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Planning & Urban Development Department

Jeff Levine, AICP, Director

Planning Division

Alexander Jaegerman, FAICP, Director

July 24th, 2013

Charles (Kip) Moore
Old Coast Guard Station LLC
2 Union Street, Suite 500
Portland, ME 04101

Barney Baker, PE
7 Spruce Road
Freeport, ME 04032

RECEIVED

JUL 29 2013

Dept. of Building Inspections
City of Portland Maine

Project Name: **Old Coast Guard Pier Reconstruction**
Project ID: 2013-109
Address: 6 Rand's Way, Little Diamond Island
CBL: 105 Z022 001
Applicant: Charles (Kip) Moore
Planner: Jean Fraser

Dear Mr Moore and Mr Baker:

On July 24th, 2013, the Planning Authority approved with conditions a Level I: Site Alteration site plan for reconstruction of the existing pier within the same footprint, and associated increase to the existing building elevations, located at 6 Rand's Way, Little Diamond Island.

The site plan approval is based on the submissions prepared by Baker Design Consultants dated April 17, 2013 and by Royal River Survey Company submitted June 5, 2013.

SITE PLAN REVIEW

The Planning Authority found the plan is in conformance with the Site Plan Standards of the Land Use Code subject to the following conditions of approval:

1. That the approval is subject to the issuance of the Flood Hazard Development Permit; and
2. That a building permit is required, and must be obtained from the Code Enforcement and Inspections office prior to starting any work; and
3. That this site plan approval does not relate to the use of the existing large (71 ft by 31.5 ft) building on the pier, which is subject to previous permits/approvals and the I-B zone ordinance requirements.

The approval is based on the submitted site plan. If you need to make any modifications to the approved site plan, you must submit a revised site plan for staff review and approval.

STANDARD CONDITIONS OF APPROVAL

Please note the following standard conditions of approval and requirements for all approved site plans:

1. **Develop Site According to Plan** The site shall be developed and maintained as depicted on the site plan and in the written submission of the applicant. Modification of any approved site plan or alteration of a parcel which was the subject of site plan approval after May 20, 1974, shall require the prior approval of a revised site plan by the Planning Board or Planning Authority pursuant to the terms of Chapter 14, Land Use, of the Portland City Code.
2. **Separate Building Permits Are Required** This approval does not constitute approval of building plans, which must be reviewed and approved by the City of Portland's Inspection Division.
3. **Site Plan Expiration** The site plan approval will be deemed to have expired unless work has commenced within one (1) year of the approval or within a time period up to three (3) years from the approval date as agreed upon in writing by the City and the applicant. Requests to extend approvals must be received before the one (1) year expiration date.
4. **Department of Public Services Permits** If work will occur within the public right-of-way such as utilities, curb, sidewalk and driveway construction, a street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8828. (Only excavators licensed by the City of Portland are eligible.)

The Development Review Coordinator must be notified five (5) working days prior to the date required for final site inspection. The Development Review Coordinator can be reached at the Planning Division at 874-8632. All site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

If there are any questions, please contact Jean Fraser at (207) 874- 8728.

Sincerely,

Alexander Jaegerman
Alexander Jaegerman, FAICP (LBG)
Planning Division Director

cc:

Jeff Levine, AICP, Director of Planning and Urban Development
Alexander Jaegerman, FAICP, Planning Division Director
Barbara Barhydt, Development Review Services Manager
Jean Fraser, Planner
Philip DiPierro, Development Review Coordinator, Planning
Marge Schmuckal, Zoning Administrator, Inspections Division
Tammy Munson, Inspection Division Director
Lannie Dobson, Administration, Inspections Division
Gayle Guertin, Administration, Inspections Division
Michael Bobinsky, Public Services Director
Katherine Harley, Engineering Services Manager, Public Services
Bill Clark, Project Engineer, Public Services
David Margolis-Pineo, Deputy City Engineer, Public Services
Doug Roncarati, Stormwater Coordinator, Public Services

Greg Vining, Associate Engineer, Public Services
Michelle Sweeney, Associate Engineer
John Low, Associate Engineer, Public Services
Rhonda Zazzara, Field Inspection Coordinator, Public Services
Mike Farmer, Project Engineer, Public Services
Jane Ward, Administration, Public Services
Jeff Tarling, City Arborist, Public Services
Jeremiah Bartlett, Public Services
Captain Chris Pirone, Fire Department
Danielle West-Chuhta, Corporation Counsel
Thomas Errico, P.E., TY Lin Associates
David Senus, P.E., Woodard and Curran
Rick Blackburn, Assessor's Department
Approval Letter File

City of Portland
Development Review Application
Planning Division Transmittal Form

Application Number: 2013-109

Application Date: 04/02/2013

CBL: 105 Z022001

Application Type: Level I Site Alteration

Project Name: Old Coast Guard pier

Address: 6 RAND'S WAY

Project Description: Reconstruction of the pier of Little Diamond Island owned by Old Coast Guard Station, LLC.; Improvements (less than 50% to the existing 71' x 31.5' building located on the pier.

