

Location of Construction: <i>Little Diamond Island</i>		Owner: <i>Robert Feeney</i>		Phone: <i>878-0766</i>		Permit No. 960584	
Owner Address:		Leasee/Buyer's Name:		Phone:		Business Name:	
Contractor Name: <i>Robert Feeney</i>		Address:		Phone:		<div style="border: 2px solid black; padding: 5px; text-align: center;"> PERMIT ISSUED JUN 2 1996 CITY OF PORTLAND </div>	
Past Use: <i>Vacant Land</i>		Proposed Use: <i>1-fam</i>		COST OF WORK: \$ <i>125,000.00</i>		PERMIT FEE: \$ <i>645.00</i>	
				FIRE DEPT. <input type="checkbox"/> Approved <input type="checkbox"/> Denied		INSPECTION: Use Group: <i>P3</i> Type: <i>SR</i> <i>BOC 4/3/96</i>	
Proposed Project Description: <i>Construct 1-fam dwelling</i> <i>Construct Deck</i> <i>Construct Shed</i>				PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Conditions <input type="checkbox"/> Denied		Zoning Approval: Zone: <i>RE-1</i> CBL: <i>105-J-011</i> Special Zone or Reviews: <input checked="" type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan <input type="checkbox"/> maj <input type="checkbox"/> minor <input type="checkbox"/> mm <input type="checkbox"/>	
Permit Taken By: <i>Mary Gresik</i>		Date Applied For:		Signature:		Date:	

- This permit application doesn't preclude the Applicant(s) from meeting applicable State and Federal rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

PERMIT ISSUED WITH LETTER

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

18 June 1996 - Permit Routed
31 May 1996

SIGNATURE OF APPLICANT *Robert Feeney* ADDRESS: DATE: PHONE:

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE PHONE:

White-Permit Desk Green-Assessor's Canary-D.P.W. Pink-Public File Ivory Card-Inspector

CEO DISTRICT 6
A 2006

COMMENTS

1-31-97 Did an inspection with Mike Collins electrical inspector. Foundation was called in & checks out Ok. The plumber was appeared in the septic system by Mr. Kelly via the phone. Framing & wiring & plumbing are all rough in & check out ok. Smoke detectors are to be installed as per code.

Inspection Record

	Type	Date
Foundation:	_____	_____
Framing:	ME D/I	1-31-97
Plumbing:	_____	_____
Final:	_____	_____
Other:	_____	_____

BUILDING PERMIT REPORT

105-J-011

DATE: 21 June / 96 ADDRESS: 21 The Diamond Island
 REASON FOR PERMIT: To Construct a single Family dwelling.
 BUILDING OWNER: Robert Feeney
 CONTRACTOR: " " " APPROVED: *1, *7, *9, *11
 PERMIT APPLICANT: _____ DENIED: *13, *14, *15, *16

CONDITION OF APPROVAL OR DENIAL

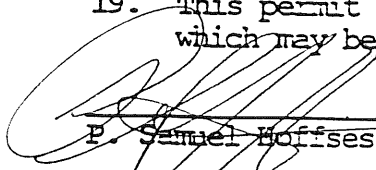
- * 1. Before concrete for foundation is placed, approvals from the Development Review Coordinator and Inspection Services must be obtained. (A 24 hour notice is required prior to inspection)
2. Precaution must be taken to protect concrete from freezing.
3. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed. This is done to verify that the proper setbacks are maintained.
4. All vertical openings shall be enclosed with construction having a fire rating of at least one(1) hour, including fire doors with selfclosers.
5. Each apartment shall have access to two(2) separate, remote and approved means of egress. A single exit is acceptable when it exits directly from the apartment to the building exterior with no communications to other apartment units.

6. The boiler shall be protected by enclosing with one(1) hour fire-rated construction including fire doors and ceiling, or by providing automatic extinguishment. Sprinkler piping serving not more than six sprinklers may be connected to a domestic water supply having a capacity sufficient to provide 0.15 gallons per minute, per square foot of floor throughout the entire area. An INDICATING shut-off valve shall be installed in an accessible location between the sprinkler and the connection to the domestic water supply. Minimum pipe size shall be 3/4 inch copper or 1 inch steel. Maximum coverage area of a residential sprinkler is 144 sq. feet per sprinkler.
- * 7. Every sleeping room below the fourth story in buildings of Use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue. The units must be operable from the inside without the use of special knowledge or separate tools. Where windows are provided as means of egress or rescue, they shall have a sill height not more than 44 inches (1118mm) above the floor. All egress or rescue windows from sleeping rooms shall have a minimum net clear opening height dimension of 24 inches (610mm). The minimum net clear opening width dimension shall be 20 inches (508 mm), and a minimum net clear opening of 5.7 sq. feet.
8. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type.
- * 9. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's building code Chapter 9, section 19, 919.3.2(BOC: National Building Code/1993), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following locations):

1. In the immediate vicinity of bedrooms
2. In all bedrooms
3. In each story within a dwelling unit, including basements

In addition to the required AC primary power source, required smoke detectors in occupancies in Use Groups R-2, R-3 and I-1 shall receive power from a battery when the AC primary power source is interrupted.

10. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating. Private garages attached side-by-side to rooms in the above occupancies shall be completely separated from the interior spaces and the attic area by means of 1/2 inch gypsum board or the equivalent applied to the garage side. (Chapter 4 section 407.0 of the BOCA/1993)
- X 11. Guardrail & Handrails-A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level. Minimum height all Use Groups 42", except Use Group R which is 36". In occupancies in Use Group A, B, H-4, I-1, I-2 M and R and public garages and open parking structures, open guards shall have balusters or be of solid material such that a sphere with a diameter of 4" cannot pass through any opening. Guards shall not have an ornamental pattern that would provide a ladder effect.
12. All exit signs, lights, and means of egress lighting shall be done in accordance with Chapter 10, section & subsections 1023. & 1024. of the City's building code. (The BOCA National Building Code/1993)
- X 13. Stair construction in Use Group R-3 & R-4 is a minimum of 9" tread and 8-1/4" maximum rise. ~~All other Use Group minimum 11" tread, 7" maximum rise.~~
- X 14. Headroom in habitable space is a minimum of 7'6".
- X 15. The minimum headroom in all parts of a stairway shall not be less than 80 inches.
- X 16. All construction and demolition debris must be disposed at the City's authorized reclamation site. The fee rate is attached. Proof of such disposal must be furnished to the office of Inspection Services before final Certificate of Occupancy is issued or demolition permit is granted.
17. Section 25-135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".
18. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act, Title 5 MRSA refers, shall obtain a certification from a design professional that the plans of the facility meet the standards of construction required by this section. Prior to commencing construction of the facility, the builder shall submit the certification to the Division of Inspection Services.
19. This permit does not excuse the applicant from obtaining any license which may be needed from the City Clerk's Office.


P. Samuel Hoffses, Chief of Inspection Services

/e/ 3/16/95

Applicant: Robert Feeney
Address: Little Diamond Island
Assessors No.: 105-J-1

Date: 6/20/96

CHECK-LIST AGAINST ZONING ORDINANCE

Date - new

Zone Location - IR-1

Interior or corner lot -

Use - 1-family with deck & shed

Sewage Disposal - HAS WATER

Rear Yards - 30' req - ~100' shown

Side Yards - 20' req - ~40' shown

Front Yards - 30' req - 100' + shown

Projections -

Height - 35' max

Lot Area - 40,000^{sq} req - 60,000^{sq} shown (has public water)

Building Area - max 20% of lot area = 12,200^{sq} max coverage

Area per Family -

Width of Lot - 100' min house ~ 139' shown

Lot Frontage - 32' wide access (16' min req) - 139' frontage

Off-street Parking - 2 shown

Loading Bays - NA

Site Plan - minor/minor

Shoreland Zoning - yes - it is over 75' back from high water

Flood Plains - ~~MAP 14~~ of 17 - MARK - ~100' back is shown - utility Bldg is beyond the 250' setback Shoreland Zone

Zone C - where house is placed
some flood area close to the shore

Needs
HAK
200

RE: Little Diamond Island
Robert Feeney
105-J-11

SHORELAND ZONING REQUIREMENTS

WITHIN 75' OF NORMAL HIGH-WATER LINE:

- There shall be no cleared openings.
- A well-distributed stand of trees and other vegetation, including existing ground cover, shall be maintained.
- Clearing of vegetation for development is not allowed, except to remove safety hazards.
- No cleared opening greater than 250 square feet in the forest canopy as measured from the outer limits of the tree crown is allowable. However a footpath not to exceed 10' in width as measured between tree trunks is permitted provided that a clear line of sight to the water through the buffer strip is not created.
- There shall be no accessory structures constructed, such as piers, docks, wharves, bridges, stairways, parking areas, and retaining walls without permits and review.

BEYOND THE 75' SETBACK, WITHIN SHORELAND ZONE:

- There shall be permitted on any lot in any 10 year period, selective cutting of not more than 40% of the volume of trees 4" or more in diameter, measured 4.5 feet above ground level. Tree removal in conjunction with the development of permitted uses shall be included in the 40% calculations. Pruning of tree branches on the bottom 1/3 of the tree is permitted.
- In no event shall cleared openings for development, including but not limited to, principal and accessory structures, driveways, and sewage disposal areas, exceed in the aggregate, 25% of the lot area or 10,000 square feet, whichever is greater.

RE: Timber Harvesting:

- There can be no single clear cut openings greater than 10,000 square feet in the forest canopy (measured from the edge of the crown of trees).
- Clear cut openings greater than 5,000 square feet must be 100' apart.
- Clear cut openings must be included in the calculations of total volume removal.

A: SHORZONE
8/24/95

KEEP THIS PORTION

ACCOUNT NUMBER

CBL

P39295-96

105-- J-011-001

1996 REAL ESTATE PROPERTY TAX STATEMENT

City of Portland

Fiscal Year 1996

July 1, 1995 - June 30, 1996

LENDING INST:



Owner of Record as of April 1, 1995

Assessed Property Description

PRATT S MASON JR
& CAROL C JTS
3 STORER ST
PORTLAND ME 04102

105-J-11
LITTLE DIAMOND ISLAND
61000 SF

CURRENT BILLING DISTRIBUTION		CURRENT BILLING INFORMATION	
School	\$ 1,293.54	Land Value	\$ 99,000.00
Parks/Public Works	\$ 226.12	Building Value	\$.00
Fire	\$ 194.52	Total Value	\$ 99,000.00
Police	\$ 192.08	Exemptions	\$.00
Debt Repayments	\$ 209.10	Taxable Value	\$ 99,000.00
General Government	\$ 82.67	Tax Rate	\$ 24.56
County	\$ 85.10	TOTAL TAX	\$ 2,431.44
Health/Human Services	\$ 24.31	AMOUNT PAID	\$ 1,215.72
Library	\$ 60.79		
Metro Transit District	\$ 58.35		
Enterprise Activities	\$ 4.86		

Remittance Instructions

To avoid standing in line, it is recommended that taxes be paid by mail. Please make check or money order payable to:

CITY OF PORTLAND
Mail To:
City of Portland P.O. Box 544
Portland, Me. 04112-0544

PAID
2/20/96
CHK# 23409

For Additional Information please see the reverse side of this bill

Inspection Services
P. Samuel Hoffses
Chief



Planning and Urban Development
Joseph E. Gray Jr.
Director

CITY OF PORTLAND

June 21, 1996

Mr. Robert Feeney
7 Shady Lane
Falmouth, Me. 04105

Re: Little Diamond Island 105-J-011

Dear Sir

Your application to construct a single family dwelling as per plans has been reviewed and a permit is herewith issued with the following requirements: This permit does not excuse the applicant from meeting applicable State and Federal Rules and regulations.

