

105-H-008

Location of Construction:		Owner:		Phone:		Permit 050444	
Owner Address:		Leasee/Buyer's Name:		Phone:		Business Name:	
Contractor Name:		Address:		Phone:		<div style="border: 2px solid black; padding: 5px; text-align: center;"> PERMIT ISSUED Permit Issued: MAY 12 1995 CITY OF PORTLAND </div>	
Past Use:		Proposed Use:		COST OF WORK: \$ _____ PERMIT FEE: \$ _____			
Proposed Project Description:		FIRE DEPT. <input type="checkbox"/> Approved <input type="checkbox"/> Denied		Signature: _____ Signature: _____		Zone: _____ CBL: _____ Zoning Approval: _____ Special Zone or Reviews: <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan maj <input type="checkbox"/> minor <input type="checkbox"/> mm <input type="checkbox"/>	
		PEDESTRIAN ACTIVITIES DISTRICT (P.U.D.) Action: Approved <input type="checkbox"/> Approved with Conditions: <input type="checkbox"/> Denied <input type="checkbox"/>		Signature: _____ Date: _____		Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied	
Permit Taken By:		Date Applied For:				Historic Preservation <input type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review	

1. This permit application doesn't preclude the Applicant(s) from meeting applicable State and Federal rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..



CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

SIGNATURE OF APPLICANT ADDRESS: DATE: PHONE:

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE PHONE:

CEO DISTRICT



BUILDING PERMIT REPORT

DATE:

5/9/95

ADDRESS:

Anderson Ave (105-H-8,9,10)
Little Diamond Island

REASON FOR PERMIT:

Demolish front ell & replace with Addition 16' x 22'

BUILDING OWNER:

Stephen Burke

CONTRACTOR:

Theodore Rand

APPROVED:

with conditions (circled)

PERMIT APPLICANT:

contractor

DENIED:

1, 7, 9, 11, 13, 14, 15, 16

CONDITION OF APPROVAL OR DENIAL

1. Before concrete for foundation is placed, approvals from Public Works and Inspection Services must be obtained. (A 24 hour notice is required prior to inspection)
2. Precaution must be taken to protect concrete from freezing.
3. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed. This is done to verify that the proper setbacks are maintained.
4. All vertical openings shall be enclosed with construction having a fire rating of at least one(1) hour, including fire doors with selfclosers.
5. Each apartment shall have access to two(2) separate, remote and approved means of egress. A single exit is acceptable when it exits directly from the apartment to the building exterior with no communications to other apartment units.
6. The boiler shall be protected by enclosing with one(1) hour fire-rated construction including fire doors and ceiling, or by providing automatic extinguishment. Sprinkler piping serving not more than six sprinklers may be connected to a domestic water supply having a capacity sufficient to provide 0.15 gallons per minute, per square foot of floor throughout the entire area. An INDICATING shut-off valve shall be installed in an accessible location between the sprinkler and the connection to the domestic water supply. Minimum pipe size shall be 3/4 inch copper or 1 inch steel. Maximum coverage area of a residential sprinkler is 144 sq. feet per sprinkler.
7. Every sleeping room below the fourth story in buildings of Use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue. The units must be operable from the inside without the use of special knowledge or separate tools. Where windows are provided as means of egress or rescue, they shall have a sill height not more than 44 inches (1118mm) above the floor. All egress or rescue windows from sleeping rooms shall have a minimum net clear opening height dimension of 24 inches (610mm). The minimum net clear opening width dimension shall be 20 inches (508 mm), and a minimum net clear opening of 5.7 sq. feet.
8. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type.
9. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's building code Chapter 9, section 19, 919.3.2(BOCA National Building Code/1993), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following locations):

over 2

1. In the immediate vicinity of bedrooms
2. In all bedrooms
3. In each story within a dwelling unit, including basements

In addition to the required AC primary power source, required smoke detectors in occupancies in Use Groups R-2, R-3 and I-1 shall receive power from a battery when the AC primary power source is interrupted.

10. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating. Private garages attached side-by-side to rooms in the above occupancies shall be completely separated from the interior spaces and the attic area by means of 1/2 inch gypsum board or the equivalent applied to the garage side. (Chapter 4 section 407.0 of the BOCA/1993)
11. Guardrail & Handrails-A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level. Minimum height all Use Groups 42", except Use Group R which is 36". In occupancies in Use Group A, B, H-4, I-1, I-2 M and R and public garages and open parking structures, open guards shall have balusters or be of solid material such that a sphere with a diameter of 4" cannot pass through any opening. Guards shall not have an ornamental pattern that would provide a ladder effect.
12. All exit signs, lights, and means of egress lighting shall be done in accordance with Chapter 10, section & subsections 1023. & 1024. of the City's building code. (The BOCA National Building Code/1993)
13. Stair construction in Use Group R-3 & R-4 is a minimum of 9" tread and 8-1/4" maximum rise. All other Use Group minimum 11" tread, 7" maximum rise.
14. Headroom in habitable space is a minimum of 7'6".
15. The minimum headroom in all parts of a stairway shall not be less than 80 inches.
16. All construction and demolition debris must be disposed at the City's authorized reclamation site. The fee rate is attached. Proof of such disposal must be furnished to the office of Inspection Services before final Certificate of Occupancy is issued or demolition permit is granted.
17. Section 25-135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".
18. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act, Title 5 MRSA refers, shall obtain a certification from a design professional that the plans of the facility meet the standards of construction required by this section. Prior to commencing construction of the facility, the builder shall submit the certification to the Division of Inspection Services.
19. This permit does not excuse the applicant from obtaining any license which may be needed from the City Clerk's Office.


P. Samuel Hoffses, Chief of Inspection Services

/el 3/16/95

Applicant: Steven Burke Date: 5/10/95
Address: Anderson AVE - Little Diamond IS
Assessors No.: 105-G-7 i 105-H-8 i 9 i 105-L-8
10

CHECK LIST AGAINST ZONING ORDINANCE

Date -

Zone Location - IR-2

Interior or corner lot - Cor. Hazelwood

Use - ~~Seasonal use only~~ Single Family removing front ell can struct new addition

→ Sewage Disposal -

Rear Yards - 25' req - 105' shown

Side Yards - 20' req - 12' shown on one side (ok is on area of old ell) & 42' shown

Front Yards - 25' req - 117' shown

Projections -

Height -

Lot Area -

Building Area -

Area per Family -

Width of Lot -

Lot Frontage - 70' req 76' shown

Off-street Parking -

Loading Bays -

Site Plan -

Shoreland Zoning - yes - is 105' back from High Water per plans

Flood Plains -

CITY OF PORTLAND
 DIVISION OF INSPECTION SERVICES
 DEMOLITION CALL LIST

Little Diamond Island

Site Address: 105-H-8, 9, 10 Owner: Stephen Burke

Structure Type: Frame Contractor: _____

105 H 8, 9, 10

<u>UTILITY APPROVALS</u>	<u>NUMBERS</u>	<u>CONTACT NAME AND DATE</u>
Central Maine Power	828-1411 X 5000	<u>D Foss - Peaks Is 5/1/95</u>
Nynex	878-7000	_____
Northern Utilities	797-8002 X 6243	<u>NA</u>
Portland Water District	761-8310	<u>NA</u>
Public Cable Co.	775-2381 X 257	<u>NA</u>
Dig Safe	1-800-225-4977	<u>NA</u>

<u>CITY APPROVALS</u>	<u>NUMBERS</u>	<u>CONTACT NAME AND DATE</u>
DPW/Sewer Division	874-8300 X 8871	<u>NA</u>
DPW/Traffic Division	874-8300 X 8891	<u>NA</u>
DPW/Forestry Division	874-8300 X 8820	<u>NA</u>
DPW/Sealed Drain Permit	874-8300 X 8822	<u>NA</u>
Building Inspections	874-8300 X 8703	<u>5/3/95</u>
Historic Preservation	874-8300 X 8699	<u>NA</u>
Fire Dispatcher	874-8300 X 8576	<u>NA</u>

Written Notice to Adjoining Owners

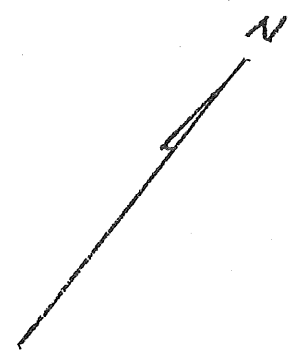
<u>ASBESTOS</u>	<u>NUMBERS</u>	<u>CONTACT NAME AND DATE</u>
U. S. EPA REGION 1	617-565-9055 (Lee Weller)	_____
DEP - Environmental	822-6300	_____

I have contacted all of the necessary companies and departments.

