

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

**CITY OF PORTLAND**

BUILDING DEPARTMENT

**PERMIT**

**PERMIT ISSUED**

Please Read Application And Notes, If Any, Attached

This is to certify that Shaw Marjorie/Wright Ryan Construction Company LLC Urbey Lanou  
has permission to new 6 bedroom 3.5 Bath Single Family Home FEB 4 2011  
AT 0 ROCKLEDGE AVE GDI 105-1009001 City of Portland

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lath or other work is used-in. 2 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

**OTHER REQUIRED APPROVALS**  
Fire Dept. [Signature]  
Health Dept. [Signature]  
Appeal Board \_\_\_\_\_  
Other \_\_\_\_\_  
Department Name \_\_\_\_\_

Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**

**City of Portland, Maine - Building or Use Permit Application**  
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-1407	Issue Date:	CBL: 105 J009001
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Location of Construction: 0 ROCKLEDGE AVE EDI	Owner Name: Shaw Marjorie	Owner Address: 400 Danforth Street	Phone:
Business Name:	Contractor Name: Wright Ryan Construction, Inc /Gre	Contractor Address: 10 Danforth Street Portland	Phone 2077733625
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	Zone: IR 1

Past Use: Vacant Land	Proposed Use: Single Family Home - new 6 bedroom 3.5 Bath Single Family Home	Permit Fee: \$8,095.00	Cost of Work: \$800,000.00	CEO District: 1
Proposed Project Description: new 6 bedroom 3.5 Bath Single Family Home		FIRE DEPT: <input checked="" type="checkbox"/> Approved w/conditions 12/4/10	INSPECTION: Use Group: R3 Type: S0 IR, 2009	
		Signature: <i>[Signature]</i>	Signature: <i>[Signature]</i>	
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: _____ Date: _____		

Permit Taken By: Idobson	Date Applied For: 11/08/2010	<b>Zoning Approval</b>		
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	<b>Special Zone or Reviews</b> <input checked="" type="checkbox"/> Shoreland structure is beyond 75' setback. <input type="checkbox"/> Wetland N/A <input checked="" type="checkbox"/> Flood Zone - panel 14 and in A4 building in zone C <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan 2010-0035 Level I Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input checked="" type="checkbox"/> 0 E w/ conditions Date: 11/17/10 ABM	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	<b>Historic Preservation</b> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>ABM</i>
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**PERMIT ISSUED**  
 FEB 4 2011  
 City of Portland

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<b>Permit No:</b> 10-1407	<b>Date Applied For:</b> 11/08/2010	<b>CBL:</b> 105 J009001
------------------------------	--	----------------------------

<b>Location of Construction:</b> 0 ROCKLEDGE AVE LDI	<b>Owner Name:</b> Shaw Marjorie	<b>Owner Address:</b> 400 Danforth Street	<b>Phone:</b>
<b>Business Name:</b>	<b>Contractor Name:</b> Wright Ryan Construction, Inc /Gre	<b>Contractor Address:</b> 10 Danforth Street Portland	<b>Phone:</b> (207) 773-3625
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Single Family	

<b>Proposed Use:</b> Single Family Home - new 6 bedroom 3.5 Bath Single Family Home	<b>Proposed Project Description:</b> new 6 bedroom 3.5 Bath Single Family Home
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**Dept:** Zoning      **Status:** Approved with Conditions      **Reviewer:** Ann Machado      **Approval Date:** 11/17/2010  
**Note:** **Ok to Issue:**   
 1) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.  
 2) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

**Dept:** Building      **Status:** Approved with Conditions      **Reviewer:** Jonathan Rioux      **Approval Date:** 01/15/2011  
**Note:** **Ok to Issue:**   
 1) Fastener schedule per the IRC 2003  
 2) There must be a 2" clearance maintained between the chimney and any combustible material, with draft stopping per code at each level  
 3) The basement is NOT approved as habitable space. A code compliant 2nd means of egress must be installed in order to change the use of this space.  
 4) The design load spec sheets for any engineered beam(s) / Trusses must be submitted to this office.  
 5) A copy of the enclosed chimney or fireplace disclosure must be submitted to this office upon completion of the permitted work or for the Certificate of Occupancy.  
 6) Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans.  
 7) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm HVAC systems, heating appliances, including pellet/wood stoves, commercial kitchen exhaust hood systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.  
 8) Those building a new single family dwelling shall install a CO detector in each area within or giving access to bedrooms. That detection must be powered by the electrical service in the building and battery.

**Dept:** Fire      **Status:** Approved with Conditions      **Reviewer:** Ben Wallace Jr.      **Approval Date:** 12/01/2010  
**Note:** **Ok to Issue:**   
 1) New one- or two-family home: NFPA 13D sprinkler system required. Hardwired photoelectric smoke and CO alarms with battery backup are required.  
 A sprinkler permit is required from the City and State.

**Dept:** DRC      **Status:** Approved with Conditions      **Reviewer:** Philip DiPierro      **Approval Date:** 02/01/2011  
**Note:** **Ok to Issue:**

<b>Location of Construction:</b> 0 ROCKLEDGE AVE LDI	<b>Owner Name:</b> Shaw Marjorie	<b>Owner Address:</b> 400 Danforth Street	<b>Phone:</b>
<b>Business Name:</b>	<b>Contractor Name:</b> Wright Ryan Construction, Inc /Gre	<b>Contractor Address:</b> 10 Danforth Street Portland	<b>Phone</b> (207) 773-3625
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Single Family	

- 8) Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.
- 9) All Site work (final grading, landscaping, loam and seed) must be completed prior to issuance of a certificate of occupancy.
- 10) The site shall be developed and maintained as depicted in the approved site plan, written submission of the applicant, and these written conditions of approval. The modification of the approved site plan or alteration of a parcel which was the subject of site plan approval shall require the prior approval of a revised site plan by the Planning Authority.
- 11) A performance guarantee will be required to cover the cost of site work not completed due to seasonal conditions ie., finish grading, loaming, seeding, mulching, installation of street trees, etc. The performance guarantee must be reviewed, approved, and accepted by the Planning Authority prior to the release of a Temporary Certificate of Occupancy.
- 12) Trees that are designated to be saved are to be protected during excavation and construction. Tree protection fencing is to be installed around the tree canopy drip line prior to the start of any excavation. Tree protection measures are to be inspected and maintained daily.
- 13) The applicant shall have a licensed surveyor install, prior to the issuance of any Certificate of Occupancy, permanent mounumentation/pins identifying property corners.

**Comments:**

11/8/2010-ldobson: Permit came in 3:50 p.m. made 2 attempts to call Mr. Lanou to get more info Baths? Garage? Etc. No return call moved forward

11/15/2010-ldobson: Recieved all information Moved forward to zoning 11/16/2010

11/17/2010-amachado: Gave permit to Gayle to do the noticing of the immediate abutters & those directly across the street.

11/19/2010-gg: mailed abutters notices as of 11-19-10. /gg

12/8/2010-jrioux: Emailed Contractor check-list specs. Anchor Bolts/ Straps, spacing: Ventilation/Access for crawl spaces , TJI Joist Specs (Bracing & blocking) girders? and connection points to foundation, Attic Access, Safety Glazing in hazard areas, Chimney Clearances, Specs for lateral bracing, Deck specs, spans, beams, stairs & fall protection.

2/4/2011-jrioux: Recieved email from BECKER structural engineers, inc. I.e. Roof framing specs. JGR.

<b>Location of Construction:</b> 0 ROCKLEDGE AVE LDI	<b>Owner Name:</b> Shaw Marjorie	<b>Owner Address:</b> 400 Danforth Street	<b>Phone:</b>
<b>Business Name:</b>	<b>Contractor Name:</b> Wright Ryan Construction, Inc /Gre	<b>Contractor Address:</b> 10 Danforth Street Portland	<b>Phone</b> (207) 773-3625
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Single Family	

1) CITY OF PORTLAND, MAINE  
PUBLIC NOTICE

To All Building Permit Applicants and/or Contractors:

Effective immediately all temporary erosion control measures as shown on submitted site plans or as made part of a conditional approval of a site plan shall be installed, maintained, and inspected for proper functioning. Erosion control measures include but are not limited to silt fencing, hay bales, stone check dams, earthen berms, stone lined swales, riprap embankments, riprap inlet/outlets of any pipe channel or culvert, sodded or grass strips, hay mulch cover on exposed soils, jute matting or erosion control blanket/matting, geotextile grids or webbing, and any provision approved by the City Engineer or Development Review Coordinator to decrease erosion or sedimentation.

All temporary and permanent erosion control measures shall be in conformance with the Maine Erosion and Sediment Control Handbook for construction: Best Management Practices as published by Cumberland County SWCD and the Maine Department of Environmental Protection (<http://www.maine.gov/dep/blwq/docstand/escbmps/>). Consistent failure to install, maintain, or construct in an acceptable manner will result in a stop work order on the building permit. All erosion control measures shall be established in proposed areas of disturbed soils resulting from construction activities prior to actual construction unless a specific deadline has been made a condition of approval or agreed to by a Public Works Engineer or the Development Review Coordinator.

Effective immediately any request for Certificate of Occupancy will be denied if the above measures have not been addressed or completed. Only under extreme conditions, due to weather, shall the omission of the erosion control standards be included on the conditions for a Certificate of Occupancy, otherwise the request for a Certificate will be refused.

The City of Portland Planning Department and Public Works Department consider Erosion and Sediment Control Planning to be an absolutely necessary initial construction activity that requires as much attention and enforcement as building construction. For the protection of sensitive waterbodies, undisturbed lands, neighboring properties, established vegetated areas, and municipal drainage systems please pay careful attention to erosion and sediment control measures and conform to the notes, details, and conditions of approval as noted on your approved site plan. These controls must be installed and maintained continuously throughout the construction period. The City may inspect the site at any time to ensure compliance, and violations could result in work stoppage orders as indicated above.

We appreciate your prompt compliance with these requirements.

- 2) The limits of allowable clearing shall be clearly marked with flagging or temporary fencing. Absolutely no clearing is to take place within, or encroach into the "do not disturb/no cut" zone. All conditions listed in the approved subdivision plan, as they relate to this lot shall be followed.
- 3) Erosion and Sedimentation control shall be established and inspected by the Development Review Coordinator prior to soil disturbance, and shall be done in accordance with Best Management Practices, Maine Department of Environmental Protection Technical and Design Standards and Guidelines. All Erosion and Sedimentation control measures must be inspected and maintained daily.
- 4) All Site Work will conform to the City of Portland ordinance on Shoreland Regulations (Division 26).
- 5) The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.
- 6) A street opening permit(s) is required for your site. Please contact Carol Merritt ay 874-8300, ext. 8822. (Only excavators licensed by the City of Portland are eligible.)
- 7) The Development Review Coordinator (874-8632) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

c 96 105 J009002

ONE AND TWO FAMILY	PLAN REVIEW	CHECKLIST
Soil type/Presumptive Load Value (Table R401.4.1)		
<b>STRUCTURAL</b> Footing Dimensions/Depth (Table R403.1 & R403.1(1), (Section R403.1 & R403.1.4.1)	4" slab 12"x18" @ 8" thick	
Foundation Drainage, Fabric, Damp proofing (Section R405 & R406)	Drainage shown 4" DIA pipe	① okay
Ventilation/Access (Section R408.1 & R408.3) Crawls Space ONLY	"Living Room floor" Armeded	② okay
Anchor Bolts/Straps, spacing (Section R403.1.6)	Cross-section submitted Armeded	③ okay
Lally Column Type (Section R407)		
Girder & Header Spans (Table R 502.5(2))		
Built-Up Wood Center Girder Dimension/Type		
Sill/Band Joist Type & Dimensions		
First Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2))	230 12" TJI @ 12" o.c. " @ 16" o.c. 220 9 1/2" JJI @ 16" o.c.	Blocking? ④ 5
Second Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2))		
Attic or additional Floor Joist Species Dimensions and Spacing (Table R802.4(1) and R802.4(2))		

	w/ 2x6 @ 16" o.c. collar ties	
Pitch, Span, Spacing & Dimension (Table R802.5.1(1) - R 802.5.1(8)) Roof Rafter; Framing & Connections (Section R802.3 & R802.3.1)		
Sheathing; Floor, Wall and roof (Table R503.2.1.1(1))	Roof 5/8; Wall 1/2 Floor 3/4	(7)
Fastener Schedule (Table R602.3(1) & (2))	IRC, 2003	(8)
<b>Private Garage</b> (Section R309) Living Space? (Above or beside)	N/A	
Fire separation (Section R309.2)		
Opening Protection (Section R309.1)	N/A	
Emergency Escape and Rescue Openings (Section R310)	Window schedule 2 A.1	(4) okay see 'Notes'
Roof Covering (Chapter 9)		
Safety Glazing (Section R308)	2 A.1 Notes "Tempered"	okay
Attic Access (Section R807)	"Bunk Room" Annular	(3) okay
Chimney Clearances/Fire Blocking (Chap. 10)	2" clearance required	(6)
Header Schedule (Section 502.5(1) & (2))		(9)
Energy Efficiency (N1101.2.1) R-Factors of Walls, Floors, Ceilings, Building Envelope, U-Factor Fenestration	Roof R-49; Floor R-30 Walls R-21 Basement walls R-19 window .35	okay

## BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY )  
or email: [buildinginspections@portlandmaine.gov](mailto:buildinginspections@portlandmaine.gov)

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the City of Portland Inspection Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.
- Permits expire in 6 months, if the project is not started or ceases for 6 months.
- If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue with construction.