Site Plan Review Requirements


Zoning : The attached requirements shall be met during construction . M. Schmuckal

Development Review Coordinator : Please see attached standard conditions checklist.
2. Erosion control shall be installed along 75' shoreline buffer. J. Seymour

Building Code Requirements

1. Please read and implement items 1,7,9,11,13,14,15,&16 of the attach building permit report.

Sincerely


P. Samuel Hoffses
Chief of Code Enforcement

cc : M. Schmuckal Asst. Chief of Insp.
J. Seymour

50377

WARRANTY DEED
Statutory Short Form

MAINE REAL ESTATE TAX PAID

KNOW ALL BY THESE PRESENTS That We, S. MASON PRATT, JR. and CAROL C. PRATT, Grantors, of Portland, Cumberland County, Maine, for consideration paid, grant to FALMOUTH MANOR, Grantee, a Maine corporation, with a mailing address of 7 Shady Lane, Falmouth, Cumberland County, Maine 04105, with Warranty Covenants, the land and buildings on Little Diamond Island, Portland, Cumberland County, Maine, described as follows:

A certain lot or parcel of land located at Little Diamond Island, in Portland, County of Cumberland and State of Maine, more particularly described as follows:

Lot No. 11 as shown on Recording Plat of Land on Little Diamond Island, Portland, Maine for St. Joseph's Convent & Hospital prepared by Owen Haskell, Inc. dated June, 1984, recorded in Cumberland County Registry of Deeds in Plan Book 147, Page 61 (hereinafter the "Plat").

This conveyance of the premises herein described is subject to the following restrictions, which shall run with the land, and Grantees by their acceptance of this Deed agrees for themselves, their heirs and assigns forever to be bound by such restrictions:

1. Land Use.

Lot No. 11 shall be used solely for a single family residence, which shall not be a mobile home.

2. Limitation on Further Subdivision.

Lot No. 11 shall not be further divided.

3. Prohibition on Use of Motor Vehicles.

Use of motor vehicles on the land shown on said Plat (the "Protected Property") by Grantees and their heirs, assigns, and invitees shall be limited to (a) vehicles necessary for construction, repair and rebuilding of permitted structures (which vehicles shall be restricted to the Protected Property) and (b) service vehicles for trash collection and the like. Notwithstanding the foregoing, garden tractors (of not more than eight horsepower) and golf carts may be maintained and used on the Protected Property.

4. Oak Tree Protection.

Oak trees shall be preserved to the extent reasonably possible consistent with single family development on Lot No. 11.

5. Maintenance of Rights-of-Way.

The right-of-way known as Rockledge Avenue and the right-of-way to Lots 10, 11 and 12 as shown on said Plat shall be maintained by St. Joseph's Convent & Hospital, Grantees and their heirs and assigns as provided hereinbelow. The rights-of-way shall be kept passable at all times for emergency vehicles and service vehicles. All expenses relating to the maintenance of the rights-of-way shall be assessed to and paid by the owner of each lot in equal pro-rata shares. Initially, St. Joseph's Convent & Hospital as owner of all the lots on said Plat shall bear all the cost of said maintenance. As each lot is sold, the lot owner shall be obligated to pay his pro-rata share, or one-fourteenth, of such expenses with St. Joseph's Convent & Hospital paying the balance until such time as all of the lots shall have been sold. The obligation to pay such assessment shall be an obligation running with the land of each lot owner and each lot owner agrees for himself, his successors and assigns, to pay to St. Joseph's Convent & Hospital, its successors and assigns such assessment within thirty (30) days of receipt of a statement therefor. St. Joseph's Convent & Hospital, its successors and assigns shall have the authority to collect and enforce the collection of all such charges and assessments and each lot shall be subject to a lien to secure the payment of any such charges and assessments.

6. Binding Effect.

The covenants agreed to under the terms, conditions, restrictions and purposes imposed by this Deed shall be binding upon Grantees and Grantees' successors and assigns and all other successors to Grantees' interests and shall continue as a servitude running in perpetuity with the Protected Property.

This conveyance is subject to the restrictions contained in a certain Conservation Easement from St. Joseph's Convent & Hospital to Little Diamond Island Association dated July 26, 1984 and recorded in said Registry of Deeds in Book 6764, Page 184, and the terms, conditions and restrictions contained on said Plat.

Being the same premises conveyed by St. Joseph's Convent & Hospital to S. Mason Pratt, Jr. and Carol C. Pratt by deed dated August 21, 1987, recorded in

Cumberland County Registry of Deeds in Book 7942,
Page 325.

SUBJECT TO conditions set forth in Site Location Order
of the State of Maine Department of Environmental Protection
dated November 27, 1984 and recorded in said Registry of
Deeds in Book 6638, Page 182.

SUBJECT TO rights and easements granted to Portland
Water District over a strip of land shown as a 32 foot wide
access and utility easement on the plan entitled "Little
Diamond Island" recorded in said Registry of Deeds in Plan
Book 147, Page 61, from St. Joseph's Convent & Hospital set
forth in the deed dated August 11, 1986 and recorded in said
Registry of Deeds in Book 7323, Page 300.

WITNESS our hands and seals this 27th day of SEPTEMBER, 1995.

Witness:

Paul S. Bulger
to 6072

S. Mason Pratt, Jr.
Carol C. Pratt
Carol C. Pratt

STATE OF MAINE
COUNTY OF CUMBERLAND, ss.

On September 27, 1995, personally appeared the
above-named Grantors and severally acknowledged the foregoing
instrument to be their free act and deed.

