reconstruction utilizes the same footprint as the existing pier. The new pier will be at a higher elevation than the existing structure. The design utilizes fewer piles than the existing structure. No resource restoration, creation or enhancement is proposed as part of this project.





# APPENDICES

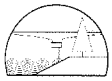
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## APPENDIX A Field Survey Checklist

(Natural Resources Protection Act, 38 M.R.S.A. §§ 480 A - Z)

Name of applicant:		Charles G. Moore, Old Coast Guard Station, LLC					
Phone:		(207) 761-0717					
Application Type:		NRPA Individual Permit - Coastal Pier Reconstruction					
Activity Type:		Pier Reconstruction					
Activity Location:		Town:	Portland	County:	Cumberland		
GIS Coordinates, if known:		Lat/Long: 43.6672° N 70.2038°W					
Date of Survey:		October, 2012					
Observer:		Jeff Comeau, BDC	Phone:	(207) 846-9724			
			<b>Distance Between the Proposed Visibility Activity and Resource (in Miles).</b>				
<b>1. Would the activity be visible from:</b>			0-¼	¼-1	1+	Notes	
A. A National Natural Landmark or other outstanding natural feature?			<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	None in the Vicinity	
B. A State or National Wildlife Refuge, Sanctuary, or Preserve or a State Game Refuge?			<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	None in the Vicinity	
C. A state or federal trail?			<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Mackworth Island State Park Trail, Falmouth	
D. A public site or structure listed on the National Island Register of Historic Places?			<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Fort McKinly, Great Diamond Island	
E. A National or State Park?			<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Mackworth Island State Park	
F. 1) A municipal park or public open space?			<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Bug Light Park, South Portland, Eastern Promenade, Portland	
2) A publicly owned land visited, in part, for the use, observation, enjoyment and appreciation of natural or man-made visual qualities?			<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	See above	
3) A public resource, such as the Atlantic Ocean, a great pond or a navigable river?			<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Casco Bay	
2. What is the closest estimated distance to a similar activity?			<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Multiple private piers	
3. What is the closest distance to a public facility intended for a similar use?			<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Little Diamond Island Landing	
4. Is the visibility of the activity seasonal? (i.e., screened by summer foliage, but visible during other seasons)				Yes	<input type="checkbox"/>	No	<input checked="" type="checkbox"/>
5. Are any of the resources checked in question 1 used by the public during the time of year during which the activity will be visible?				Yes	<input checked="" type="checkbox"/>	No	<input type="checkbox"/>



## APPENDIX B DEP Coastal Wetland Characterization

### INTERTIDAL & SHALLOW SUBTIDAL FIELD SURVEY CHECKLIST

Name of applicant: Charles G. Moore, Old Coast Guard Station, LLC  
 Phone: (207) 761-0717  
 Application Type: NRPA Individual Permit - Coastal Private Pier  
 Activity Type: Pier Reconstruction  
 Activity Location: Town: Portland County: Cumberland  
 Activity Description:  fill  pier  lobster pound  shoreline stabilization  dredge  other:  
 Date Of Survey: 8/13/2012 Observer: Daniel Bannon, PE  
 Time Of Survey: 12:00AM - 2:00PM Tide At Survey: Low Water

#### SIZE OF DIRECT IMPACT OR FOOTPRINT (square feet):

Intertidal area: Piles-65-ft<sup>2</sup> Subtidal area: Piles-25-ft<sup>2</sup>

#### SIZE OF INDIRECT IMPACT, if known (square feet):

Intertidal area: None Subtidal area: None

#### HABITAT TYPES PRESENT (check all that apply):

sand beach  boulder/cobble beach  sand flat  mixed coarse & fines  
 salt marsh  ledge  rocky shore  mudflat (sediment depth, if known:\_\_\_)

ENERGY:  protected  semi-protected  partially exposed  exposed

DRAINAGE:  drains completely  standing water  pools  stream or channel

SLOPE:  BULKHEAD  10-20%  5-10%  0-5%  variable

SHORELINE CHARACTER:  BULKHEAD  beach  rocky  vegetated

FRESHWATER SOURCES:  stream  river  wetland  stormwater

MARINE ORGANISMS PRESENT:

	absent	occasional	common	abundant
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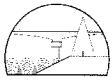
mussels	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
clams	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
marine worms	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
rockweed	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
eelgrass	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
lobsters	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Barnacles and periwinkles	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

SIGNS OF SHORELINE OR INTERTIDAL EROSION? Yes  No

PREVIOUS ALTERATIONS? Yes  No

#### CURRENT USE OF SITE AND ADJACENT UPLAND:

undeveloped  residential  commercial  degraded  recreational



## APPENDIX c Project Plans

- G-1 Cover Sheet
- G-2 Notes & Schedules
- C-1 Existing Conditions
- S-1 Plan & Elevation
- S-2 Pile Layout Plan
- S-3 Typical Sections
- S-4 Deck Plan
- S-5 Framing Plan

# Site Plan

## **Old Coast Guard Pier Reconstruction**

Little Diamond Island, Portland, Maine

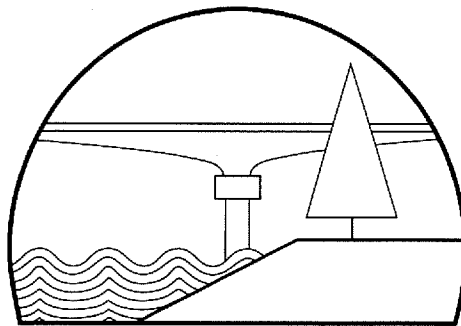
## **Development Review Application Level 1 – Site Alteration**

### **Applicant:**

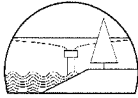
Charles G. Moore  
Old Coast Guard Station, LLC  
2 Union Street, Suite 500  
Portland, ME 04101

### **Submitted To:**

City of Portland  
Dept. of Planning & Urban Development  
389 Congress Street  
Portland, ME 04101



**BAKER DESIGN CONSULTANTS**  
Civil, Marine, and Structural Engineering  
7 Spruce Road, Freeport, ME 04032

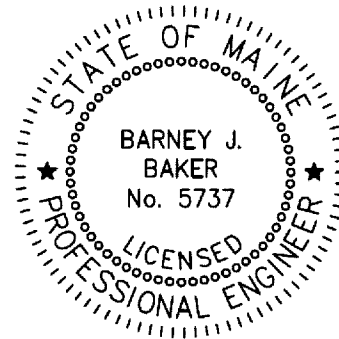


12-34 Little Diamond Island  
Portland, ME

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Baker Design Consultants  
7 Spruce Road  
Freeport, Maine 04032  
207-846-9724  
[b.baker@bakerdesignconsultants.com](mailto:b.baker@bakerdesignconsultants.com)



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## **Level I – Site Alteration Development Review Application Portland, Maine**

Planning and Urban Development Department  
Planning Division

Portland's Planning and Urban Development Department coordinates the development review process for site plan, subdivision and other applications under the City's Land Use Code. Attached is the application form for a Level I: Site Alteration site plan.

### **Level I: Site Alteration Development includes:**

- Alteration of a watercourse or wetland as defined in Section 14-47 of the City Code.
- Alteration of a site. The disturbance of land areas of less than one (1) acre that are stripped, graded, grubbed, filled or excavated. The Planning Authority shall exempt from review the loam and seeding of lawns and the cumulative placement of less than fifteen (15) cubic yards of fill on any lot provided such loaming or placement does not alter a drainage course, swale, wetland or redirect water onto adjoining property and does not violate any other provision of the Portland City Code or state or federal law. "Disturbed area" does not include routine maintenance, but does include re-development and new impervious areas.
- The construction of any temporary or permanent parking area, paving of existing unpaved surface parking areas between 1,000 and 7,500 square feet, or creation of other impervious surface areas between 1,000 and 7,500 square feet.
- The rehabilitation or reconstruction, but not new construction, of piers, docks, wharves, bridges, retaining walls, and other structures located within the shoreland zone.
- A site alteration in which vehicle access is proposed from more than one (1) street;

The Land Use Code (including Article V), the Technical Manual, and the Design Manual are available on the City's web site at <http://www.portlandmaine.gov/planning/default.asp> or copies may be purchased at the Planning Division Office.

**Planning Division**  
Fourth Floor, City Hall  
389 Congress Street  
(207) 874-8721 or (207) 874-8719

**Office Hours**  
Monday thru Friday  
8:00 a.m. – 4:30 p.m.



2013-109 E-Plan - ✓  
UI ✓

12-34 Little Diamond Island  
Portland, ME  
April 17, 2013

**PROJECT NAME:** Old Coast Guard Pier Reconstruction

**PROPOSED DEVELOPMENT ADDRESS:**

6 Rand's Way, Little Diamond Island

**PROJECT DESCRIPTION:**

1 - Reconstruction of the pier on Little Diamond Island owned by Old Coast Guard Station, LLC.

2- Improvements (less than 50%) to the existing 71-ft x 31.5-ft building located on the pier.

**CHART/BLOCK/LOT:** 105-Z-25

<b>CONTACT INFORMATION:</b>	<b>Applicant's Contact for electronic plans</b> Name: Barney Baker, PE e-mail: b.baker@bakerdesignconsultants.com work #: 207-846-9724
<b>Applicant – must be owner, Lessee or Buyer</b> Name: Charles (Kip) Moore Business Name, if applicable: Old Coast Guard Station, LLC Address: 2 Union Street, Suite 500 City/State : Portland, ME                      Zip Code: 04101	<b>Applicant Contact Information</b> Work # 207-761-0717 Home# Cell #    Fax# e-mail: kipmoore@aol.com
<b>Owner – (if different from Applicant)</b> Name: Address: City/State :                                      Zip Code:	<b>Owner Contact Information</b> Work # Home# Cell #    Fax# e-mail:
<b>Agent/ Representative</b> Name: Barney Baker, PE Address: 7 Spruce Road City/State : Freeport, ME                      Zip Code: 04032	<b>Agent/Representative Contact information</b> Work # 207-846-9724 Cell # 207-838-3636 e-mail: b.baker@bakerdesignconsultants.com
<b>Billing Information</b> Name: Charles (Kip) Moore c/o: Barney Baker, PE Address: 7 Spruce Road City/State : Freeport, ME                      Zip Code: 04032	<b>Billing Information</b> Work # 207-846-9724 Cell # 207-838-3636                              Fax# N/A e-mail: b.baker@bakerdesignconsultants.com

<b>Engineer</b> Name: Barney Baker, PE – Baker Design Consultants Address: 7 Spruce Road City/State : Freeport, ME                      Zip Code: 04032	<b>Engineer Contact Information</b> Work # 207-846-9724 Cell # 207-838-3636                              Fax# N/A e-mail: b.baker@bakerdesignconsultants.com
<b>Surveyor</b> Name: Reggie Parker, PLS – Royal River Survey Company Address: 107 Gray Road City/State : North Yarmouth, ME              Zip Code: 04097	<b>Surveyor Contact Information</b> Work # 207-829-5829 Cell # 207-650-8805                              Fax# 829-2777 e-mail: reg@royalriversurvey.com

**APPLICATION FEES:**

**Check all reviews that apply. Payment may be made by Check or Cash addressed to the City of Portland.**

<b>Level I Site Alteration Site Plan</b> <u>  X  </u> Application Fee (\$200.00)  The City invoices separately for the following: <ul style="list-style-type: none"> <li>• Notices (\$.75 each)</li> <li>• Legal Ad (% of total Ad)</li> <li>• Planning Review (\$40.00 hour)</li> <li>• Legal Review (\$75.00 hour)</li> </ul> Third party review is assessed separately.	<b>Fees Paid</b> (office use)  _____
<b>Performance Guarantee:</b> A performance guarantee is required to cover all public and private site improvements.	Required
<b>Inspection Fee:</b> An inspection fee of 2% of the performance guarantee is due prior to the release of permits	2% of the performance guarantee

**Application Check List**

**Refer to the application checklist for a detailed list of submittal requirements.**

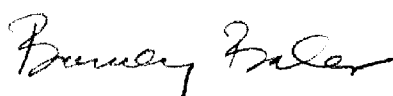
**All site plans and written application materials must be uploaded to a website for review. At the time of application, instructions for uploading the plans will be provided to the applicant. One paper set of the plans, written materials and application fee must be submitted to the Planning Division Office to start the review process.**

Portland’s development review process and requirements are outlined in the Land Use Code (Chapter 14), which includes the Subdivision Ordinance (Section 14-491) and the Site Plan Ordinance (Section 14-521).


I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a

permit for work described in this application is issued, I certify that the Planning Authority and Code Enforcement's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

**This application is for a Site Plan review only, a Performance Guarantee, Inspection Fee, Building Permit Application and associated fees will be required prior to construction.**

<b>Signature of Applicant:</b> 	<b>Date:</b> <b>April 17, 2013</b>
---	---------------------------------------

Please refer to Article V, Site Plan of the City of Portland Land Use Code for detailed information concerning the City's site plan review process, thresholds and standards. Should you have any questions regarding the submittal requirements or any other aspect of the site plan review process, please contact the Planning Division.