Signed: *[Signature]* Date: 5/3/95

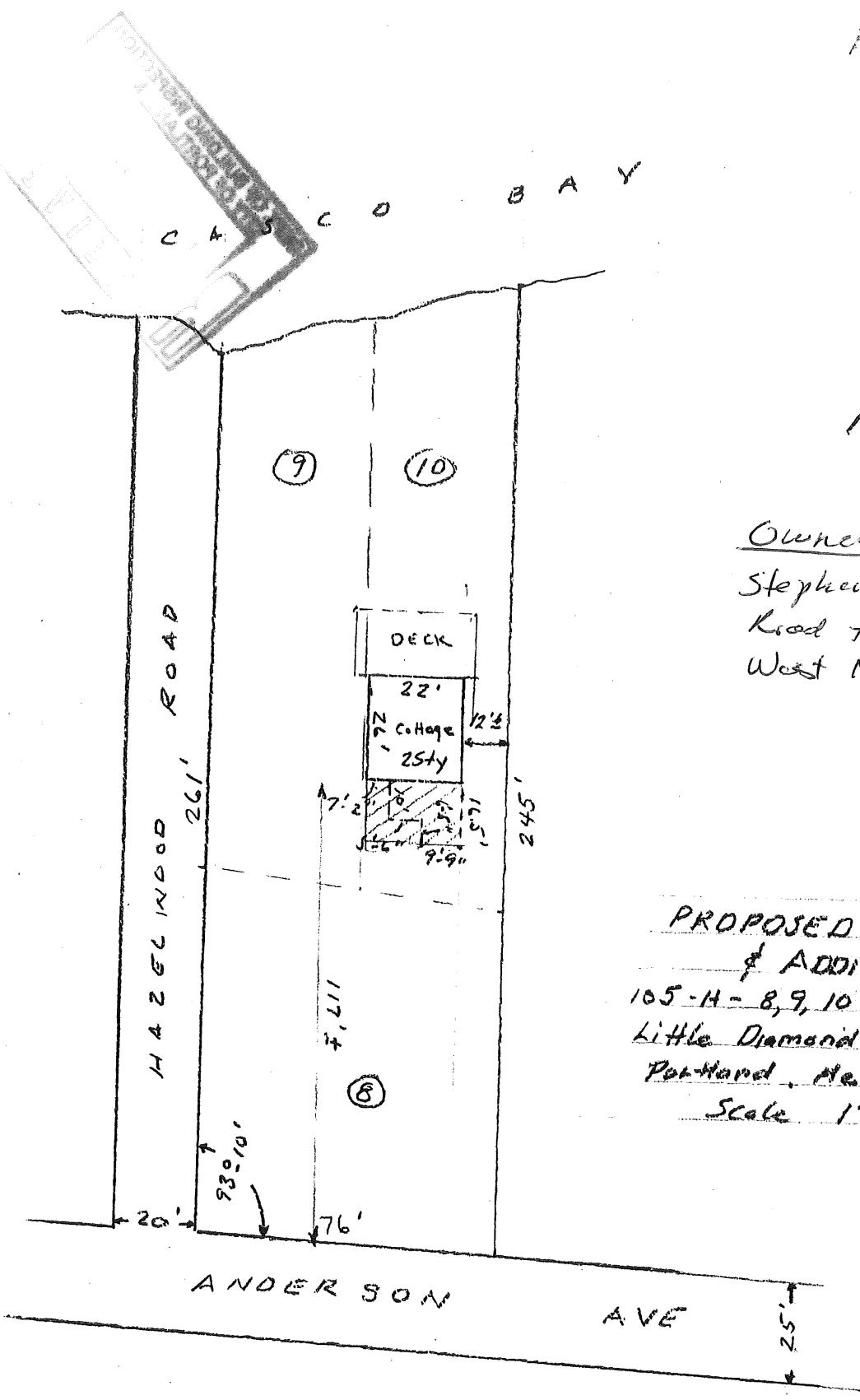
MAY 1, 1995 (1)
Little Diamond Island
Portland, Me

