

N/F
JOAN T. HORTON
3056/211

TBM 2
CENTER OF ALUMINUM CAP,
FLUSH
ELEV. 200.35
ASSUMED DATUM

TBM 1
INK "4" ON PORCH
ELEV. 200.00
ASSUMED DATUM

N/F
JOAN T. HORTON
PER TAX RECORDS - DEED NOT
FOUND

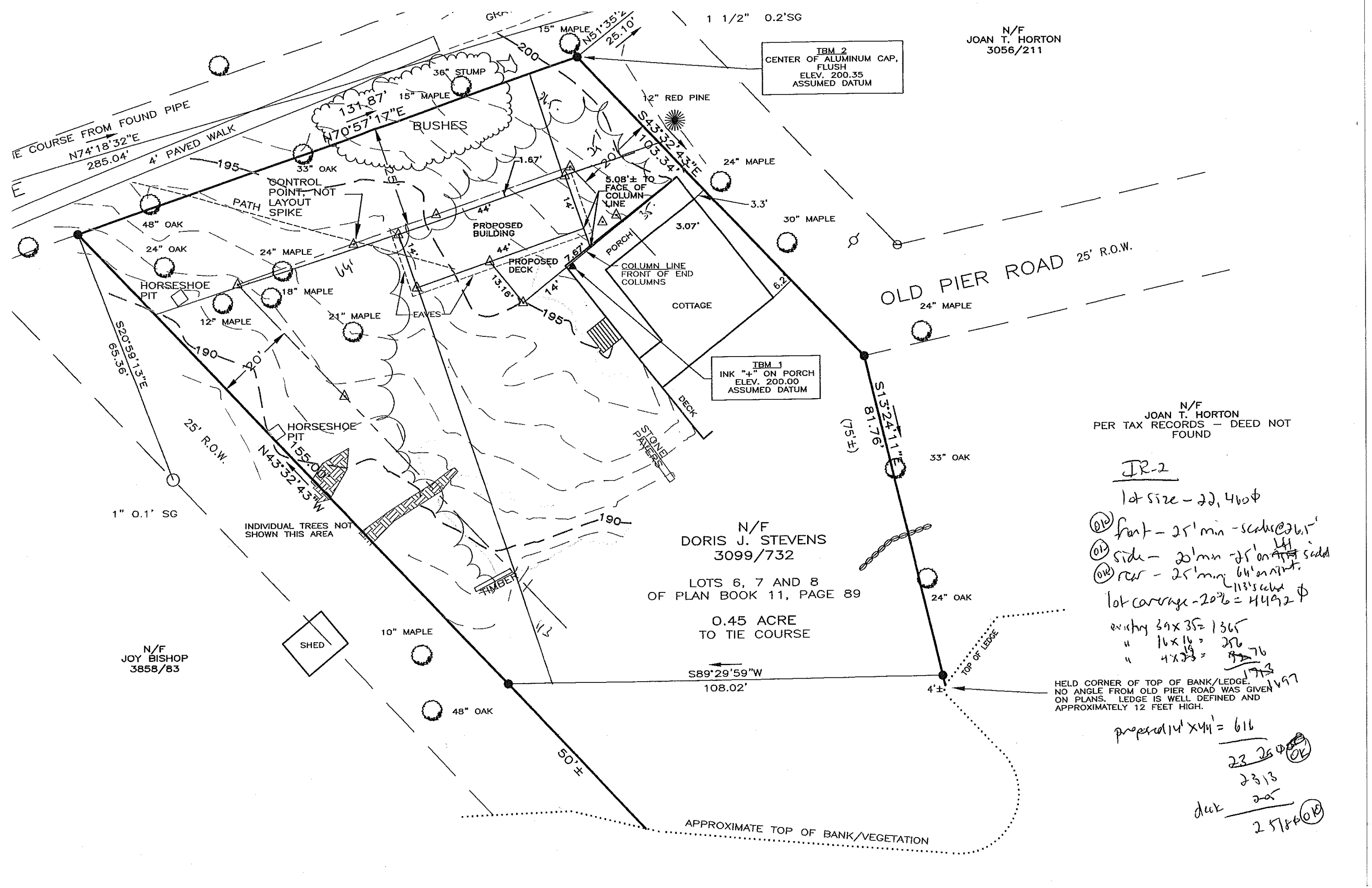
N/F
DORIS J. STEVENS
3099/732
LOTS 6, 7 AND 8
OF PLAN BOOK 11, PAGE 89

0.45 ACRE
TO TIE COURSE

N/F
JOY BISHOP
3858/83

HELD CORNER OF TOP OF BANK/LEDGE.
NO ANGLE FROM OLD PIER ROAD WAS GIVEN
ON PLANS. LEDGE IS WELL DEFINED AND
APPROXIMATELY 12 FEET HIGH.

proposed 14' x 44' = 616
23 26 00
2313
205
2578 00



1. BOUNDARY IS SHOWN PER A BOUNDARY SURVEY PERFORMED FOR PAUL STEVENS AND DORIS STEVENS BY LEWIS & WASINA, INC. DATED 1999.
2. THE BASIS OF ELEVATION IS ASSUMED AS 200 FEET AT TBM 1 ON THE PORCH FLOOR.

N/F
 AN T. HORTON
 RECORDS - DEED NOT
 FOUND

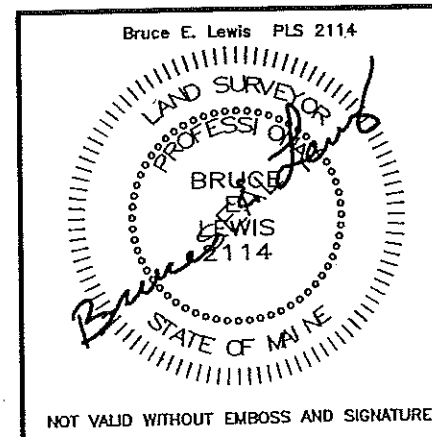
NOTES (BOUNDARY NOTES FROM 1999 SURVEY)

1. THE BASIS OF BEARING FOR THIS SURVEY IS THE OBSERVED MAGNETIC MERIDIAN OF 1999.
2. THIS SURVEY IS BASED ON THE DEED FROM PAULINE E. BOWKER TO DORIS J. STEVENS DATED AUGUST 29, 1969 AND RECORDED IN BOOK 3099, PAGE 732.
3. PLAN REFERENCES:
 - a. PLAN OF LITTLE DIAMOND ISLAND FOR MAINE COAST REALTY TRUST BY E.C.JORDAN & CO. DATED MARCH 1908 AND RECORDED IN PLAN BOOK 11, PAGE 89.
 - b. PLAN OF THE WEST END OF LITTLE DIAMOND ISLAND FOR MAINE COAST REALTY TRUST BY E.C.JORDAN & CO. DATED AUGUST 1912 AND RECORDED IN PLAN BOOK 12, PAGE 49.
 - c. STANDARD BOUNDARY SURVEY PREPARED FOR CHARLES W. HIGGINS, JR. BY H.I. & E.C. JORDAN DATED JUNE 17, 1986, PLAN FILE No. 22000.
4. THE PARCELS SURVEYED ARE SHOWN ON CITY ASSESSORS MAP 105, BLOCK T AS LOTS 4, 5 AND 6.
5. NO DETERMINATION OF BOUNDARY LINES BEYOND THE TOP OF BANK TOWARD THE WATER WAS MADE AS A RESULT OF THIS SURVEY.

OF BANK/LEDGE,
 PIER ROAD WAS GIVEN
 WELL DEFINED AND
 SET HIGH.

RECEIVED
 FEB 08 2013
 Dept. of Building Inspections
 City of Portland Maine

REV.	BY	DATE	STATUS
2	BEL	12/4/2012	REVISED EAST END OF PROPOSED BUILDING
1	BEL	4/20/2012	TO CLIENT



Lewis & Wasina, Inc.