  X   Footing/Building Location Inspection: Prior to pouring concrete or setting precast piers

  X   Foundation Inspection: Prior to placing ANY backfill for below grade occupiable space

  X   Framing/Rough Plumbing/Electrical: Prior to Any Insulating, drywalling or covering.

  X   Final/Certificate of Occupancy: Prior to any occupancy of the structure or use.  
NOTE: There is a \$75.00 fee per inspection at this point.

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.

PERMIT ISSUED  
FEB 4 2011  
City of Portland

CBL: 105 J009001

Building Permit #: 10-1407



Type of Heating System		
<b>Means of Egress</b> (Sec R311 & R312) Basement Number of Stairways Interior Exterior Treads and Risers (Section R311.5.3) Width (Section R311.5.1) Headroom (Section R311.5.2) Guardrails and Handrails (Section R312 & R311.5.6 – R311.5.6.3)	7.5/11"  6'-8" 34"	
Smoke Detectors (Section R313) Location and type/Interconnected	smk & cc Det.	
Dwelling Unit Separation (Section R317) and IBC – 2003 (Section 1207)		
Deck Construction (Section R502.2.1)	PT 2x10" @ 16" o.c.	Best?

**Jonathan Rioux - FW: Shaw LDI**

---

**From:** Lee Proscia <lproscia@wright-ryan.com>  
**To:** "JRIOMUX@portlandmaine.gov" <JRIOMUX@portlandmaine.gov>  
**Date:** 2/4/2011 9:54 AM  
**Subject:** FW: Shaw LDI

---

Jonathan,

Below is an email to Steve Pondelis from nate at Becker confirming the conversation you two had regarding the collar ties. Please add this to your file.

Lee Proscia  
Preconstruction Manager

Wright-Ryan Homes  
10 Danforth Street  
Portland, ME 04101

207.773.3625ext39 Ph  
207.773.5173 Fax  
207.632.0500 Cell

[www.wright-ryanhomes.com](http://www.wright-ryanhomes.com)

RECEIVED

FEB - 3 2011

Dept. of Building Inspections  
City of Portland Maine

---

**From:** Stephen Pondelis [mailto:pondelis@vandamdesign.com]  
**Sent:** Friday, February 04, 2011 9:44 AM  
**To:** Lee Proscia  
**Subject:** FW: Shaw LDI

----- Forwarded Message

**From:** Nathan Merrill <Nathan@beckerstructural.com>  
**Date:** Wed, 26 Jan 2011 13:22:51 -0500  
**To:** Stephen Pondelis <pondelis@vandamdesign.com>  
**Conversation:** Shaw LDI  
**Subject:** RE: Shaw LDI

Steve,

Per my phone discussion with Jonathan Rioux, he is comfortable with the collar tie arrangement given that we have reviewed and designed the arrangement. He does not require stamped structural drawings, simply forward this email along to the appropriate parties and it should put the issue to bed. Thanks.

Nathan Merrill, P.E.  
**BECKER** structural engineers, inc.  
75 York Street

file://C:\Documents and Settings\jrioux\Local Settings\Temp\XPgrpwise\4D4BCCE2Portla... 2/4/2011

Portland, ME 04101  
207.879.1838 x112

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**From:** Stephen Pondelis [mailto:pondelis@vandamdesign.com]  
**Sent:** Wednesday, January 26, 2011 10:51 AM  
**To:** Nathan Merrill  
**Subject:** FW: Shaw LDI

----- Forwarded Message

**From:** Lee Proscia <lproscia@wright-ryan.com>  
**Date:** Wed, 26 Jan 2011 10:38:01 -0500  
**To:** Stephen Pondelis <pondelis@vandamdesign.com>  
**Conversation:** Shaw LDI  
**Subject:** FW: Shaw LDI

Lee Proscia  
Preconstruction Manager

Wright-Ryan Homes  
10 Danforth Street  
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RECEIVED

FEB - 3 2011

Dept. of Building Inspections  
City of Portland Maine

---

**From:** Jonathan Rioux [mailto:JRIOUX@portlandmaine.gov] <mailto:JRIOUX@portlandmaine.gov%5d>  
**Sent:** Wednesday, January 26, 2011 9:31 AM  
**To:** Lee Proscia  
**Subject:** Re: Shaw LDI

Morning Lee.

Thank you for the response. I believe the permit is still pending review in planning.

In ref. to "(4)" the proposed rafter tie configuration does not appear to comply with IRC, 2003 Table R802.5.1(7) using SPF # 2 @ 1/3 multiplying (.67) for the rafter span adjustment factor. If the roof-ceiling construction is anything different then our pre-determined rafter spans- a stamped spec sheet by a design professional is required. Steve Pondelis can give me a call @ 874.8702 if need be. JGR.

Jonathan Rioux  
Code Enforcement Officer/ Plan Reviewer

City of Portland  
Planning and Urban Development Department  
Inspection Services Division  
389 Congress St. Rm 315  
Portland, ME 04101

file://C:\Documents and Settings\jrioux\Local Settings\Temp\XPgrpwise\4D4BCCE2Portla... 2/4/2011

Office: 207.874.8702  
Support Staff: 207.874.8703  
jrioux@portlandmaine.gov

>>> Lee Proscia <lproscia@wright-ryan.com> 1/12/2011 2:03 PM >>>  
Jonathan,

Attached is a document from Steve Pondelis at Van Dam Architecture outlining the clarifications you requested. This should satisfy the requirements outlined in your email.

I believe the only outstanding issue is the submission of the Letter of Credit for the protection of the sandbar that is being handled by Phil Dipierro. I will follow-up with him to see that this is moving along.

If you have any questions, please give me a call.

Lee Proscia

WR HOMES  
10 Danforth Street  
Portland, ME 04101

207.773.3625ext39 Ph  
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FEB - 3 2011

Dept. of Building Inspections  
City of Portland Maine

----- End of Forwarded Message

----- End of Forwarded Message

**From:** Lee Proscia <lproscia@wright-ryan.com>  
**To:** "JRIOMUX@portlandmaine.gov" <JRIOMUX@portlandmaine.gov>  
**Date:** 1/12/2011 2:04 PM  
**Subject:** Shaw LDI  
**Attachments:** doc20110112114310.pdf

Jonathan,

Attached is a document from Steve Pondelis at Van Dam Architecture outlining the clarifications you requested. This should satisfy the requirements outlined in your email.

I believe the only outstanding issue is the submission of the Letter of Credit for the protection of the sandbar that is being handled by Phil Dipierro. I will follow-up with him to see that this is moving along.

If you have any questions, please give me a call.

Lee Proscia

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[www.wright-ryanhomes.com](http://www.wright-ryanhomes.com)<<http://www.wright-ryanhomes.com/>>

**RECEIVED**

JAN 19 2011

**Dept. of Building Inspections  
City of Portland Maine**

In response to codes issues for the Shaw Residence proposed for Little Diamond Island, please note the following:

(1) Header Schedule:

Spans greater than 6'-0"	(3) 2 x 10s
Spans 4'-6 to -6'-0"	(3) 2 x 8s
Spans less than 4'-6"	(3) 2 x 6s

(2) Construction will comply with fastening schedule per IRC, 2003

(3) All smoke alarms shall be listed in accordance with UL 217 and installed in accordance with Section R314 IRC 2009 and fire warning equipment provisions of NFPA 72. Locations shall include each sleeping room, outside each separate sleeping area in the immediate vicinity of bedrooms and on each additional story of the dwelling, including basements and habitable attics (not including crawl spaces and uninhabitable attics). Approved carbon monoxide alarms shall be installed outside of each separate sleeping area in the immediate vicinity of the bedrooms.

(4) Rafter spans and roof framing have been designed by Becker Structural Engineers. At the main house the rafter to collar tie fastening to be: (16) 10d or (13) 16d nails. At the west wing the rafter to collar tie fastening to be: (11) 10d or (9) 16d nails. At the east wing the rafter to collar tie fastening to be: (16) 10d or (13) 16d nails.

(5) The enclosed accessible areas under the stairs in the main house and the west wing will be sheathed (on the enclosed side) with ½" gypsum wallboard both on walls and soffit areas.

Sincerely,

Stephen Pondelis  
Van Dam Architecture and Design

**RECEIVED**

JAN 19 2011

Dept. of Building Inspections  
City of Portland Maine

**Jonathan Rioux - RE: 0 Rockledge Ave, GDI**

---

**From:** Jonathan Rioux  
**To:** glanou@wright-ryan.com  
**Date:** 1/7/2011 9:46 AM  
**Subject:** RE: 0 Rockledge Ave, GDI

---

**RE: Permit # 10-1407**

As discussed, below is the additional info. requested for bld. permit review.

- Header schedule for all levels on the load bearing walls.
- Fastening schedule per IRC, 2003.
- Smoke and CO detection/ alarm requirements.
- Roof collar-tie arraignment (rafter ties? for raised 2nd floor ceiling(s), see rafter span adjustment factor in Table R802.5.1(6), IRC, 2009.
- Under stair protection (enclosed accessible space under stairs shall have walls and soffits protected on the enclosed side with 1/2" Gypsum Board).

Discussed:

- Sheathing: Roof 5/8; walls 1/2; & floor 3/4".
- Sill/Band Joist Type & Dimension, per TJI manufactures specs
- Spread footings or pinned.

Jonathan Rioux  
Code Enforcement Officer

City of Portland  
Planning and Urban Development Department  
Inspection Services Division  
389 Congress St. Rm 315  
Portland, ME 04101  
Office: 207.874.8702  
Support Staff: 207.874.8703  
jrioux@portlandmaine.gov

**Jonathan Rioux - Re: Shaw LDI**

---

**From:** Jonathan Rioux  
**To:** Lee Proscia  
**Date:** 1/26/2011 9:30 AM  
**Subject:** Re: Shaw LDI

---

Morning Lee.

Thank you for the response. I believe the permit is still pending review in planning.

In ref. to "(4)" the proposed rafter tie configuration does not appear to comply with IRC, 2003 Table R802.5.1 (7) using SPF # 2 @ 1/3 multiplying (.67) for the rafter span adjustment factor. If the roof-ceiling construction is anything different then our pre-determined rafter spans- a stamped spec sheet by a design professional is required. Steve Pondelis can give me a call @ 874.8702 if need be. JGR.

Jonathan Rioux  
Code Enforcement Officer/ Plan Reviewer

City of Portland  
Planning and Urban Development Department  
Inspection Services Division  
389 Congress St. Rm 315  
Portland, ME 04101  
Office: 207.874.8702  
Support Staff: 207.874.8703  
[jrioux@portlandmaine.gov](mailto:jrioux@portlandmaine.gov)

>>> Lee Proscia <lproscia@wright-ryan.com> 1/12/2011 2:03 PM >>>  
Jonathan,

Attached is a document from Steve Pondelis at Van Dam Architecture outlining the clarifications you requested. This should satisfy the requirements outlined in your email.

I believe the only outstanding issue is the submission of the Letter of Credit for the protection of the sandbar that is being handled by Phil Dipierro. I will follow-up with him to see that this is moving along.

If you have any questions, please give me a call.

Lee Proscia

WR HOMES  
10 Danforth Street  
Portland, ME 04101

207.773.3625ext39 Ph  
207.773.5173 Fax  
207.632.0500 Cell

[www.wright-ryanhomes.com](http://www.wright-ryanhomes.com)





February 4, 2011

City of Portland  
Planning and Urban Development Department  
Inspection Services Division  
389 Congress St. Rm 315  
Portland, ME 04101  
Attn: Jonathan Rioux

RE: SHAW RESIDENCE – LITTLE DIAMOND ISLAND, PORTLAND, ME

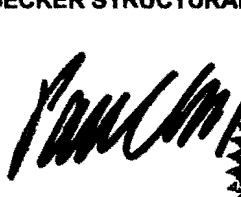
Dear Jonathan,

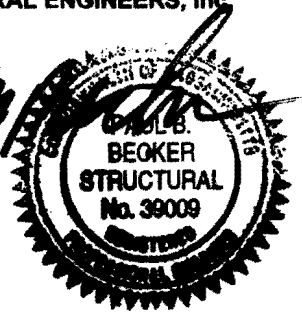
Per our arrangement with Van Dam Architecture and Design, Becker Structural Engineers has acted as structural design consultant on the above referenced project. We have performed the following duties as part of our services:

- Review architectural drawings and indicate critical members/components requiring structural analysis per applicable building code.
- Perform structural design calculations on critical structural components and provide comments and details for incorporation into construction drawings.
- Review of final construction drawings to verify inclusion of comments and details.