<p><b>Agent Authorization</b></p> <p>Charles (Kip) Moore          Old Coast Guard Station, LLC;          2 Union Street, Suite 500          Portland, ME 04101</p> <p>By signing below, I authorize Barney Baker, PE of Baker Design Consultants to act as agent for the purpose of permit communication on applications filed for reconstruction of the Old Coast Guard Pier on Little Diamond Island.</p> <p>Signed: </p>
---

**PROJECT DATA**

The following information is required where applicable, in order complete the application

<b>Total Area of Area</b>	N/A	sq. ft.
<b>Proposed Total Disturbed Area of the Site</b>	N/A	sq. ft.
<b>IMPERVIOUS SURFACE AREA</b>		
• Proposed Total Paved Area	N/A	sq. ft.
• Existing Total Impervious Area	N/A	sq. ft.
• Proposed Total Impervious Area	N/A	sq. ft.
• Proposed Impervious Net Change	N/A	sq. ft.
<b>PARKING SPACES</b>		
• Existing Number of Parking Spaces	N/A	
• Proposed Number of Parking Spaces	N/A	
<b>TOTAL</b> Number of Parking Spaces	N/A	

### General Submittal Requirements – Level I Site Alteration

Applicant Checklist	Planner Checklist	Number of Paper Copies	Submittal Requirement
<input type="checkbox"/>	<input type="checkbox"/>	1	Completed application form.
<input type="checkbox"/>	<input type="checkbox"/>	1	Application fees.
<input type="checkbox"/>	<input type="checkbox"/>	1	Written description of project.
<input type="checkbox"/>	<input type="checkbox"/>	1	Evidence of right, title and interest.
<input type="checkbox"/>	<input type="checkbox"/>	1	Copies of required state and/or federal permits.
<input type="checkbox"/>	<input type="checkbox"/>	1	Written assessment of proposed project's compliance with applicable zoning requirements.
<input type="checkbox"/>	<input type="checkbox"/>	1	Written description of existing and proposed easements or other burdens.
<input type="checkbox"/>	<input type="checkbox"/>	1	Written requests for waivers from individual site plan and/or technical standards.
<input type="checkbox"/>	<input type="checkbox"/>	1	Evidence of financial and technical capacity.

### Site Plans and Boundary Survey Requirements – Level I Site Alteration

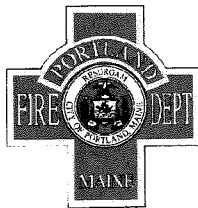
Applicant Checklist	Planner Checklist	Number of Copies	Submittal Requirement
<input type="checkbox"/>	<input type="checkbox"/>	1	Boundary Survey meeting the requirements of Section 13 of the City of Portland Technical Manual.
<input type="checkbox"/>	<input type="checkbox"/>	1	<b>Site Plan Including the following:</b>
<input type="checkbox"/>	<input type="checkbox"/>		▪ Existing structures with distance from property line (including location of proposed piers, docks or wharves if in Shoreland Zone)
<input type="checkbox"/>	<input type="checkbox"/>		▪ Location and dimension of existing and proposed paved areas.
<input type="checkbox"/>	<input type="checkbox"/>		▪ Location and details of proposed infrastructure improvements (e.g. - curb and sidewalk improvements, utility connections, roadway improvements).
<input type="checkbox"/>	<input type="checkbox"/>		▪ Identification of and proposed protection measures for any significant natural features on the site (including wetlands, ponds, watercourses, floodplains, significant wildlife habitats and fisheries or other important natural features listed in Section 14-526 (b)1. of the Land Use Code.
<input type="checkbox"/>	<input type="checkbox"/>		▪ Details of proposed pier rehabilitation (Shoreland areas only).
<input type="checkbox"/>	<input type="checkbox"/>		▪ Existing utilities.
<input type="checkbox"/>	<input type="checkbox"/>		▪ Existing and proposed grading and contours.
<input type="checkbox"/>	<input type="checkbox"/>		▪ Proposed stormwater management and erosion controls.
<input type="checkbox"/>	<input type="checkbox"/>		▪ Total area and limits of proposed land disturbance.
<input type="checkbox"/>	<input type="checkbox"/>		▪ Existing vegetation to be preserved and proposed site landscaping.
<input type="checkbox"/>	<input type="checkbox"/>		▪ Existing and proposed easements or public or private rights of way.

## Site Plan Standards for Review of Level I: Site Alteration

Level I: Site alteration plans shall only be subject to the following site plan standards, as applicable, as contained in section 14-526:

- (a) Transportation standards:
  1. Impact on surrounding street systems,
  2. Access and circulation, and
  4. Parking
- (b) Environmental quality standards
  1. Preservation of significant natural features,
  2. Landscaping and landscape preservation, and
  3. Water quality, stormwater management and erosion control.
- (c) Public infrastructure and community safety standards.
  1. Consistency with city master plans.
- (d) Site design standards
  5. Historic resources,
  6. Exterior lighting,
  8. Signage and wayfinding, and
  9. Zoning related design standards.

Except as provided in article III, or to conditions imposed under section 14-526(e) only, or to those submission requirements set forth in section 14-527 as relate solely thereto.



### PORTLAND FIRE DEPARTMENT SITE REVIEW FIRE DEPARTMENT CHECKLIST



A separate drawing[s] shall be provided to the Portland Fire Department for all site plan reviews.

1. Name, address, telephone number of applicant.
2. Name address, telephone number of architect
3. Proposed uses of any structures [NFPA and IBC classification]
4. Square footage of all structures [total and per story]
5. Elevation of all structures
6. Proposed fire protection of all structures
  - **As of September 16, 2010 all new construction of one and two family homes are required to be sprinkled in compliance with NFPA 13D. This is required by City Code. (NFPA 101 2009 ed.)**
7. Hydrant locations

## Written description of project.

---

The outline below provides a description of the project which replaces the existing timber pier and increases the elevation of the adjacent building. Reference should be made to the project plans located in the Site Plans section.

### Description of Proposed Work

The two major elements of the proposed work are defined below. Sheet C-1 Existing Conditions shows the current configuration and Sheets S-1 – S-5 show the new design.

#### 1. Pier Reconstruction

The existing timber pier will be demolished and a new pier will be reconstructed in the same footprint as the existing structure. The existing pier is approximately 7,530-ft<sup>2</sup>, the new pier will have an area of approximately 7,520-ft<sup>2</sup> due to several minor adjustments to overall geometry (reduction of approximately 10-ft<sup>2</sup>). Approximately 120 existing timber bearing piles will be cut off and removed above the mudline, and 84 new timber or composite piles will be installed to support the new pier. Approximately 30 timber fender piles will be cut off and removed above the mudline and replaced with 29 timber fender piles. The pier deck elevation will be increased by 2-ft to provide greater clearance above the coastal resource. Two small accessory buildings located on the pier (10-ft x 14-ft shed and 12.5-ft x 23-ft shed) will be set aside during the reconstruction and installed in their original locations on the new pier. The existing float will be reinstalled in its current location with a new gangway.

#### 2. Increase Building Elevation

An existing 71-ft x 31.5-ft pile-supported building (2,236.5-ft<sup>2</sup>) accessed from the pier will be lifted and new timber or composite piles will be installed beneath it. Existing piles to be removed are included in the totals presented in Work Item 1, 18 new piles will be installed beneath the building, these are also included in the total pile counts presented in Work Item 1. The building elevation will be increased 2-ft to provide greater clearance over the coastal resource and to maintain access from the pier.

## Evidence of Right, Title and Interest

Quitclaim Deed with Covenant 029946, CCRD Book 13833, Page 058-060.

DK 13833PG058

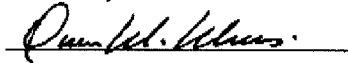
QUITCLAIM DEED WITH COVENANT  
Maine Statutory Short Form

**029946**

KNOW ALL BY THESE PRESENTS, that I, Charles G. Moore, III, of Portland, County of Cumberland and State of Maine, for consideration paid, GRANTS to Old Coast Guard Station, LLC, a limited liability company formed pursuant to the provisions of the Maine Limited Liability Company Act, 31 M.R.S.A. § 602 et seq., with a mailing address of 75 Pearl Street, Suite 209, Portland, Maine 04101, with **QUITCLAIM COVENANTS**, the land in Portland, County of Cumberland and State of Maine, which is more particularly described in Exhibit A attached hereto and made a part hereof.

WITNESS my hand and seal this 30th day of January, 1998.

Signed, Sealed and Delivered  
in the presence of:

  
\_\_\_\_\_


  
Charles G. Moore, III

STATE OF MAINE  
CUMBERLAND, ss.

January 30, 1998

Then personally appeared the above-named Charles G. Moore, III and acknowledged the foregoing instrument to be his free act and deed.

Before me,

  
Notary Public/Attorney at Law  
Printed Name: Owen W. Wells

BK 13833 PG 059

Exhibit A

Certain real estate situated in Portland, County of Cumberland and State of Maine, being more particularly described as follows:

A certain lot or parcel of land, together with the buildings thereon and appurtenant thereto, situated on Little Diamond Island (formerly known as Little Hog Island) in Casco Bay, City of Portland, in the County of Cumberland and State of Maine, situated on the southeasterly end of said Island, and bounded and described as follows: Beginning at an iron bolt set in the rock on the southeasterly shore of said Little Diamond Island at a point about four hundred and twenty (420) feet southwest of the old wooden wharf on the southeasterly end of said Island; thence from said iron bolt on a course of North 30 degrees West, a distance of four hundred and fifty (450) feet to an iron bolt set in a stone in the valley; thence North 60 degrees East, a distance of two hundred forty-nine (249) feet to a third iron bolt set in stone; thence continuing on the same course North 60 degrees East, a distance of seventy (70) feet to high water mark; thence by the shore in a direction southerly, easterly, and southwesterly to the point begun at; containing four (4) acres of upland, and including the shore appurtenant to the upland and the pile wharf above-mentioned now existing at the southeast end of the premises herein conveyed.

Excepting and reserving from the above-described premises the following parcel of land, with the buildings thereon, bounded and described as follows: Beginning at a point at the top of the bank on the easterly end of Little Diamond Island marked by an iron pipe; which point is located fifty-eight and eight tenths (58.8) feet from the southeast corner of a small brick building and seventy-three and two tenths (73.2) feet from the southwest corner of a larger brick building, which buildings now stand on the parcel being described; thence North 63 degrees 50' 40" West, one hundred ninety-seven and sixty-five hundredths (197.65) feet to a point; thence North 22 degrees 44' 00" East, forty-four (44) feet, more or less, to the shore; thence along the shore northeasterly, easterly and southerly to a point on the shore; thence North 63 degrees 50' 40" West, thirty (30) feet, more or less, to the point of beginning; meaning to describe a parcel of land approximately one-half acre in size upon which are located the two buildings previously mentioned, also the shore appurtenant thereto. Subject to conditions and reservations as contained in deed from United States of America to Theodore T. Rand, dated May 17, 1954, and recorded in the Cumberland County Registry of Deeds in Book 2171, Page 337.

Reserving to Theodore T. Rand, his heirs and assigns, the perpetual right to use and repair the water lines, power lines, telephone lines, and sewer and cable television lines should they become available, running over and under the premises being conveyed to the premises excepted herein, with said Theodore T. Rand, his heirs and assigns, to pay to the Grantee for metered water.



DK 13833PG060

Also reserving to Theodore T. Rand, his heirs and assigns, a perpetual easement from the above-excepted parcel of land to and from the main wharf and floats on the premises conveyed herein, and the use of the same for ingress and egress to the excepted parcel of land, and also reserving an easement across land conveyed herein and land now or formerly of St. Joseph's Convent & Hospital, to Rockledge Avenue on Little Diamond Island. In the event Theodore T. Rand should convey the above-described excepted parcel of land, with the buildings thereon, then said Grantee shall have the first refusal to purchase the same at a price and on the terms which Theodore T. Rand would convey the same to any other person.

Also conveying a right of way and easement as described in a deed of St. Joseph's Convent & Hospital to Theodore T. Rand, dated May 8, 1985, and recorded in said Registry of Deeds in Book 6771, Page 62.

Being the same premises conveyed to the Grantor herein by Peoples Heritage Savings Bank by Deed dated August 31, 1992 and recorded in the Cumberland County Registry of Deeds in Book 10258, Page 10.

This conveyance is made subject to a Mortgage given by the Grantor to Peoples Heritage Savings Bank dated August 31, 1992 and recorded in said Registry of Deeds in Book 10258, Page 14, which the Grantee herein by its acceptance of this deed hereby assumes and agrees to pay.

RECEIVED  
RECORDED REGISTRY OF DEEDS

1998 MAY 19 PM 3:25

CUMBERLAND COUNTY

*John B. O'Brien*

-2-

## **Copies of State, Federal, and Local Permits**

---

State and federal permit applications are in the process of being submitted but have not yet been obtained as of April 17, 2013. The following applications have been submitted:

- Army Corps of Engineers - Maine General Permit
- Maine DEP – NRPA Permit
- Portland Harbor Commissioners – Marine Construction Permit
- City of Portland – Flood Hazard Development Permit
- Maine Department of Agriculture, Conservation, and Forestry - Submerged Lands Lease

Permits will be available to submit once received.

## **Written Assessment of Proposed Project's Compliance with Applicable Zoning Requirements**

---

Zoning: Island Business District, Shoreland Overlay Zone  
Flood Hazard Zone: Zone VE

The pier reconstruction will comply with all requirements of the City of Portland Land Use Zoning Ordinance, including standards of Section 14-450.8(o).

The existing building does not meet City of Portland Zoning requirements in regard to elevation:

- Section 14-450.8(p) – The bottom of the lowest horizontal structural member of the lowest floor (excluding the pilings or columns) is elevated two (2) feet above the base flood elevation.

This non-compliance is grandfathered.

Improvements to the building will be less than 50% of the current market value of the structure, and are therefore not substantial per Section 14-450.9. Because the improvement is not substantial, the improvements are not required to meet Section 14-450.8(p).

## **Written Description of Existing and Proposed Easements or Other Burdens**

---

See Right of Use, Easement, and Right-of Way contained within Quitclaim Deed with Covenant 029946, CCRD Book 13833, Page 058-060.

## **Written Requests for Waivers from Individual Site Plan and/or Technical Standards**

---

### **Waiver of Boundary Survey Requirement**

Topographic survey for the site has been completed by a licensed PLS. A boundary survey meeting all of the requirements of Technical Manual Section 13 has not been completed. A request for waiver of boundary survey requirements is made in accordance with Technical Manual section 13.4.1 on the following basis:

- The development takes place on an improved lot-of-record (see reference: 1988 Subdivision Plat by Land Use Consultants for William Gaynor of Shore Road, Cape Elizabeth, ME, included on next page).
- The project involves the reconstruction of an existing timber pier in the same footprint as existing.
- The activity involves no additional development of the existing improved lot.
- The existing structure has been in place for over 100 years
- The replacement will cause no impacts to neighboring properties.