Zoning: IB

Other Required Reviews:

- | | | |
|---|---|--|
| <input type="checkbox"/> Traffic Movement | <input type="checkbox"/> 14-403 Streets | <input type="checkbox"/> Housing Replacement |
| <input type="checkbox"/> Storm Water | # Units _____ | <input type="checkbox"/> Historic Preservation |
| <input type="checkbox"/> Subdivision | <input type="checkbox"/> Flood Plain | <input type="checkbox"/> Other: |
| # Lots _____ | <input type="checkbox"/> Shoreland | |
| <input type="checkbox"/> Site Location | <input type="checkbox"/> Design Review | |
| # Unit _____ | | |

Distribution List:

Planner	Jean Fraser	Parking	John Peverada
Zoning	Marge Schmuckal	Design Review	Alex Jaegerman
Traffic Engineer	Tom Errico	Corporation Counsel	Danielle West-Chuhta
Civil Engineer	David Senus	Sanitary Sewer	John Emerson
Fire Department	Chris Pirone	Inspections	Tammy Munson
City Arborist	Jeff Tarling	Historic Preservation	Deb Andrews
Engineering	David Margolis-Pineo	DRC Coordinator	Phil DiPierro
		Outside Agency	

Comments needed by 5/23/2013

elevation of the one hundred (100) year flood, the flood of record, or in the absence of these, the flood as defined by soil types identified as recent flood plain soils.

4. Notwithstanding the requirements of this section, stairways or similar structures may be allowed with a permit from the building authority to provide shoreline access in areas of steep slopes or unstable soils, provided that:
 - a. The structure is limited to a maximum of four (4) feet in width;
 - b. The structure does not extend below or over the normal high water line of a water body or upland edge of a wetland, unless permitted by the department of environmental protection pursuant to 38 M.R.S.A. Section 480-C; and
 - c. The applicant demonstrates that no reasonable access alternative exists on the property.

(b) Piers, docks, wharves, bridges and other structures and uses extending over or below the normal high water line of a water body or within a wetland:

1. Access from shore shall be developed on soils appropriate for such use and constructed so as to control erosion;
2. The location shall not interfere with existing developed or natural beach areas;
3. The facility shall be located so as to minimize adverse effects on fisheries;
4. The facility shall be no larger in dimension than necessary to carry on the activity and shall be consistent with surrounding character and uses;
5. New permanent structures, and expansions thereof, projecting into or over water bodies shall require a permit from the Department of Environmental Protection pursuant to the national Resources

Protection Act, 38 M.R.S.A. § 480-C. Permits may also be required from the Army Corps of Engineers if located in navigable waters.

6. Except in the W-C, EWP, W-PD, W-SU, and I-B zones, no new structure shall be built on, over or abutting a pier, wharf, dock or other structure extending beyond the normal high water line of a water body or within a wetland unless the structure requires direct access to the water as an operational necessity;
7. No existing structures built on, over or abutting a pier, dock, wharf or other structure extending beyond the normal high water line of a water body or within a wetland shall be converted to residential dwelling units in any zone.

(c) *Clearing or removal of vegetation:*

1. In all shoreland areas in resource protection zones, the cutting or removal of vegetation shall be limited to that which is necessary for uses expressly authorized in that zone.
2. The clearing or removal of vegetation standards of this section shall not apply to the following zones: EWP, WCZ, WPD, WSU, B-3, B-5, B-5b, B-6, B-7, I-L (south and east of I-295) and I-M zones (south and east of I-295).
3. Other than cutting or removal of vegetation as provided for in this section, timber harvesting shall not be permitted. For purposes of this section, timber harvesting is defined as the cutting and removal of timber for the primary purpose of selling or processing forest products. The cutting or removal of trees in the shoreland zone on a lot that has less than (2) acres within the shoreland zone shall not be considered timber harvesting. Cutting or removal of such trees shall be regulated pursuant to this section.
4. For purposes of this section, vegetation is defined as all live trees, shrubs and other plants

FLOOD HAZARD DEVELOPMENT APPLICATION

Portland, Maine

(All applicants must complete entire application)

[60.3(e)]

Application is hereby made for a Flood Hazard Development Permit as required under Article II of the Floodplain Management Ordinance of Portland, Maine, for development as defined in said ordinance. This permit application does not preclude the need for other municipal permit applications.

Owner: Charles G. Moore, Old Coast Guard Station, LLC Address: 2 Union Street, Suite 500, Portland, ME 04101

Phone No.: 207-761-0717

Applicant: Baker Design Consultants Address: 7 Spruce Road, Freeport, ME 04032

Phone No.: 207-846-9724

Contractor: To be determined Address: To be determined

Phone No.: To be determined

LEGAL DESCRIPTION

Is this part of a subdivision? Yes No If yes, give the name of the subdivision and lot number:

Subdivision: _____ Lot #: _____

Tax Map: 105-Z Lot #: 25

Address: 6 Rand's Way, Little Diamond Island
Street/Road Name

Zip Code: Portland, ME 04101
Town/Zip Code

General explanation of proposed development: Reconstruction of existing pier and raising existing pier building

Estimated Value of Proposed Development: \$ 475,000

Proposed Lowest Floor elevation [for new or substantially improved structure]: 16.5 (Chart Datum)

OTHER PERMITS

Are other permits required from State or Federal jurisdictions? Yes No

If yes, are these other permits attached? Yes No Not Applicable

Permit applications have been submitted for to Maine DEP, ACOE, City of Portland, and Portland Harbor Commission, permits can be submitted once received. A Submerged Lands Lease application has also been submitted to Maine Department of Agriculture, Conservation, and Forestry.

Federal and State Permits may include but are not limited to: ME/DEP/Natural Resource Protection Act, Site Location of Development Act, Metallic Mineral Exploration, Advanced Exploration and Mining; USACE/Section 9 &10 of the Rivers and Harbors Act/ Section 404 of the Clean Water Act; Federal Energy Regulation Commission.

SEWER AND WATER

Sewage Disposal: Public Private
 Existing Proposed Not Applicable Type _____

Water Supply: Public Private

standards, public hearing, and Planning Board review.
Attach a Site Plan – Drawn to scale with north arrow.