Based on our role and involvement the structural design complies with IBC 2009 structural requirements. We hope this letter addresses any concerns you may have at this time.

Sincerely,  
BECKER STRUCTURAL ENGINEERS, Inc

  
Paul B. Becker, P.E.  
President



RECEIVED

FEB -4 2011

Dept. of Building Inspections  
City of Portland Maine

Applicant: Marjorie Shaw.

Date: 11/16/10

Address: Lot 9, Rockledge Arz Subdivision

C-B-L: 195 J 009

perm. # 10-1407

CHECK-LIST AGAINST ZONING ORDINANCE

Date - NEW

Zone Location - IR-1

Interior or corner lot -

Proposed Use/Work - build new

Sewage Disposal - private (subsurface)

Lot Street Frontage - 100' min. - 397.59 (site plan) (OK)

Front Yard - 30' min. - 97' scaled (OK)

Rear Yard - 30' min. - 39' scaled

Side Yard - 20' min - 20' on left  
14' on right

Projections -

Width of Lot - 100' min. - 240' scaled (OK)

Height - 35' max.

Lot Area - ~~74,052~~ <sup>79,607</sup> (amended subdivision plat.) - 4920 sf required or 60,000 sf w/out public water (OK)

Lot Coverage/Impervious Surface - 20% = 984.4

Area per Family - N/A

Off-street Parking - 2 spaces required (OK)

Loading Bays - N/A

Site Plan - Local I Minor Residential - 2010-0035

Shoreland Zoning/Stream Protection - lot within shoreland almost completely - building beyond 75' setback  
existing proposed change 22.5% of lot OK - within 25'

Flood Plains - panel 14 - part of land is A4 (211') zone C (water structure (r))

$20 \times 35 = 70$   
 $16 \times 22 = 352$   
 $8 \times 19.5 = 156$   
 $13.75 \times 16 = 137.5$   
 $18 \times 14 = 324$   
 $22 \times 38 = 836$   
 $14 \times 9 = 162$   
 $14 \times 14 = 324$   
 $28 \times 14 = 504$   
 $5.25 \times 7.75 = 40.69$   
 $13 \times 5 = 65$   
 $10 \times 5 = 50$   
 $3.5 \times 3.5 = 12.25$

ok  
= 2968.44

**CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM  
Zoning Copy**

2010-0035

Application I. D. Number

11/8/2010

Application Date

Single Family Home LDI

Project Name/Description

**Shaw Marjorie**

Applicant

400 Danforth Street, Portland, ME 04102

Applicant's Mailing Address

**Andy Seymour**

Consultant/Agent

Agent Ph: (207)671-6502 Agent Fax:

Applicant or Agent Daytime Telephone, Fax

**Marge Schmuckal**

Rockledge Ave , Portland, Maine

Address of Proposed Site

105 J009001

Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply):  New Building  Building Addition  Change Of Use  Residential  Office  Retail  
 Manufacturing  Warehouse/Distribution  Parking Lot  Apt 0  Condo 0  Other (specify) \_\_\_\_\_  
0

Proposed Building square Feet or # of Units	Acreage of Site	Proposed Total Disturbed Area of the Site	Zoning
---	-----------------	---	--------

**Check Review Required:**

- |   |   |  |  |
|---|---|--|--|
| <input type="checkbox"/> Site Plan (major/minor)          | <input type="checkbox"/> Zoning Conditional - PB  | <input type="checkbox"/> Subdivision # of lots _____ | <input type="checkbox"/> Design Review         |
| <input type="checkbox"/> Amendment to Plan - Board Review | <input type="checkbox"/> Zoning Conditional - ZBA | <input type="checkbox"/> Shoreland                   | <input type="checkbox"/> Historic Preservation |
| <input type="checkbox"/> Amendment to Plan - Staff Review | <input type="checkbox"/> Zoning Variance          | <input type="checkbox"/> Flood Hazard                | <input type="checkbox"/> Site Location         |
| <input type="checkbox"/> After the Fact - Major           | <input type="checkbox"/> Stormwater               | <input type="checkbox"/> Traffic Movement            | <input type="checkbox"/> Housing Replacement   |
| <input type="checkbox"/> After the Fact - Minor           | <input type="checkbox"/> PAD Review               | <input type="checkbox"/> 14-403 Streets Review       | <input type="checkbox"/> Other _____           |

Fees Paid: Site Plan \$50.00 Subdivision \_\_\_\_\_ Engineer Review \$250.00 Date 11/9/2010

**Zoning Approval Status:**

Reviewer \_\_\_\_\_

- Approved  Approved w/Conditions See Attached  Denied

Approval Date \_\_\_\_\_ Approval Expiration \_\_\_\_\_ Extension to \_\_\_\_\_  Additional Sheets Attached

Condition Compliance \_\_\_\_\_ signature \_\_\_\_\_ date \_\_\_\_\_

Performance Guarantee  Required\*  Not Required

\* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input type="checkbox"/> Performance Guarantee Accepted	_____	_____	_____
	date	amount	expiration date
<input type="checkbox"/> Inspection Fee Paid	_____	_____	
	date	amount	
<input type="checkbox"/> Building Permit Issue	_____		
	date		
<input type="checkbox"/> Performance Guarantee Reduced	_____	_____	_____
	date	remaining balance	signature
<input type="checkbox"/> Temporary Certificate of Occupancy	_____	<input type="checkbox"/> Conditions (See Attached)	_____
	date		expiration date
<input type="checkbox"/> Final Inspection	_____	_____	
	date	signature	
<input type="checkbox"/> Certificate Of Occupancy	_____		
	date		
<input type="checkbox"/> Performance Guarantee Released	_____	_____	
	date	signature	
<input type="checkbox"/> Defect Guarantee Submitted	_____	_____	_____
	submitted date	amount	expiration date
<input type="checkbox"/> Defect Guarantee Released	_____	_____	
	date	signature	



# General Building Permit Application

Location/Address of Construction: <u>LOT 9 ROCKLEDGE AVENUE LITTLE DIAMOND ISLAND</u>		
Total Square Footage of Proposed Structure/Area <u>3866 INKILLER, 105 VELLE, 12000</u>	Square Footage of Lot <u>79,715 SF</u>	Number of Stories <u>2</u>
Tax Assessor's Chart, Block & Lot Chart# <u>105</u> Block# <u>J</u> Lot# <u>9</u>	Applicant *must be owner, Lessee or Buyer* Name <u>MARJORIE SHAW</u> Address <u>400 DANFORTH ST</u> City, State & Zip <u>PORTLAND ME 04102</u>	Telephone:
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>800,000</u> C of O Fee: \$ <u>75.00</u> Total Fee: \$ <u>8095.00</u>
Current legal use (i.e. single family) <u>VACANT LOT</u> Number of Residential Units _____ If vacant, what was the previous use? Proposed Specific use: <u>SINGLE FAMILY</u> Is property part of a subdivision? <u>YES</u> If yes, please name <u>B25504 P 103</u> Project description: <u>6 PERSON SINGLE FAMILY HOME</u>		
Contractor's name: <u>WRIGHT - RYAN CONSTRUCTION</u> Address: <u>10 DANFORTH ST</u> City, State & Zip <u>PORTLAND ME</u> Telephone: <u>773 3025</u> Who should we contact when the permit is ready: <u>ANDY SEYMOUR</u> Telephone: <u>671-6502</u> Mailing address: <u>10 DANFORTH ST PORTLAND ME 04101</u>		

**Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.**

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: Andy Seymour Date: 11-4-10

**This is not a permit; you may not commence ANY work until the permit is issue**



# New Residential Single Family Permit Application Checklist

The Maine Home Construction Contracts Act requires that any home construction or repair work for more than \$3000. in materials or labor must be based on a written contract unless the parties agree to exempt themselves. A sample contract is available on the City's website at [www.portlandmaine.gov](http://www.portlandmaine.gov), in the Inspection Office, Room 315 of Portland City Hall or call (207)874-8703 to have one mailed to you.

All new two-family residential developments will be required to go through the minor site plan review process.

## One (1) complete set of construction drawings must include:

- Cross sections w/framing details
- Floor plans and elevations to scale
- Stair details including dimensions of: rise/run, head room, guards/handrails, baluster spacing
- Window and door schedules
- Foundation plans w/required drainage and damp proofing (if applicable)
- Detail egress requirements and fire separation (if applicable)
- Insulation R-factors of walls, ceilings & floors & U-factors of windows per the IECC 2003
- Deck construction including: pier layout, framing, fastenings, guards, stair dimensions
- Reduced plans or electronic files in pdf format are also required if original plans are larger than 11" x 17"
- Proof of ownership is required if it is inconsistent with the assessors records

## Four (4) copies of the boundary survey/site plan are required and must include:

- A stamped boundary survey to scale showing north arrow, zoning district & setbacks to a scale of  $\geq 1" = 20'$ . The boundary survey should include the following:
  - The footprint of the proposed structure and the distance from the actual property lines. Structures include decks, porches, steps, bow windows, cantilever sections and roof overhangs, sheds, pools, garages, and any other accessory structures and must be shown to scale. Photocopies of the plat or hand drawn footprints not to scale will not be accepted. The footprint should be consistent with the building plan.
- Location and dimensions of parking areas and driveways
- Finish floor or sill elevation (based on mean sea level datum)
- Location of proposed utilities
- Existing and proposed grades/contours
- Silt fence (erosion control) locations
- Location of two required street trees
- Separate requirements may apply for lots on unimproved streets
- A reduced boundary survey/site plan is required if original is larger than 11' x 17"

**AGREEMENT FOR THE PURCHASE AND SALE OF REAL ESTATE**

AGREEMENT made as of this 26th day of July, 2010 (the "Effective Date") by and between Cyrus Y. Hagge, with a mailing address of 225 Commercial Street, Suite 502, Portland, Maine 04101-4613, (the "Seller") and Marjorie Shaw, with a mailing address of 400 Danforth Street, Portland, Maine 04102, (the "Buyer").

WHEREAS, the parties desire to enter into this Agreement for the purchase and sale of certain real estate identified below, in accordance with the following terms and conditions;

NOW, THEREFORE, in consideration of the mutual promises and agreements set forth herein, and for other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, the parties hereby agree as follows:

1. **PREMISES.** Seller agrees to sell and Buyer agrees to buy the land, known as Lot 9 on Plan entitled "Recording Plat of Land on Little Diamond Island, Portland, Maine for Saint Joseph's Convent and Hospital" together with any fixtures and other items of real property situated thereon (collectively the "Premises"). Title Reference: A portion of property described in Book 25504 / Page 103 in the Cumberland County Registry of Deeds.

Buyer and Seller agree that no portion of the Purchase Price, defined below, shall be attributable to any personal property.

2. **PURCHASE PRICE.** Subject to any adjustments and prorations hereinafter described, Buyer agrees to pay for the Premises the sum of Three Hundred Fifty Thousand Dollars (\$350,000.00) (the "Purchase Price") payable as follows:

(a) **Deposit.** The sum of Five Thousand Dollars (\$5,000.00) (the "Deposit") is herewith deposited with Seller as an earnest money deposit to be credited against the purchase price at the closing. In the event of Seller's non-acceptance, the Deposit shall be promptly returned to Buyer.

(b) **Cash at Closing.** The balance of the purchase price, Three Hundred Forty-Five Thousand Dollars (\$345,000.00) shall be paid by certified check, wire transfer, bank cashier's check, or in such other form as acceptable to Seller at the closing.

3. **TITLE.** Seller shall convey the Premises to Buyer at the closing in fee simple with good and marketable title, free and clear of all liens and encumbrances except customary utility easements of record which do not adversely affect the use of the Premises as improved for residential purposes. In the event that Seller is unable to convey title as aforesaid, Seller shall be given a reasonable period of time, not to exceed thirty (30) days from Buyer's notice to Seller thereof (the "Cure Period"), in which to remedy any title defects. In the event that said defects cannot be corrected or remedied within the Cure Period, or in the event that Seller elects not to remedy same, the Deposit shall be returned to Buyer and this Agreement will terminate. Notwithstanding any of the foregoing, Buyer may, at Buyer's option, elect to close regardless of the existence of any such defects, by providing Seller with written notice of such election within ten (10) days following the expiration of the Cure Period.

4. **CLOSING.** The closing of this transaction shall take place on or before the 26th day of September 2010 (the "Closing Date"), at a time and location to be agreed upon by the Buyer and Seller. At the closing, Seller shall execute and deliver to Buyer, against payment of the balance of the purchase price, a

CSH

Warranty Deed to the Premises with full Warranty Covenants in accordance with the Short Form Deeds Act, 33 M.R.S.A. §§ 761 et seq. (the "Deed").