Evidence of Financial and Technical Capacity

Pier Area =	7,400 ft <sup>2</sup>
Estimated Cost of Pier Reconstruction =	<b>\$425,000</b>
Estimated Cost of Building Improvements = <i>Note: existing assessed valuation of building per City of Portland = \$319,300</i>	<b>\$50,000</b>
Total Estimated Cost of Project =	<b>\$475,000</b>

Old Coast Guard Station, LLC is in good standing with the Maine Bureau of Corporations as evidenced by the certificate below:



**MAINE**  
 Department of the Secretary of State  
 Bureau of Corporations, Elections and Commissions

**Corporate Name Search**

**Information Summary**

[Subscriber activity report](#)

**This record contains information from the CEC database and is accurate as of: Mon Jan 21 2013 18:06:00. Please print or save for your records.**

Legal Name	Charter Number	Filing Type	Status
OLD COAST GUARD STATION, LLC	19980366DC	LIMITED LIABILITY COMPANY (DOMESTIC)	GOOD STANDING

Filing Date	Expiration Date	Jurisdiction
02/02/1998	N/A	MAINE

**Other Names (A=Assumed ; F=Former)**

NONE

**Clerk/Registered Agent**

TIMOTHY P. BENOIT  
 P.O. BOX 426

PORTLAND, ME 04112 0426

## Site Plans

---

The following drawings are attached:

- G-1 Cover Sheet
- G-2 Notes & Schedules
- C-1 Existing Conditions
- S-1 Plan & Elevation
- S-2 Pile Layout Plan
- S-3 Typical Sections
- S-4 Deck Plan
- S-5 Framing Plan



# Flood Hazard Permit

## **Old Coast Guard Pier Reconstruction**

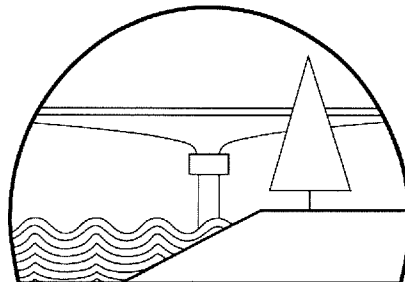
Little Diamond Island, Portland, Maine

### **Applicant:**

Charles G. Moore  
Old Coast Guard Station, LLC  
2 Union Street, Suite 500  
Portland, ME 04101

### **Submitted to:**

Barbara Barhydt  
City of Portland  
Department of Planning & Urban Development  
389 Congress Street  
Portland, Maine 04101



BAKER DESIGN CONSULTANTS  
Civil, Marine, and Structural Engineering  
7 Spruce Road, Freeport, ME 04032

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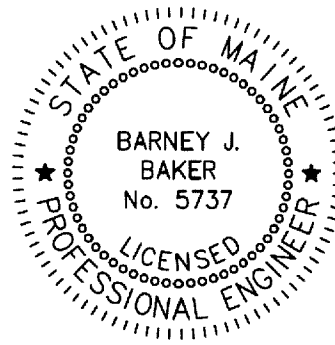
Baker Design Consultants

7 Spruce Road

Freeport, Maine 04032

207-846-9724

b.baker@bakerdesignconsultants.com



Flood Hazard Development Permit Application  
&  
Permit Forms

For Communities with Coastal Velocity Zones  
[60.3(e)]

CONTENTS

1. Cover Letter
2. Decision Tree
3. Flood Hazard Development Permit Application
4. Flood Hazard Development Permit Part I
5. Flood Hazard Development Permit Part II
6. Flood Hazard Development Permit For Minor Development
7. Flood Hazard Development Permit For Conditional Use
8. Flood Hazard Development Permit For Floodproofing Non-Residential Structures
9. V-Zone Certificate
10. Hydraulic Openings Certificate
11. Certificate of Compliance
12. FEMA Elevation Certificate
13. FEMA Floodproofing Certificate

This document was prepared by the  
Maine Floodplain Management Program  
State Planning Office  
38 State House Station  
184 State Street  
Augusta, Maine 04333-0038

Phone (207) 287-8050

# FLOOD HAZARD DEVELOPMENT APPLICATION

## Portland, Maine

(All applicants must complete entire application)

[60.3(e)]

Application is hereby made for a Flood Hazard Development Permit as required under Article II of the Floodplain Management Ordinance of Portland, Maine, for development as defined in said ordinance. This permit application does not preclude the need for other municipal permit applications.

Owner: Charles G. Moore, Old Coast Guard Station, LLC

Address: 2 Union Street, Suite 500, Portland, ME 04101

Phone No.: 207-761-0717

Applicant: Baker Design Consultants

Address: 7 Spruce Road, Freeport, ME 04032

Phone No.: 207-846-9724

Contractor: To be determined

Address: To be determined

Phone No.: To be determined

### LEGAL DESCRIPTION

Is this part of a subdivision?  Yes  No If yes, give the name of the subdivision and lot number:

Subdivision: \_\_\_\_\_

Lot #: \_\_\_\_\_

Tax Map: 105-Z

Lot #: 25

Address: 6 Rand's Way, Little Diamond Island

Street/Road Name

Zip Code: Portland, ME 04101

Town/Zip Code

General explanation of proposed development: Reconstruction of existing pier and raising existing pier building

Estimated Value of Proposed Development:

\$ 475,000

Proposed Lowest Floor elevation [for new or substantially improved structure]: 16.5 (Chart Datum)

### OTHER PERMITS

Are other permits required from State or Federal jurisdictions?

Yes  No

If yes, are these other permits attached?

Yes  No  Not Applicable

*Permit applications have been submitted for to Maine DEP, ACOE, City of Portland, and Portland Harbor Commission, permits can be submitted once received. A Submerged Lands Lease application has also been submitted to Maine Department of Agriculture, Conservation, and Forestry.*

Federal and State Permits may include but are not limited to: ME/DEP/Natural Resource Protection Act, Site Location of Development Act, Metallic Mineral Exploration, Advanced Exploration and Mining; USACE/Section 9 &10 of the Rivers and Harbors Act/ Section 404 of the Clean Water Act; Federal Energy Regulation Commission.

### SEWER AND WATER

Sewage Disposal:

Public

Private

Existing

Proposed

Not Applicable Type \_\_\_\_\_

Water Supply:

Public

Private



standards, public hearing, and Planning Board review.

**Attach a Site Plan** – Drawn to scale with north arrow.

- Show property boundaries, floodway, and floodplain lines.
- Show dimensions of the lot.
- Show dimensions and location of existing and/or proposed development on the site.
- Show areas to be cut and filled.

**Attach Statement** – describing in detail how each applicable development standard in Article VI will be met.

The project involves the replacement of an existing timber pier in the same footprint as the original. The pier reconstruction will be designed to meet the requirements for construction materials and methods set forth in City of Portland Code of Ordinances 14-450.8.

**For New Construction or Substantial Improvement also show:**

- Existing and proposed grade elevations adjacent to the walls of the structure done by a Professional land Surveyor, Architect, or Engineer.
- Location and elevation of temporary elevation reference marks on the site.

**Special Note:**

**Substantial Improvement** is defined as any reconstruction, rehabilitation, addition or other improvement of a structure, the cost of which equals or exceeds 50 percent of the market value of the structure before the start of construction of the improvement. Please refer to the floodplain management ordinance, Article XIV, for more complete definitions of New Construction and Substantial Improvement.

**Structures in Velocity Zones** are not permitted on fill or excavations. Structures must be built on open foundation systems, i.e., columns, piles, posts. Certification of structural design, specifications, plans and construction methods completed by a Professional Engineer or Architect shall accompany the application as required in Article VI.L.3. of the floodplain management ordinance.

**The applicant understands and agrees that:**

- The permit applied for, if granted, is issued on the representations made herein;
- Any permit issued may be revoked because of any breach of representation;
- Once a permit is revoked all work shall cease until the permit is reissued or a new permit is issued;
- Any permit issued on this application will not grant any right or privilege to erect any structure or sue any premises described for any purposes or in any manner prohibited by the ordinances, codes, or regulations of the municipality;
- The applicant hereby gives consent to the Code Enforcement Officer to enter and inspect activity covered under the provisions of the Floodplain management Ordinance;
- If issued, the permit form will be posted in a conspicuous place on the premises in plain view; and,
- If issued, the permit will expire if no work is commenced within 180 days of issuance.

I hereby certify that all the statements in, and in the attachments to this application are a true description of the existing property and the proposed development project.

Owner: \_\_\_\_\_ Date: \_\_\_\_\_  
Signature

or

Authorized Agent: Bonnie Baker Date: April 17, 2013  
Signature

(This section to be completed by Municipal Official)

Date: Submitted \_\_\_\_\_; Fee Paid \_\_\_\_\_; Reviewed by CEO \_\_\_\_\_; Reviewed by Planning Board \_\_\_\_\_

Permit # \_\_\_\_\_ Issued by \_\_\_\_\_ Date \_\_\_\_\_

---

## Agent Authorization

Charles (Kip) Moore  
Old Coast Guard Station, LLC;  
2 Union Street, Suite 500  
Portland, ME 04101

By signing below, I authorize Barney Baker, PE of Baker Design Consultants to act as agent for the purpose of permit communication on applications filed for reconstruction of the Old Coast Guard Pier on Little Diamond Island.

Signed: 

# FLOOD HAZARD DEVELOPMENT PERMIT

## PART I

### Portland, Maine

(For New Construction or Substantial Improvements)

**For New Construction or Substantial Improvement of any structure, this Flood Hazard Development Permit allows construction only up to the establishment of the lowest floor.** This permit is issued based on documentation that the information provided in the Flood Hazard Development Permit Application is in compliance with the Floodplain Management Ordinance. Once the lowest floor is established, the permittee must provide an Elevation Certificate establishing the as built lowest floor elevation. When the Code Enforcement Officer finds the documentation in the Elevation Certificate to be in compliance with the Floodplain Management Ordinance, the Part II Flood Hazard Development Permit shall be issued. The Part II Permit must be issued in order for construction to continue.

A Part I Flood Hazard Development Permit is hereby issued as provided under Article V.F. of the Floodplain Management Ordinance of Portland, Maine, for development as defined in said ordinance.

Tax Map: 105-Z Lot #: 25

Project Description: Reconstruction of timber pier, installation of new piles beneath pier building and raising building elevation by 2'

**The permittee understands and agrees that:**

- The permit is issued on the representations made herein and on the application for permit;
- The permit may be revoked because of any breach of representation;
- Once a permit is revoked all work shall cease until the permit is reissued or a new permit is issued;
- The permit will not grant any right or privilege to erect any structure or use any premises described for any purposes or in any manner prohibited by the ordinances, codes, or regulations of the municipality;
- The permittee hereby gives consent to the Code Enforcement Officer to enter and inspect activity covered under the provisions of the Floodplain Management Ordinance;
- The permit form will be posted in a conspicuous place on the premises in plain view; and,
- The permit will expire if no work is commenced within 180 days of issuance.

I hereby certify that all the statements in, and in the attachments to this permit are a true description of the existing property and the proposed development project.

Owner: \_\_\_\_\_ Date: \_\_\_\_\_  
Signature

or  
Authorized Agent: Bonny Baker Date: April 17, 2013  
Signature

Issued by: \_\_\_\_\_ Date: \_\_\_\_\_

Permit #: \_\_\_\_\_



**Not Applicable**  
**~~FLOOD HAZARD DEVELOPMENT PERMIT~~**  
**~~PART II~~**

\_\_\_\_\_, **Maine**  
(For completion of New Construction or Substantial Improvements)

The following information has been submitted and found compliant with the Development Standards of the Floodplain Management Ordinance:

FEMA Elevation Certificate Form 81-31

**For construction in Zones V1-30 and VE only:**

Review of the structural design, specifications, plans, and construction methods by a Professional Engineer or Architect certifying that they meet or exceed the technical criteria contained in the FEMA/Coastal Construction Manual and are in accordance with accepted standard of practice for meeting the criteria of Article VI.L.2.

A Part II Flood Hazard Development Permit is hereby issued as provided under Article V.F. of the Floodplain Management Ordinance of \_\_\_\_\_, Maine, for development as defined in said ordinance.

Tax Map: \_\_\_\_\_ Lot #: \_\_\_\_\_

**The permittee understands and agrees that:**

- The permit is issued on the representations made herein and on the elevation certificate;
- The permit may be revoked because of any breach of representation;
- Once a permit is revoked all work shall cease until the permit is reissued or a new permit is issued;
- The permit will not grant any right or privilege to erect any structure or use any premises described for any purposes or in any manner prohibited by the ordinances, codes, or regulations of the municipality;
- The permittee hereby gives consent to the Code Enforcement Officer to enter and inspect activity covered under the provisions of the Floodplain Management Ordinance;
- The permit form will be posted in a conspicuous place on the premises in plain view; and,
- The permit will expire if no work is commenced within 180 days of issuance.

I hereby certify that all the statements in, and in the attachments to this permit are a true description of the existing property and the proposed development project.