PROFESSIONAL LAND SURVEYORS

11 Highmeadow Drive
 Gorham, ME 04038
 Tel (207) 892-0959 Fax (207) 892-0956

PO Box 515
 Waterboro, ME 04087-0515
 Tel (207) 329-1958 Fax (207) 247-4688

Designed: N/A
 Drawn: BEL
 Checked: BEL
 Date: 4/17/2012
 Scale: 1" = 20'
 Field Book: FILE
 Project: 99034
 File Name: 99034SBS
 Contour Int.: 1 FT

SHEET 1 OF 1

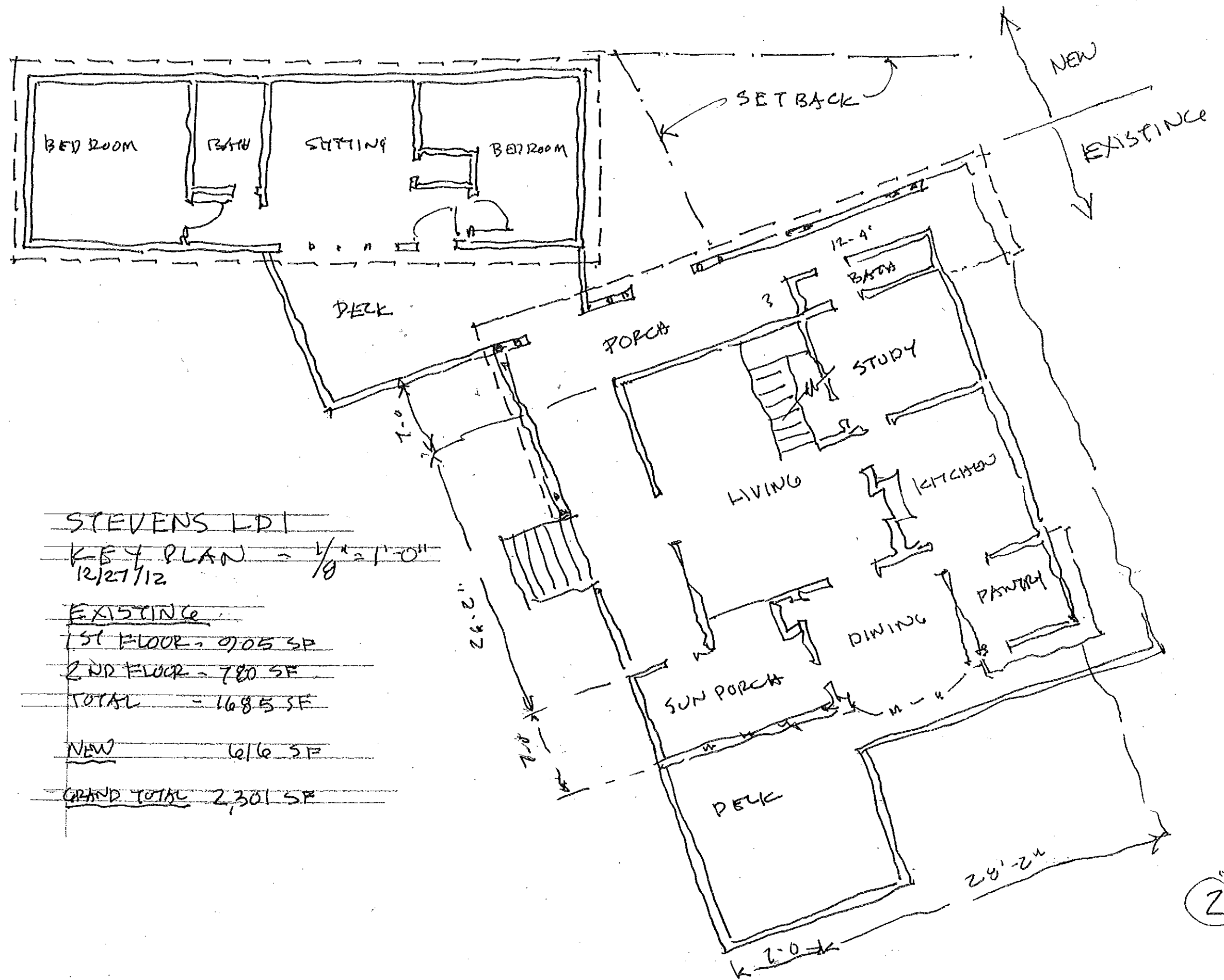
TOPOGRAPHIC SURVEY PROPOSED ADDITION

FESSENDEN AVENUE, CITY VIEW ROAD
 AND OLD PIER ROAD,
 LITTLE DIAMOND ISLAND, CITY OF PORTLAND,
 CUMBERLAND COUNTY, STATE OF MAINE

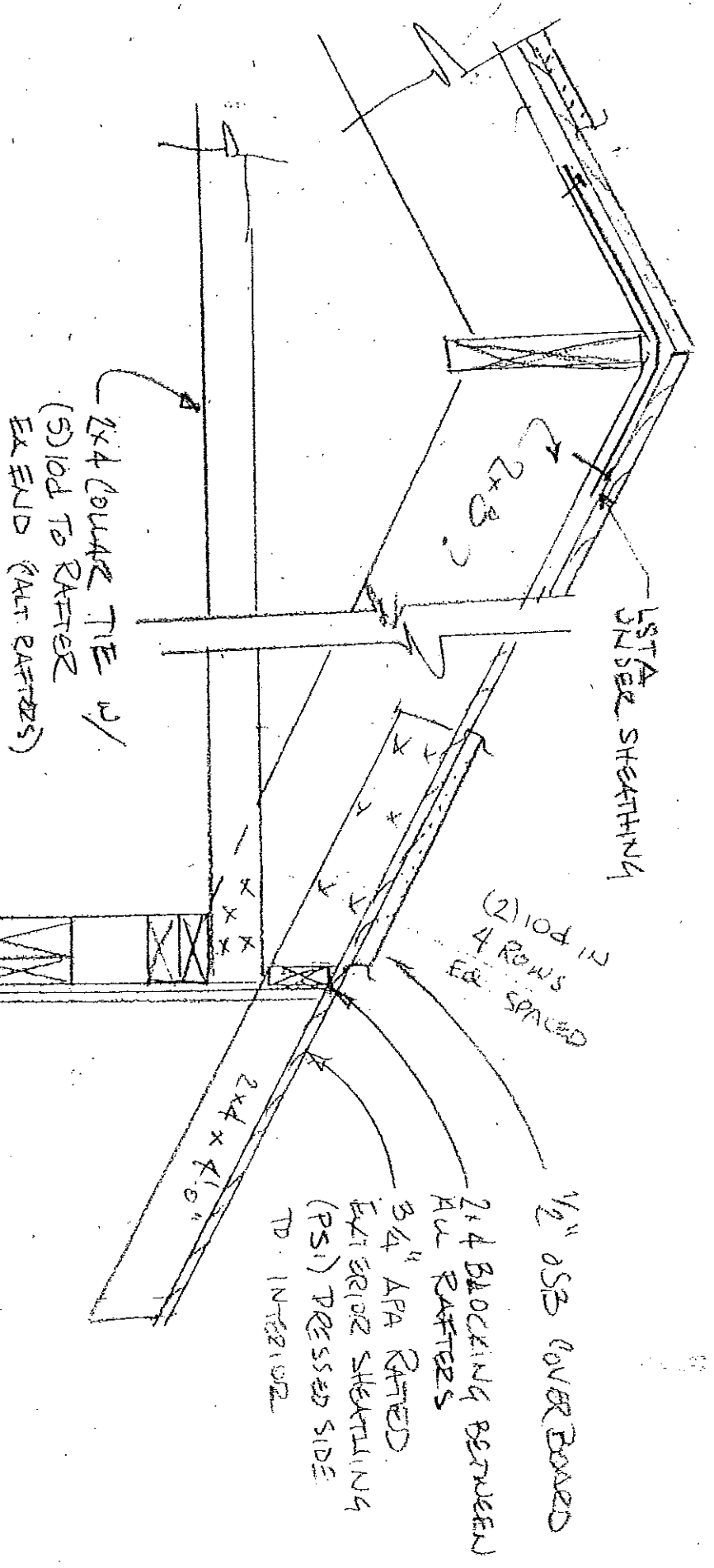
for

PAUL STEVENS

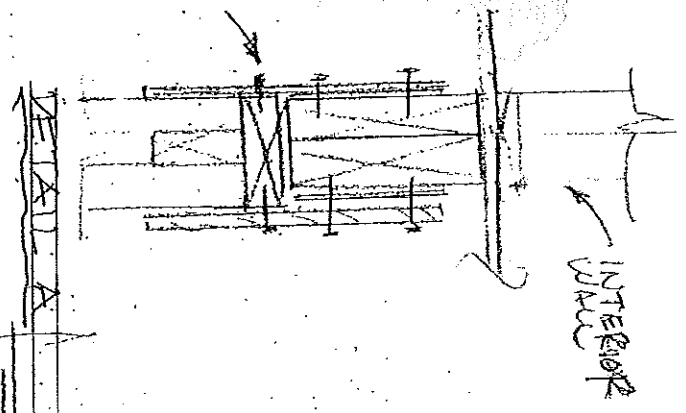
RECORD OWNER:
 Doris J. Stevens, c/o SMRT, P.O.Box 618, Portland, ME 04104



STEVENS LDI
KEY PLAN - 1/8" = 1'-0"
12/27/12
EXISTING
1ST FLOOR - 905 SF
2ND FLOOR - 780 SF
TOTAL = 1685 SF
NEW 616 SF
GRAND TOTAL 2,301 SF



PROVIDE (1) JACK &
 (1) KING SMD FOR DRAGS
 UP TO 7'-0"; PROVIDE
 (2) JACKS & (1) KING FOR
 DRAGS UP TO 13'-0"



