

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



CITY OF PORTLAND BUILDING PERMIT



This is to certify that

STEVENS DORIS J /Peter Keef

Located at

37 FESSENDEN AVE, L.D.I.

PERMIT ID: 2013-00264

CBL: 105 T004001

has permission to **44' x 14' one story addition connected by deck to main house (two bedrooms, 3/4 bath and sitting area)**

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be procured prior to occupancy.

A handwritten signature in black ink, appearing to be 'D.R.', written over a horizontal line.

Fire Prevention Officer

Code Enforcement Officer / Plan Reviewer

**THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY
THERE IS A PENALTY FOR REMOVING THIS CARD**

BUILDING PERMIT INSPECTION PROCEDURES
Please call 874-8703 (ONLY)
or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**

REQUIRED INSPECTIONS:

Footings/Setbacks
Close-in Plumbing/Framing
Electrical - Residential
Final Inspection

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 2013-00264	Date Applied For: 02/08/2013	CBL: 105 T004001
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Location of Construction: 37 FESSENDEN AVE, L.D.I.	Owner Name: STEVENS DORIS J	Owner Address: 21 THOMAS ST	Phone: (207) 772-3846
Business Name:	Contractor Name: Peter Keef	Contractor Address: 6 Wilderness Way Casco	Phone: (207) 671-0109
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	

Proposed Use: Single Family Home	Proposed Project Description: 44' x 14' one story addition connected by deck to main house (two bedrooms, 3/4 bath and sitting area)
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Dept: Zoning Status: Approved w/Conditions Reviewer: Ann Machado Approval Date: 02/19/2013

Note: Ok to Issue:

- 1) This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. without special approvals.
- 2) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
- 3) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building Status: Approved w/Conditions Reviewer: Jon Rioux Approval Date: 03/21/2013

Note: Ok to Issue:

- 1) Separate permits are required for any electrical: plumbing, sprinkler, fire alarm, HVAC systems, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.
- 2) R502.6 Bearing. The ends of each joist, beam or girder shall have not less than 1.5 inches of bearing on wood or metal and not less than 3 inches on masonry or concrete except where supported on a 1-inch-by-4-inch ribbon strip and nailed to the adjacent stud or by the use of approved joist hangers.
- 3) R401.2 Requirements. Foundation construction shall be capable of accommodating all loads according to Section R301 and of transmitting the resulting loads to the supporting soil. Fill soils that support footings and foundations shall be designed, installed and tested in accordance with accepted engineering practice. Gravel fill used as footings for wood and precast concrete foundations shall comply with Section R403
- 4) As discussed with the Owner- Ventilation/Access shall comply with Section R408.1 & R408.3 for the crawl space.
- 5) R404.1.2.2 Reinforcement for foundation walls. Where unbalanced backfill retained by the stemwall is less than or equal to 18 inches, the stem wall and above-grade wall it supports shall be provided with vertical reinforcement in accordance with Section R611.6 and Table R611.6(1), R611.6(2) or R611.6(3) for above-grade walls.
- 6) A code compliant emergency escape shall be provided in each bedroom. Window sills in locations more than 72 inches from finished grade shall be a minimum of 24 inches (no higher than 44 inches) above the finished floor of the room, or in compliance with Section R612.4.2
- 7) R315.2 Where required in existing dwellings. Where work requiring a permit occurs in existing dwellings that have attached garages or in existing dwellings within which fuel-fired appliances exist, carbon monoxide alarms shall be provided in accordance with Section R315.1.

Hardwired photoelectric interconnected battery backup smoke alarms shall be installed in each bedroom, protecting the bedrooms, and on every level.

- 8) R807.1 Attic access. Buildings with combustible ceiling or roof construction shall have an attic access opening to attic areas that exceed 30 square feet and have a vertical height of 30 inches or greater. The vertical height shall be measured from the top of the ceiling framing members to the underside of the roof framing members. The rough-framed opening shall not be less than 22 inches by 30 inches and shall be located in a hallway or other readily accessible location.