5. ADJUSTMENTS, PRORATIONS AND CLOSING COSTS.

- (a) The following items shall be prorated as of the transfer of title: association fees; and real estate taxes. There are no utilities on the Property.
- (b) The Maine real estate transfer tax shall be paid by Seller and Buyer in accordance with 36 M.R.S.A. § 4641-A.
- (c) The recording fee for the deed of conveyance and any expenses related to any mortgage which Buyer may grant to a lender in connection with this transaction shall be paid for by Buyer.
- (d) A portion of the purchase price shall be withheld by Buyer at closing if required by 36 M.R.S.A. § 5250-A.

6. POSSESSION. Seller shall deliver possession of the Premises to Buyer at the closing, free of all leases, tenancies or occupancies by any person, unless otherwise agreed to in writing by Buyer and Seller.

7. RISK OF LOSS, DAMAGE, DESTRUCTION AND INSURANCE.

- (a) All risk of loss to the Premises prior to the closing shall be on Seller, and Seller shall keep the same insured against fire and other extended coverage risks until the closing, to the extent such coverages are currently in place.
- (b) In the event that, prior to the closing, the improvements which are part of the Premises are destroyed or, in the reasonable opinion of Buyer, substantially damaged, Buyer may either (i) terminate this Agreement and receive back the Deposit, or (ii) accept the insurance proceeds payable by reason of such damage or destruction and close this transaction notwithstanding the same.

8. BUYER INSPECTION. Buyer or its agents may enter the Premises at all reasonable times prior to the closing in order to inspect the same. Buyer may conduct a site inspection of the Premises within 48 hours prior to the Closing Date to determine whether the Premises meet the conditions herein. Buyer's inspection of the Premises, pursuant to this paragraph, shall not be deemed a waiver of any of the representations and warranties made by Seller hereunder.

9. CONDITIONS PRECEDENT TO BUYER'S OBLIGATION TO CLOSE. The obligation of Buyer to close is subject to the following conditions:

(a) Inspections. Buyer's obtaining at its expense one or more of the following inspections disclosing the Premises to be in such condition as is satisfactory to Buyer:

TYPE OF INSPECTION	YES	NO	NOTICE DATE
General Building	___	<u>X</u>	Within ___ days from Effective Date
Sewerage System	___	<u>X</u>	Within ___ days from Effective Date
Radon Air Quality	___	<u>X</u>	Within ___ days from Effective Date
Radon Water Quality	___	<u>X</u>	Within ___ days from Effective Date
Asbestos	___	<u>X</u>	Within ___ days from Effective Date
Architectural Engineering Review	___	<u>X</u>	Within ___ days from Effective Date
Zoning	___	<u>X</u>	Within ___ days from Effective Date
Feasibility Study for Septic	<u>X</u>	___	Within <u>45</u> days from Effective Date

*CyH*

(c) Notice, Cancellation, Waiver. All inspections shall be conducted by inspectors chosen and paid for by Buyer. If the results of any inspection are unsatisfactory to Buyer, Buyer may, *by notifying Seller in writing on or before the Notice Date specified*, declare this contract null and void and the Deposit shall be returned to Buyer. If Buyer does not notify Seller that an inspection is unsatisfactory on or before the applicable Notice Date, the contingency shall be deemed to be waived by Buyer. In the absence of the inspections listed above, Buyer is relying completely upon Buyer's own opinion as to the condition of the Premises.

10. WATER TEST. If the water supply to the premises is private, Seller will provide, at Seller's expense, a New Water Supply test with "satisfactory" results in accordance with the requirements of the Maine Department of Human Services and/or lending institution within 30 days of the Effective Date hereof. If the test results are "Unsatisfactory" or "Satisfactory" with any material qualifications, the test results must be acceptable to Buyer. If the results are unacceptable to Buyer, Buyer may, *by notifying the Seller in writing within 3 days after receiving the test results*, declare this contract null and void and the Deposit shall be returned to Buyer. If Buyer does not notify Seller that the test results are unacceptable within said time period, this contingency shall be deemed waived by the Buyer.

11. DEFAULT; REMEDIES. In the event of default by Buyer, Seller shall be entitled to all legal and equitable remedies, including without limitation the termination of this Agreement and forfeiture by Buyer of the Deposit. In the event of default by Seller, Buyer shall be entitled to the return of the Deposit and all equitable and legal remedies including but not limited to specific performance.

12. BROKERAGE.

Buyer and Seller both represent that neither party has engaged a broker in connection with the Premises. Each party agrees to indemnify and hold the other harmless for any claim, lien or action brought by a real estate broker.

13. OFFER AND ACCEPTANCE. This Agreement when submitted to Seller with Buyer's Deposit shall constitute an offer which must be accepted by Seller no later than July 28, 2010 at 4:30 p.m. or expire by its terms, time being of the essence.

14. DISPUTE. Any dispute or claim arising from or relating to this Agreement or the Premises shall be submitted to non-binding arbitration in accordance with the rules of the American Arbitration Association, which shall take place in Portland, Maine. This clause shall survive the closing.

15. REPRESENTATIONS AND WARRANTIES OF SELLER. Seller represents and warrants to Buyer that, to the best of Seller's knowledge, there is no existing violation of any environmental law, ordinance, covenant, restriction or regulation applicable to the Premises, including without limitation any violation concerning hazardous, toxic, or waste substances or materials on the Premises.

16. This contract and Buyer's performance hereunder shall be contingent on Buyer's reasonable satisfaction that Buyer can build a residence of Buyer's choosing on the Premises. In the event Buyer determines that the Premises does not satisfy Buyer's requirements for construction of a residence, Buyer



may terminate this contract by providing written notice to Seller prior to the Closing Date and the Seller shall return Buyer's deposit upon receipt of said notice.

17. MISCELLANEOUS.

(a) Time. Time is of the essence of this Agreement.

(b) Notices. All notices, demands and other communications hereunder shall be in writing and shall be deemed to have been duly given on the date of service if served personally on the party to whom notice is to be given, or on the first business day after mailing if mailed to the party to whom notice is to be given by first class mail, postage prepaid, registered or certified, return receipt requested, to the address set forth in the first paragraph of this Agreement, unless otherwise indicated as follows:

TO SELLER: Cyrus Y. Hagge, 225 Commercial Street, Suite 502, Portland, Maine 04101

TO BUYER: Marjorie Shaw, 400 Danforth Street, Portland, Maine 04102

With a copy to: Scott E. Herrick, Esquire, One Monument Way, Portland, Maine 04101

Either party may change its address for purposes of this subparagraph by giving the other party notice of the new address in the manner described herein.

(c) Entire Agreement. This Agreement constitutes the entire agreement between Seller and Buyer and there are no agreements, understandings, warranties or representations between Buyer and Seller except as set forth herein.

(d) Binding Effect. This Agreement will inure to the benefit of and bind the respective heirs, personal representatives, successors and assigns of Seller and Buyer.

(e) Identical Counterparts. This Agreement may be simultaneously executed in any number of counterparts, each of which when so executed and delivered shall be deemed an original, but all of which together shall constitute one and the same instrument.

(f) Authorization. The parties authorize the disclosure of the terms of this Agreement to any attorney, title company, appraiser, lender, insurance agent, inspector, municipal officer, or other person(s) who may facilitate the closing of this transaction.

(g) Construction. As used in this Agreement, the singular number shall include the plural, the plural the singular, and the use of one gender shall be deemed applicable to all genders.

(h) Choice of Law. This Agreement shall be governed by and construed in accordance with the laws of the State of Maine.

(i) Severability. If any provision of this Agreement is determined to be invalid or unenforceable, it shall not affect the validity or enforcement of the remaining provisions hereof.

(j) Venue and Jurisdiction. The parties agree that venue and jurisdiction for any litigation arising out of, related to, or regarding the validity of, this Agreement shall lie in the County of Cumberland, State of Maine.

(k) Amendments. This Agreement shall not be amended except by written instrument executed by Seller and Buyer.

(l) Assignment. This Agreement shall not be assigned by Buyer except with the written consent of Seller.

(m) Survival. The parties' obligations under Section 15, 16 of this Agreement shall survive the closing of the purchase and sale of the Premises.

(n) Addendum(s) or Attachment(s):

(o) Other Terms or Conditions:

BY signing below, the Buyer(s) agree to purchase the Premises upon the above terms and conditions in this Agreement.

BUYER:

July 26, 2010  
DATE

Marjorie Shaw 004-54-9972  
Marjorie Shaw Soc. Sec. #

BY signing below, the Seller accepts the offer of the Buyer(s) and agrees to sell and deliver the premises upon the above terms and conditions in this Agreement.

SELLER:

July 26-2010  
DATE

Cyrus Y. Hagg 396-44-5965  
Cyrus(Y. Hagg) Soc. Sec. #

**IMPORTANT NOTICE FROM CITY OF PORTLAND  
PLANNING DIVISION**

**TO RESIDENTS AND PROPERTY OWNERS  
IN THE VICINITY OF 0 ROCKLEDGE AVENUE LITTLE DIAMOND ISLAND**

**WHAT** To residents and property owners: A Level I: Minor Residential Development application was submitted to the Portland Planning Division by Marjorie Shaw for a new single family home at 0 Rockledge Avenue.

In accordance with th Portland Land Use Ordinance, notices of receipt of a Level I Minor Residential Development application must be sent to neighbors. This application will be reviewed administrativly by City Staff.

**FOR MORE INFORMATION**

Plans are available in the Portland Planning Division, 4th Floor, City Hall. If you have any questions or wish to submit comments, contact the Planning Division at 874-8719 or e-mail [jmy@portlandmaine.gov](mailto:jmy@portlandmaine.gov)

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City of Portland  
Planning Division  
389 Congress St.  
Portland ME 04101



City of Portland  
Planning Division  
389 Congress St.  
Portland ME 04101

ACORN LANDING LLC  
410 SOCIETY ST  
ALPHARETTA, GA 30022

HAGGE CYRUS Y  
225 COMMERCIAL ST STE 502  
PORTLAND, ME 04101

<b>Location of Construction:</b> 0 ROCKLEDGE AVE LDI	<b>Owner Name:</b> Shaw Marjorie	<b>Owner Address:</b> 400 Danforth Street	<b>Phone:</b>
<b>Business Name:</b>	<b>Contractor Name:</b> Wright Ryan Construction, Inc /Gre	<b>Contractor Address:</b> 10 Danforth Street Portland	<b>Phone</b> (207) 773-3625
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Single Family	

1) CITY OF PORTLAND, MAINE  
PUBLIC NOTICE

To All Building Permit Applicants and/or Contractors:

Effective immediately all temporary erosion control measures as shown on submitted site plans or as made part of a conditional approval of a site plan shall be installed, maintained, and inspected for proper functioning. Erosion control measures include but are not limited to silt fencing, hay bales, stone check dams, earthen berms, stone lined swales, riprap embankments, riprap inlet/outlets of any pipe channel or culvert, sodded or grass strips, hay mulch cover on exposed soils, jute matting or erosion control blanket/matting, geotextile grids or webbing, and any provision approved by the City Engineer or Development Review Coordinator to decrease erosion or sedimentation.

All temporary and permanent erosion control measures shall be in conformance with the Maine Erosion and Sediment Control Handbook for construction: Best Management Practices as published by Cumberland County SWCD and the Maine Department of Environmental Protection (<http://www.maine.gov/dep/blwq/docstand/escbmps/>). Consistent failure to install, maintain, or construct in an acceptable manner will result in a stop work order on the building permit. All erosion control measures shall be established in proposed areas of disturbed soils resulting from construction activities prior to actual construction unless a specific deadline has been made a condition of approval or agreed to by a Public Works Engineer or the Development Review Coordinator.

Effective immediately any request for Certificate of Occupancy will be denied if the above measures have not been addressed or completed. Only under extreme conditions, due to weather, shall the omission of the erosion control standards be included on the conditions for a Certificate of Occupancy, otherwise the request for a Certificate will be refused.

The City of Portland Planning Department and Public Works Department consider Erosion and Sediment Control Planning to be an absolutely necessary initial construction activity that requires as much attention and enforcement as building construction. For the protection of sensitive waterbodies, undisturbed lands, neighboring properties, established vegetated areas, and municipal drainage systems please pay careful attention to erosion and sediment control measures and conform to the notes, details, and conditions of approval as noted on your approved site plan. These controls must be installed and maintained continuously throughout the construction period. The City may inspect the site at any time to ensure compliance, and violations could result in work stoppage orders as indicated above.

We appreciate your prompt compliance with these requirements.