- Show property boundaries, floodway, and floodplain lines.
- Show dimensions of the lot.
- Show dimensions and location of existing and/or proposed development on the site.
- Show areas to be cut and filled.

Attach Statement – describing in detail how each applicable development standard in Article VI will be met.

The project involves the replacement of an existing timber pier in the same footprint as the original. The pier reconstruction will be designed to meet the requirements for construction materials and methods set forth in City of Portland Code of Ordinances 14-450.8.

For New Construction or Substantial Improvement also show:

- Existing and proposed grade elevations adjacent to the walls of the structure done by a Professional land Surveyor, Architect, or Engineer.
- Location and elevation of temporary elevation reference marks on the site.

Special Note:

Substantial Improvement is defined as any reconstruction, rehabilitation, addition or other improvement of a structure, the cost of which equals or exceeds 50 percent of the market value of the structure before the start of construction of the improvement. Please refer to the floodplain management ordinance, Article XIV, for more complete definitions of New Construction and Substantial Improvement.

Structures in Velocity Zones are not permitted on fill or excavations. Structures must be built on open foundation systems, i.e., columns, piles, posts. Certification of structural design, specifications, plans and construction methods completed by a Professional Engineer or Architect shall accompany the application as required in Article VI.L.3. of the floodplain management ordinance.

The applicant understands and agrees that:

- The permit applied for, if granted, is issued on the representations made herein;
- Any permit issued may be revoked because of any breach of representation;
- Once a permit is revoked all work shall cease until the permit is reissued or a new permit is issued;
- Any permit issued on this application will not grant any right or privilege to erect any structure or sue any premises described for any purposes or in any manner prohibited by the ordinances, codes, or regulations of the municipality;
- The applicant hereby gives consent to the Code Enforcement Officer to enter and inspect activity covered under the provisions of the Floodplain management Ordinance;
- If issued, the permit form will be posted in a conspicuous place on the premises in plain view; and,
- If issued, the permit will expire if no work is commenced within 180 days of issuance.

I hereby certify that all the statements in, and in the attachments to this application are a true description of the existing property and the proposed development project.

Owner: _____ Date: _____
Signature

or
Authorized Agent: Bonnie Baker Date: April 17, 2013
Signature

(This section to be completed by Municipal Official)


Date: Submitted _____; Fee Paid _____; Reviewed by CEO _____; Reviewed by Planning Board _____

Permit # _____ Issued by _____ Date _____

Agent Authorization

Charles (Kip) Moore
Old Coast Guard Station, LLC;
2 Union Street, Suite 500
Portland, ME 04101

By signing below, I authorize Barney Baker, PE of Baker Design Consultants to act as agent for the purpose of permit communication on applications filed for reconstruction of the Old Coast Guard Pier on Little Diamond Island.

Signed: 

FLOOD HAZARD DEVELOPMENT PERMIT

PART I

Portland, Maine

(For New Construction or Substantial Improvements)

For New Construction or Substantial Improvement of any structure, this Flood Hazard Development Permit allows construction only up to the establishment of the lowest floor. This permit is issued based on documentation that the information provided in the Flood Hazard Development Permit Application is in compliance with the Floodplain Management Ordinance. Once the lowest floor is established, the permittee must provide an Elevation Certificate establishing the as built lowest floor elevation. When the Code Enforcement Officer finds the documentation in the Elevation Certificate to be in compliance with the Floodplain Management Ordinance, the Part II Flood Hazard Development Permit shall be issued. The Part II Permit must be issued in order for construction to continue.

A Part I Flood Hazard Development Permit is hereby issued as provided under Article V.F. of the Floodplain Management Ordinance of Portland, Maine, for development as defined in said ordinance.

Tax Map: 105-Z Lot #: 25

Project Description: Reconstruction of timber pier, installation of new piles beneath pier building and raising building elevation by 2'

The permittee understands and agrees that:

- The permit is issued on the representations made herein and on the application for permit;
- The permit may be revoked because of any breach of representation;
- Once a permit is revoked all work shall cease until the permit is reissued or a new permit is issued;
- The permit will not grant any right or privilege to erect any structure or use any premises described for any purposes or in any manner prohibited by the ordinances, codes, or regulations of the municipality;
- The permittee hereby gives consent to the Code Enforcement Officer to enter and inspect activity covered under the provisions of the Floodplain Management Ordinance;
- The permit form will be posted in a conspicuous place on the premises in plain view; and,
- The permit will expire if no work is commenced within 180 days of issuance.

I hereby certify that all the statements in, and in the attachments to this permit are a true description of the existing property and the proposed development project.

Owner: _____ Date: _____
Signature

or
Authorized Agent: Bruney Baker Date: April 17, 2013
Signature

Issued by: _____ Date: _____

Permit #: _____

Not Applicable
~~FLOOD HAZARD DEVELOPMENT PERMIT~~
~~PART II~~

_____, **Maine**
(For completion of New Construction or Substantial Improvements)

The following information has been submitted and found compliant with the Development Standards of the Floodplain Management Ordinance:

FEMA Elevation Certificate Form 81-31

For construction in Zones V1-30 and VE only:

Review of the structural design, specifications, plans, and construction methods by a Professional Engineer or Architect certifying that they meet or exceed the technical criteria contained in the FEMA/Coastal Construction Manual and are in accordance with accepted standard of practice for meeting the criteria of Article V.I.L.2.

A Part II Flood Hazard Development Permit is hereby issued as provided under Article V.F. of the Floodplain Management Ordinance of _____, Maine, for development as defined in said ordinance.