Location of Construction: 37 FESSENDEN AVE, L.D.I.	Owner Name: STEVENS DORIS J	Owner Address: 21 THOMAS ST	Phone: (207) 772-3846
Business Name:	Contractor Name: Peter Keef	Contractor Address: 6 Wilderness Way Casco	Phone: (207) 671-0109
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	

9) Section R317 Protection of Wood and Wood Based Products against decay. All wood framing members that rest on concrete or masonry exterior foundation walls and are less than 8 inches from the exposed ground.

Dept: Fire **Status:** Approved **Reviewer:** Chris Pirone **Approval Date:** 03/28/2013
Note: **Ok to Issue:**

- 2) Single-station photoelectric smoke alarms are required. They shall be powered by the building's electrical service with battery backup and shall be interconnected. Smoke alarms shall be installed in the following locations:
- (1) All sleeping rooms
 - (2) Outside each separate sleeping area, in the immediate vicinity of the sleeping rooms
 - (3) On each level of the dwelling unit, including basements.
- 3) Single-station Carbon Monoxide (CO) alarms are required. They shall be powered by the building's electrical service with battery backup and shall be interconnected. CO alarms shall be installed in the following locations:
- (1) Outside each separate dwelling unit sleeping area in the immediate vicinity of the bedrooms
 - (2) On every occupiable level of the dwelling unit, including basements, excluding attics and crawl spaces

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 2013-00264	Issue Date:	CBL: 105 T004001
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Location of Construction: 37 FESSENDEN AVE, L.D.I.	Owner Name: STEVENS DORIS J	Owner Address: 21 THOMAS ST PORTLAND, ME 04102	Phone: (207) 772-3846
Business Name:	Contractor Name: Peter Keef	Contractor Address: 6 Wilderness Way Casco ME 04015	Phone: (207) 671-0109
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	Zone: IR-2
Past Use: Single Family Home	Proposed Use: Single Family Home	Permit Fee: \$1,545.00	Cost of Work: \$145,000.00
Proposed Project Description: 44' x 14' one story addition connected by deck to main house (two bedrooms, 3/4 bath and sitting area)		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied <input type="checkbox"/> N/A	INSPECTION: Use Group: R3 Type: SB IRC, 2009 (MUBEC)
		Signature: <i>Capt Keef</i>	Signature: <i>AR</i>
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)			
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied			
		Signature:	Date:

Permit Taken By: LDOBSON	Date Applied For: 02/08/2013	Zoning Approval
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<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews <input checked="" type="checkbox"/> Shoreland <i>addition is 150' from shore.</i> <input type="checkbox"/> Wetland <input checked="" type="checkbox"/> Flood Zone <i>panel 14 land - V2 building - zone C</i> <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> <i>Ok w/condition</i> Date: 2/19/13	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>AR</i>
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

OUTLINE SPECIFICATIONS – GUEST COTTAGE FOR STEVENS ON LITTLE DIAMOND ISLAND

Program: Provide unconditioned seasonal accommodations for visiting children, grandchildren and dogs. Water service is May 1 to October 15th. Accommodations must also meet need of future elderly grandparents should they be unable to climb stairs.

Site: Under separate contract with Craig LeFebvre Excavating (see attached survey and location plan prepared by Lewis and Wasina.)

- Grade, loam and seed per site plan (no plantings).
- Power – existing is overhead from utility pole on Fessenden Ave to 100 amp service on east elevation of existing cottage.
- Water service - existing from water meter pit on Fessenden to NE corner of existing cottage
- Sanitary- Sewer line exits existing cottage at NE corner and drains to existing septic tank located beneath the proposed construction. Remove existing tank and leach field and connect sanitary line to new septic tank located south of the addition. A previously constructed new subsurface wastewater disposal system was designed by Albert Frick.