- 2) The limits of allowable clearing shall be clearly marked with flagging or temporary fencing. Absolutely no clearing is to take place within, or encroach into the "do not disturb/no cut" zone. All conditions listed in the approved subdivision plan, as they relate to this lot shall be followed.
- 3) Erosion and Sedimentation control shall be established and inspected by the Development Review Coordinator prior to soil disturbance, and shall be done in accordance with Best Management Practices, Maine Department of Environmental Protection Technical and Design Standards and Guidelines. All Erosion and Sedimentation control measures must be inspected and maintained daily.
- 4) All Site Work will conform to the City of Portland ordinance on Shoreland Regulations (Division 26).
- 5) The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.
- 6) A street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8822. (Only excavators licensed by the City of Portland are eligible.)
- 7) The Development Review Coordinator (874-8632) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

November 04, 2010

Marge Schmuckal, Zoning Administrator  
Planning and Urban Development Department  
Portland City Hall  
389 Congress Street  
Portland, Maine 04101

Dear Marge,

Enclosed are the submittal materials to accompany a building permit application by Marjorie Shaw of Portland, for a new single family house on Lot 9, Rockledge Avenue, Little Diamond Island. As you may recall, you have reviewed and given preliminary approval to the site plan in earlier meetings with Sam Van Dam. Proposed for the site is a 6 bedroom residence. The main portion of the house, with two bedrooms, will be fully winterized. The other four bedrooms are located in seasonal portions of the house that will be closed for the winter. A septic system has been designed by Albert Frick Associates, (see attached HHE-200). The Town water is year round at that location on the island.

The issues you reviewed with Sam include:

**The wetland on the lot.** Enclosed is a letter from Albert Frick that confirms that the wetland is not contiguous with Casco Bay and does not trigger setback requirements. I also spoke with David Pinneo and Doug Roncarati in September. They confirmed that Public Works does not enforce a setback from upland wetlands on Little Diamond Island. Also enclosed is a letter from Laurel T. Stockwell, wetlands scientist and botanist, that verifies that there is no evidence of vernal pools on the site. The DEP lists no significant wildlife habitat except the coastline of the island which is protected with the 75 foot buffer.

**Openings in the forest canopy.** Enclosed is a drawing, L1.1, that illustrates where current openings in the canopy exist and where new openings are proposed for the project. The house and septic system have been situated, in part, to coincide with existing openings. Only three of the trees noted on the boundary survey as significant, (2) 16" red pines and (1) 24" oak are proposed for removal. Other significant trees near the construction precinct will be protected with fencing, barriers and signage to keep construction equipment and materials away from their drip lines. All Shoreland Zone regulations regarding tree removal, both within the 75 foot buffer and throughout the site will be observed. Marjorie Shaw is aware of these regulations and was attracted to the site because of the trees.

The footprint of the proposed building, including all decks, porches and stairs, totals 2,976 s.f. Of that total, 1496 s.f. is on foundations and the remainder is on piers, to minimize the impact on the site. A 10' wide by approximately 200' long gravel drive with small parking area will cover approximately 2200 s.f. **The footprint of the building with driveway and parking combine to cover 6.5% of the lot.** The Site Plan (L1.0) indicates the intended limit of work area, coinciding with silt fence and other erosion control measures. The area within the limit of work boundaries, as shown, including septic system, house construction and re-grading approximates 20,000 s.f.

The new construction will not re-direct stormwater onto adjacent lots. The perimeter drain around the foundation will reach outfall within the limit of work area shown on the Site Plan. It will culminate at a drywell that will be sited to prevent any adverse effect on significant trees. The construction road entrance to the site will be maintained to prevent tracking or flowing of sediment onto or across Rockledge Avenue.

Also attached is a purchase and sale agreement, (the final closing on the property may have already occurred by the time you receive this letter) and a copy of the 1984 subdivision plat to illustrate that there were no prescribed building envelope configurations attached to the lot other than the setbacks for Island Residential and Shoreland Zones.

Please notify me if additional materials are required for this building permit application and site plan review. Thanks for your time and for your previous meetings about this project.

Sincerely,



Stephen Pondelis  
Van Dam Architecture and Design  
775-0443

cc Greg Lanou  
Wright-Ryan Construction, Inc.  
773-3625



# CITY OF PORTLAND, MAINE

Department of Building Inspections

## Original Receipt

11-8-2010

Received from: Gregory L. Howell  
Wright Ryan

Location of Work: Rockledge Ave

Cost of Construction \$ \_\_\_\_\_ Building Fee: 18000

Permit Fee \$ \_\_\_\_\_ Site Fee: 300

Certificate of Occupancy Fee: 75

Total: 18395

Building (U) \_\_\_\_\_ Plumbing (I5) \_\_\_\_\_ Electrical (I2) \_\_\_\_\_ Site Plan (U2) \_\_\_\_\_

Other \_\_\_\_\_

CBL: 105-5-9

Check #: 07820 + CC Total Collected \$ 18395

**No work is to be started until permit issued.  
Please keep original receipt for your records.**

Taken by: [Signature]

WHITE - Applicant's Copy  
YELLOW - Office Copy  
PINK - Permit Copy

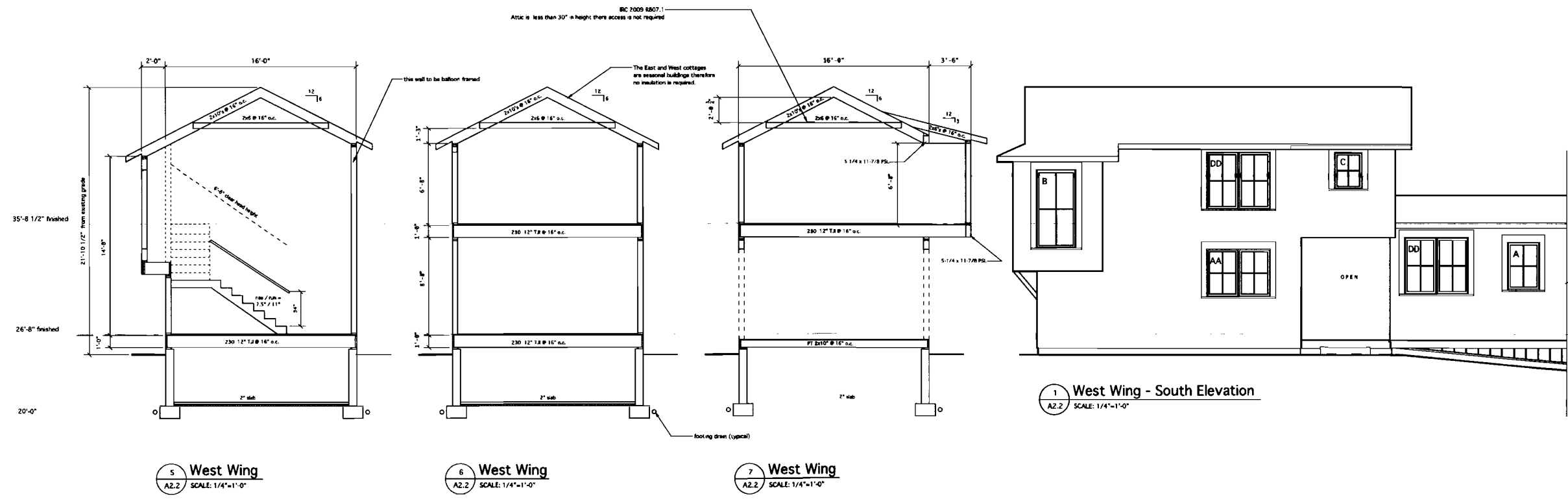




2 West Wing - East Elevation  
A2.2 SCALE: 1/4"=1'-0"

3 West Wing - North Elevation  
A2.2 SCALE: 1/4"=1'-0"

4 West Wing - West Elevation  
A2.2 SCALE: 1/4"=1'-0"



5 West Wing  
A2.2 SCALE: 1/4"=1'-0"

6 West Wing  
A2.2 SCALE: 1/4"=1'-0"

7 West Wing  
A2.2 SCALE: 1/4"=1'-0"

1 West Wing - South Elevation  
A2.2 SCALE: 1/4"=1'-0"

Van Dam Architecture and Design

66 West Street  
Portland, Maine 04102  
Tel: 773-288-3333  
Fax: 773-288-3333  
www.vandamdesign.com

Marjorie Shaw Residence

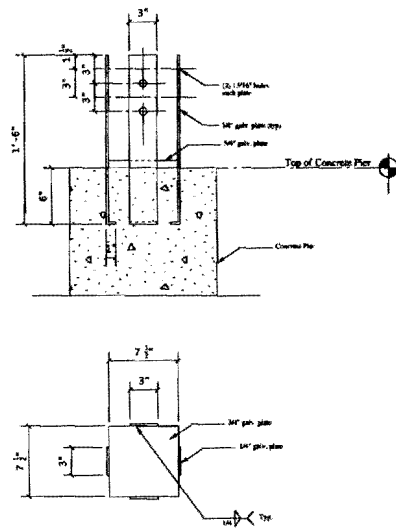
Little Diamond Island, ME

West Wing  
Sections / Elevations

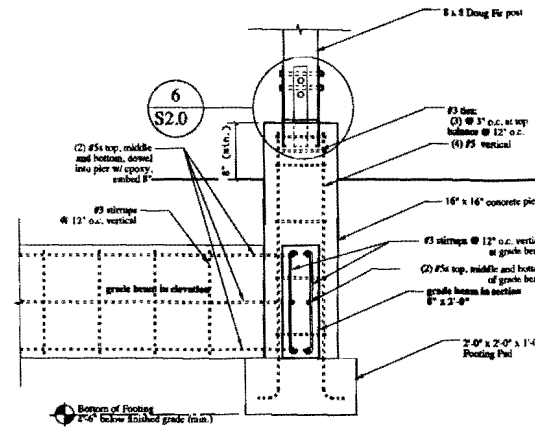
Drawn By: SRH Scale: 1/4"=1'-0" Date: 09/14/2010  
Residence: Job # 21010

A2.2

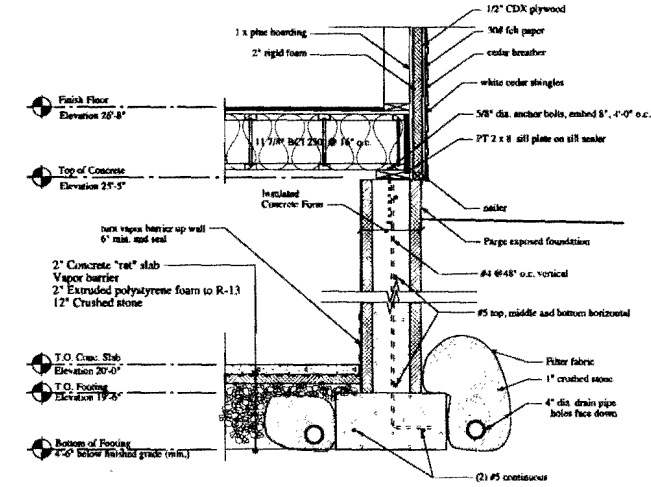
PERMIT SET: 12/14/10



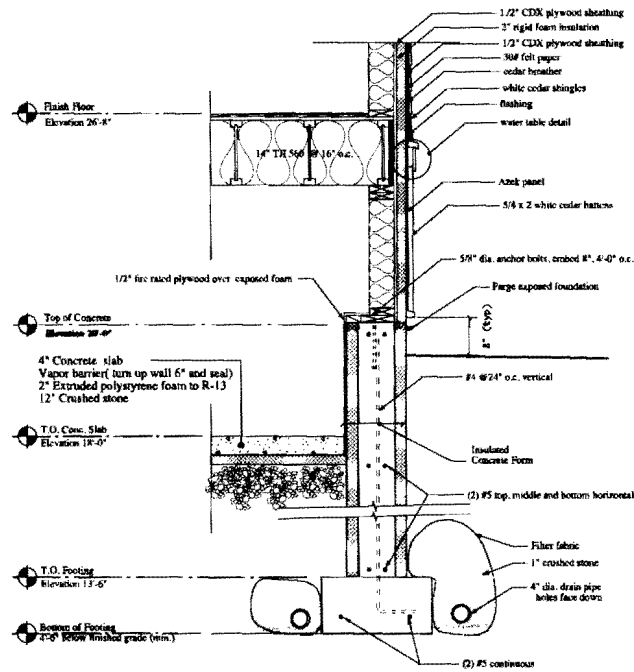
6 Post to Pier Connection Detail  
S2.0 Scale: 1 1/2" = 1'-0"