Owner: \_\_\_\_\_ Date: \_\_\_\_\_  
Signature

or

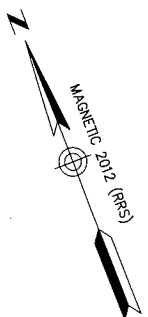
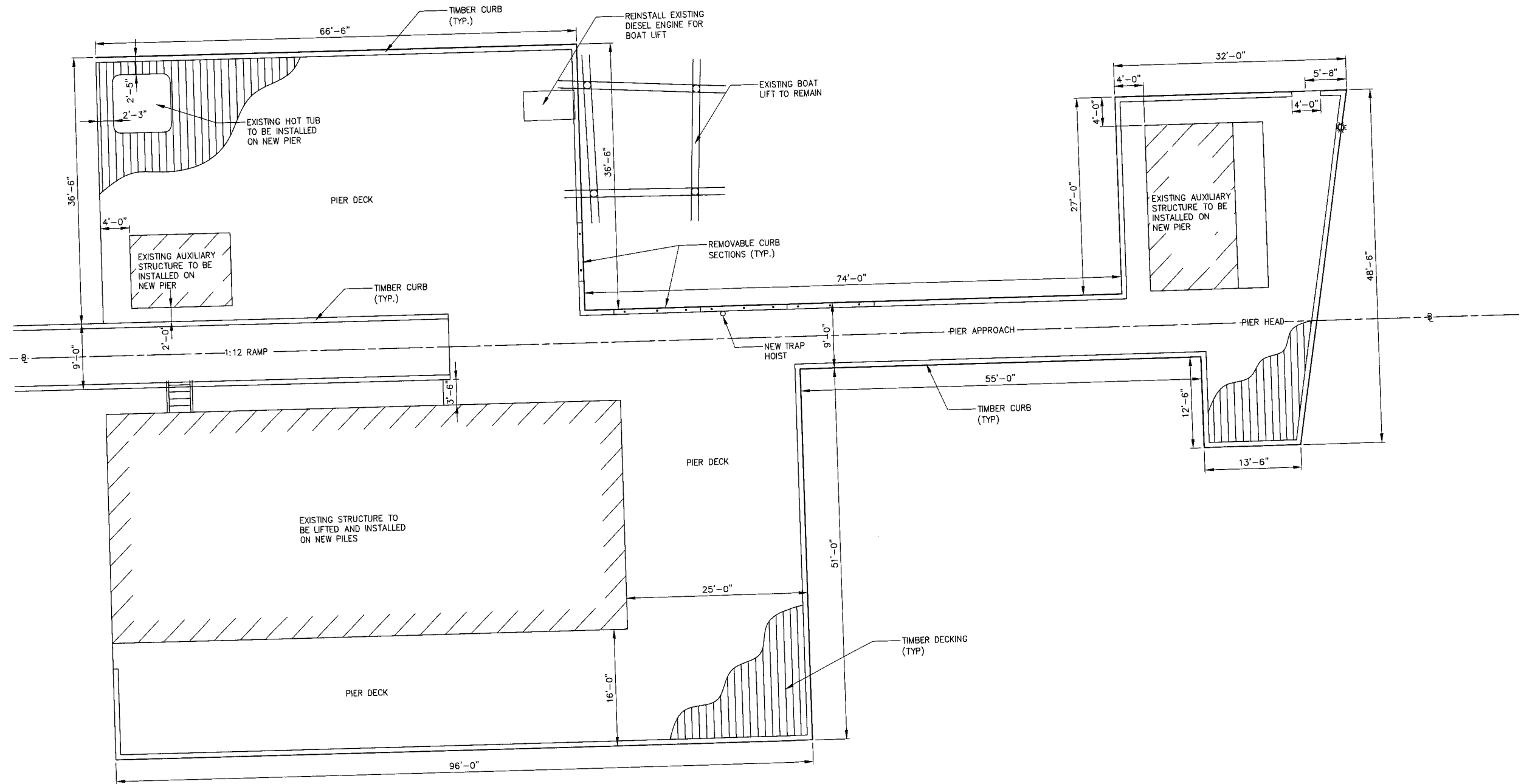
Authorized Agent: \_\_\_\_\_ Date: \_\_\_\_\_  
Signature

Issued by: \_\_\_\_\_ Date: \_\_\_\_\_

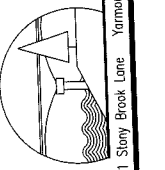
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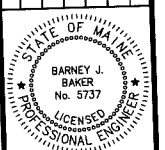
\\eng-sta1\projects\12\12-34 little diamond island\cad\12-34 ldi pier structural design.dwg



**BAKER DESIGN CONSULTANTS**  
Civil, Marine, and Structural Engineering  
Yarmouth, Maine 04996 Tel. (207) 846-9724 Fax. (207) 846-3620  
11 Stony Brook Lane



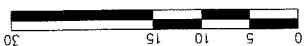
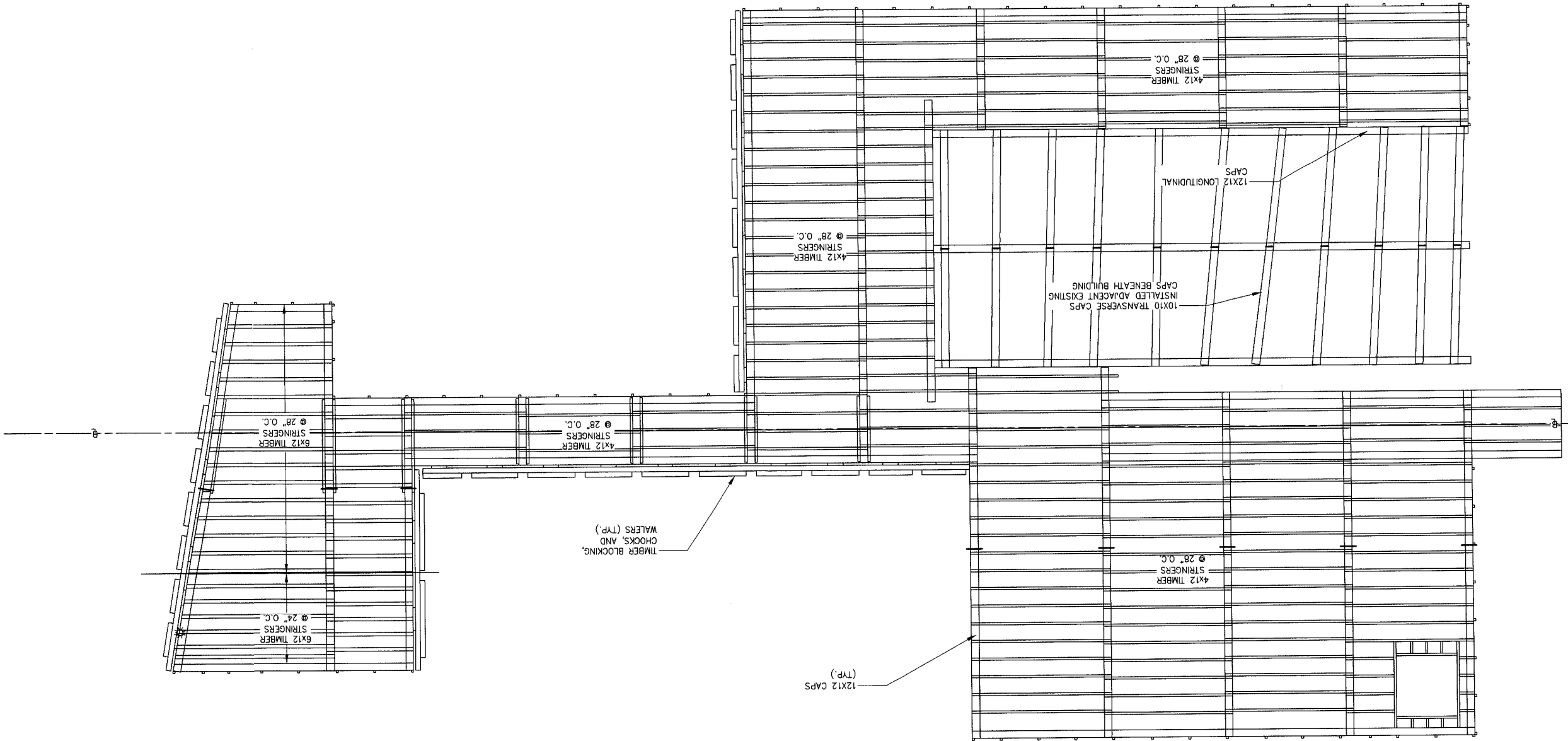
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A	1-22-13	DATE	BJB
SUBMISSION			
PERMIT APPLICATIONS			



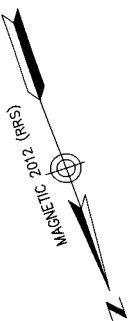
DESIGNED BY:	BJB
DRAWN BY:	JJC
CHECKED BY:	BJB
SCALE:	AS SHOWN

SHEET TITLE:	DECK PLAN
PROJECT:	OLD COAST GUARD STATION LLC PIER REPLACEMENT LITTLE DIAMOND ISLAND, PORTLAND, MAINE
DATE:	DEC. 2012
CONTRACT NO.:	12-34
SHEET NO.:	REV.
<b>S-4</b>	

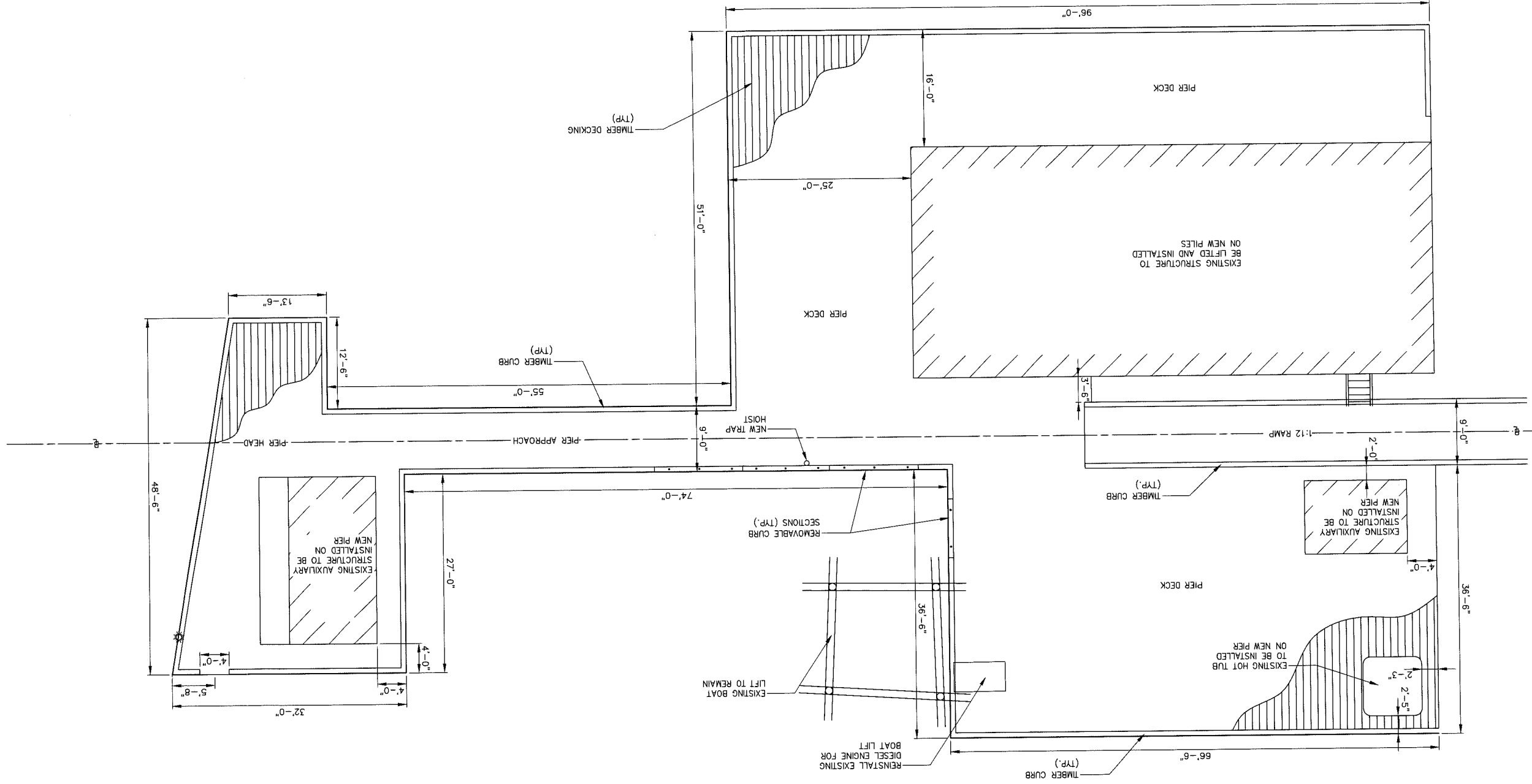




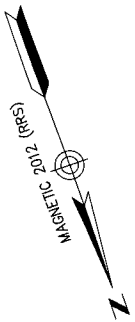
PLAN



SHEET NO. <b>5-5</b>		SHEET TITLE: <b>FRAMING PLAN</b>	
CONTRACT NO. 12-34		PROJECT: OLD COAST GUARD STATION LLC <b>PIER REPLACEMENT</b> LITTLE DIAMOND ISLAND, PORTLAND, MAINE	
DATE: DEC. 2012		DESIGNED BY: <b>BJB</b>	CHECKED BY: <b>BJB</b>
		DRAWN BY: <b>JJC</b>	SCALE: <b>AS SHOWN</b>
NO.		PERMIT APPLICATIONS SUBMISSION	
DATE		DATE	
INIT.		INIT.	
11 Stony Brook Lane		Yarmouth, Maine 04096	
<b>BAKER DESIGN CONSULTANTS</b> Civil, Marine, and Structural Engineering Tel: (207) 846-8724 Fax: (207) 846-3620			



PLAN



SHEET NO. 5-4		SHEET TITLE: DECK PLAN	
REV. 12-34		PROJECT: OLD COAST GUARD STATION LLC PIER REPLACEMENT LITTLE DIAMOND ISLAND, PORTLAND, MAINE	
DATE: DEC. 2012		DESIGNED BY: BJB	
CONTRACT NO. 12-34		DRAWN BY: JJC	
CHECKED BY: BJB		SCALE: AS SHOWN	
NO. 1		PERMIT APPLICATIONS SUBMISSION	
DATE: 1-22-13		INT. BY: BJB	
<b>BAKER DESIGN CONSULTANTS</b> Civil, Marine, and Structural Engineering 11 Sharp Brook Lane, Yarmouth, Maine 04096 Tel: (207) 846-9724 Fax: (207) 846-3620			







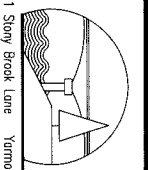
**PROPERTY INFORMATION**  
 OWNER: OLD COAST GUARD STATION LLC  
 ADDRESS: 2 UNION ST STE 500  
 LITTLE DIAMOND ISLAND  
 PORTLAND, MAINE 04101  
 MAPLOT: 105-Z-22 TO 25, 105-Z-21-27  
 ZONING: (H-B) ISLAND BUSINESS ZONE, SHORELAND OVERLAY DISTRICT  
 RESOURCE PROTECTION  
 SETBACKS: NO CHANGE

**SURVEY NOTES**  
 1. GROUND SURVEY TOPOGRAPHIC AND PLANIMETRIC INFORMATION PROVIDED BY ROYAL RIVER SURVEY ON OCT. 26, 2012.  
 2. ALL TOPOGRAPHIC INFORMATION PROVIDED IS REFERENCED TO CHART DATUM UNLESS OTHERWISE NOTED.  
 3. BASE FLOOD/TIDAL INFORMATION TAKEN FROM MEDEP, FEMA AND NOAA PUBLISHED DATA FOR PORTLAND.