Before me,

Paul S. Bulger
Notary Public/Maine Attorney-at-Law
Printed Name:
PAUL S. BULGER

TXR:45909-1.wp

RECEIVED
RECORDED REGISTRY OF DEEDS
95 SEP 27 PH 3:42
CUMBERLAND COUNTY
John B O'Brien

CITY OF PORTLAND, MAINE
 SITE PLAN REVIEW (ADDENDUM)
 CONDITIONS OF APPROVAL

APPLICANT: ROBERT FEENEY
 ADDRESS: 7 SHADY LANE, FALMOUTH, ME 04105
 SITE ADDRESS/LOCATION: LITTLE DIAMOND ISLAND
 DATE: _____

Review by the Development Review Coordinator is for General Conformance with ordinances and standards only and does not relieve the applicant, his contractors or agents from the responsibility to provide a completely finished site, including but not limited to: increasing or concentrating of all surface runoff onto adjacent or downstream properties, issues regarding vehicle sight distance, location of public utilities and foundation elevations.

CONDITIONS CHECKED OFF BELOW WILL BE ENFORCED FOR YOUR SITE PLAN

1. All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a Certificate of Occupancy.
2. Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy. *SHALL LEAVE A MINIMUM OF TWO EXISTING TREES ALONG DRIVE FRONTAGE*
3. Your new street address is now LITTLE DIAMOND ISLAND, the number must be displayed on the street frontage of your house prior to issuance of Certificate of Occupancy.
4. The Development Review Coordinator (874-8300 ext. 8722) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.
5. Show all utility connections: water, sanitary sewer, storm drain, electric, telephone, cable.
6. _____ A sewer permit is required for your project. Please contact Carol Poliskey at 874-8300, ext. 8828. The Wastewater and Drainage section of Public Works must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.

7. _____ A street opening permit(s) is required for your site. Please contact Carol Poliskey at 874-8300 , ext. 8828. (Only excavators licensed by the City of Portland are eligible.)

8. _____ As-built record information for sewer and stormwater service connections must be submitted to Parks and Public Works Engineering Section (55 Portland Street) and approved prior to issuance of a Certificate of Occupancy.

9. _____ The building contractor shall check the subdivision recording plat for pre-determined first floor elevation and establish the first floor elevation (FFE) and sill elevation (SE) to be set above the finish street/curb elevation to allow for positive drainage away from entire footprint of building.

10. ✓ The site contractor shall establish finish grades at the building foundation, bulkhead and basement windows to be in conformance with the first floor elevation (FFE) and sill elevation (SE) set by the building contractor to provide for positive drainage away from entire footprint of building.

11. ✓ A drainage plan shall be submitted to and approved by Development Review Coordinator showing first floor elevation (FFE), sill elevation (SE), finish street/curb elevation, lot grading, existing and proposed contours, drainage patterns and paths, drainage swales, grades at or near abutting property lines, erosion control devices and locations and outlets for the drainage from the property.

12. ✓ The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.

13. ✓ ~~THE APPLICANT SHALL PROVIDE EROSION CONTROL MEASURES DOWN GRADIENT OF THE HOME TO PREVENT SEDIMENTS FROM BEING TRANSPORTED TO THE SHORE. THE APPLICANT SHALL MAINTAIN A 75' BUFFER FROM THE~~

cc: Katherine Staples, P.E., City Engineer

SHORES' EDGE (MEAN HIGH WATER MARK)
IN ACCORDANCE WITH THE SHORELAND ZONE
ORDINANCE



**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM**

I. D. Number _____

Applicant Robert Feeney (Falmouth Manor)
7 Shady Ln Falmouth, ME 04105

31 May 1996
Application Date

Applicant's Mailing Address _____
Consultant/Agent Rob - 878-0788

Project Name/Description Little Diamond Island
Address of Proposed Site 105-J-011

Applicant or Agent Daytime Telephone, Fax _____

Assessor's Reference: Chart-Block-Lot _____

Proposed Development (check all that apply): New Building Building Addition Change of Use Residential
 Office Retail Manufacturing Warehouse/Distribution Other (specify) _____
1,604 GFC 2,836 Total 61,000 Sq Ft
Proposed Building Square Feet or # of Units Acreage of Site Zoning

Check Review Required:

- | | | | |
|--|--|---|--|
| <input type="checkbox"/> Site Plan (major/minor) | <input type="checkbox"/> Subdivision # of lots _____ | <input type="checkbox"/> PAD Review | <input type="checkbox"/> 14-403 Streets Review |
| <input type="checkbox"/> Flood Hazard | <input type="checkbox"/> Shoreland | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional Use (ZBA/PB) | <input type="checkbox"/> Zoning Variance | <input checked="" type="checkbox"/> Single-Family Minor | <input type="checkbox"/> Other _____ |

Fees paid: site plan 50.00 subdivision _____

Approval Status:

Reviewer JAMES SEYMOUR

- Approved Approved w/Conditions listed below Denied

- Please see attached standard conditions checklist
- Erosion control shall be installed along 75' shoreline buffer.
- _____
- _____

Approval Date 6/14/96 Approval Expiration 6/97 Extension to _____ date _____ date _____ Additional Sheets Attached

Condition Compliance _____ signature _____ date _____

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input type="checkbox"/> Performance Guarantee Accepted	_____ date _____	_____ amount _____	_____ expiration date _____
<input type="checkbox"/> Inspection Fee Paid	_____ date _____	_____ amount _____	
Performance Guarantee Reduced	_____ date _____	_____ remaining balance _____	_____ signature _____
Performance Guarantee Released	_____ date _____	_____ signature _____	
Defect Guarantee Submitted	_____ submitted date _____	_____ amount _____	_____ expiration date _____
Defect Guarantee Released	_____ date _____	_____ signature _____	