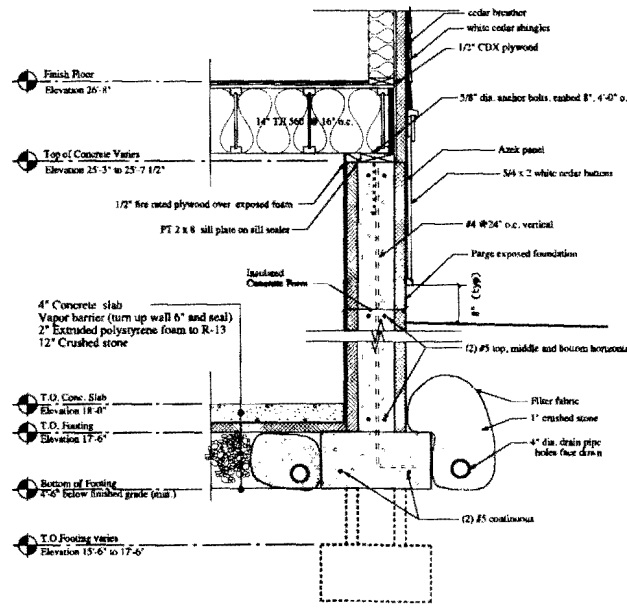
5 Pier and Grade Beam Detail at East Wing  
S2.0 Scale: 3/4" = 1'-0"



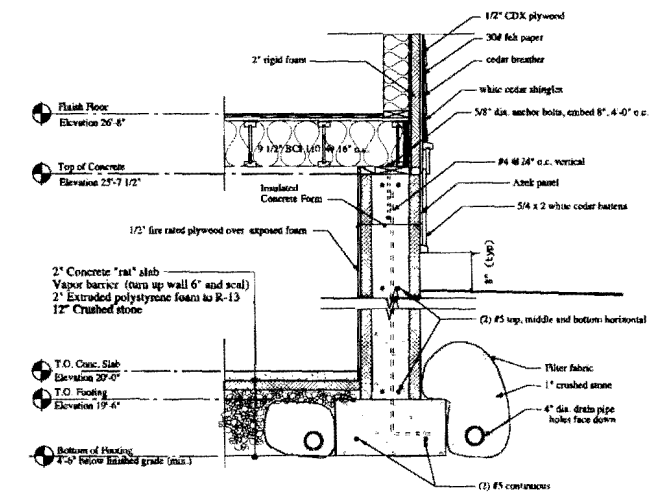
4 Crawl Space Detail at West Wing  
S2.0 Scale: 3/4" = 1'-0"



1 Foundation Detail at Main House  
S2.0 Scale: 3/4" = 1'-0"



2 Foundation Detail at Main House  
S2.0 Scale: 3/4" = 1'-0"



3 Foundation Detail at Main House  
S2.0 Scale: 3/4" = 1'-0"

Van Dam Architecture and Design

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Fax: 603.775.5892  
www.vandamdesign.com

Marjorie Shaw Residence

Little Diamond Island, ME

Foundation Details

Drawn By: SRS Scale: 1/8" = 1'-0" Date: 12/14/2010  
Job #: 21010

S2.0

PERMIT SET: 12/14/10

**A2.0**

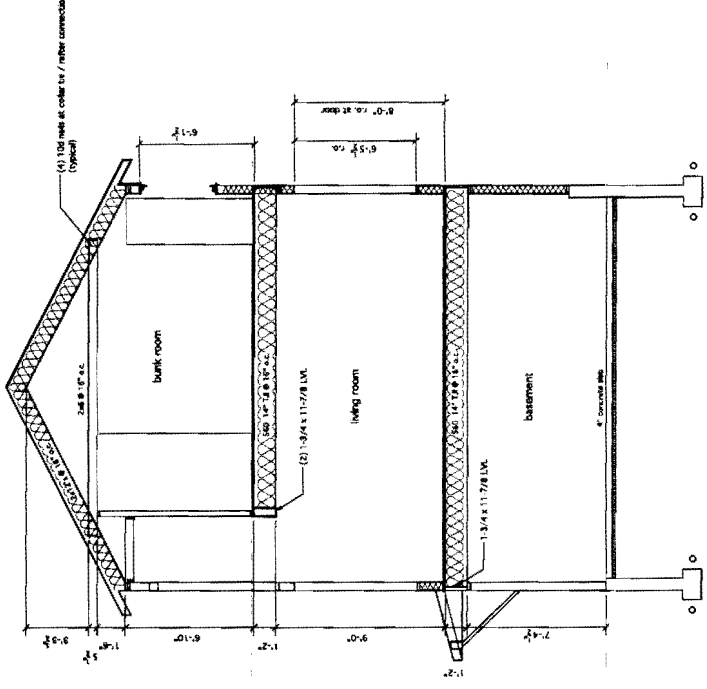
Sections - Main House

Drawn By: KRM Scale: 1/4" = 1'-0" Date: 09/14/2010  
Job # 21010

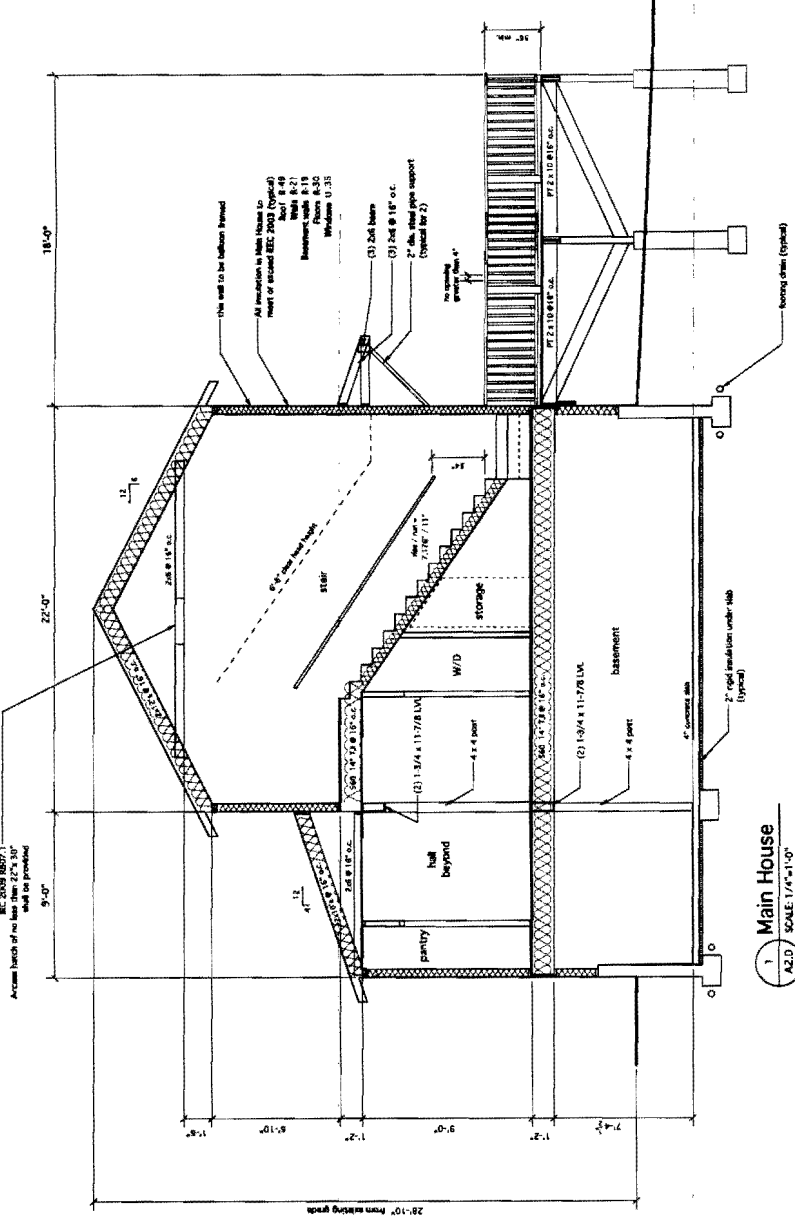
Marjorie Shaw Residence  
Little Diamond Island, ME

Van Dam Architecture and Design  
65 West Street  
Portland, Maine 04102  
Tel: 755-2892  
www.vandamdesign.com

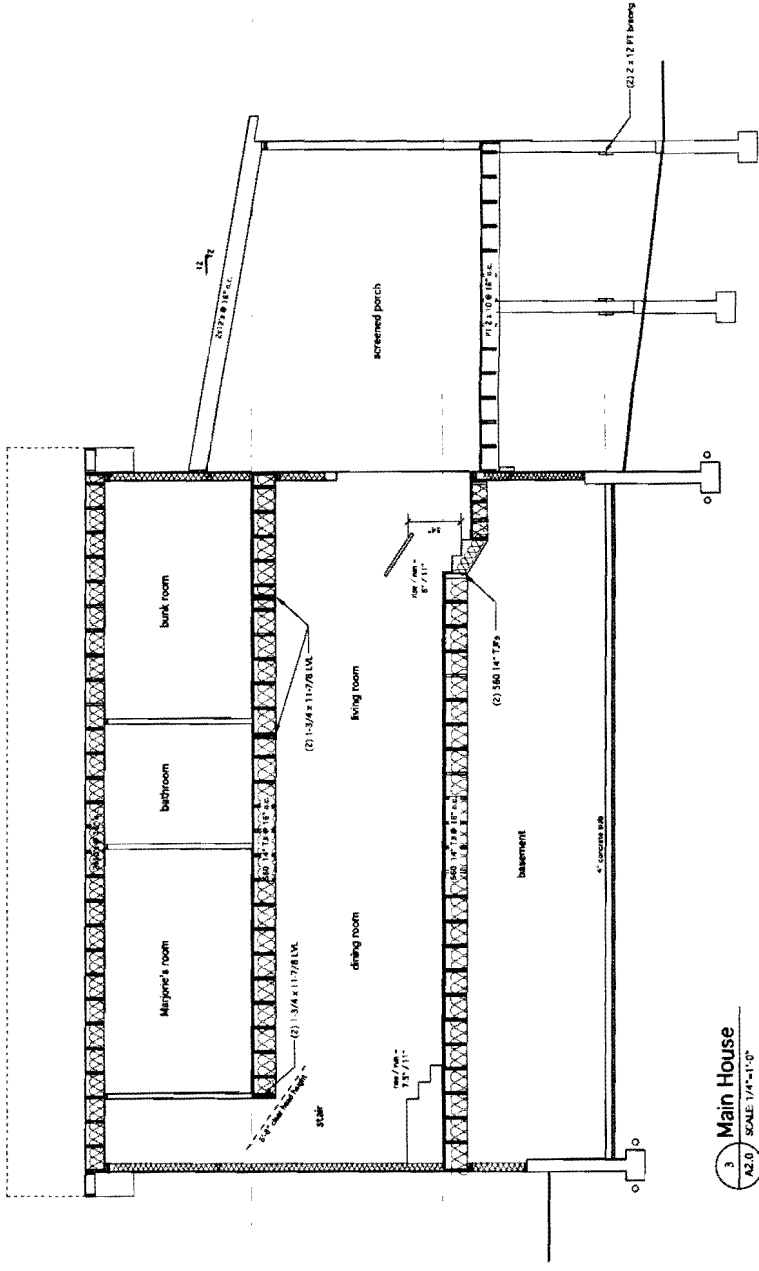
PERMIT SET: 12/14/10



2 Main House  
A2.0 SCALE: 1/4"=1'-0"



1 Main House  
A2.0 SCALE: 1/4"=1'-0"



3 Main House  
A2.0 SCALE: 1/4"=1'-0"

16'-10" finished

26'-8" finished

20'-0"