Tax Map: _____ Lot #: _____

The permittee understands and agrees that:

- The permit is issued on the representations made herein and on the elevation certificate;
- The permit may be revoked because of any breach of representation;
- Once a permit is revoked all work shall cease until the permit is reissued or a new permit is issued;
- The permit will not grant any right or privilege to erect any structure or use any premises described for any purposes or in any manner prohibited by the ordinances, codes, or regulations of the municipality;
- The permittee hereby gives consent to the Code Enforcement Officer to enter and inspect activity covered under the provisions of the Floodplain Management Ordinance;
- The permit form will be posted in a conspicuous place on the premises in plain view; and,
- The permit will expire if no work is commenced within 180 days of issuance.

I hereby certify that all the statements in, and in the attachments to this permit are a true description of the existing property and the proposed development project.

Owner: _____ Date: _____
Signature

or

Authorized Agent: _____ Date: _____
Signature

Issued by: _____ Date: _____

Permit #: _____

Assessor's Office | 359 Congress Street | Portland, Maine 04101 | Room 115 | (207) 874-8486

[Home](#) [Departments](#) [City Council](#) [E-Services](#) [Calendar](#) [Jobs](#)

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information:

Services

- Applications
- Doing Business
- Maps
- Tax Relief
- Tax Roll
- Q & A

CBL 105 Z022001
Land Use Type SINGLE FAMILY
Verify legal use with Inspections Division
Property Location 6 RAND'S WAY
Owner Information OLD COAST GUARD STATION LLC
 2 UNION ST STE 500
 PORTLAND ME 04101
Book and Page 13833/58
Legal Description 105-Z-22 TO 25
 RAND'S WAY 2-6
 LITTLE DIAMOND ISLAND
 68250 SF
Acres 1.5668

Current Assessed Valuation:

- [browse city services a-z](#)
- [browse facts and links a-z](#)

TAX ACCT NO. 15288 **OWNER OF RECORD AS OF APRIL 2012**
 OLD COAST GUARD STATION LLC
LAND VALUE \$372,800.00 **2 UNION ST STE 500**
BUILDING VALUE \$319,300.00 **PORTLAND ME 04101**
NET TAXABLE - REAL ESTATE \$692,100.00
TAX AMOUNT \$13,025.32



Any information concerning tax payments should be directed to the Treasury office at 874-8490 or e-mailed.

Building Information:

Best viewed at 800x600, with internet explorer

Building 1
Year Built 1978
Style/Structure Type OLD STYLE
Stories 2
Units 1
Bedrooms 1
Full Baths 1
Total Rooms 3
Attic NONE
Basement PIER/SLAB
Square Feet 3101
[View Sketch](#) [View Map](#) [View Picture](#)



Outbuildings/Yard Improvements:

Building 1
Year Built 1978
Structure SHED-FRAME
Size 10X12
Units 1
Grade C
Condition A

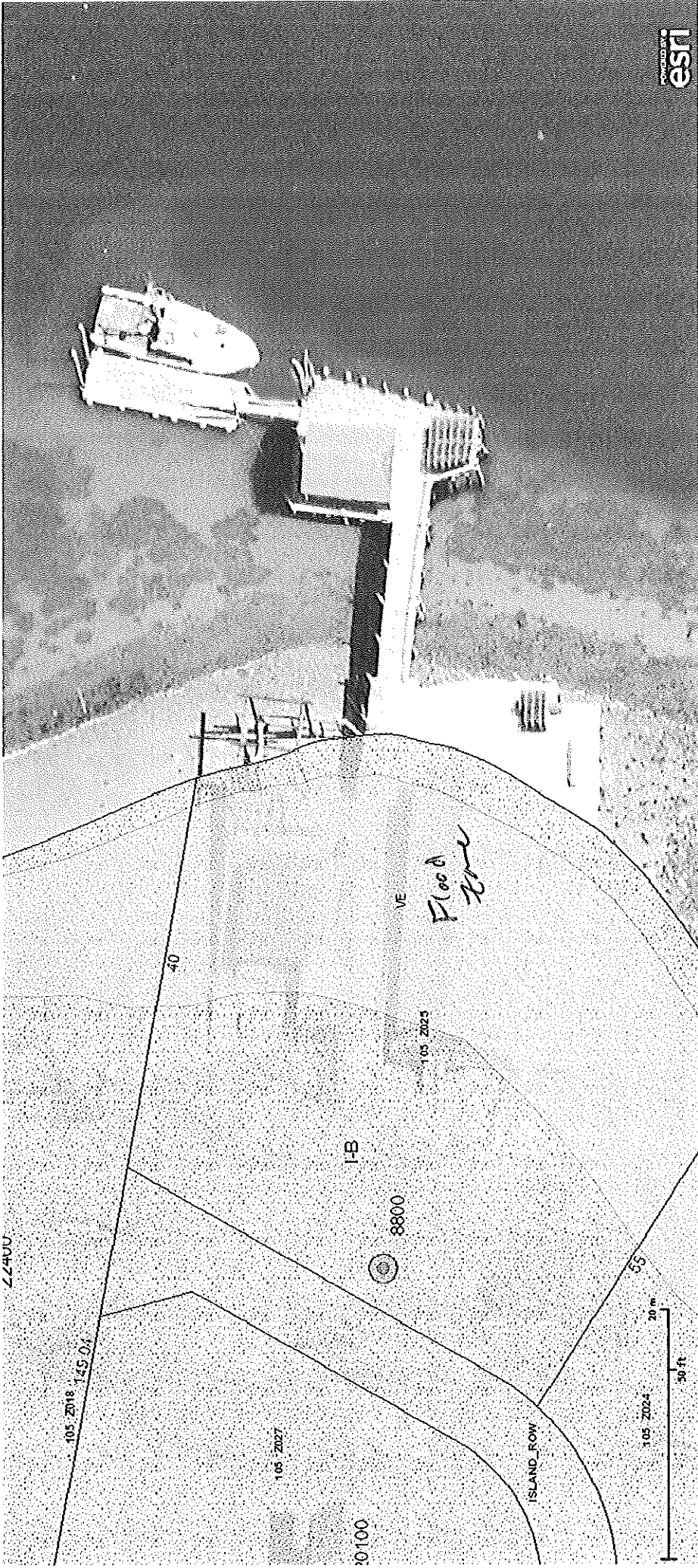
Building 1
Year Built 1978
Structure SHED-FRAME
Size 16X32
Units 1
Grade B
Condition G