Structure:

- Foundation – 36 x 36 x 12 concrete footers, 10" diameter concrete sonotube posts
- Post and beam floor support -4x4 pt posts, 2-2x12 pt beams, pt framing/ ply for skirt walls
- Floor framing – 2x12 joists at 16" o.c. with ¾" APA rated sub floor.
- Deck framing – 2x12 at 16" o.c.
- Wall Framing/sheathing – 2x4 at 16 o.c.,5/8" APA rated sheathing
- Roof framing /sheathing – 2x8 at 24" o.c, 2x4 collar ties at 4' o.c. . ¾ APA rated sheathing plus ½ OSB roofing underlayment.
- Decking – 5/4 cedar decking.
- Deck railing – 42" high stainless steel cable railing.

Exterior Finishes:

- Walls – lower -white cedar shingles to match existing cottage. Upper – fiber cement board, board and batten pattern.
- Roofing – Certainteed XT 25 sea green asphalt shingles. Re-roof existing cottage as well. Apply ice and water shield on all 2/12 slopes.

Windows : Marvin Ultimate Clad

- Casements - CUFCA 4848 (clear opening = 3-1w x 3-7h = 11.3 sf)
- Awnings –CUAWN2424
- Patio Door – CUFSD10068 (low profile sill)
- Hardware – bronze

Doors:

- Exterior - 1- 3-0 x 6-8 glazed fir paneled door to match existing cottage exterior doors.
- Interior – 3 – 3-0x x 6-8 fir paneled doors, 1-2-0 x 6-8 fir paneled door

Interior finishes:

- Walls- Sitting room and bathroom : Fiber cement board, painted . Remaining walls: lower walls- fir bead board finished with tung oil. Upper walls Fiber cement board painted white-
- Ceilings – exposed structure and underside of roof deck – paint white. Dropped ceilings –fir bead board with tung oil finish in bathroom. Remaining ceilings – fiber cement board.
- Floors- Bathroom: Marmoleum. All other: heart pine, finished on site.
- Base and trim – 1x4 painted
- Millwork – Ikea base and wall cabinets in sitting room.

Heating and air conditioning - none

Electric – meet code; 40 gallon electric hot water heater.

Plumbing – pedestal lavatory, water closet, 3x3 fiberglass shower unit, bar sink in sitting room Supply and waste =PVC

Appliances- microwave, under counter refrigerator.

December 30 ,2012

Jonathan Rioux - RE: 37 Fessenden Ave., LDI

From: Paul Stevens <PStevens@SMRTInc.com>
To: 'Jonathan Rioux' <JRIOUX@portlandmaine.gov>
Date: 3/22/2013 1:11 PM
Subject: RE: 37 Fessenden Ave., LDI

Hi Jon, here are the answers to your questions:

- 1) The area of the existing cottage is 1685 sf. The addition is 616 sf or 37% of the existing. See drawing no. 2 for the key plan and the area tally.
- 2) There are actually 3-2x12's spanning the 11'-10 1/4". The rim member directly above the 2-2x12's is the third component of this structural assembly for this span. See drawing no 14 –"Structural Section"
- 3) The existing cottage has 3 bedrooms. The new septic system was designed for 5 bedrooms in anticipation of this 2 bedroom addition

Thanks for your help on this project, Jon.

From: Jonathan Rioux [mailto:JRIOUX@portlandmaine.gov]
Sent: Thursday, March 21, 2013 4:00 PM
To: Paul Stevens
Cc: Chris Pirone
Subject: 37 Fessenden Ave., LDI

Mr. Stevens,

Is the new addition (out building) 50% or greater of the total existing structure? The Girder(s) supporting the flooring system/ room must comply with R502.5, are you proposing to span he (2) 2 x 12 inch SPF # 2's @ 11-10 1/4" max? Did the subsurface wastewater disposal system account for the addition's bedrooms/ fixture counts?

Jonathan Rioux
Code Enforcement Officer/ Plan Reviewer

City of Portland
Planning and Urban Development Department
Inspection Services Division
389 Congress St. Rm 315
Portland, ME 04101
Office: 207.874.8702
Support Staff: 207.874.8703
jrioux@portlandmaine.gov

Notice: Under Maine law, documents - including e-mails - in the possession of public officials or city employees about government business may be classified as public records. There are very few exceptions. As a result, please be advised that what is written in an e-mail could be released to the public and/or the media if requested.