3/4" APA RATED
 SHEATHING

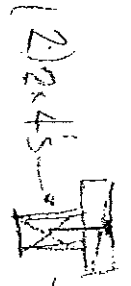
10d (Common) @ 6" o/c
 AT PANEL EDGES & @ 12" o/c
 IN PANEL FIELD

5/8" APA RATED (19/32 MIN)
 EXTERIOR SHEATHING

CENTER SHEATHING JOINT @
 MID-DEPTH OF RIM

(2) H2.5A (EA. SIDE OF POST)

5/8" PLYWOOD GUSSETS
 BOTH FACES

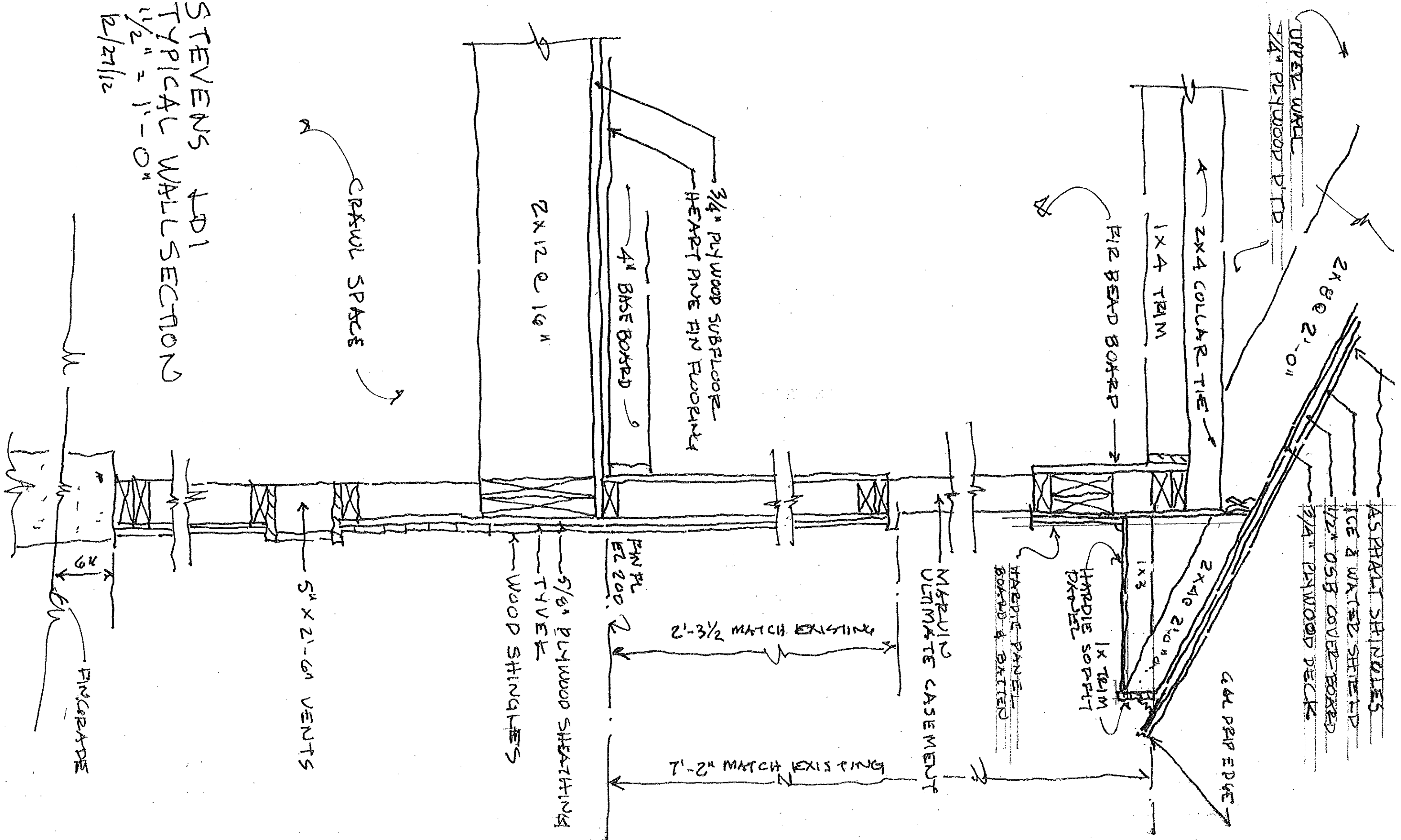


STEVENS - LDI
 STRUCTURAL SECTION
 1/2" = 1'-0"

AS PER D TO
 REACH COMPETENT
 LEV. OR FROST
 DEPTH; 2ft MIN
 ASSUMED FOR UPLIFT
 CALCULATIONS.

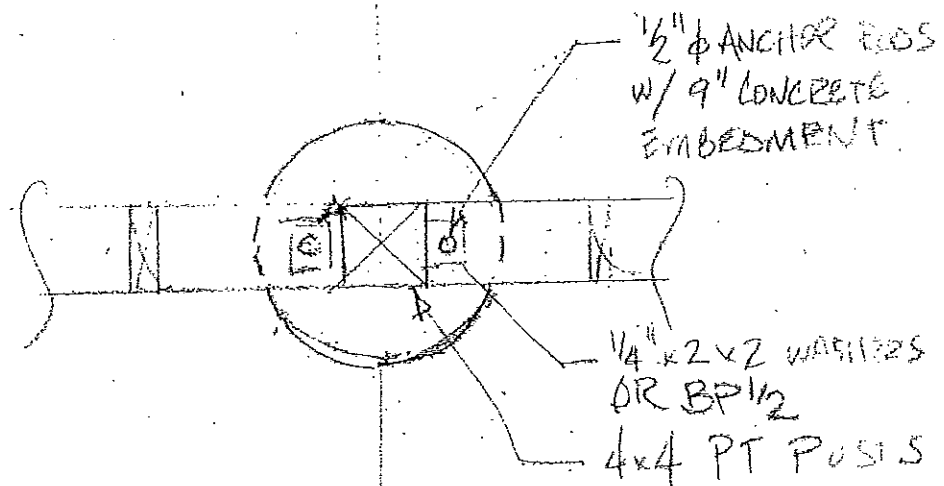
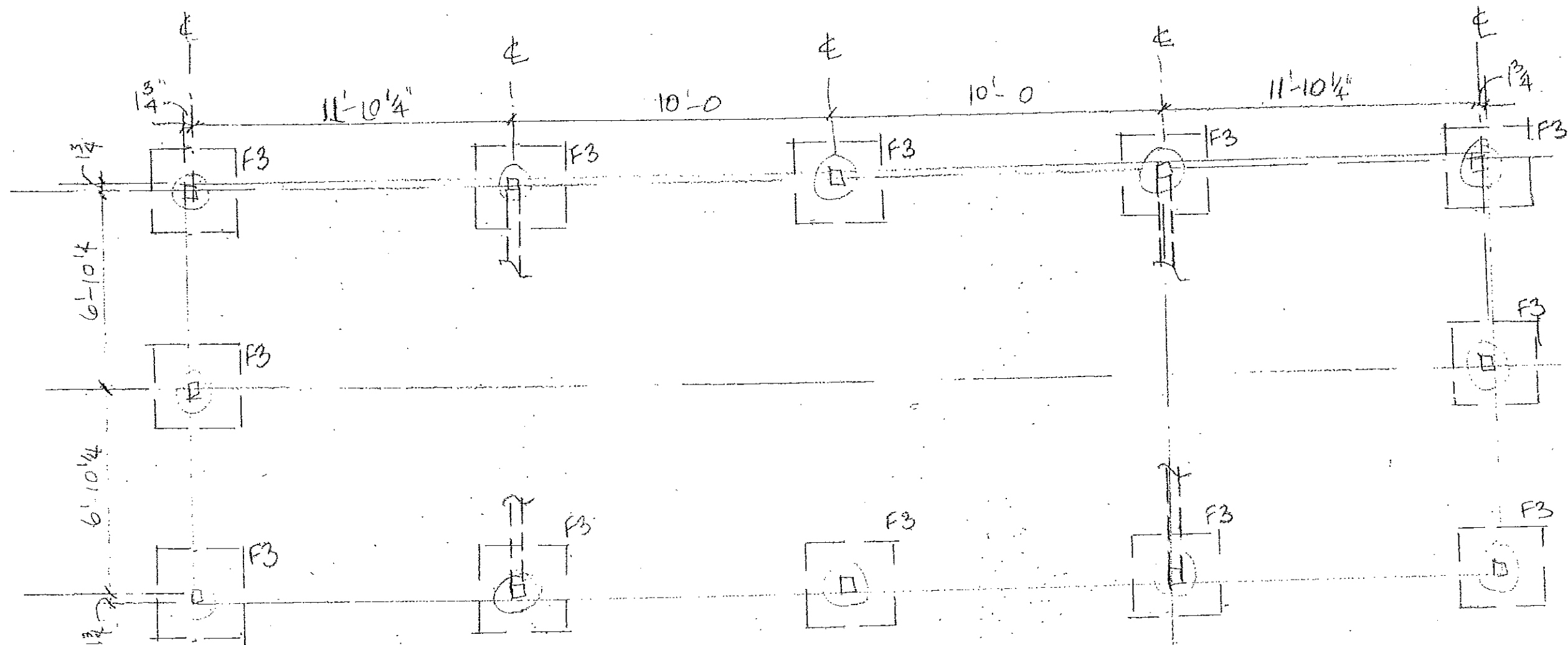
3/4" x 3/4" x 12"
 FTG. W/ 3#4 EA WAY
 10d
 W/ 4#4 VERT
 #3 TIES
 @ 9" o/c