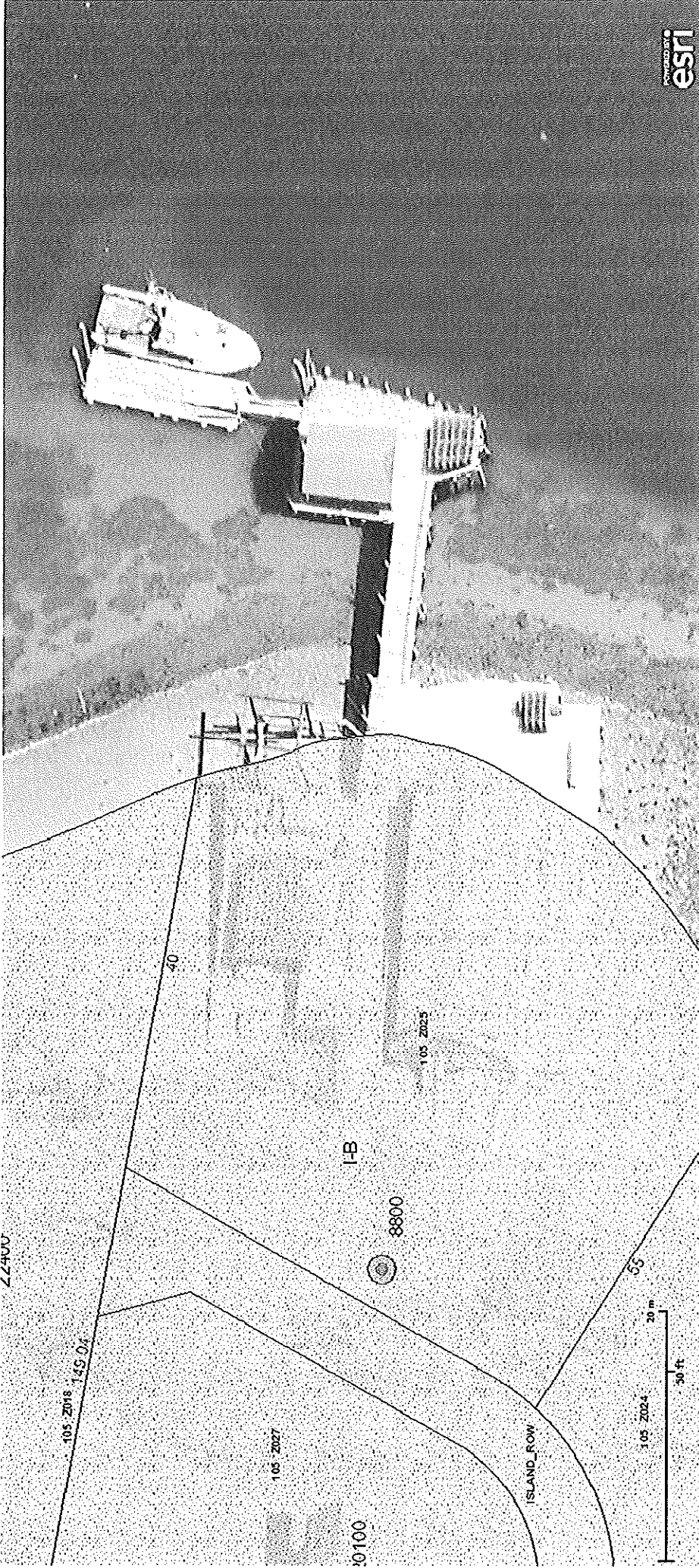
Building 1
Year Built 1978
Structure BOAT DOCK-MED
Size 1X5000
Units 1
Grade B
Condition G

Sales Information:

Sale Date	Type	Price	Book/Page
5/19/1998	LAND + BUILDING	\$0.00	13833/58

[New Search!](#)





Copyright 2011 Esri. All rights reserved. Thu May 16 2013 02:45:42 PM.

Written Assessment of Proposed Project's Compliance with Applicable Zoning Requirements

Zoning: Island Business District, Shoreland Overlay Zone
Flood Hazard Zone: Zone VE

The pier reconstruction will comply with all requirements of the City of Portland Land Use Zoning Ordinance, including standards of Section 14-450.8(o).

The existing building does not meet City of Portland Zoning requirements in regard to elevation:

- Section 14-450.8(p) – The bottom of the lowest horizontal structural member of the lowest floor (excluding the pilings or columns) is elevated two (2) feet above the base flood elevation.

This non-compliance is grandfathered.

Improvements to the building will be less than 50% of the current market value of the structure, and are therefore not substantial per Section 14-450.9. Because the improvement is not substantial, the improvements are not required to meet Section 14-450.8(p).

Copies of State, Federal, and Local Permits

State and federal permit applications are in the process of being submitted but have not yet been obtained as of April 17, 2013. The following applications have been submitted:

- Army Corps of Engineers - Maine General Permit
- Maine DEP – NRPA Permit
- Portland Harbor Commissioners – Marine Construction Permit
- City of Portland – Flood Hazard Development Permit
- Maine Department of Agriculture, Conservation, and Forestry - Submerged Lands Lease

Permits will be available to submit once received.