Address: Little Diamond Island 105-J-011



**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM**

I. D. Number _____

Applicant Robert Feeney (Falmouth Manor)
7 Shady Ln Falmouth, ME 04105

31 May 1996
Application Date

Applicant's Mailing Address
Bob - 878-0788

Project Name/Description
Little Diamond Island

Consultant/Agent _____

Address of Proposed Site
105-J-011

Applicant or Agent Daytime Telephone, Fax _____

Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change of Use Residential
 Office Retail Manufacturing Warehouse/Distribution Other (specify) _____
1,604 GFC 2,836 Total 61,000 Sq Ft IR-1
Proposed Building Square Feet or # of Units Acreage of Site Zoning

Check Review Required:

- | | | | |
|--|--|---|--|
| <input type="checkbox"/> Site Plan (major/minor) | <input type="checkbox"/> Subdivision # of lots _____ | <input type="checkbox"/> PAD Review | <input type="checkbox"/> 14-403 Streets Review |
| <input type="checkbox"/> Flood Hazard | <input type="checkbox"/> Shoreland | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional Use (ZBA/PB) | <input type="checkbox"/> Zoning Variance | <input checked="" type="checkbox"/> Single-Family Minor | <input type="checkbox"/> Other _____ |

Fees paid: site plan 50.00 subdivision _____

Approval Status:

Reviewer Marge Schmuckel

- Approved **Approved w/Conditions** listed below Denied

1. The Attached shoreland zoning requirements shall be met during construction

Approval Date 6/21/96 Approval Expiration _____ date Extension to _____ date Additional Sheets Attached

Condition Compliance _____ signature _____ date

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input type="checkbox"/> Performance Guarantee Accepted	_____ date	_____ amount	_____ expiration date
<input type="checkbox"/> Inspection Fee Paid	_____ date	_____ amount	
Performance Guarantee Reduced	_____ date	_____ remaining balance	_____ signature
Performance Guarantee Released	_____ date	_____ signature	
Defect Guarantee Submitted	_____ submitted date	_____ amount	_____ expiration date
Defect Guarantee Released	_____ date	_____ signature	

Address: Little Diamond Island 105-J-011

S.W. COLE

ENGINEERING, INC.
GEOTECHNICAL CONSULTANTS

Gray Plaza, P.O. Box 378, Gray, ME 04039 TEL (207) 657-2866 FAX (207) 657-2840

Six Liberty Drive, Bangor, ME 04401 TEL (207) 848-5714 FAX (207) 848-2403
161 Water St., P.O. Box 220, Caribou, ME 04736 TEL (207) 496-1511 FAX (207) 496-1501

96-55 S

February 29, 1996

L.D.I. 105-G-011
Feeney
Robert Feeney
7 Shady Lane
Falmouth, ME 04105

Subject: Bearing Capacity Assessment
New Home Foundation
Lot #11
Little Diamond Island

Dear Mr. Feeney:

As requested, we made a site visit to Lot #11 on February 28, 1996, to observe backhoe-dug test pits for the proposed home on Little Diamond Island. The purpose of our visit was to provide an assessment of allowable bearing capacity of the subgrade soils, provide our opinion of the potential for post-construction settlement and to provide equivalent fluid pressures for use in foundation wall design (performed by others).

We understand that a two story wood framed home is to be constructed. The foundation footprint will be T-shaped with the northerly half on the order of 22 X 22 feet in plan dimension while the southerly half on the order of 22 X 42 feet in plan dimensions. A full basement is planned under the southeast portion of the home while the remainder will be crawl space.

Four test pits were made using a small rubber-tired backhoe. The test pit locations were selected by S. W. COLE ENGINEERING, INC. The approximate locations of the exploration are shown on the "Exploration Location Sketch", attached as Sheet 1. Logs of the test pits are attached as Sheets 2 and 3. One grain size analysis is attached as Sheet 4.

The test pits generally consisted of 4 to 8 inches of dark brown organics overlying 1.3 to 1.7 feet of rust brown silty gravelly sand which is overlying olive brown sand with

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GEOTECHNICAL CONSULTANTS
96-055 S
February 29, 1996

varying amounts of gravel and silt with some cobbles and boulders. The test pits were terminated in the olive sand at depths of 5.0 to 7.5 feet. Groundwater seepage was not observed within the depths of the explorations long term groundwater information is not available.

Based on our observations and laboratory testing, we recommend that footings be designed for an allowable soil bearing capacity of 3.0 ksf. All footings should be at least 18 inches in width. The grain size analysis indicates that the olive gravelly sand with a trace of silt encountered below about 2 feet from the ground surface would be suitable for foundation backfill. Based on the above native soil being used as foundation backfill; an at rest lateral earth pressure coefficient of .45 and an equivalent unit weight of 60 pcf should be used in design. We do not anticipate any significant settlement of the proposed structure provided the foundation is placed on undisturbed native olive brown gravelly sand with a trace of silt. It is important that if the subgrade surface becomes disturbed during the excavation process, the subgrade should be densified with a portable compactor prior to placing footings. Also, if any boulder or cobbles are removed at or near subgrade elevation that leave a depression below subgrade, the depression should be backfilled with the native gravelly sand and compacted to at least 95 percent of its maximum dry density as determined by ASTM D-1557.

We understand that an exterior peripheral underdrain system is proposed for the structure. We further recommend that an interior underdrain system be installed adjacent to the inside of the footing in the proposed basement area. A typical underdrain detail is provided as Sheet 5. Also, adequate ventilation of the crawl space should be provided to minimize moisture related problems.

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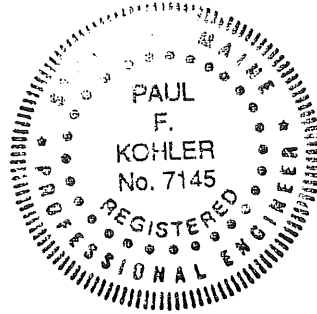
If you have any questions or need further information, please do not hesitate to contact us.