14

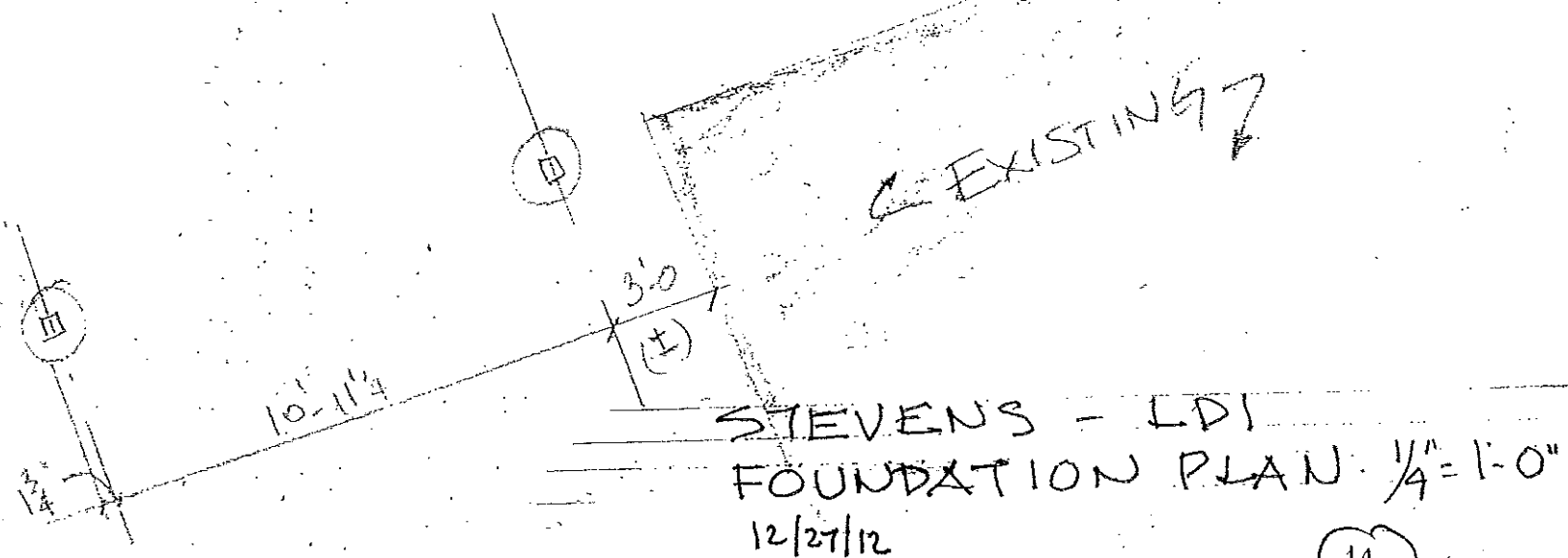


STEVENS AD1
 TYPICAL WALL SECTION

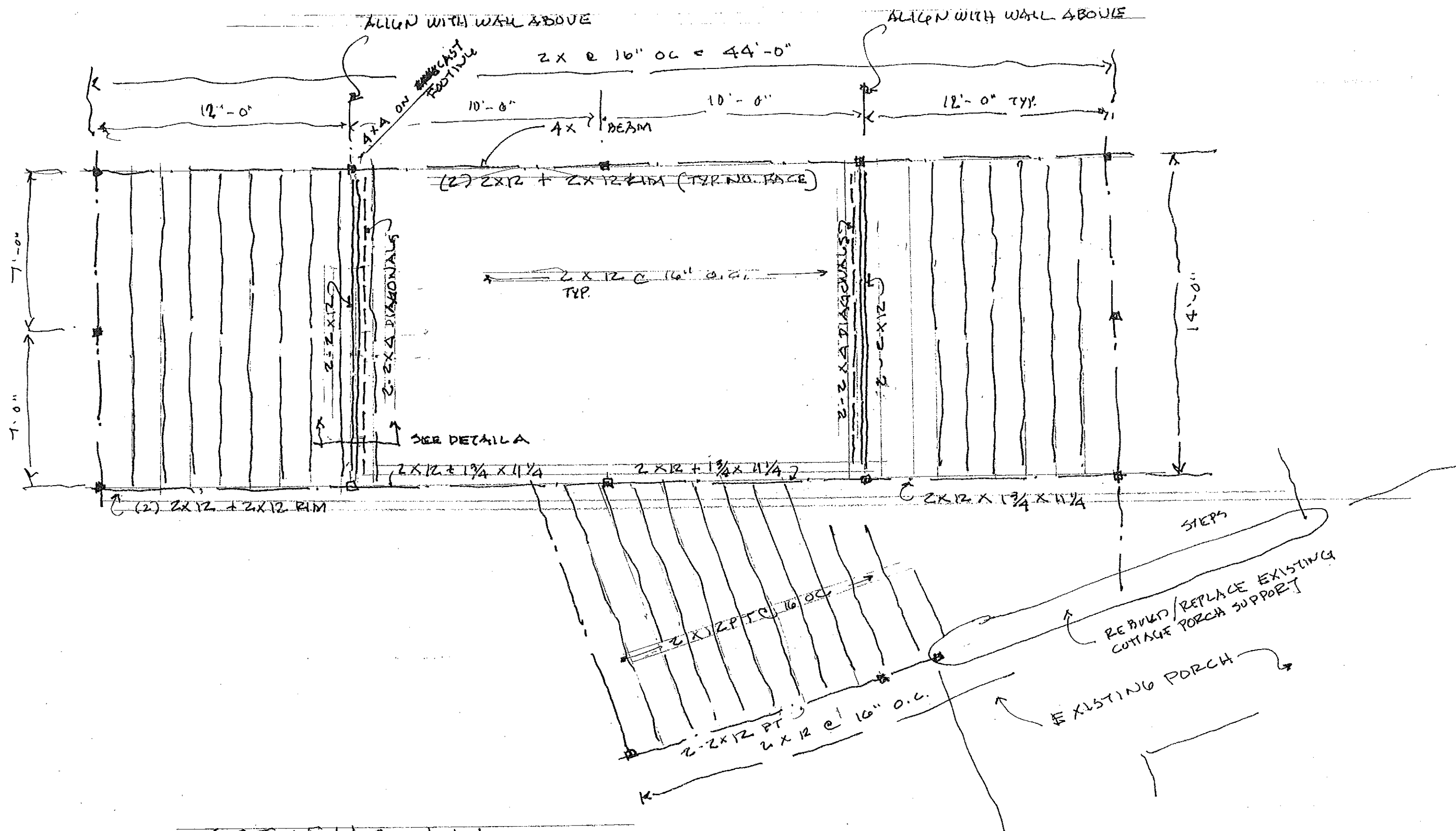
1 1/2" = 1'-0"