C A S C O B A Y



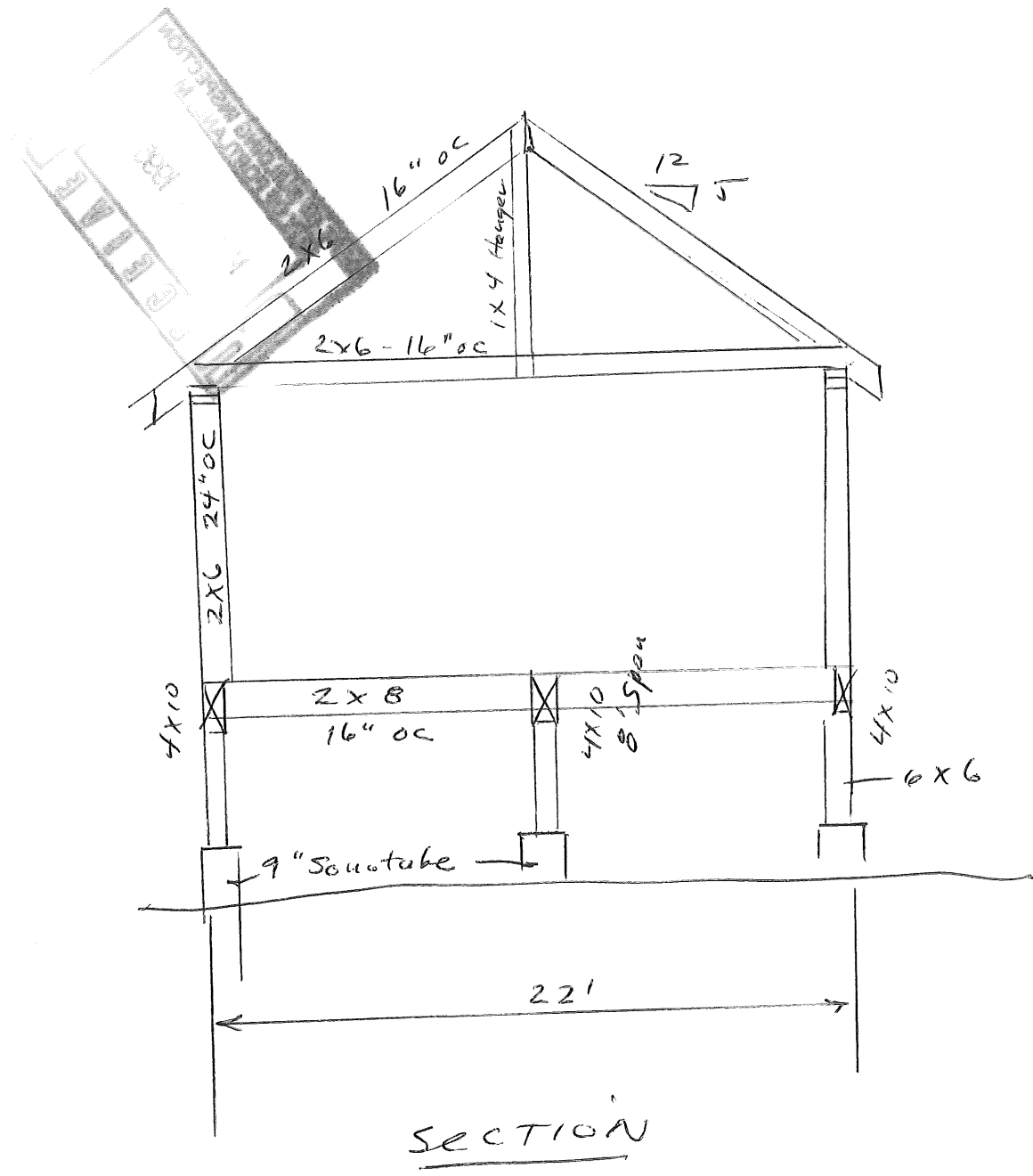
Owner
Stephen Burke
Road to the River
West Newbury, MA

PROPOSED DEMOLITION
& ADDITION 16' x 22'
105-H-8, 9, 10
Little Diamond Island
Portland, Me
Scale 1" = 40'



5/3/95

(2)



Framing - Addition for Stephen Burke
 165-H-8,9,10
 Little Diamond Island

RPPLST6 CAMA Real Property System - Residential Display 5/05/95
RPP092 Parcel Id: 105- - G-007-001 01/01 Acct: B5901895 11:37

Property Address ANDERSON AVE
Owner Name1 BURKE STEPHEN F JR (1, f, i)
Name2

Address 41 WAY TO THE RIVER ROAD
City/State/Zip WEST NEWBURY MA 01985

Entrance Code 2 Land Use 40 # of Units 0

Route 23 Zone IR2' Nbhd 100 District 19 Traffic 4

Utilities 7 Desc 105-G-7 ANDERSON AVE-HAZELWOOD
RD LITTLE DIA ISL
151326F
Total Sq Ft Living Area 0