February 6, 2013

City of Portland
Planning and Urban Development
Inspections Division
389 Congress St.
Portland, ME 04101

RE: General Building Permit Application for a 2 bedroom, unconditioned, seasonal guest cottage at 37 Fessenden Avenue, Little Diamond Island

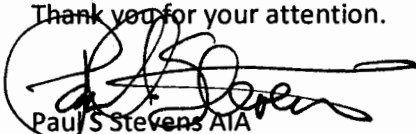
Attached please find documents in regard to this application:

- Application
- Outline Specifications
- Site Plan
- Construction Drawings no. 1 – 14

Earlier discussions with staff regarding this application raised issues regarding conformance with City energy code provisions. In regard to envelope construction this construction is exempt from the provisions of the International Energy Code per paragraph 101.5.2.2 and exempt from IRC 2009 per CH 11, Section N1101, N1101.1.

If you have any questions regarding this application, please call me at 207 650 0892.

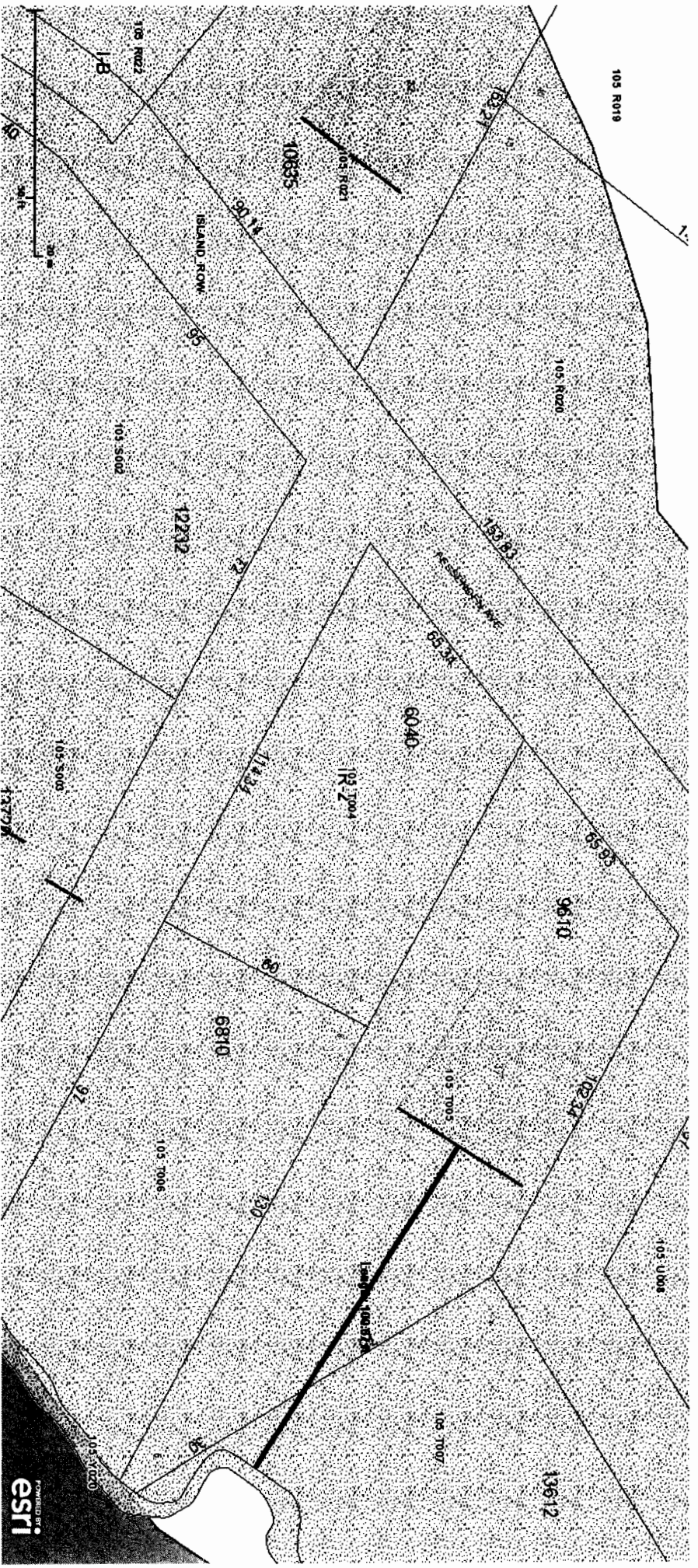
Thank you for your attention.