DETAIL TYPICAL PIER

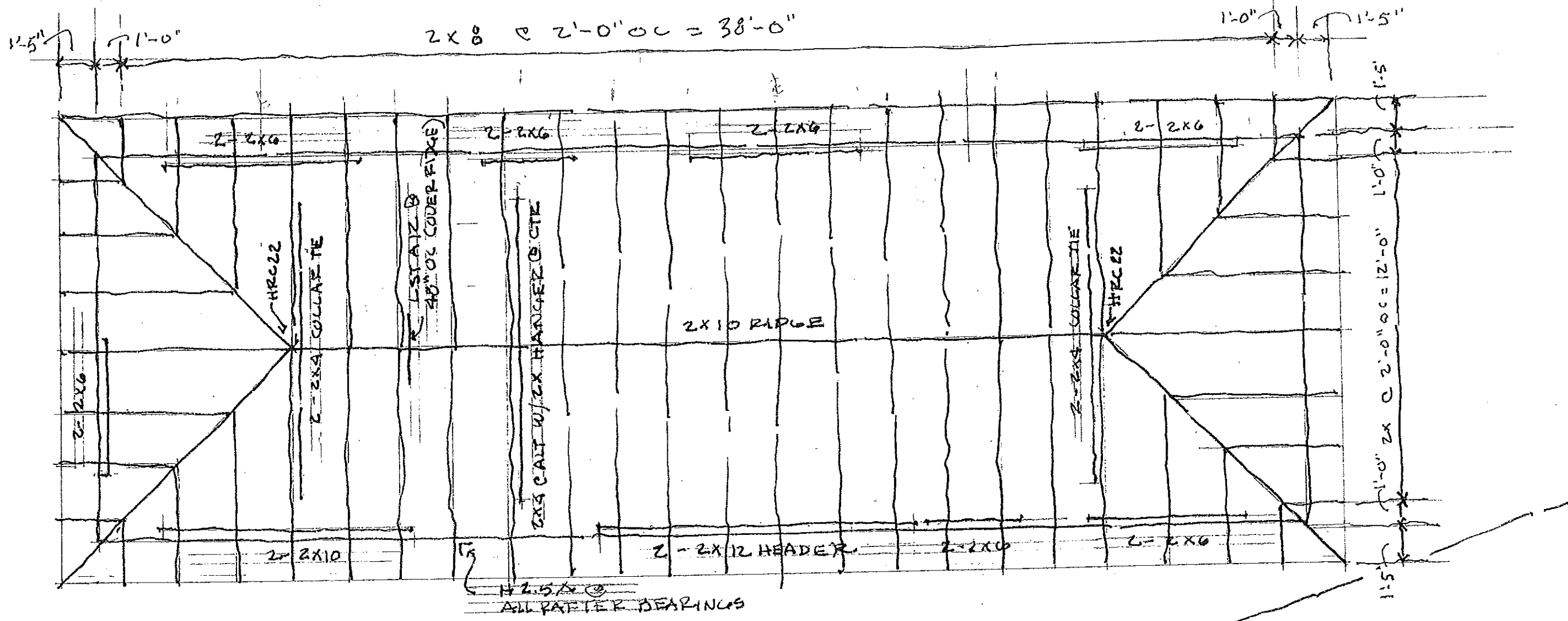


STEVENS - LDI
 FOUNDATION PLAN. 1/4" = 1'-0"
 12/27/12



STEVENS I.D.I.
 FLOOR PLAN 1/4" = 1'-0"
 FRAMING

12/25/12



STEVENS I.D.I.

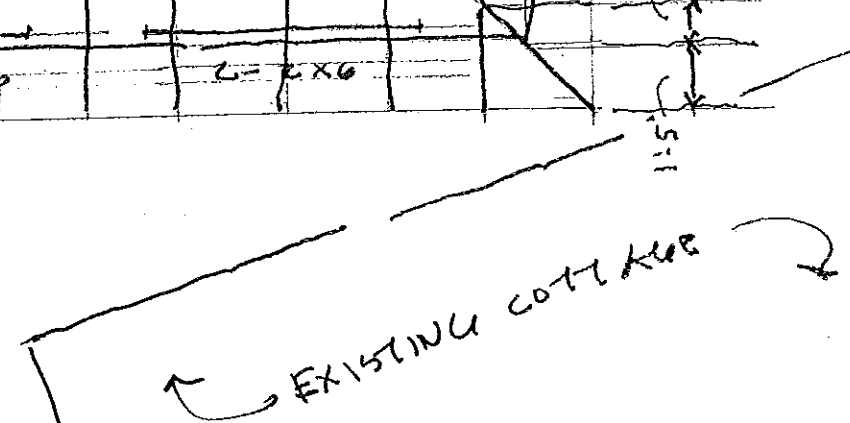
ROOF FRAMING PLAN $\frac{1}{4}'' = 1'-0''$