Sincerely,

S. W. COLE ENGINEERING, INC.

Robert E. Chaput
Robert E. Chaput, Soils Engineer

Paul F. Kohler
Paul F. Kohler, P.E.



REC:PFK/jel

CC: Leasure Architects - J. Leasure

PROJECT

ROBERT FEENEY/LITTLE DIAMOND ISLAND/NEW HOME

COMP. BY

BEL

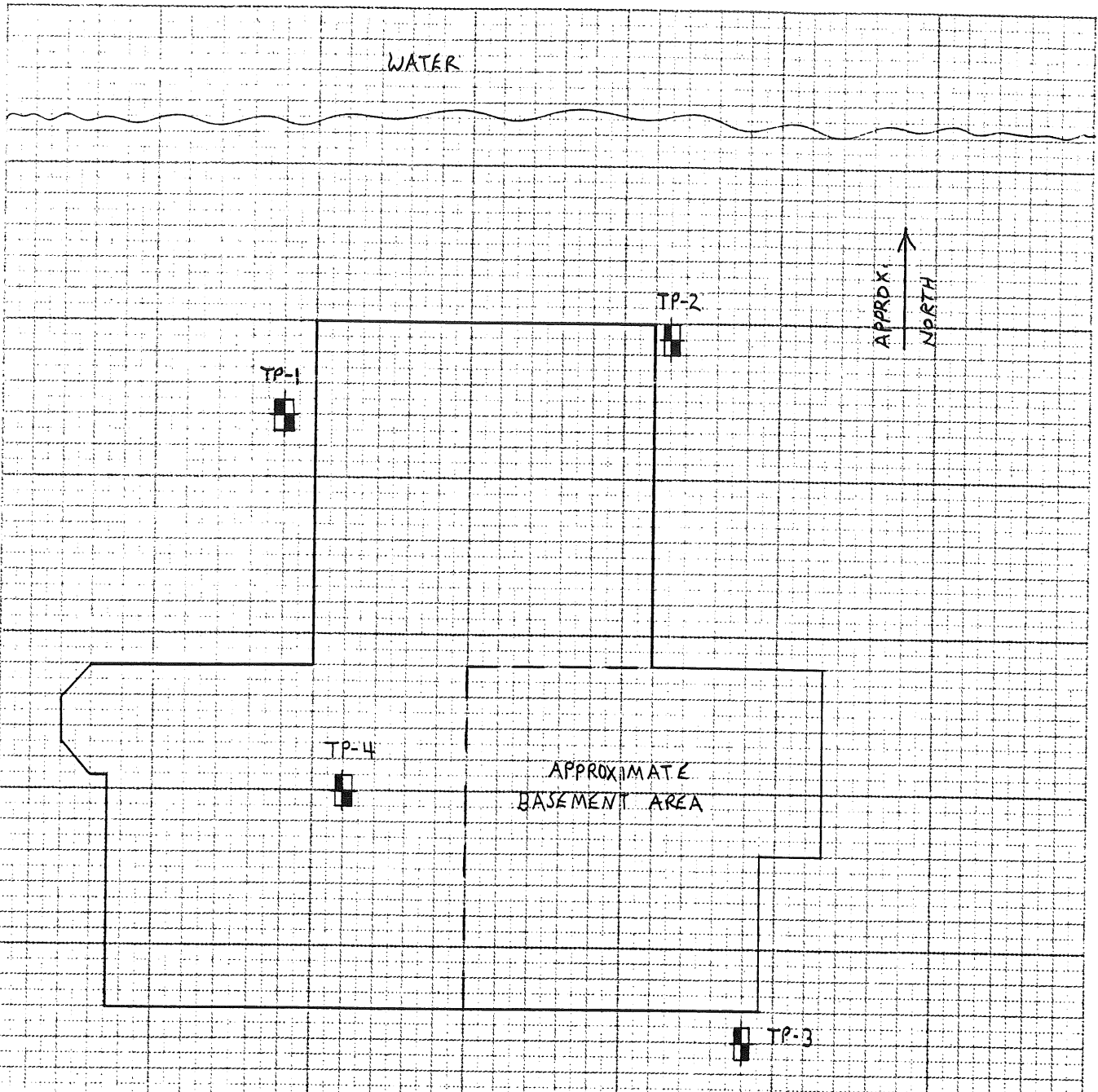
CHK. BY

JOB NO.

96-55^s

DATE

2-29-96



LEGEND



APPROXIMATE TEST PIT LOCATION

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ROBERT FEENEY

EXPLORATION LOCATION SKETCH

PROPOSED HOME

LOT NO. 11

LITTLE DIAMOND ISLAND

JOB NO: 96-55^s

SCALE: 1" = 10'

DATE: 2-29-96

SHEET: 1

LOG OF TEST PIT TP-1

DATE 2-27-96 SURFACE ELEV. _____ LOCATION SEE SHEET 1

Depth (ft.)	Symbol	Sample	Soil Description	Test Results
0			4" DARK BROWN ORGANICS	
			2.0' RUST BROWN SILTY GRAVELLY SAND W/ROOTS	
			BROWN OLIVE/GRAY GRAVELLY SAND W/SOME SILT, BOULDER	
5	X	S-1	5.0'	
10				

Completion Depth 5.0'

Depth to Water NO FREE WATER OBSERVED

LOG OF TEST PIT TP-2

DATE 2-27-96 SURFACE ELEV. _____ LOCATION SEE SHEET 1

Depth (ft.)	Symbol	Sample	Soil Description	Test Results
0			3" DARK BROWN ORGANICS	
			2.0' RUST BROWN SILTY GRAVELLY SAND W/ROOTS	
			BROWN OLIVE/GRAY GRAVELLY SAND W/TRACE OF SILT, COBBLES	
5	X	S-1	5.0'	
10				

