

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 02-002	Issue Date: FEB 5 2002	CBL: 092 G001001
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Location of Construction: 291 Pleasant Ave Pi	Owner Name: Cohan David L	Owner Address: 291 Pleasant Ave CITY OF PORTLAND	Phone: 207-766-5642
Business Name: n/a	Contractor Name: Peaks Company, LLC	Contractor Address: PO Box 45 19 Brackett Ave, PI Portla	Phone: 2077665642
Lessee/Buyer's Name n/a	Phone: n/a	Permit Type:	Zone: IR1

Past Use: Single Family	Proposed Use: Single Family / Additions & Renovations, existing structure is 6 bedrooms, proposed is 4 bedrooms. Rebuild shed as is.	Permit Fee:	Cost of Work: \$75,000.00	CEO District: 3
Proposed Project Description: Additions & Renovations		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R3 Type: SB BOCA 99 Signature: <i>[Signature]</i>	
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: _____ Date: _____		

Permit Taken By: gg	Date Applied For: 01/09/2002	Zoning Approval		
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<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p>	<p>Special Zone or Reviews</p> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <i>Panel 15 Zone C</i> <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan <i>OK per sec 14-382</i> Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>[Signature]</i>	<p>Zoning Appeal</p> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	<p>Historic Preservation</p> <input type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: _____
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

BUILDING PERMIT INSPECTION PROCEDURES


Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

_____ Pre-construction Meeting: Must be scheduled with your inspection team upon receipt of this permit. Jay Reynolds, Development Review Coordinator at 874-8632 must also be contacted at this time, before any site work begins on any project other than single family additions or alterations.

- NA IF NO FOOTINGS IF FOOTINGS YES 
- NA Footing/Building Location Inspection: Prior to pouring concrete
- NA Re-Bar Schedule Inspection: Prior to pouring concrete
- Foundation Inspection: Prior to placing ANY backfill
- Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling
- Final/Certificate of Occupancy: Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

_____ If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

_____ CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED

David H. Cole
Signature of applicant/designee

2/5/02
Date

Signature of Inspections Official

Date

CBL: 092 6001 Building Permit #: _____

Inspection Services
Michael J. Nugent
Manager



Housing & Neighborhood Services
Mark Adelson
Director

CITY OF PORTLAND

November 9, 2001

David L Cohan
PO Box 45
19 Brackett Ave
Portland ME, 04108

RE: Permit Application #020022 / 291 Pleasant Ave PI CBL: 092 - G - 001

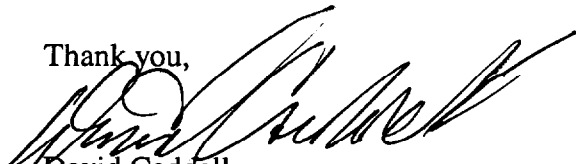
Dear Applicant,

Please be advised that your building permit to renovate a single-family dwelling is approved. The following are compliance issues with your construction documents that are modified in order to comply with the building code.

- 1 - Egress Window required for Master Bedroom
- 2 - Interconnected Hardwired Smoke Detectors must be located 1) In the immediate vicinity of bedrooms, 2) In all bedrooms, 3) In each story including basement
- 3 - Any work on the existing shed will require a separate permit
- 4 - Stairway geometry, Guards and Handrails to conform with Section 1014, 1021 & 1022 - BOCA 1999 (see attachment)

All work shall comply with all applicable State of Maine Statutes and Ordinances of the City of Portland. Any deviation from this permit shall require separate review and approval.

Thank you,



David Caddell
CEO

02 0022

9

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>291 PLEASANT AVENUE, PEAKS ISLAND, ME 04108</u>		
Total Square Footage of Proposed Structure <u>2,200 s.f. existing (to be remodeled)</u>	Square Footage of Lot <u>7,014 s.f. (Combined lots)</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>92</u> Block# <u>G</u> Lot# <u>1</u>	Owner: <u>DAVID L. COHAN</u> <u>P.O. BOX 45</u> <u>19 BRACKETT AVE.</u> <u>PEAKS ISLAND, ME 04108</u>	Telephone: <u>(207) 766-5642 (HOME)</u> <u>(207) 450-6226 (MOBILE)</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>SAME AS OWNER</u>	Cost Of Work: \$ <u>75,000.00</u> Fee: \$ <u>474.00</u>
Current use: <u>SINGLE FAMILY RESIDENCE</u>		
If the location is currently vacant, what was prior use: _____		
Approximately how long has it been vacant: _____		
Proposed use: <u>SAME</u>		
Project description: <u>Renovations in Existing Footprint</u>		
Contractor's name, address & telephone: <u>PEAKS CO, LLC, DAVID L. COHAN, P.O. BOX 45 (207) 766-5642 (HOME)</u> <u>19 BRACKETT AVE., PEAKS ISLAND, ME 04108 (207) 450-6226 (MOBILE)</u>		
Who should we contact when the permit is ready: <u>DAVID COHAN</u>		
Mailing address: <u>SAME AS ABOVE</u>		
(207) 450-6226 Phone:		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>David L. Cohan</u>	Date: <u>12/21/01</u>
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This is not a permit, you may not commence ANY work until the permit is issued