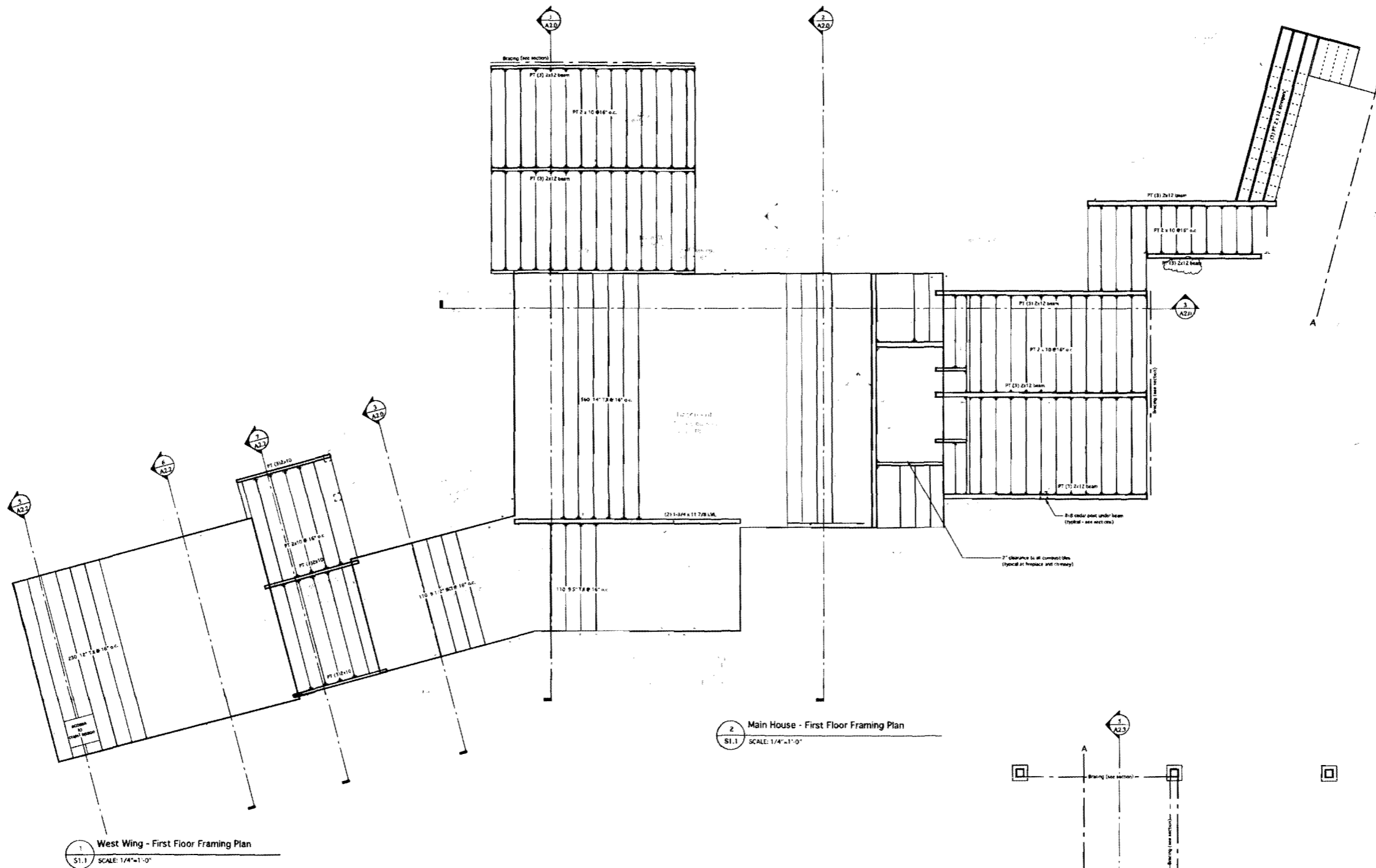
18'-0" slab

16'-10" finished

26'-8" finished

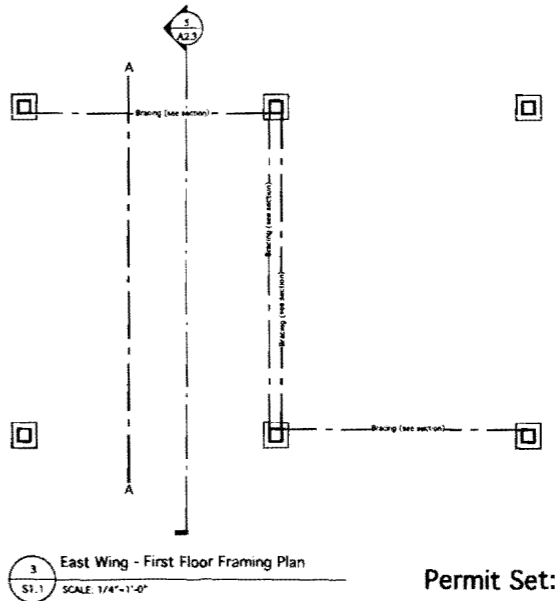
20'-0"

18'-0" slab



1 West Wing - First Floor Framing Plan  
S1.1 SCALE: 1/4"=1'-0"

2 Main House - First Floor Framing Plan  
S1.1 SCALE: 1/4"=1'-0"



3 East Wing - First Floor Framing Plan  
S1.1 SCALE: 1/4"=1'-0"

Permit Set: 12/14/10

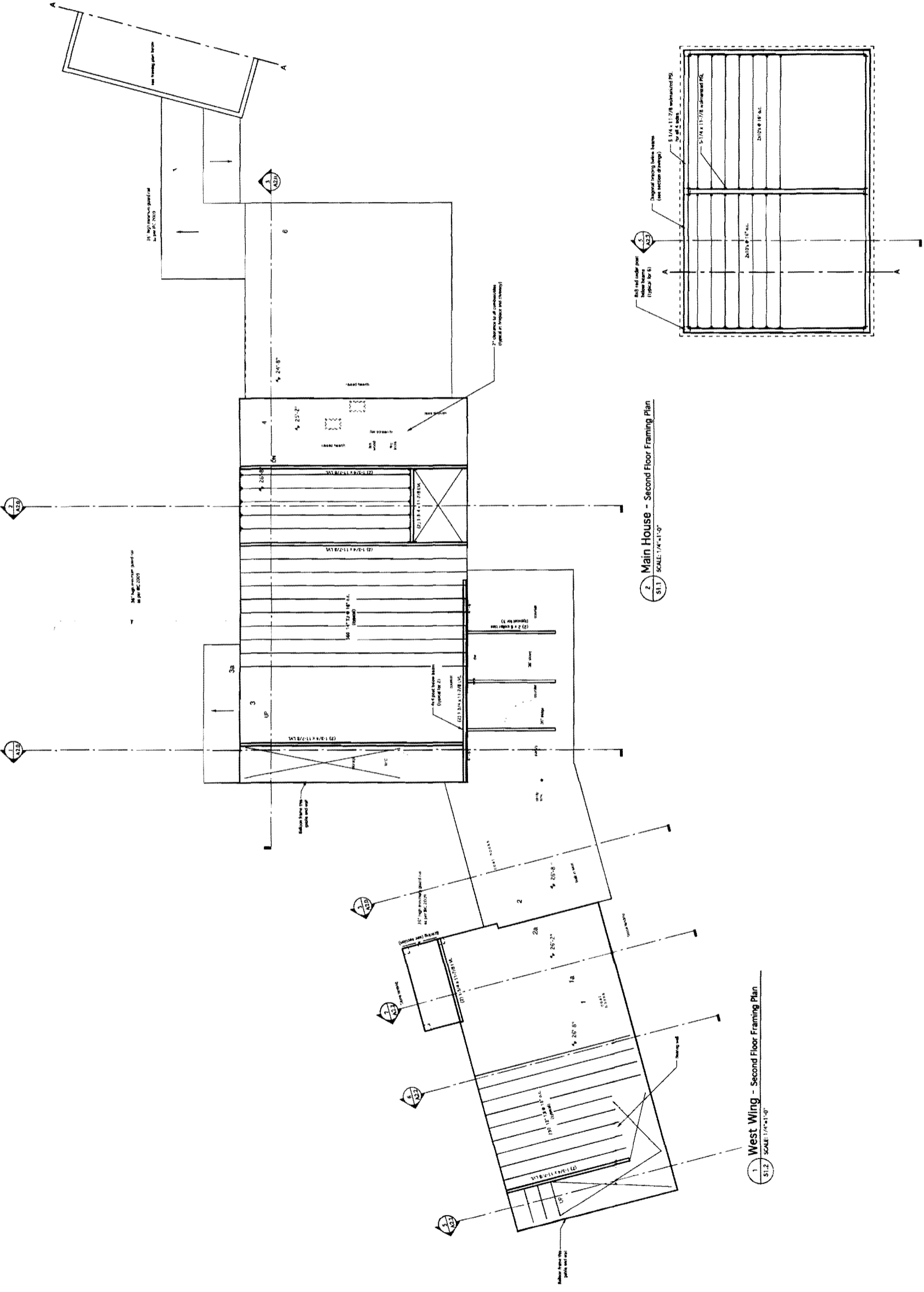
Van Dam Architecture and Design  
66 West Street  
Portland, Maine 04102  
Phone: 734-2333  
Fax: 734-2892  
www.vandamdesign.com

Marjorie Shaw Residence

Little Diamond Island, ME

First Floor Framing Plan  
Scale: 1/4" = 1'-0" Date: 09/14/2010  
Drawn By: BJBH  
Revisions:  
Job # 21010  
S1.1

<p><b>Marjorie Shaw Residence</b> Little Diamond Island, ME</p>	<p><b>Second Floor Framing Plan</b> Date: 09/14/2010 Job # 21010</p>	<p><b>S1.2</b></p>
<p>Van Dam Architecture and Design 66 West Street Portland, Maine 04102 Tel: 773-892-2077 www.vandamdesign.com</p>	<p>Drawn By: JKH Scale: 1/4" = 1'-0"</p>	



1 West Wing - Second Floor Framing Plan  
S1.2 SCALE: 1/4"=1'-0"

2 Main House - Second Floor Framing Plan  
S1.1 SCALE: 1/4"=1'-0"

3 East Wing - Second Floor Framing Plan  
S1.2 SCALE: 1/4"=1'-0"

Permit Set: 12/14/10

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Marjorie Shaw Residence  
 Little Diamond Island, ME

Foundation Plan  
 Drawn By: KRM Scale: 1/4" = 1'-0"  
 Date: 12/14/2010  
 Job # 21010

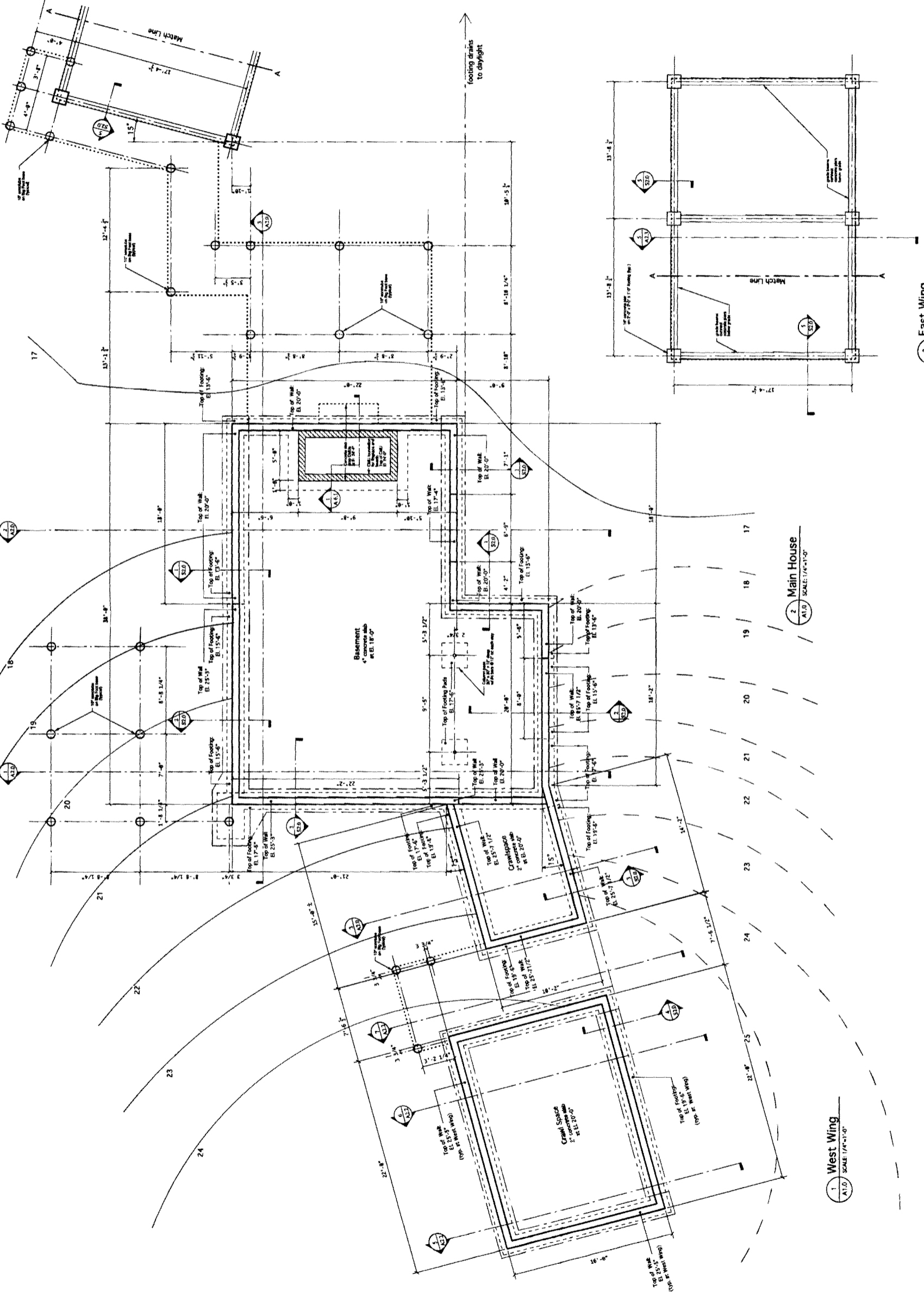
S1.0

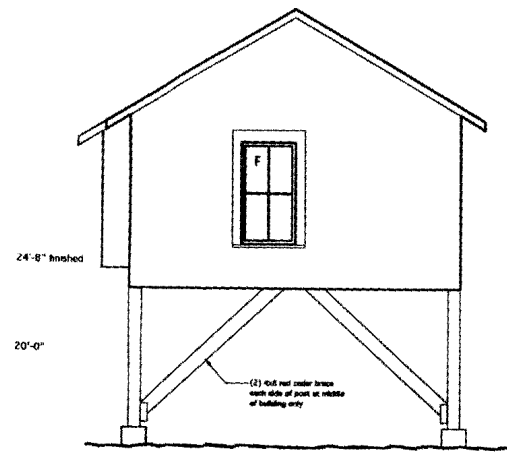
PERMIT SET: 12/14/10

3 East Wing  
 A1.0 SCALE: 1/4" = 1'-0"

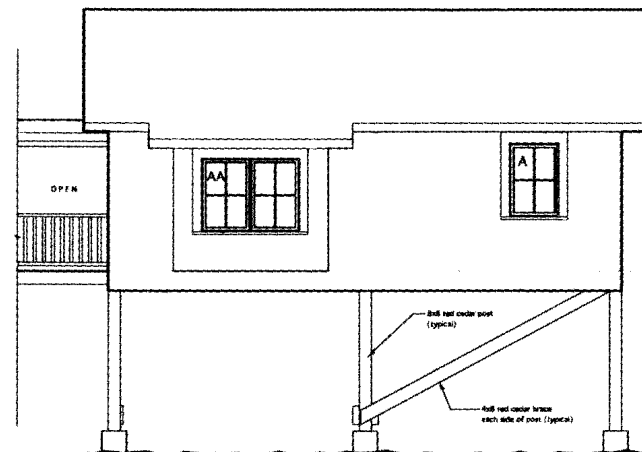
2 Main House  
 A1.0 SCALE: 1/4" = 1'-0"