Completion Depth 5.0'

Depth to Water NO FREE WATER OBSERVED

LOG OF TEST PIT TP-3

DATE 2-27-96 SURFACE ELEV. _____ LOCATION SEE SHEET 1

Depth (ft.)	Symbol	Sample	Soil Description	Test Results
0			6" DARK BROWN ORGANICS	
			2.0' RUST BROWN SILTY GRAVELLY SAND W/ROOTS	
5			BROWN OLIVE / GRAVELLY SAND W/TRACE OF SILT, COBBLES, BOULDER	
	X	S-1	7.5'	

Completion Depth 7.5'

Depth to Water NO FREE WATER OBSERVED

LOG OF TEST PIT TP-4

DATE 2-27-96 SURFACE ELEV. _____ LOCATION SEE SHEET 1

Depth (ft.)	Symbol	Sample	Soil Description	Test Results
0			8" DARK BROWN ORGANICS	
			2.0' RUST BROWN SILTY GRAVELLY SAND W/ ROOTS, COBBLES	
5			BROWN OLIVE / GRAVELLY SAND W/TRACE OF SILT, COBBLES	
			5.0'	

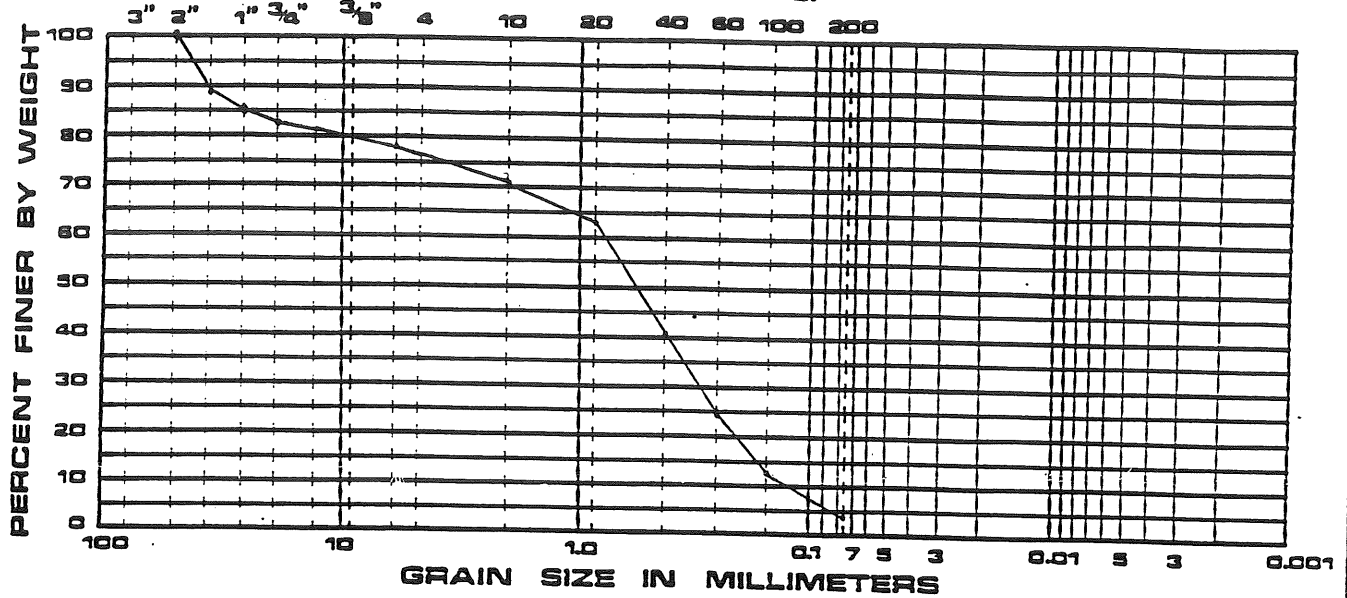
Completion Depth 5.0'

Depth to Water NO FREE WATER OBSERVED

GRAIN SIZE ANALYSIS

COBBLE	GRAVEL		SAND			SILT OR CLAY
	COARSE	FINE	COA.	MEDIUM	FINE	

U.S. STANDARD SIEVE SIZE NO.