**DATUMS & ELEVATION DELTAS**

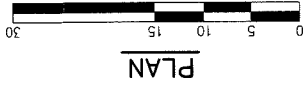
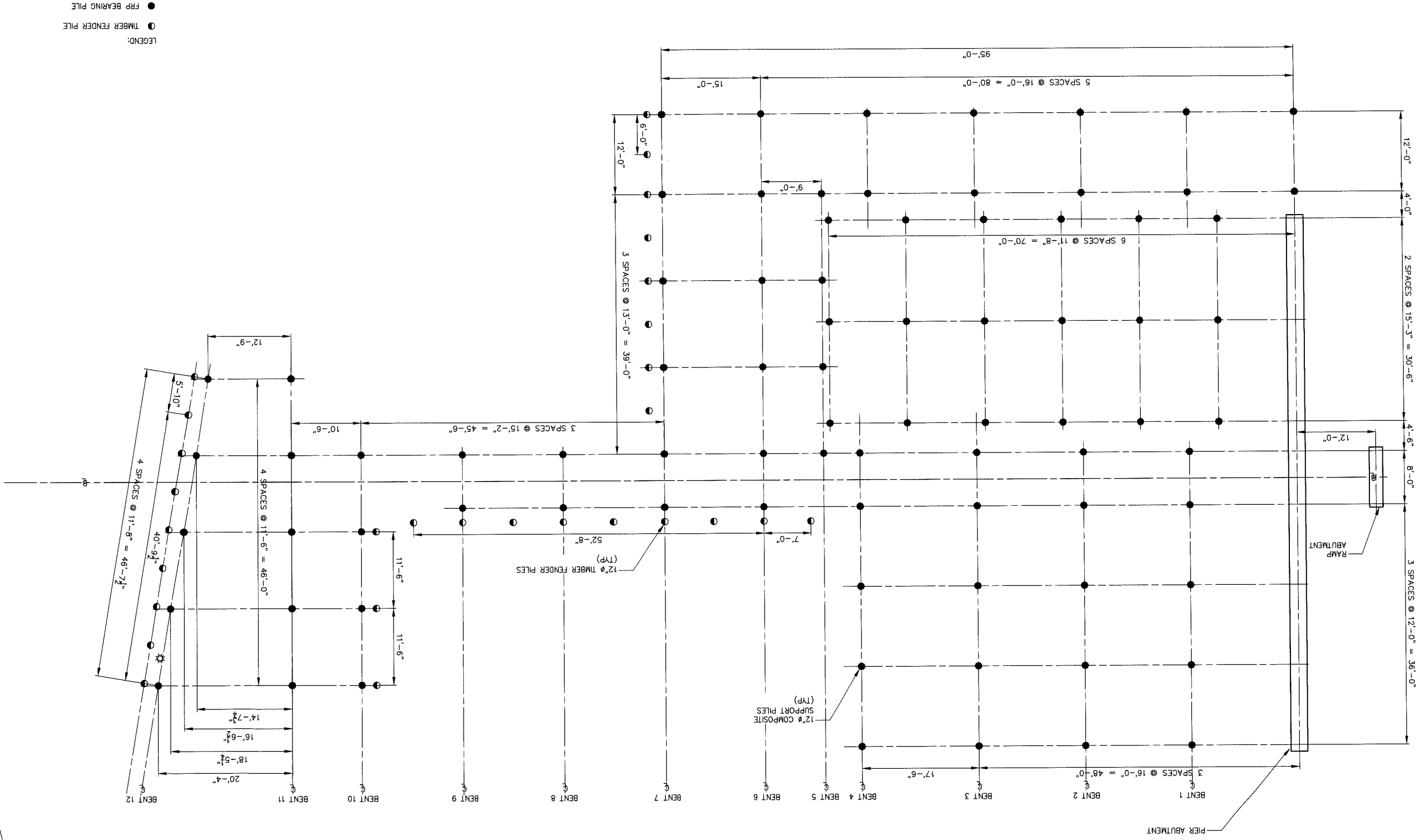
ELEVATION	CHART DATUM	(FT)	(FT)	NOTES
FEMA BASE FLOOD (PROPOSED)	20.3	15.7	15.0	FEMA 2009 FIRM
FEMA BASE FLOOD (CURRENT)	19.5	15.0	14.3	FEMA 1986 FIRM
500 YEAR STILLWATER ELEVATION	14.8	10.2	9.5	2009 CUMBERLAND COUNTY FIS
EXISTING PIER DECK ELEVATION	14.5	10.1	9.3	ROYAL RIVER SURVEY
100 YEAR STILLWATER ELEVATION	14.2	9.6	8.9	2009 CUMBERLAND COUNTY FIS
50 YEAR STILLWATER ELEVATION	13.9	9.3	8.6	
10 YEAR STILLWATER ELEVATION	13.3	8.7	8.0	
HIGHEST ANNUAL TIDE (HAT)	11.9	7.4	6.7	MAINE DEP
MHHW	9.9	5.4	4.7	NOAA
MHW	9.5	4.9	4.2	
NAVD 88	5.3	0.7	0.0	
NGVD 29	4.5	0.0	-0.7	
MLW	0.3	-4.2	-4.9	
MLTW	0.0	-4.5	-5.3	

G-2	SHEET NO.	OCT 2012	DATE	SHEET TITLE:	DESIGNED BY:	DRAWN BY:	CHECKED BY:	SCALE:
1	REV.	CONTRACT NO.		NOTES AND SCHEDULES	BUB	JJC	BUB	AS SHOWN
				PROJECT:				
				OLD COAST GUARD STATION, LLC				
				PIER REPLACEMENT				
				LITTLE DIAMOND ISLAND, PORTLAND, MAINE				

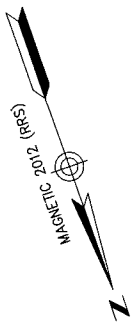


**BAKER DESIGN CONSULTANTS**  
 Civil, Marine, and Structural Engineering  
 11 Sloop Brook Lane, Yarmouth, Maine 04096  
 Tel: (207) 846-9724 Fax: (207) 846-3620





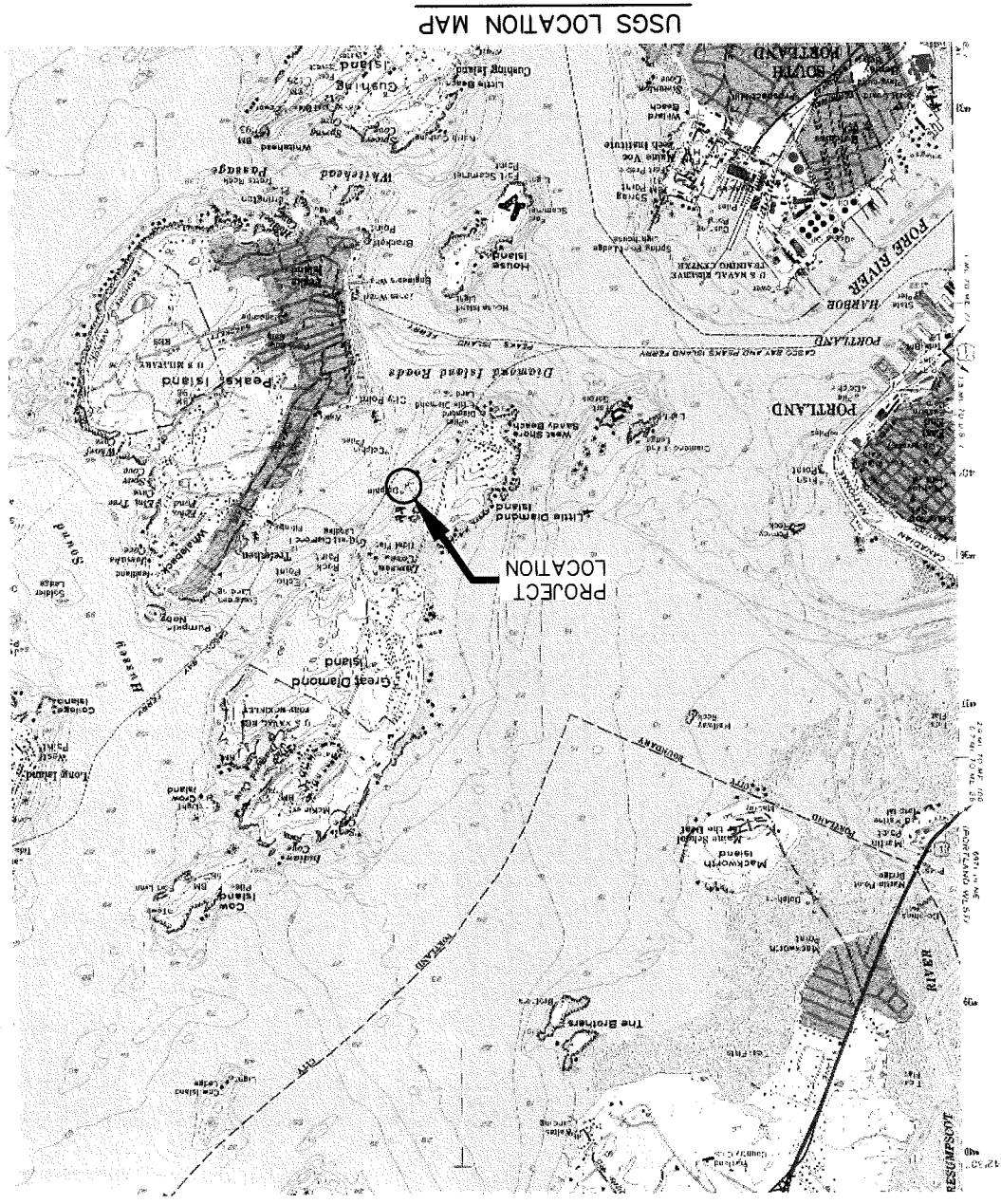
- LEGEND:
- FRP BEARING PILE
  - TIMBER FENDER PILE



S-2	SHEET NO.	REV.	DATE	PROJECT	SHEET TITLE
	12-34		DEC. 2012	OLD COAST GUARD STATION LLC PIER REPLACEMENT LITTLE DIAMOND ISLAND, PORTLAND, MAINE	PILE LAYOUT PLAN
	DESIGNED BY:	CHECKED BY:	SCALE:		
	BJB	BJB	AS SHOWN		
NO.	DATE	INT.	SUBMISSION	PERMIT APPLICATIONS	NO.
	1-22-13	BJB			
<b>BAKER DESIGN CONSULTANTS</b> Civil, Marine, and Structural Engineering 11 Stoney Brook Lane, Yarmouth, Maine 04966   Tel: (207) 846-9124 Fax: (207) 846-3620					

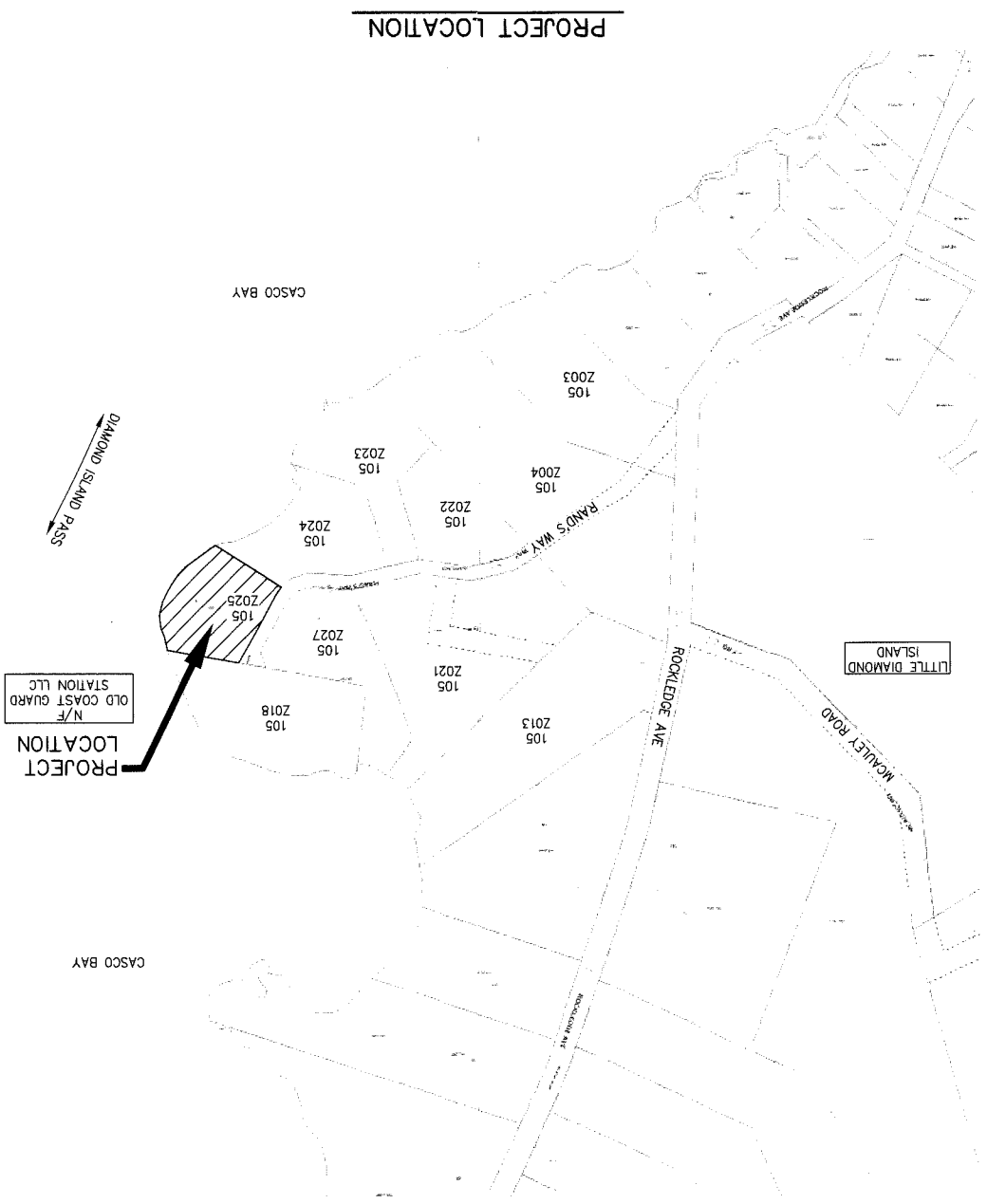


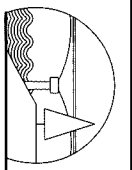
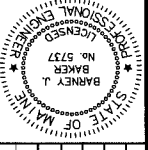
# OLD COAST GUARD STA. PIER REPLACEMENT LITTLE DIAMOND ISLAND, PORTLAND, MAINE PROJECT NO. 12-34