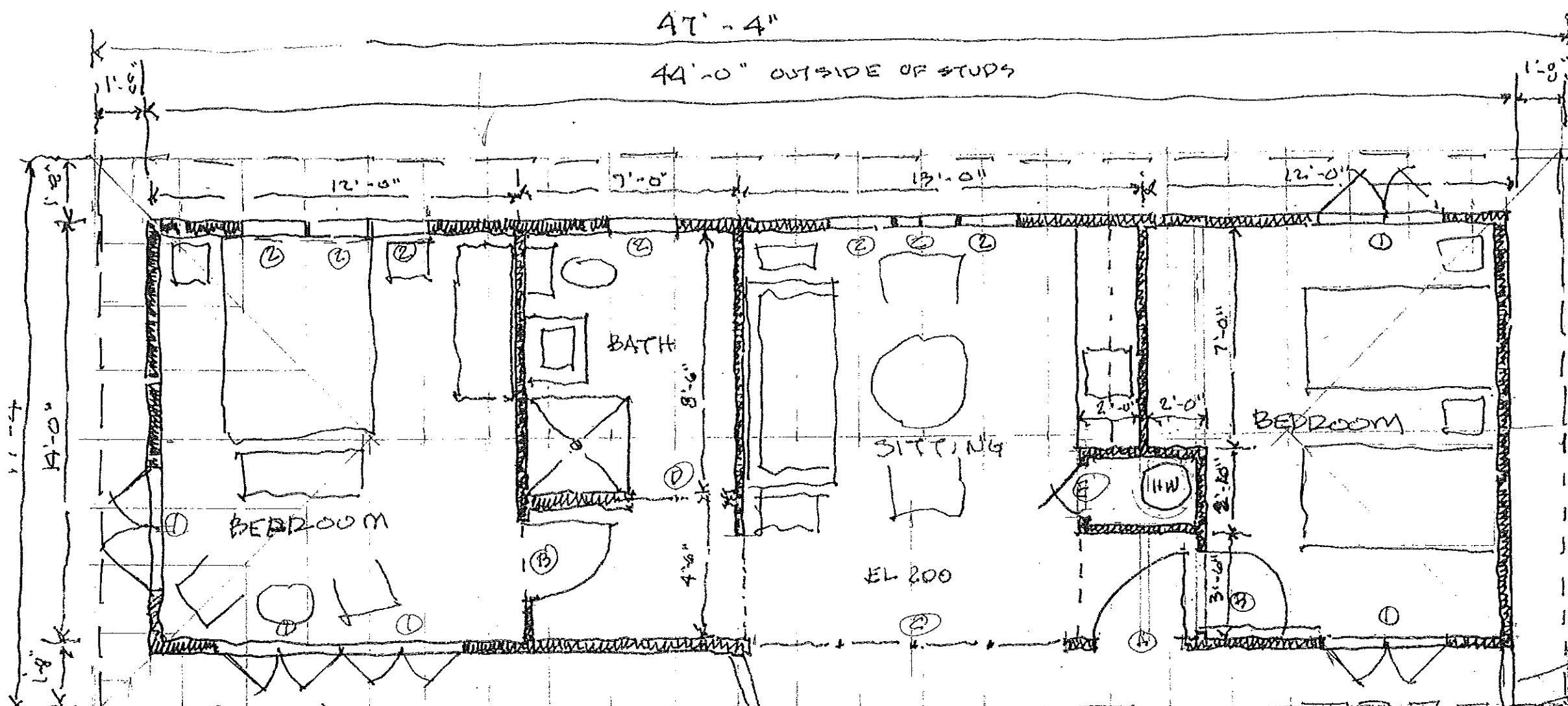
SPF #2 OR BETTER

SIMPSON MODEL #3

ALL METAL TO BE HD GALV. UN TREATED WOOD STAIN S.C. & TREATED WD

12/21/12





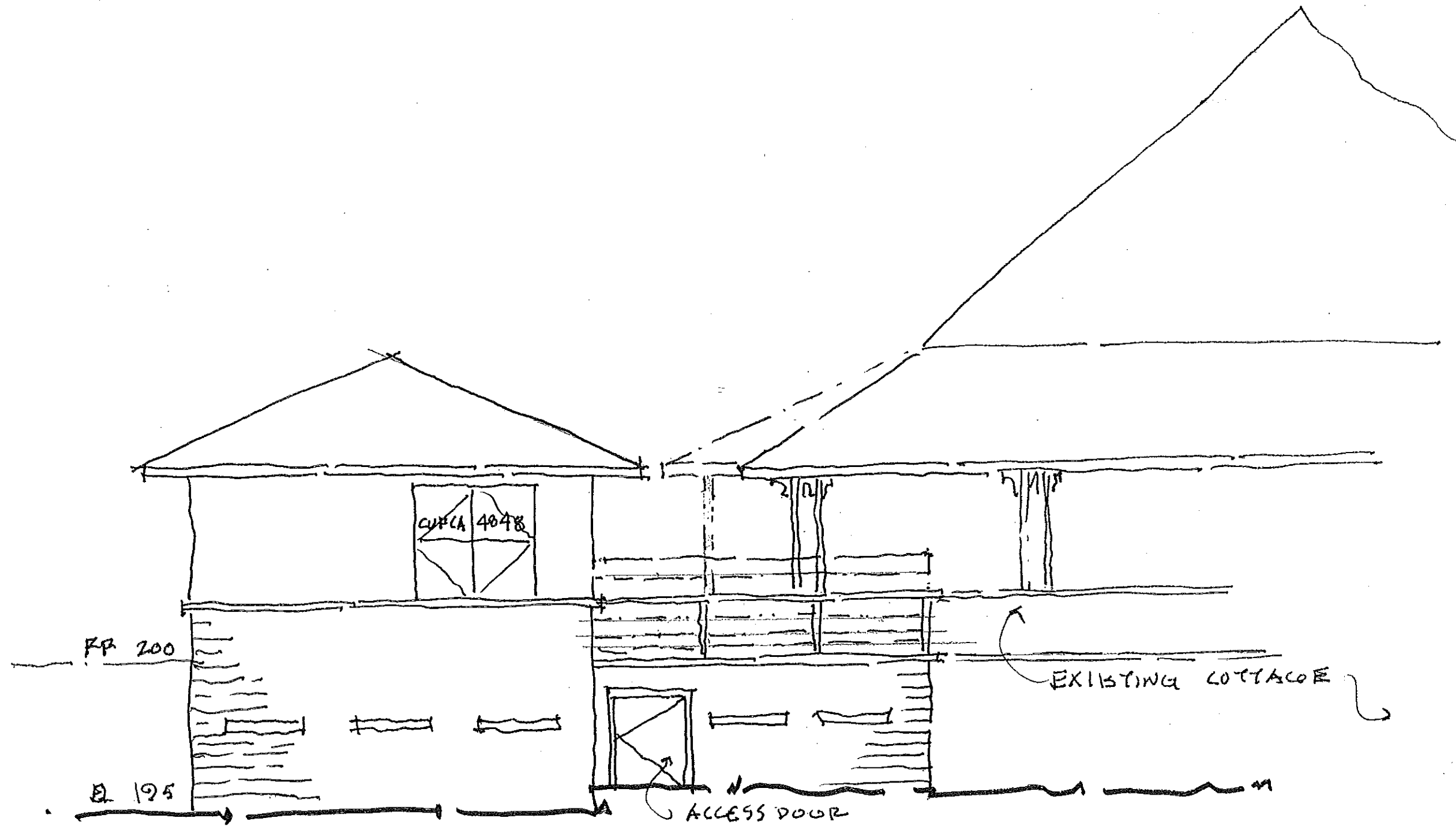
WINDOW SCHEDULE

TYPE	STYLE	QTY
1	MARVIN CUFCA 4848	5
	CLEAR OPENING = 3-1 x 3-7	
2	MARVIN CAWN 2424	7

DOOR SCHEDULE

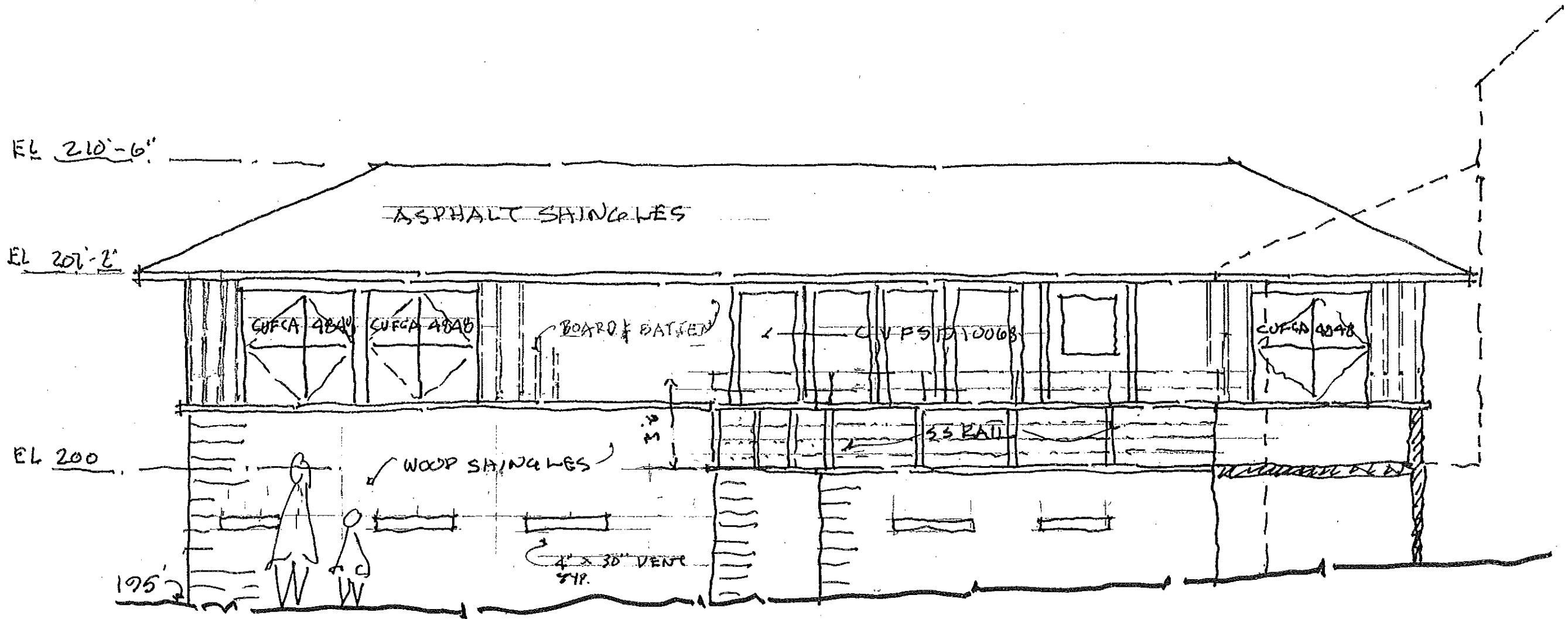
TYPE	STYLE	QTY
A	BROSCO FITT	3-0 x 6-8 1
B	BROSCO F744	3-0 x 6-8 2
C	MARVIN CUFCA	10-0 x 6-8 1
D	BROSCO POCKET F744	3-0 x 6-8 1
E	BROSCO F782	2-0 x 6-8 1