House Style Year Built 1000 Total Rms 00 Total Bedrms 00

Baths Full 0 Half 0 Kitchen Remodeled 0 Bath Remodeled 0 Basement 0

Attic 0 Phy Cond 0 CDU 00 Heating Type Wood/Coal Burn 0
Next Screen E_

RPPLST6 CAMA Real Property System - Residential Display 5/05/95
RPP092 Parcel Id: 105- - H-008-001 01/01 Acct: B5902595 11:39

Property Address ANDERSON AVE
Owner Name1 BURKE STEPHEN F JR (1, f, i)
Name2

Address 41 WAY TO THE RIVER ROAD
City/State/Zip WEST NEWBURY MA 01985

Entrance Code Land Use 18 # of Units 1

Route 24 Zone IR2 Nbhd 100 District 19 Traffic 4

Utilities 2 6 Desc 105-H-8-9 ANDERSON AVE
HAZELWOOD RD
LITTLE DIA ISL
129456F
Total Sq Ft Living Area 1,294

House Style 10 Year Built 1940 Total Rms 05 Total Bedrms 03

Baths Full 2 Half 0 Kitchen Remodeled 2 Bath Remodeled 2 Basement 1

Attic 1 Phy Cond 4 CDU AV Heating Type 2 2 2 Wood/Coal Burn 0
Next Screen E_

RPPLST7
RPP095

CAMA Real Property System - Residential Display
Parcel Id: 105- - H-008-001 01/01 Acct: B5902595

5/05/95
11:48

LWP	1ST	2ND	3RD	AREA			
A	MAIN STR			0572		+-----30-----+	
B	31			0520	E		E
C	10			0150	10		E
D	14			0024	E		E
E	11			0030	E	B	26
F						+-----22-----+	E
G					E		10 E
H					E		E E
I					26		+--+
					E	A	26
TOTAL AREA:			1294		E		E
					E		E
						+-----+22-15-----+	
					E		E
					E	C	10
						+-----15-----+	
						+-----6-6-----	
						E	0

RPPLST6
RPP092

CAMA Real Property System - Residential Display
Parcel Id: 105- - L-008-001 01/01 Acct: B5903095

Return E_
5/05/95
11:54

Property Address ANDERSON AVE
 Owner Name1 BURKE STEPHEN F JR (1, f, 1)
 Name2
 Address 41 WAY TO THE RIVER ROAD
 City/State/Zip WEST NEWBURY MA 01985

Entrance Code 2 Land Use 40 # of Units 0

Route 34 Zone IR2 Nbhd 100 District 19 Traffic 4

Utilities 7 Desc 105-L-8 ANDERSON AVE Total Sq Ft
 OCEAN VIEW RD Living Area 0
 LITTLE DIAMOND ISLAND
 12600 SF

House Style Year Built 1000 Total Rms 00 Total Bedrms 00

Baths Full 0 Half 0 Kitchen Remodeled 0 Bath Remodeled 0 Basement 0

Attic 0 Pny Cond 0 CDU 00 Heating Type Wood/Coal Burn 0
 Next Screen E_

Inspection Services
P. Samuel Hoffses
Chief



Planning and Urban Development
Joseph E. Gray Jr.
Director

CITY OF PORTLAND

May 12, 1995

Theodore Rand
Little Diamond Island, ME

Re: Anderson Ave 105-H-008-010
Little Diamond Island

Dear Mr. Rand,

Your application to demolish an ell and replace with an addition (16' x 22') has been reviewed and a permit is herewith issued subject to the following requirements: This permit does not excuse the applicant from meeting applicable State and Federal laws.

No Certificate of Occupancy will be issued until all requirements of this letter are met.

1. This is considered a seasonal dwelling. Any change in that status requires a State plumbing permit to allow a conversion.
2. A floor plan was not included in the submittal. If any additional bedrooms are to be included in this addition, before any work begins, this office must receive a copy of an approval (HHE 200 form) from a State Licensed Soil Analysis person approving the increase in bedrooms.
3. All the conditions on the attached building permit report shall be met.

If you have any questions regarding these requirements, please do not hesitate to contact this office.

Sincerely,

Marge Schmuckal
Asst. Chief of Inspection Services