INDEX OF SHEETS

SHEET NO.	DESCRIPTION
G-1	COVERSHEET
G-2	NOTES & SCHEDULES
C-1	EXISTING CONDITIONS
S-1	PLAN & ELEVATION
S-2	PILE LAYOUT PLAN
S-3	TYPICAL SECTIONS
S-4	DECK PLAN
S-5	FRAMING PLAN



SHEET TITLE: <b>COVERSHEET</b>		DESIGNED BY: BUB	PERMIT APPLICATIONS SUBMISSION	 <p><b>BAKER DESIGN CONSULTANTS</b> Civil, Marine, and Structural Engineering Yarmouth, Maine 04098 lat: (207) 846-9724 fax: (207) 846-3620</p>
PROJECT: OLD COAST GUARD STATION, LLC LITTLE DIAMOND ISLAND, PORTLAND, MAINE		DRAWN BY: JJC	DATE: 1-22-13	
DATE: OCT 2012		CHECKED BY: BUB	INT:	
CONTRACT NO. 12-34		SCALE: AS SHOWN		
SHEET NO. G-1				
REV:				

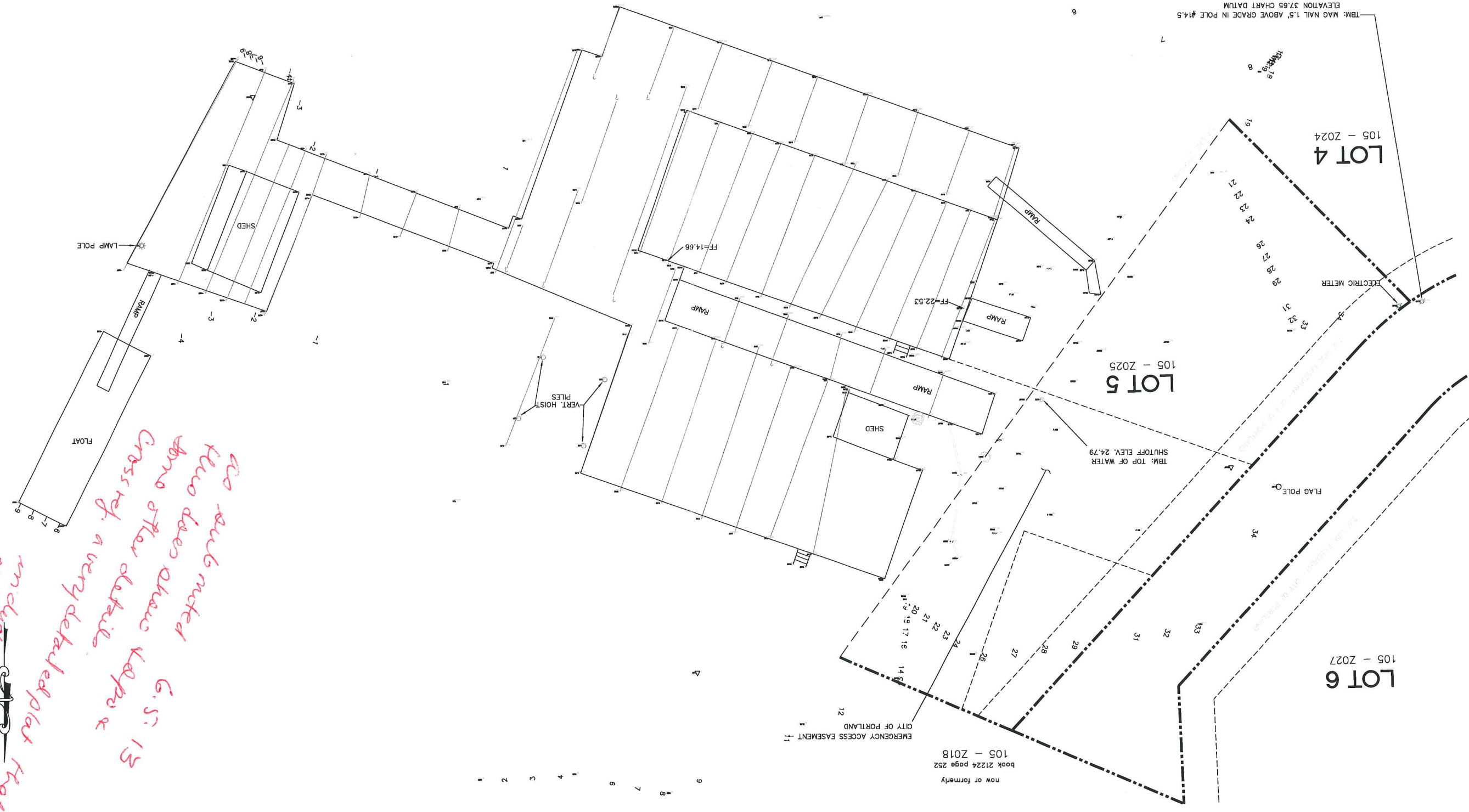
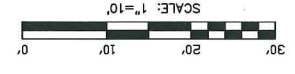
DATE REVISION: 0-24-2013 ADDED LOT LINES AND CITY EASEMENT NOTATIONS

1. LOT BOUNDARY DETAILS HAVE BEEN TAKEN FROM THE AMENDED RECORDING PLAT AND REGISTERED IN C.R.D. IN PLAN BOOK 175 PAGE 16 BY LAND USE CONSULTANTS

MADE FROM OF  
PORTLAND, MAINE  
FREEPORT, MAINE

ROYAL RIVER SURVEY CO.  
107 GRAY ROAD, YARMOUTH, MAINE 04097  
TEL: 207-829-8829 FAX: 207-829-2777 EMAIL: rrs@royalriversurvey.com

SURVEY DATE: 10/23/2012  
PLAN DATE: 10/25/2012  
RAND TORA 1105+ 2012-62  
COLLECTION: JOB NO. 1  
CHART MLTW=0.0 1 FOOT  
ASSUMED MAGNETIC 2012  
ORIENTATION: DATUM - ME. DATUM - VERT. CONTOUR INT. SCALE: 1"=10'



*see sub noted  
this does show kappo &  
cross ref. a very detailed plat that  
includes all other  
required info.  
D. (P. Lannan)*

now or formerly  
book 21224 page 252  
105 - 2018

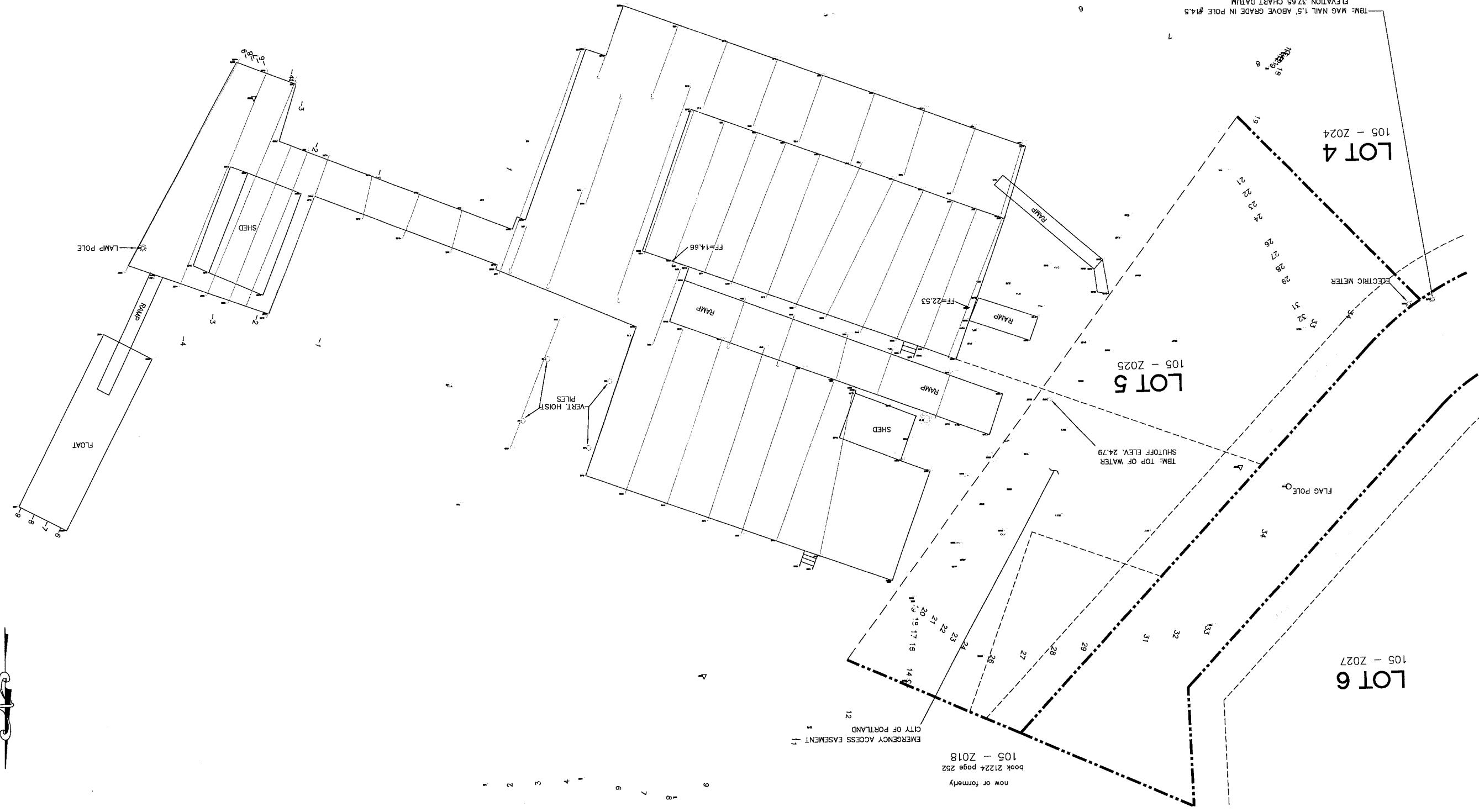
1  
2  
3  
4  
5  
6  
7  
8  
9

1. LOT BOUNDARY DETAILS HAVE BEEN TAKEN FROM THE AMENDED RECORDING PLAT AND REGISTERED IN C.G.R.D. IN PLAN BOOK 175 PAGE 16 BY LAND USE CONSULTANTS

TBM: MAG NAIL 1.5' ABOVE GRADE IN POLE #14.5  
ELEVATION 37.65 CHART DATUM

TBM: TOP OF WATER  
SHUTOFF ELEV. 24.79

now or formerly  
105 - Z018  
book 21224 page 252  
EMERGENCY ACCESS EASEMENT 11  
CITY OF PORTLAND



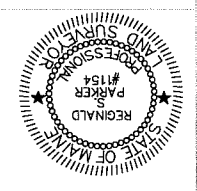
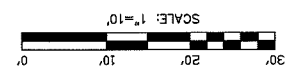
DATE REVISION: 08-23-2013 ADDED LOT LINES AND CITY EASEMENT NOTATIONS

MADE FROM OF  
REPORT, MAINE  
PORTLAND, MAINE

ROYAL RIVER SURVEY CO.



ROYAL RIVER SURVEY CO. 10/25/2012 10/25/2012  
SURVEY DATE: PLAN DATE: 2012-62 TORA 1105+  
COLLECTION: JOB NO.: 1"=10'  
CHART MILLW=0.0 1 FOOT  
ASSUMED MAGNETIC 2012  
ORIENTATION: DATUM - H.T. DATUM - VERT. CONTROL INT. SCALE:  
MAGNETIC 2012  
ASSUMED



\\eng-sta1\projects\12\12-34 little diamond island\cdd\12-34 id1 pier general.dwg

**SURVEY NOTES**

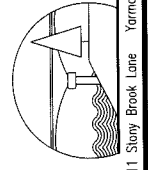
- GROUND SURVEY TOPOGRAPHIC AND PLANIMETRIC INFORMATION PROVIDED BY ROYAL RIVER SURVEY ON OCT. 26, 2012.
- ALL TOPOGRAPHIC INFORMATION PROVIDED IS REFERENCED TO CHART DATUM UNLESS OTHERWISE NOTED.
- BASE FLOOD/TIDAL INFORMATION TAKEN FROM MEDEP, FEMA AND NOAA PUBLISHED DATA FOR PORTLAND.