STEVENS LDI
 FLOOR PLAN 1/4" = 1'-0"
 REV 9/19/12

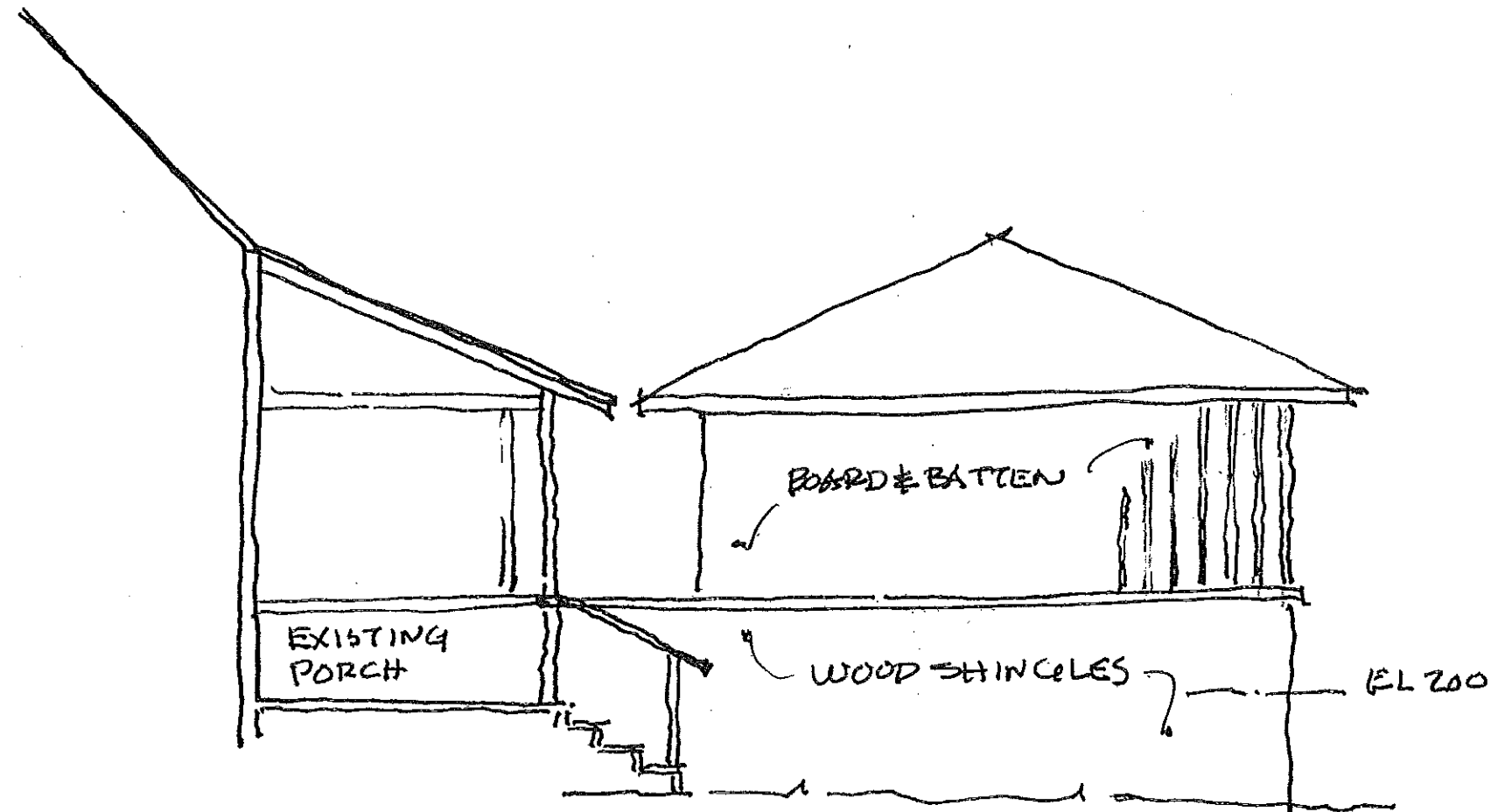


STEVENS LDI
WEST ELEVATION $\frac{1}{4}'' = 1'-0''$
12/27/12

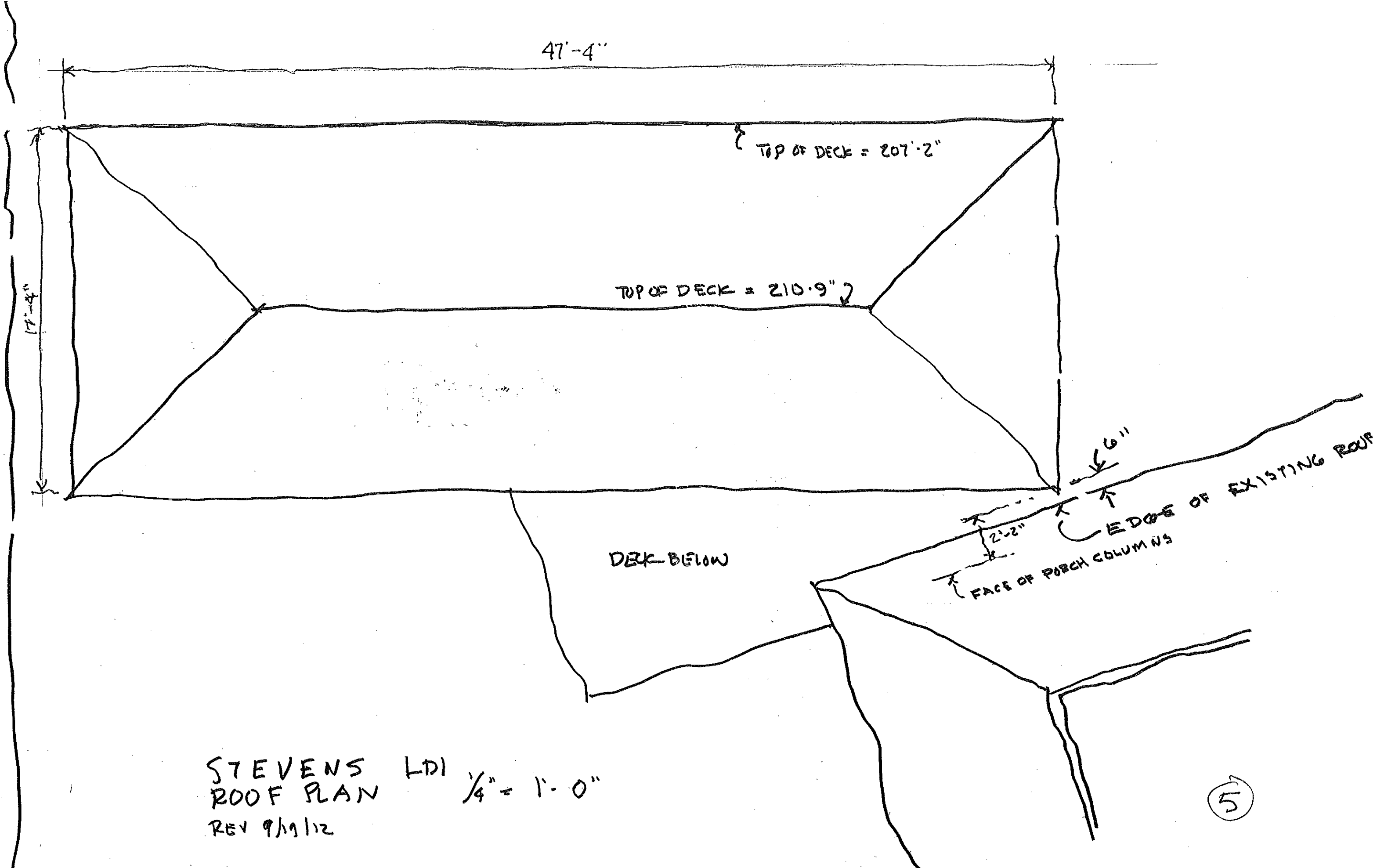
8



STEVENS LPI
SOUTH ELEVATION 1/4" = 1'-0"
REV 12/27/12

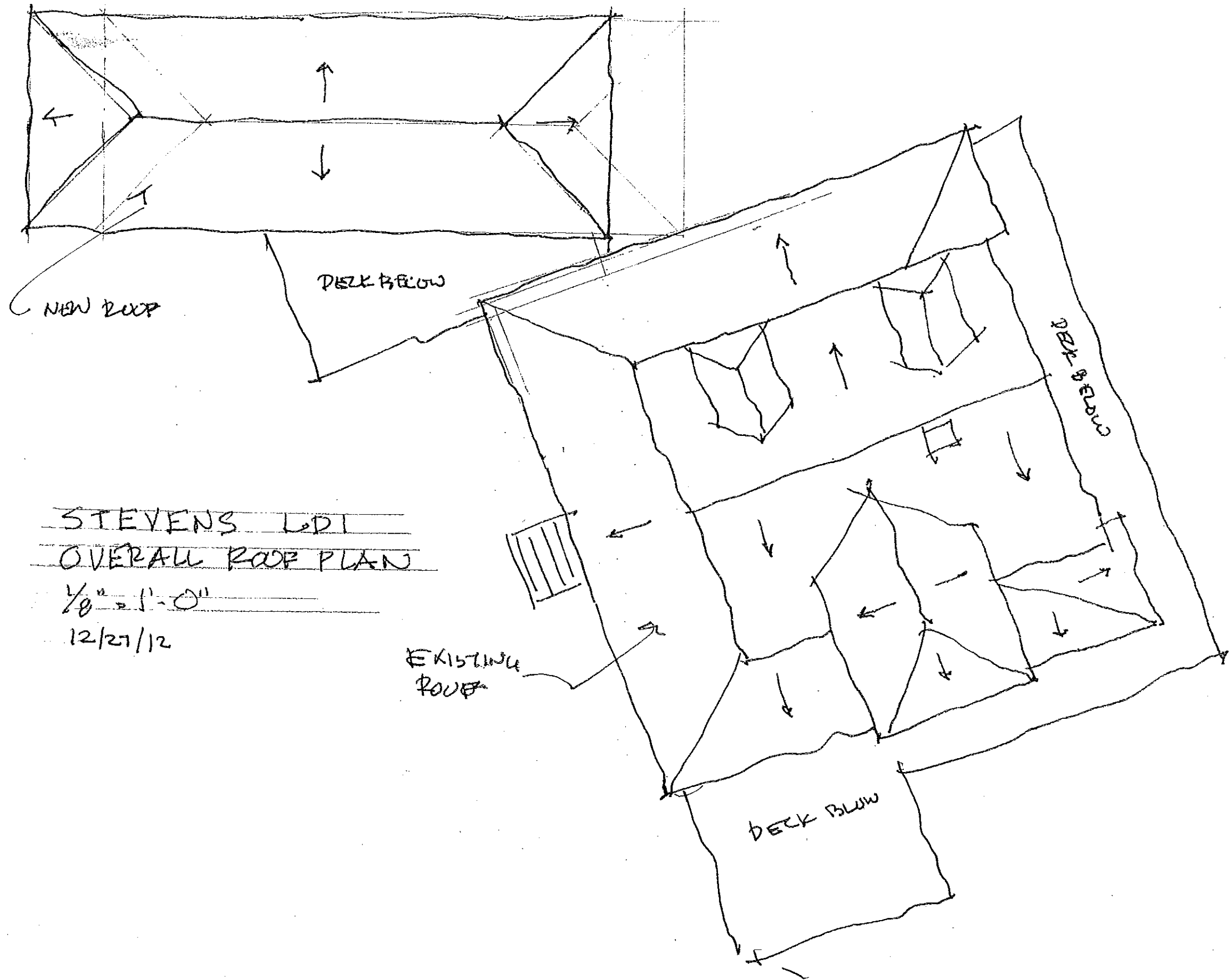


STEVENS LDI
EAST ELEVATION $\frac{1}{4}'' = 1'-0''$
12/27/12

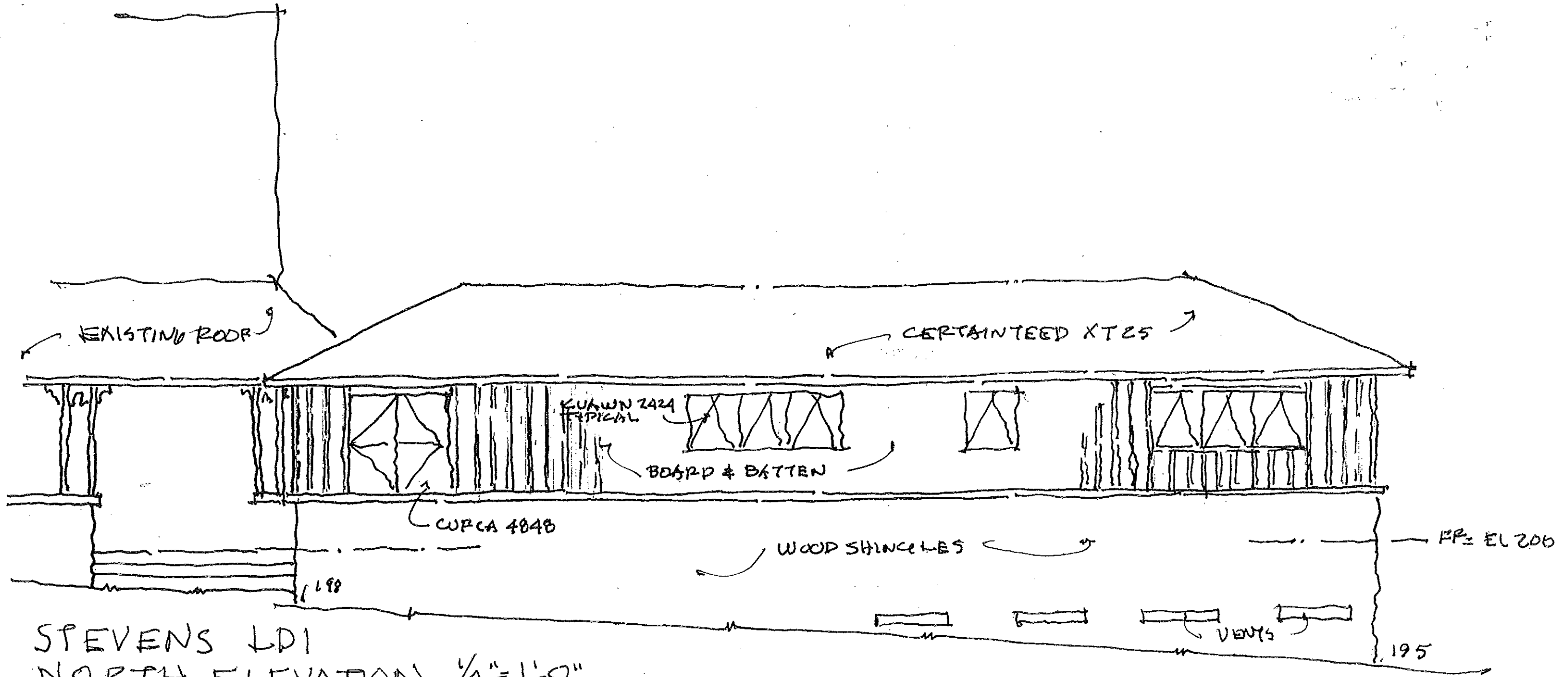


STEVENS LDI
ROOF PLAN $\frac{1}{4}'' = 1'-0''$
REV 9/19/12