1 West Wing  
 A1.0 SCALE: 1/4" = 1'-0"

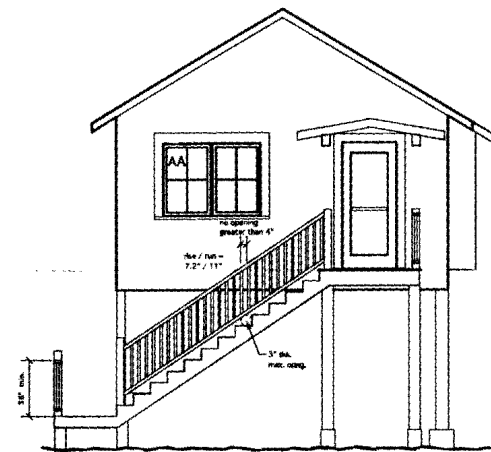




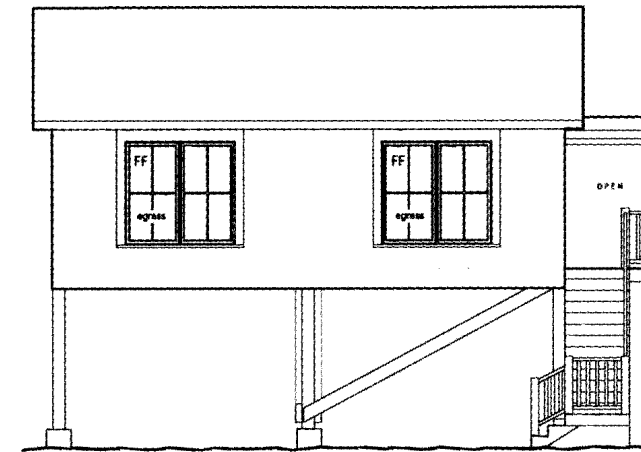
1 East Wing - East Elevation  
A2.3 SCALE: 1/4"=1'-0"



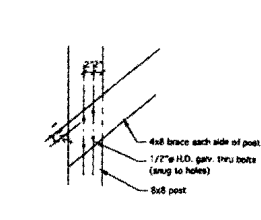
2 East Wing - South Elevation  
A2.3 SCALE: 1/4"=1'-0"



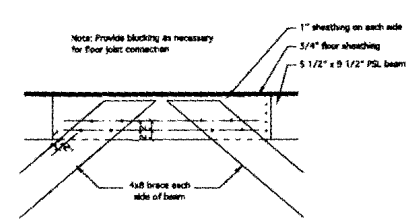
3 East Wing - West Elevation  
A2.3 SCALE: 1/4"=1'-0"



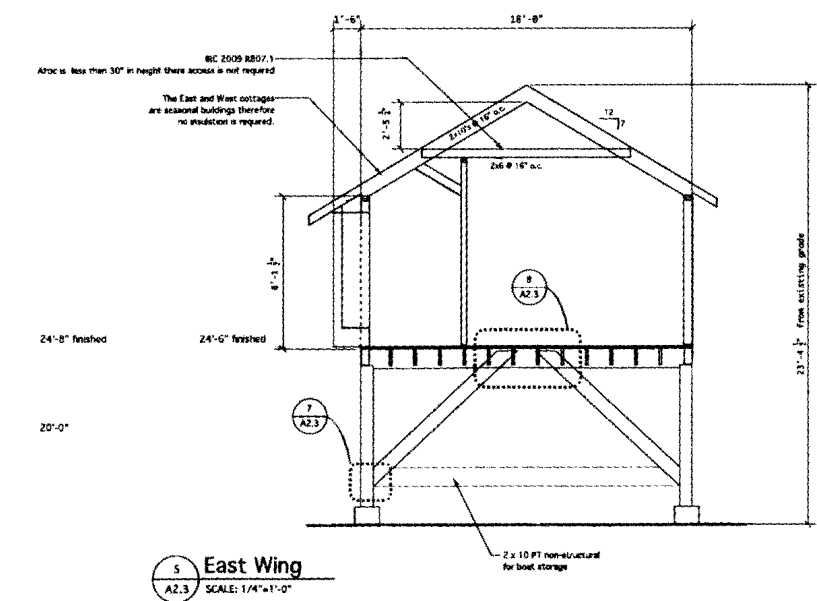
4 East Wing - North Elevation  
A2.3 SCALE: 1/4"=1'-0"



7 Framing Detail  
A2.3 SCALE: 1/4"=1'-0"



8 Framing Detail  
A2.3 SCALE: 1/4"=1'-0"



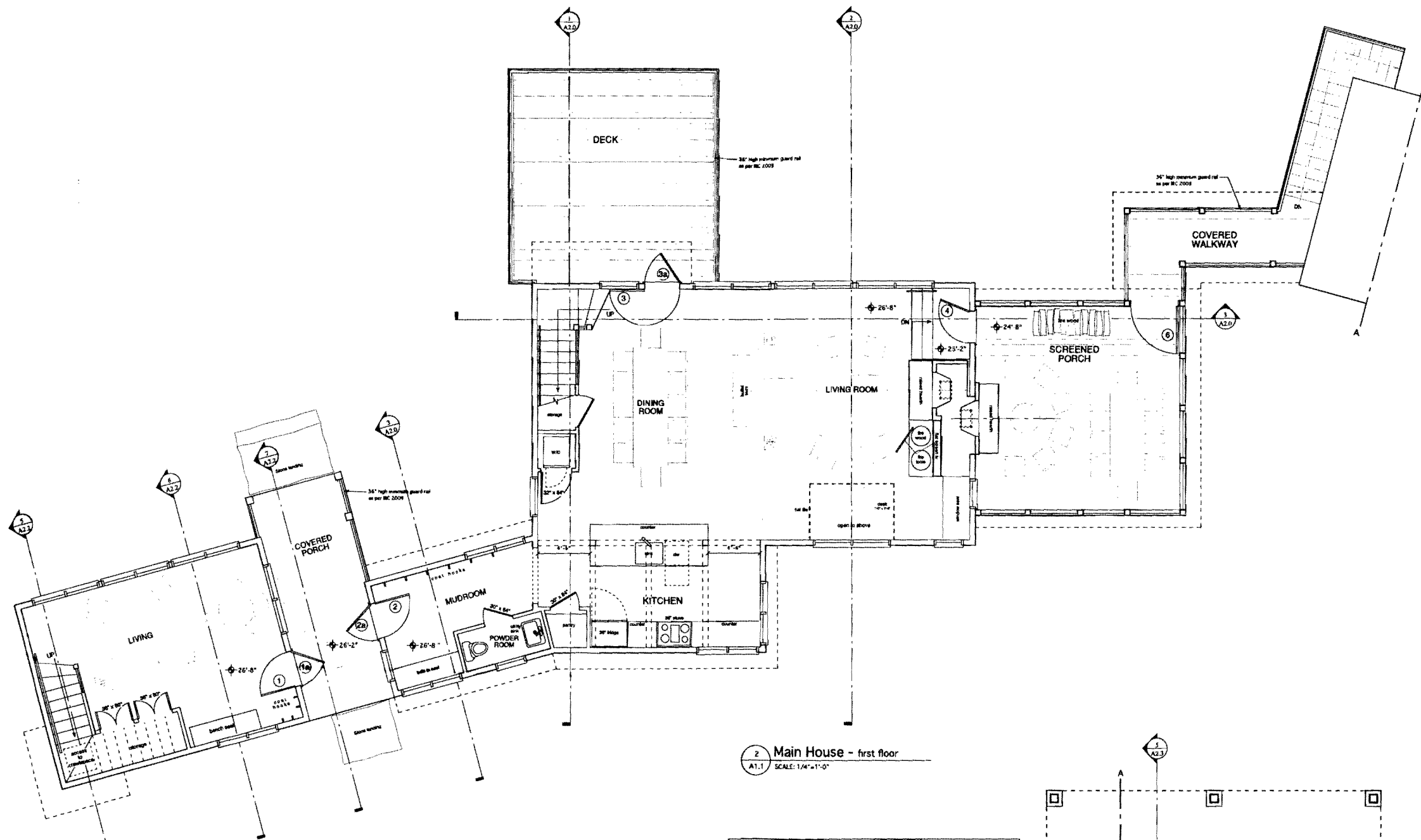
5 East Wing  
A2.3 SCALE: 1/4"=1'-0"

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Marjorie Shaw Residence  
Little Diamond Island, ME

East Wing Sections / Elevations  
Drawn By: SKH Scale: 1/4" = 1'-0" Date: 09/14/2010  
Reviewed By: JTB Job #: 21010

PERMIT SET: 12/14/10  
A2.3

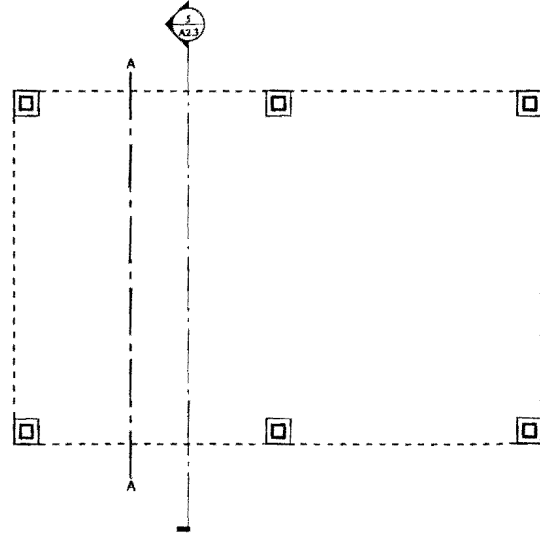


1 West Wing - first floor  
A1.1 SCALE: 1/4"=1'-0"

2 Main House - first floor  
A1.1 SCALE: 1/4"=1'-0"

WINDOW SCHEDULE			DOOR SCHEDULE		
UNIT	SIZE (width x height)	TYPE	UNIT	SIZE (width x height)	TYPE
A	36" x 47"	casement	1	36" x 84"	hinged / glass
B	42" x 77"	casement	2	36" x 96"	hinged / glass
C	32" x 32"	casement	3	36" x 48"	hinged / glass
D	32" x 56"	casement	4	36" x 96"	hinged / glass
E	30" x 48"	casement	5	36" x 84"	hinged / glass
F	36" x 84"	casement	6	36" x 96"	hinged / screen
G	54" x 96"	double hung			

- NOTES:  
 1) Tempered  
 a) Hinged screen  
 1) All glass within 18" of finished floor shall be tempered  
 2) All windows adjacent to pools shall be tempered  
 3) One window in each bedroom shall meet all egress requirements  
 4) All interior doors shall be one panel wood see plan for sizes



3 East Wing - ground level  
A1.1 SCALE: 1/4"=1'-0"

Permit Set: 12/14/10

Van Dam Architecture and Design  
 65 West Street  
 Portland, Maine 04102  
 Tel: 603.775.2882  
 www.vandamdesign.com

Marjorie Shaw Residence  
 Little Diamond Island, ME

**First Floor Plan**  
 Scale: 1/4" = 1'-0"  
 Date: 09/14/2010  
 Job # 21010  
 Drawn By: JDB  
 Revisions:

**A1.1**