**DATUMS & ELEVATION DELTAS**

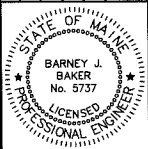
ELEVATION	CHART DATUM (FT)	NGVD29 (FT)	NAVD88 (FT)	NOTES
FEMA BASE FLOOD (PROPOSED)	20.3	15.7	15.0	FEMA 2009 FIRM
FEMA BASE FLOOD (CURRENT)	19.5	15.0	14.3	FEMA 1986 FIRM
500 YEAR STILLWATER ELEVATION	14.8	10.2	9.5	2009 CUMBERLAND COUNTY FIS
EXISTING PIER DECK ELEVATION	14.5	10.1	9.3	ROYAL RIVER SURVEY
100 YEAR STILLWATER ELEVATION	14.2	9.6	8.9	2009 CUMBERLAND COUNTY FIS
50 YEAR STILLWATER ELEVATION	13.9	9.3	8.6	-
10 YEAR STILLWATER ELEVATION	13.3	8.7	8.0	-
HIGHEST ANNUAL TIDE (HAT)	11.9	7.4	6.7	MAINE DEP
MHHW	9.9	5.4	4.7	NOAA
MHW	9.5	4.9	4.2	-
NAVD 88	5.3	0.7	0.0	-
NGVD 29	4.5	0.0	-0.7	-
MLW	0.3	-4.2	-4.9	-
MLLW	0.0	-4.5	-5.3	-

**PROPERTY INFORMATION**

OWNER: OLD COAST GUARD STATION LLC  
 ADDRESS: 2 UNION ST STE 500  
 LITTLE DIAMOND ISLAND  
 PORTLAND, MAINE 04101  
 MAP/LOT: 105-Z 22 TO 25, 105-Z-21-27  
 ZONING: (I-B) ISLAND BUSINESS ZONE, SHORELAND OVERLAY DISTRICT, RESOURCE PROTECTION  
 SETBACKS: NO CHANGE



**BAKER DESIGN CONSULTANTS**  
 Civil, Marine, and Structural Engineering  
 Yarmouth, Maine 04866 Tel: (207) 946-9724 Fax: (207) 946-3620  
 11 Stony Brook Lane



DESIGNED BY: BJB  
 DRAWN BY: JJC  
 CHECKED BY: BJB  
 SCALE: AS SHOWN

SHEET TITLE: **NOTES AND SCHEDULES**  
 PROJECT: OLD COAST GUARD STATION LLC  
**PIER REPLACEMENT**  
 LITTLE DIAMOND ISLAND, PORTLAND, MAINE

DATE: OCT 2012  
 CONTRACT NO.: 12-34  
 SHEET NO.: **G-2**  
 REV.: 1

PERMIT APPLICATIONS SUBMISSION  
 A NO.  
 1-22-13 BJB INT.  
 DATE



# OLD COAST GUARD STA. PIER REPLACEMENT

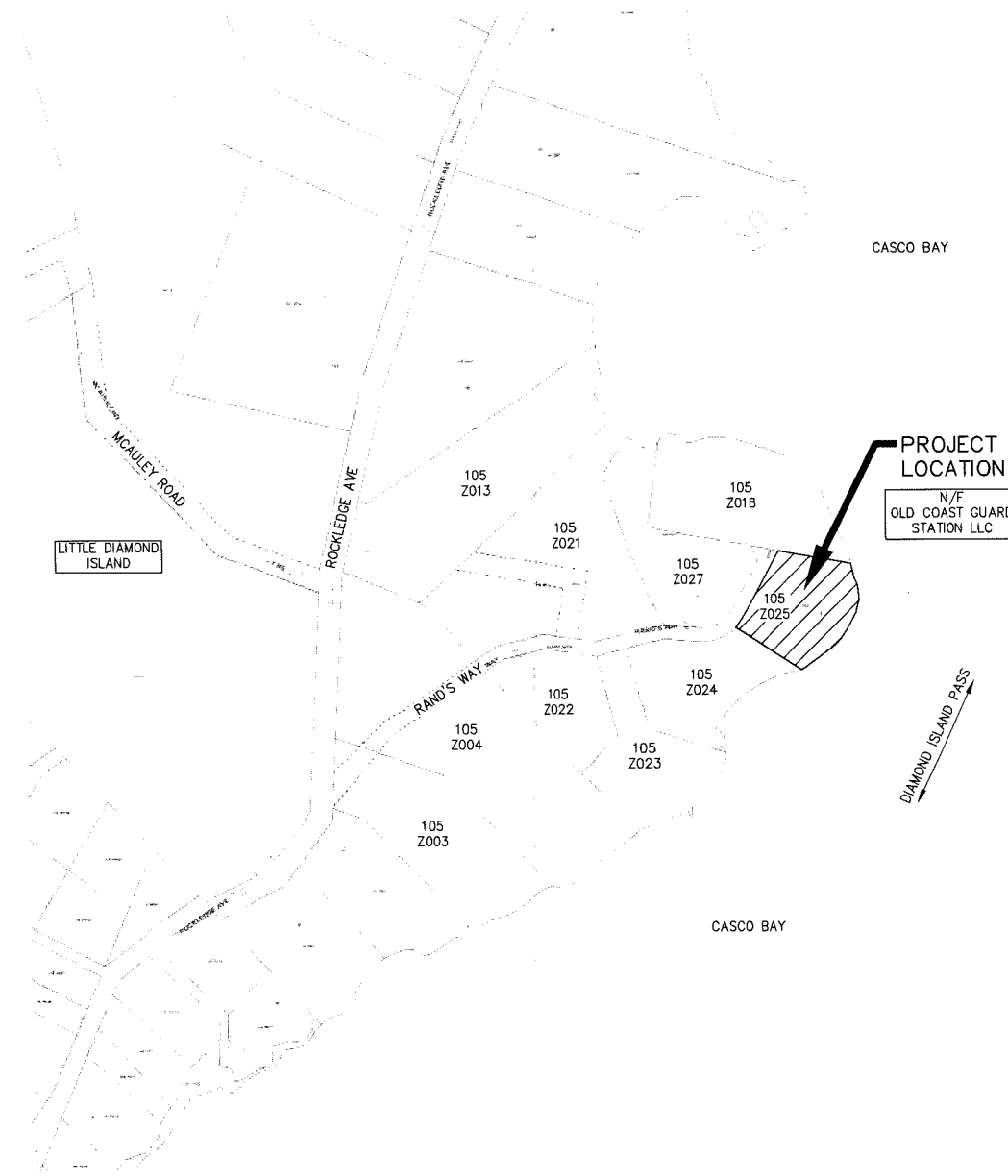
## LITTLE DIAMOND ISLAND, PORTLAND, MAINE PROJECT NO. 12-34



USGS LOCATION MAP

### INDEX OF SHEETS

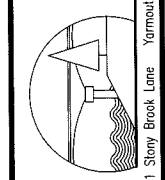
SHEET NO.	DESCRIPTION
G-1	COVERSHEET
G-2	NOTES & SCHEDULES
C-1	EXISTING CONDITIONS
S-1	PLAN & ELEVATION
S-2	PILE LAYOUT PLAN
S-3	TYPICAL SECTIONS
S-4	DECK PLAN
S-5	FRAMING PLAN



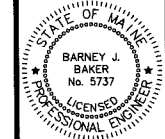
PROJECT LOCATION

\\eng-sta1\projects\12\12-34 little diamond island\cod\12-34 ldi pier generat.dwg

**BAKER DESIGN CONSULTANTS**  
Civil, Marine, and Structural Engineering  
11 Story Brook Lane, Yarmouth, Maine 04096  
Tel: (207) 846-9724 Fax: (207) 846-3620



NO.	A	1-22-13	BUB	INT.
DATE				
SUBMISSION				
PERMIT APPLICATIONS				

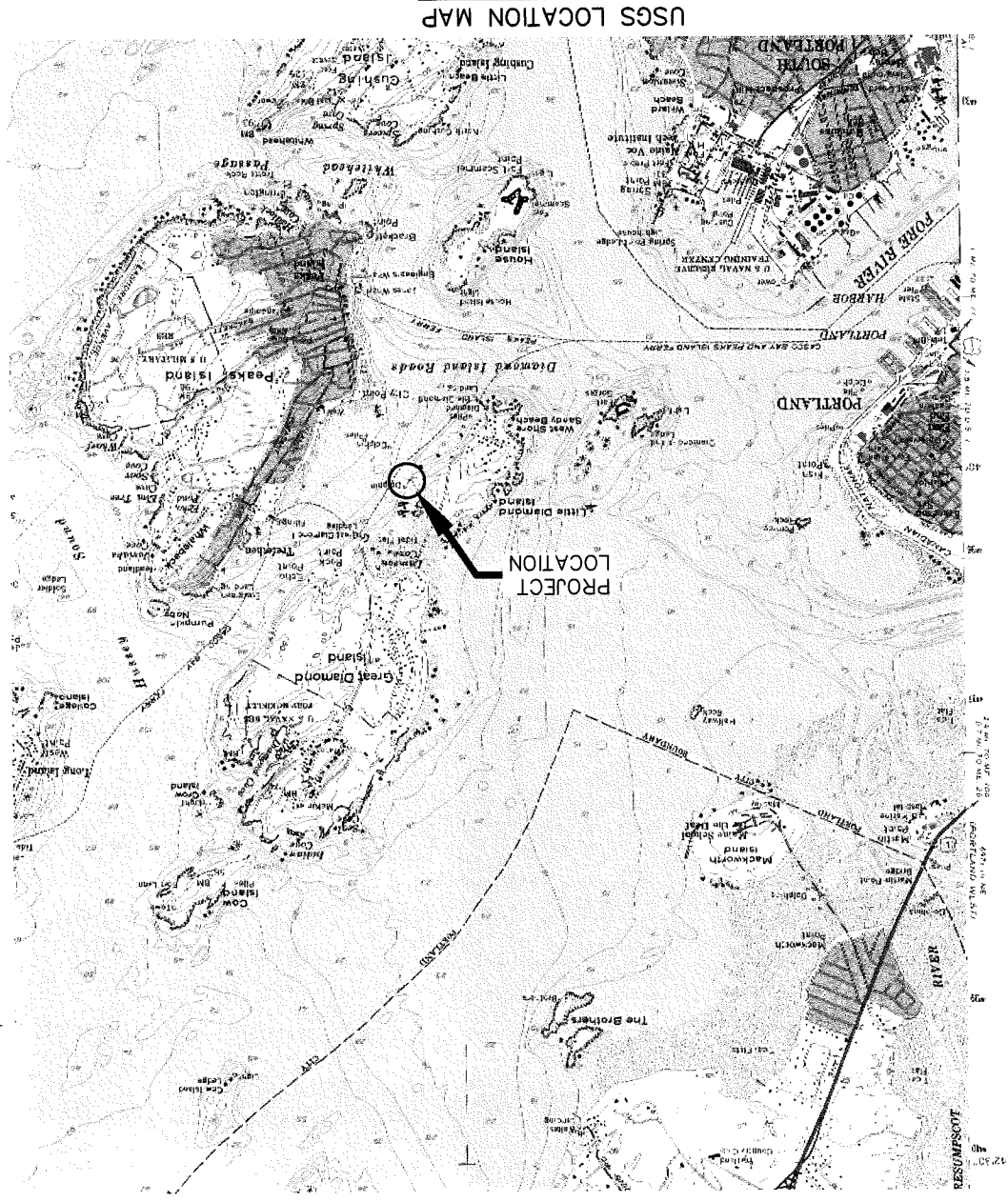


DESIGNED BY:	BUB
DRAWN BY:	JJC
CHECKED BY:	BUB
SCALE:	AS SHOWN

SHEET TITLE: **COVERSHEET**  
PROJECT: **OLD COAST GUARD STATION LLC  
PIER REPLACEMENT  
LITTLE DIAMOND ISLAND, PORTLAND, MAINE**

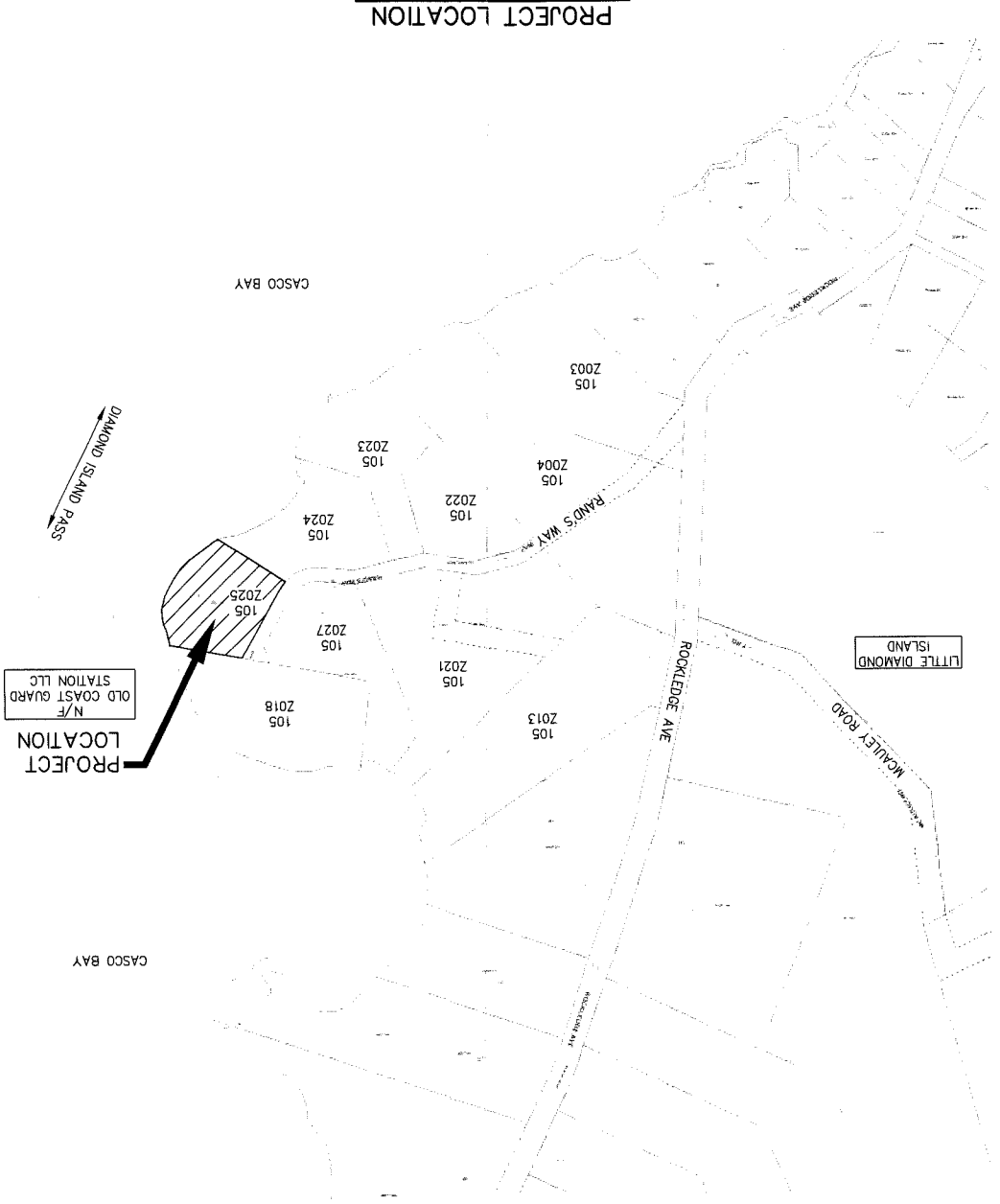
DATE	OCT 2012
CONTRACT NO.	12-34
SHEET NO.	REV.
<b>G-1</b>	-