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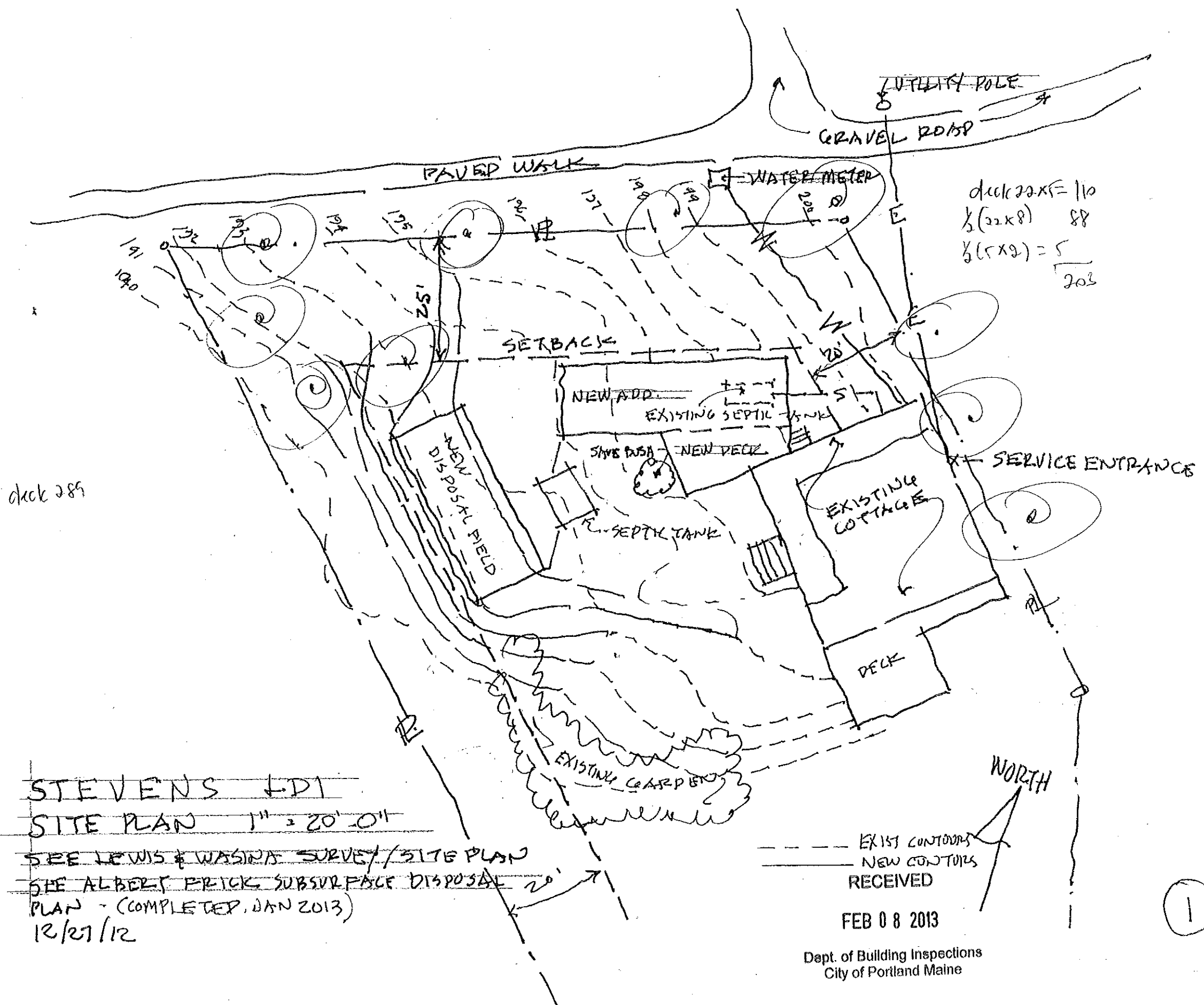


STEVENS LDI
OVERALL ROOF PLAN
1/8" = 1'-0"
12/27/12



STEVENS LDI
 NORTH ELEVATION $\frac{1}{4}'' = 1'-0''$
 12/21/12

7



deck 22x5 = 110
 1/2(22x8) = 88
 1/2(5x9) = 22.5
 200.5

deck 289

STEVENS #D1
 SITE PLAN 1" = 20'-0"
 SEE LEWIS & WASHINS SURVEY/SITE PLAN
 SEE ALBERT PRICK SUBSURFACE DISPOSAL
 PLAN - (COMPLETED JAN 2013)
 12/27/12

FEB 08 2013
 Dept. of Building Inspections
 City of Portland Maine

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