Paul S Stevens AIA
21 Thomas St
Portland, ME 04102

RECEIVED
FEB 08 2013
Dept. of Building Inspections
City of Portland Maine

37 Fessenden Ave., L.D.I.



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Pitch, Span, Spacing & Dimension (Table R802.5.1(1) - R 802.5.1(8)) Roof Rafter; Framing & Connections (Section R802.3 & R802.3.1)	2x8" @ 24" o.c.	→ 10'-1" Max for SPF #2
Sheathing; Floor, Wall and Roof (Table R503.2.1.1(1))	Floor: 3/4" / Wall: 5/8" / Roof: 1/2"	
Fastener Schedule (Table R602.3(1) & (2))		
Private Garage (Section R302.5) Living Space (Above or beside)? Table R302.6 Fire separation (Section R302.6) Opening Protection (Section R302.5.1)	N/A	
Emergency Escape and Rescue Openings (Section R310)		
Roof Covering (Section R905)		
Safety Glazing (Section R308)		
Attic Access (Section R807)		
Chimney Clearances/Fire Blocking (Chap. 10)		
Header Schedule (Tables R502.5(1) & (2))		
Energy Efficiency IECC, 2009 R-Factors of Walls, Floors, Ceilings, Building Envelope, U-Factor Fenestration Ventilation of Space per ASRAE 62.2, 2007		See Letter Dated 2/6/13 TAM (okay)

ONE AND TWO FAMILY	PLAN REVIEW	CHECKLIST
Soil type/Presumptive Load Value (Table R401.4.1) _____		
	Submitted Plan	Findings/Revisions/Dates
STRUCTURAL Footing Dimensions/Depth (Table R403.1 & R403.1(1), (Section R403.1 & R403.1.4.1)	36x36x12" Footings 10" Thck Wall	
Foundation Drainage, Fabric, Damp proofing (Section R405 & R406)		
Ventilation/Access (Section R408.1 & R408.3) Crawls Space ONLY	Crawl Space	} vents / Access required
Anchor Bolts/Straps, spacing (Section R403.1.6)		
Lally Column Type (Section R407)	4x4 Post	
Girder & Header Spans (Table R 502.5(2))	(2) 2x12" Beams	
Built-Up Wood Center Girder Dimension/Type		
Sill/Band Joist Type & Dimensions		
First Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2))	2x12" @ 16" O.C.	
Second Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2))	N/A	
Attic or additional Floor Joist Species Dimensions and Spacing (Table R802.4(1) and R802.4(2))		

Type of Heating System	N/A	"No Heating or Cooling"
Means of Egress (Sec R311 & R312)		
Basement	N/A	
Number of Stairways		
Interior		
Exterior		
Treads and Risers (Section R311.5.3)		
Width (Section R311.5.1)		
Headroom (Section R311.7.2)		
Guardrails and Handrails (Section R312 & R311.5.6 - R311.5.6.3)	42" Steel Railing	
Carbon Monoxide Alarms (R315)		
Smoke Alarms (Section R314)		
Location and Interconnected		
Dwelling Unit Separation (Section R302.3)	N/A	
Deck Construction (Section R502.2)	2x12" @ 16" O.C. → 12-0" Max 5/4 Cedar Decking	