# OLD COAST GUARD STA. PIER REPLACEMENT LITTLE DIAMOND ISLAND, PORTLAND, MAINE PROJECT NO. 12-34



INDEX OF SHEETS

SHEET NO.	DESCRIPTION
G-1	COVERSHEET
G-2	NOTES & SCHEDULES
S-1	PLAN & ELEVATION
S-2	PILE LAYOUT PLAN
S-3	TYPICAL SECTIONS
S-4	DECK PLAN
S-5	FRAMING PLAN
C-1	EXISTING CONDITIONS



SHEET NO. 12-34		DATE OCT 2012	
CONTRACT NO. 12-34		PROJECT: OLD COAST GUARD STATION, LLC	
SHEET TITLE: COVER SHEET		PROJECT: LITTLE DIAMOND ISLAND, PORTLAND, MAINE	
DESIGNED BY: BJB	DRAWN BY: JJC	CHECKED BY: BJB	SCALE: AS SHOWN
NO.	PERMIT APPLICATIONS	DATE	INT.
A	1-22-13	BJB	
BAKER DESIGN CONSULTANTS Civil, Marine, and Structural Engineering 11 Stony Brook Lane, Yarmouth, Maine 04096 Tel: (207) 846-9124 Fax: (207) 846-3620			

**PROPERTY INFORMATION**  
 OWNER: OLD COAST GUARD STATION LLC  
 ADDRESS: 2 UNION ST STE 500  
 LITTLE DIAMOND ISLAND  
 PORTLAND, MAINE 04101  
 MAPLOT: 105-2-22 TO 25, 105-2-21-27  
 ZONING: (I-B) ISLAND BUSINESS ZONE, SHORELAND OVERLAY DISTRICT,  
 RESOURCE PROTECTION  
 SETBACKS: NO CHANGE

- SURVEY NOTES**
- GROUND SURVEY TOPOGRAPHIC AND PLANIMETRIC INFORMATION PROVIDED BY ROYAL RIVER SURVEY ON OCT. 26, 2012.
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**DATUMS & ELEVATION DELTAS**

ELEVATION	CHART DATUM	(FT)	(FT)	NOTES
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50 YEAR STILLWATER ELEVATION	NAV88	13.9	9.3	
10 YEAR STILLWATER ELEVATION	NAV88	13.3	8.7	
HIGHEST ANNUAL TIDE (HAT) ELEVATION	NAV88	11.9	7.4	MAINE DEP
MHHW	NAV88	9.9	5.4	NOAA
MHW	NAV88	9.5	4.9	
MHW	NAV88	4.2	4.2	
NAVD 88	NAV88	5.3	0.7	
NGVD 29	NAV88	4.5	0.0	
MLW	NAV88	0.3	-4.2	
MLW	NAV88	0.0	-4.9	
MLW	NAV88	0.0	-5.3	



DESIGNED BY: BJB  
 DRAWN BY: JJC  
 CHECKED BY: BJB  
 SCALE: AS SHOWN

**NOTES AND SCHEDULES**  
 PROJECT: OLD COAST GUARD STATION LLC  
**PIER REPLACEMENT**  
 LITTLE DIAMOND ISLAND, PORTLAND, MAINE

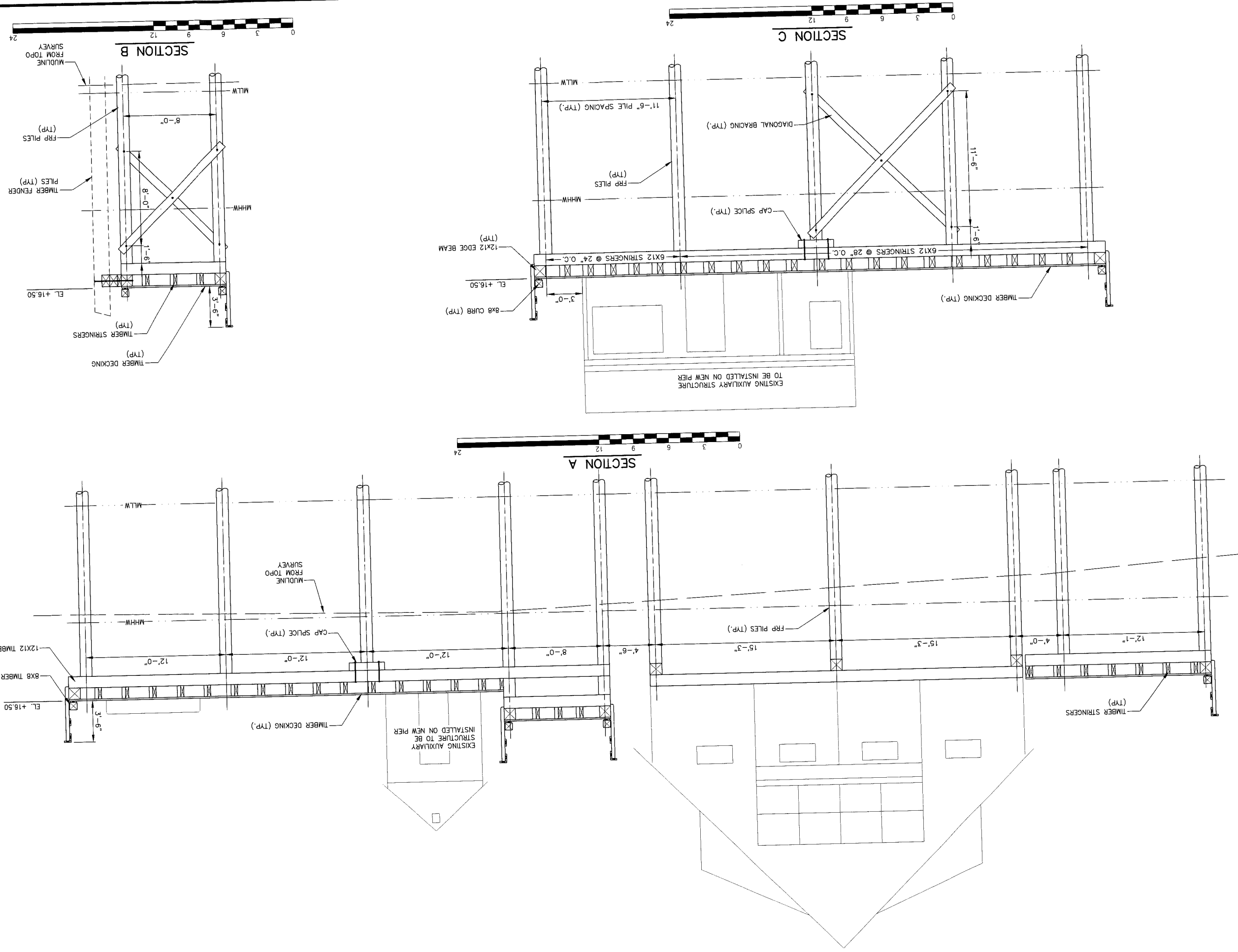
DATE: OCT 2012  
 CONTRACT NO.: 12-34  
 SHEET NO.: G-2  
 REV: 1

**BAKER DESIGN CONSULTANTS**  
 Civil, Marine, and Structural Engineering  
 11 Stony Brook Lane, Yarmouth, Maine 04096  
 Tel: (207) 846-9124 Fax: (207) 846-3500





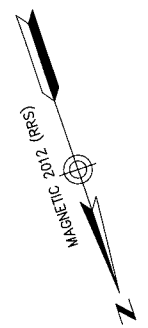
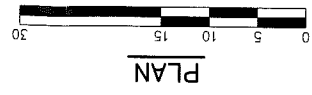
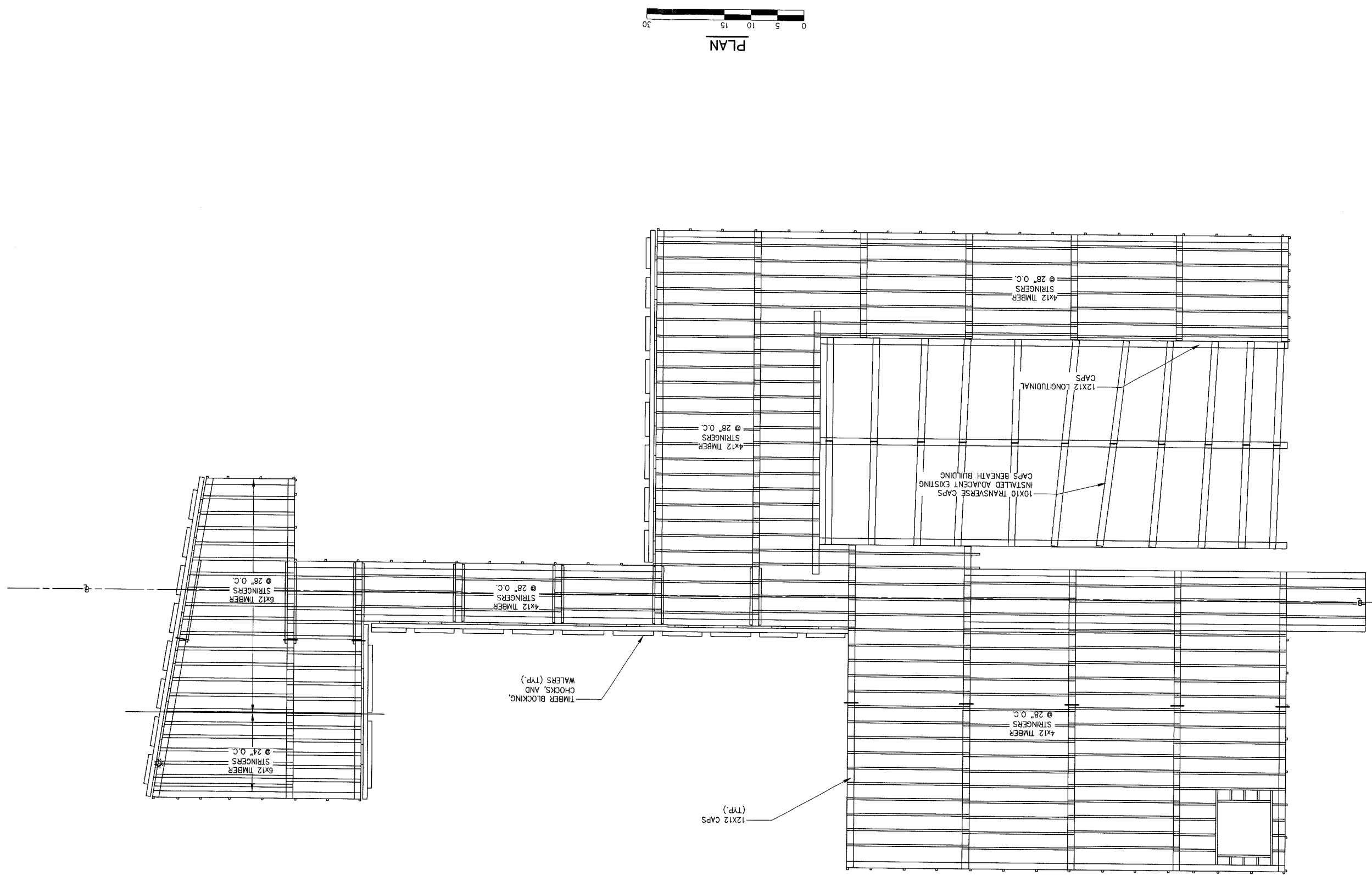




SHEET NO. 5-3		SHEET TITLE: TYPICAL SECTIONS	
REV. 12-34		PROJECT: OLD COAST GUARD STATION LLC PIER REPLACEMENT LITTLE DIAMOND ISLAND, PORTLAND, MAINE	
DATE: DEC. 2012		DESIGNED BY: BJB	
CONTRACT NO. 12-34		DRAWN BY: JJC	
CHECKED BY: BJB		SCALE: AS SHOWN	
NO. A		PERMIT APPLICATIONS SUBMISSION	
DATE: 1-22-13		INT. BJB	
11 Story Book time		Vermont, Maine 04996	
<b>BAKER DESIGN CONSULTANTS</b> Civil, Marine, and Structural Engineering Tel: (207) 846-9774 Fax: (207) 846-3600			







S-5	SHEET NO.	REV.	DATE	SHEET TITLE:
12-34	CONTRACT NO.	DEC. 2012	FRAMING PLAN	
PROJECT: OLD COAST GUARD STATION LLC LITTLE DIAMOND ISLAND, PORTLAND, MAINE				
DESIGNED BY:	DRAWN BY:	CHECKED BY:	SCALE:	PROJECT TITLE:
BJB	JJC	BJB	AS SHOWN	OLD COAST GUARD STATION LLC LITTLE DIAMOND ISLAND, PORTLAND, MAINE
NO.	PERMIT APPLICATIONS	DATE	INT.	PROJECT TITLE:
A	SUBMISSION	1-22-13	BJB	OLD COAST GUARD STATION LLC LITTLE DIAMOND ISLAND, PORTLAND, MAINE
BAKER DESIGN CONSULTANTS Civil, Marine, and Structural Engineering 11 Stuy Brook Lane, Yarmouth, Maine 04096   Tel: (207) 846-9724   Fax: (207) 846-3820				