Written description of project.

The outline below provides a description of the project which replaces the existing timber pier and increases the elevation of the adjacent building. Reference should be made to the project plans located in the Site Plans section.

Description of Proposed Work

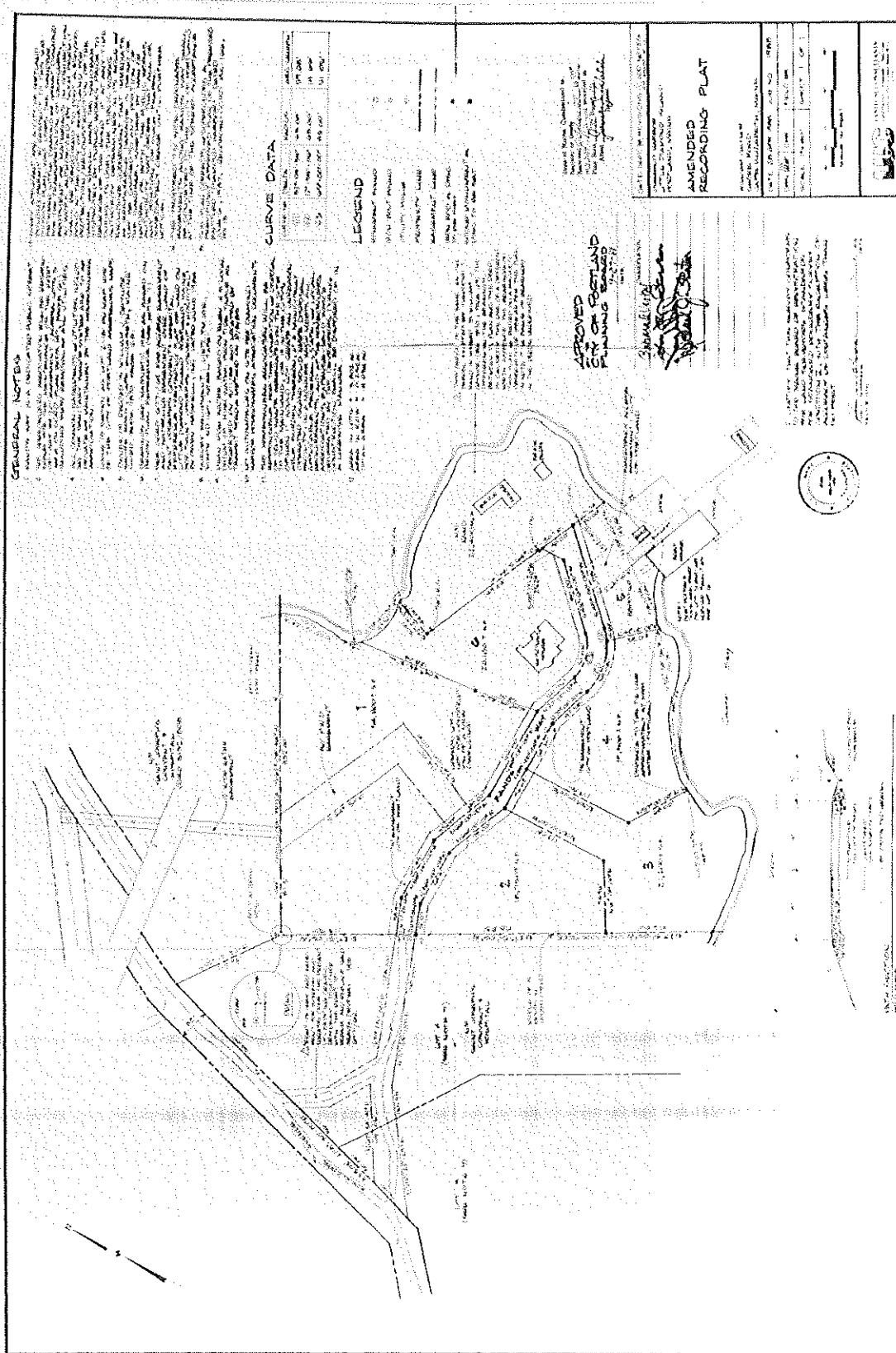
The two major elements of the proposed work are defined below. Sheet C-1 Existing Conditions shows the current configuration and Sheets S-1 – S-5 show the new design.