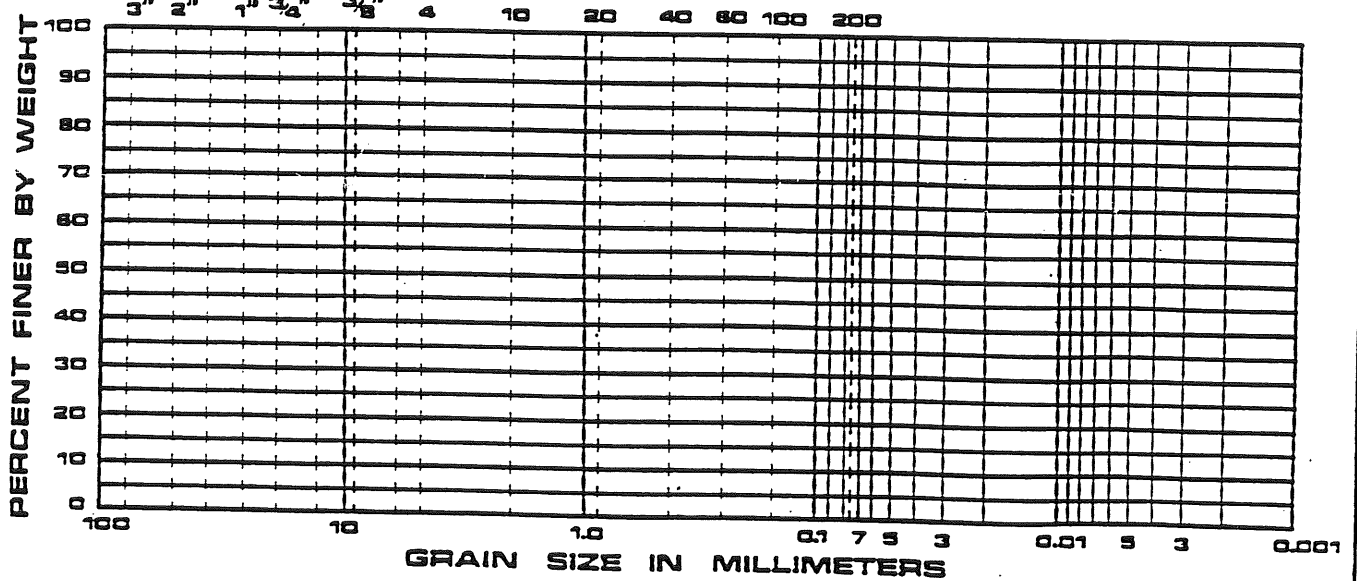


PLOT	SOURCE	SAMP.	DEPTH	CLASSIFICATION	W
•	TP-2	S-1	5'	GRAVELLY SAND W/TRACE OF SILT	

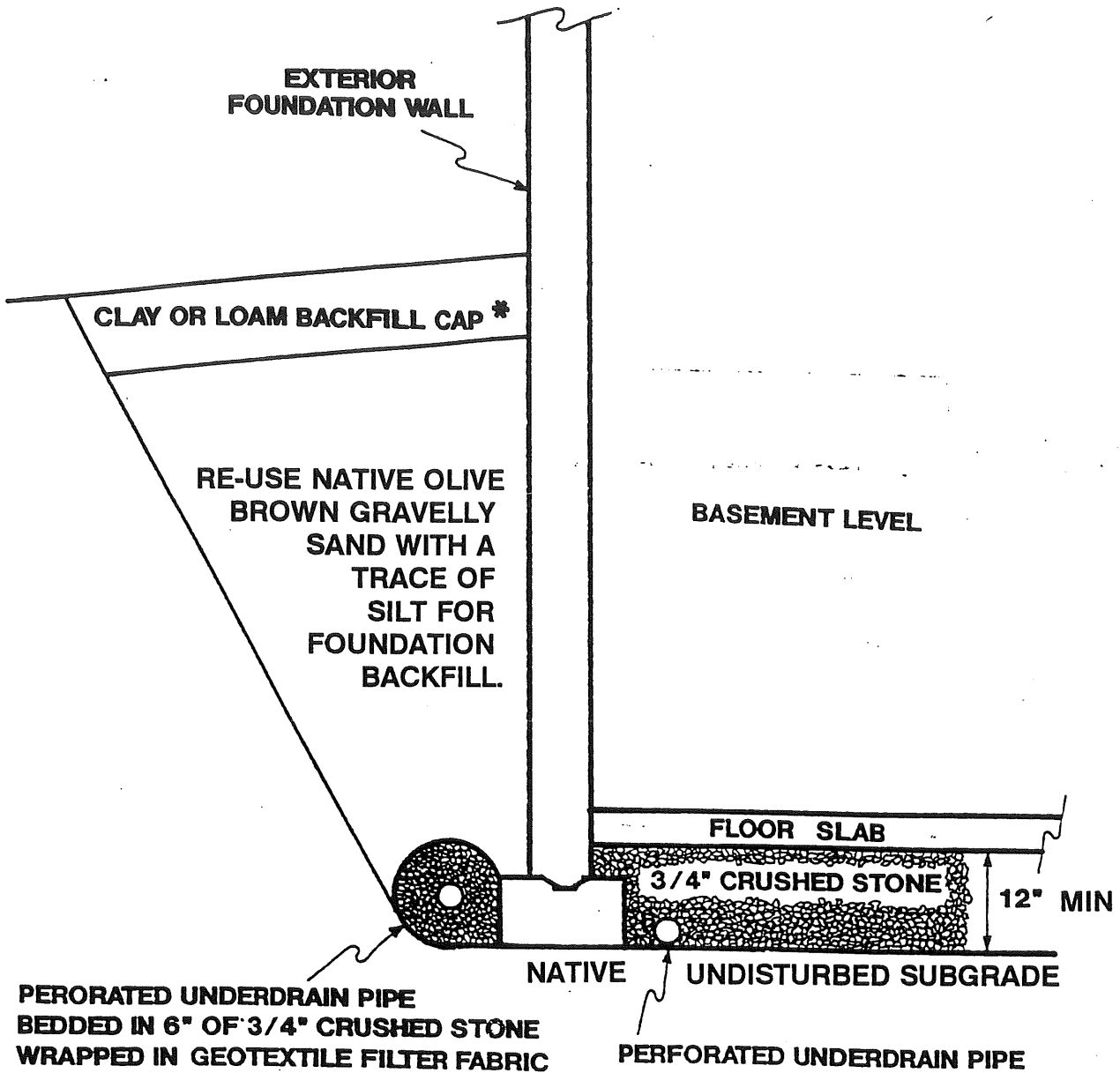
GRAIN SIZE ANALYSIS

COBBLE	GRAVEL		SAND			SILT OR CLAY
	COARSE	FINE	COA.	MEDIUM	FINE	

U.S. STANDARD SIEVE SIZE NO.



PLOT	SOURCE	SAMP.	DEPTH	CLASSIFICATION	W



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 GEOTECHNICAL CONSULTANT**

**ROBERT FEENEY
 UNDERDRAIN DETAIL
 PROPOSED HOME**

LOT NO. 11 LITTLE DIAMOND ISLAND

*** IN AREAS NOT TO BE PAVED
 OR OCCUPIED BY ENTRANCE
 SLABS.**

**Job No. 96-055 S Scale NOT TO SCALE
 Date February 29, 1996 Sheet 5**