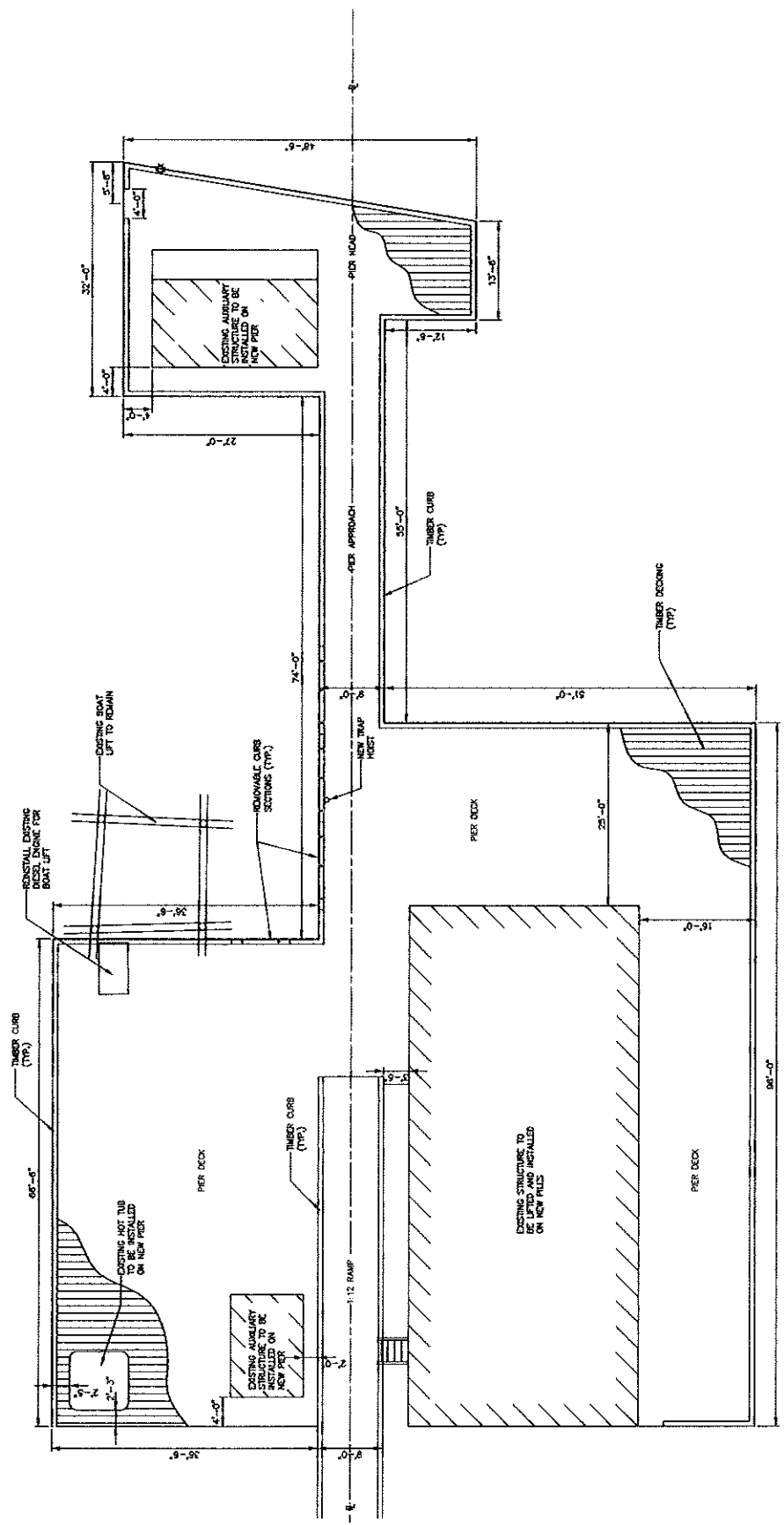
1. Pier Reconstruction

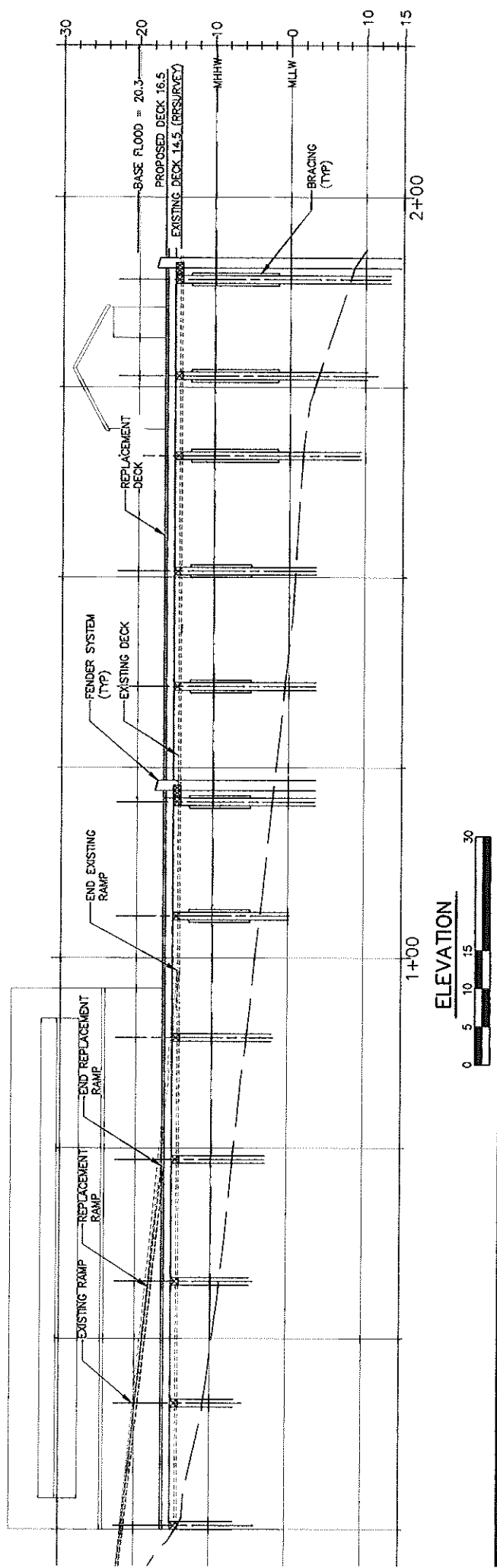
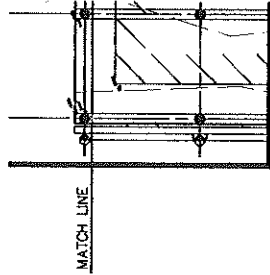
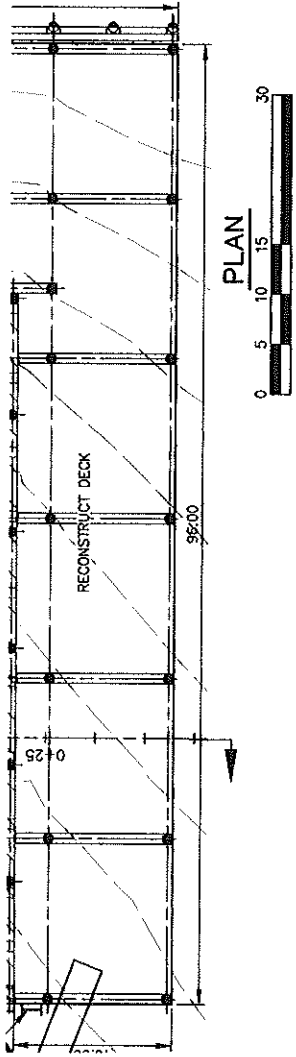
The existing timber pier will be demolished and a new pier will be reconstructed in the same footprint as the existing structure. The existing pier is approximately 7,530-ft², the new pier will have an area of approximately 7,520-ft² due to several minor adjustments to overall geometry (reduction of approximately 10-ft²). Approximately 120 existing timber bearing piles will be cut off and removed above the mudline, and 84 new timber or composite piles will be installed to support the new pier. Approximately 30 timber fender piles will be cut off and removed above the mudline and replaced with 29 timber fender piles. The pier deck elevation will be increased by 2-ft to provide greater clearance above the coastal resource. Two small accessory buildings located on the pier (10-ft x 14-ft shed and 12.5-ft x 23-ft shed) will be set aside during the reconstruction and installed in their original locations on the new pier. The existing float will be reinstalled in its current location with a new gangway.

2. Increase Building Elevation

An existing 71-ft x 31.5-ft pile-supported building (2,236.5-ft²) accessed from the pier will be lifted and new timber or composite piles will be installed beneath it. Existing piles to be removed are included in the totals presented in Work Item 1, 18 new piles will be installed beneath the building, these are also included in the total pile counts presented in Work Item 1. The building elevation will be increased 2-ft to provide greater clearance over the coastal resource and to maintain access from the pier.







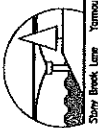
SURVEY NOTES

1. GROUND SURVEY TOPOGRAPHIC AND PLANIMETRIC INFORMATION PROVIDED BY ROYAL RIVER SURVEY ON OCT. 26, 2012.
2. ALL TOPOGRAPHIC INFORMATION PROVIDED IS REFERENCED TO CHART DATUM UNLESS OTHERWISE NOTED.
3. BASE FLOOD TOTAL INFORMATION TAKEN FROM IDEP FEMA AND NOAA PUBLISHED DATA FOR PORTLAND.

DATUMS & ELEVATION DELTAS

ELEVATION	CHART DATUM		NGVD29 (FT)	NAVD83 (FT)	NOTES
	(FT)	(FT)			
FEMA BASE FLOOD (PROPOSED)	20.3	15.7	15.0	15.0	FEMA 2009 FIRI
FEMA BASE FLOOD (CURRENT)	19.5	15.0	14.3	14.3	FEMA 1988 FIRI
500 YEAR STILLWATER ELEVATION	14.8	10.2	9.5	9.5	2009 CUMBERLAND COUNTY FIS
EXISTING PIER DECK ELEVATION	14.5	10.1	9.3	9.3	ROYAL RIVER SURVEY
100 YEAR STILLWATER ELEVATION	14.2	9.6	8.9	8.9	2009 CUMBERLAND COUNTY FIS
50 YEAR STILLWATER ELEVATION	13.9	9.3	8.6	8.6	
10 YEAR STILLWATER ELEVATION	13.3	8.7	8.0	8.0	
HIGHEST ANNUAL TIDE (MAT)	11.9	7.4	6.7	6.7	MAISE DEP
MHW	9.9	5.4	4.7	4.7	NOAA
MHH	9.5	4.9	4.2	4.2	
NAVD83	5.3	0.7	0.0	0.0	
NGVD29	4.5	0.0	-0.7	-0.7	
MLLW	0.3	-4.2	-4.9	-4.9	
MLLW	0.0	-4.5	-5.3	-5.3	

BAKER DESIGN CONSULTANTS
Civil, Marine, and Structural Engineering



11 Ship Break Lane, Portsmouth, Maine 04068 Tel: (603) 866-6724 Fax: (603) 866-3029

PERMIT APPLICATIONS SUBMISSION DATE: 1-22-13 INT

Evidence of Financial and Technical Capacity

Pier Area =	7,400 ft ²
Estimated Cost of Pier Reconstruction =	\$425,000
Estimated Cost of Building Improvements = <i>Note: existing assessed valuation of building per City of Portland = \$319,300</i>	\$50,000
Total Estimated Cost of Project =	\$475,000

Old Coast Guard Station, LLC is in good standing with the Maine Bureau of Corporations as evidenced by the certificate below:



MAINE

Department of the Secretary of State
 Bureau of Corporations, Elections and Commissions

Corporate Name Search

Information Summary

Subscriber activity report

This record contains information from the CEC database and is accurate as of: Mon Jan 21 2013 18:06:00. Please print or save for your records.

Legal Name	Charter Number	Filing Type	Status
OLD COAST GUARD STATION, LLC	19980366DC	LIMITED LIABILITY COMPANY (DOMESTIC)	GOOD STANDING

Filing Date	Expiration Date	Jurisdiction
02/02/1998	N/A	MAINE

Other Names (A=Assumed ; F=Former)

NONE

Clerk/Registered Agent

TIMOTHY P. BENOIT
 P.O. BOX 426

PORTLAND, ME 04112 0426