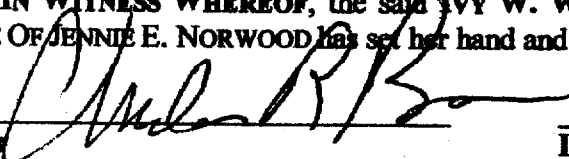
DEED OF SALE BY PERSONAL REPRESENTATIVE
(Testate)

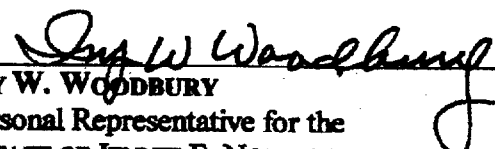
K NOW ALL MEN BY THESE PRESENTS THAT IVY W. WOODBURY, of South Portland, County of Cumberland and State of Maine, duly appointed and acting Personal Representative of the ESTATE OF JENNIE E. NORWOOD, deceased as shown by the Probate Records of Cumberland County, Maine (Docket No. 2001-1371), and not having given notice to each person succeeding to an interest in the real property described herein, such notice not being required under the terms of the decedent's will, by the power conferred by the Probate Court, and every other power, for consideration paid GRANT to DAVID L. COHAN Peaks Island, Portland, Maine, whose mailing address is P O Box 45, 19 Brackett Avenue, Peaks Island, Maine, 04108, Cumberland County, Maine, the real property in Peaks Island, Cumberland County and State of Maine described as follows:

Please See Exhibit A attached hereto

IN WITNESS WHEREOF, the said IVY W. WOODBURY Personal Representative for the ESTATE OF JENNIE E. NORWOOD has set her hand and seal this 30th day of October, 2001.

Witness




IVY W. WOODBURY
Personal Representative for the
ESTATE OF JENNIE E. NORWOOD

STATE OF MAINE
CUMBERLAND, ss.

Then personally appeared the above-named IVY W. WOODBURY in their said capacity and acknowledged the foregoing instrument to be her free act and deed.

Dated: October 30, 2001

Before me,


Notary Public/Attorney at Law

Charles R. Bean
Printed name

EXHIBIT A

A certain lot or parcel of land with the buildings thereon, situated on Peaks Island, in said Portland, and bounded and described as follows:

Beginning at a stone monument set in the ground southwesterly of the "Oceanic House", at the corner formed by the division line between the estate formerly of the late Josiah Sterling and the land formerly of William S. Trefethen; thence Northwesterly by said division line one hundred (100) feet to a stake set in the ground; thence Northeasterly at right angles with said first described line, fifty (50) feet to a stake set in the ground; thence Southwesterly parallel with the first described line one hundred (100) feet more or less to the land formerly of said Trefethen; thence Southwesterly on the line of said Trefethen's land to the point begun at.

Being the same premises conveyed to Washington J. Norwood and Jennie E. Norwood by deed of Katherine B. Sterling et al dated December 30, 1944 and recorded in the Cumberland County Registry of Deeds in Book 1767, Page 263. Washington J. Norwood died January 20, 1967 leaving Jennie E. Norwood as surviving joint tenant.

MAINE REVENUE SERVICES

Property Tax Division
P.O. Box 9106
Augusta, Maine 04332

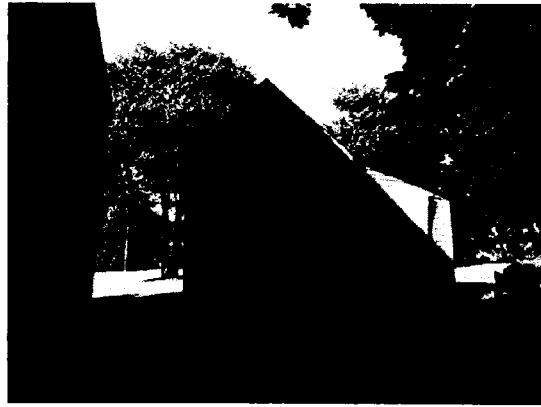
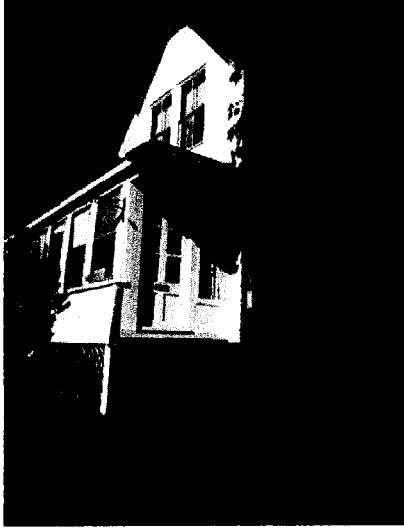


FILE BOTH COPIES
OF THIS FORM WITH
COUNTY REGISTRY OF DEEDS
DO NOT DETACH!

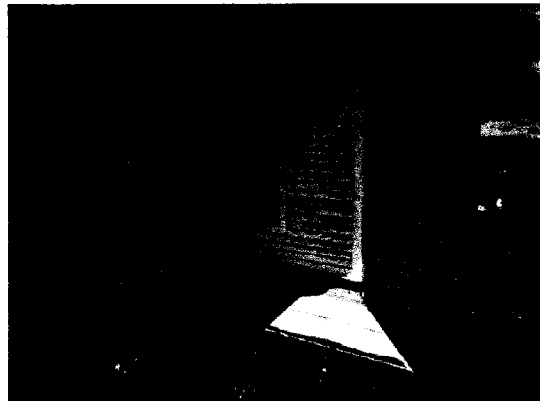
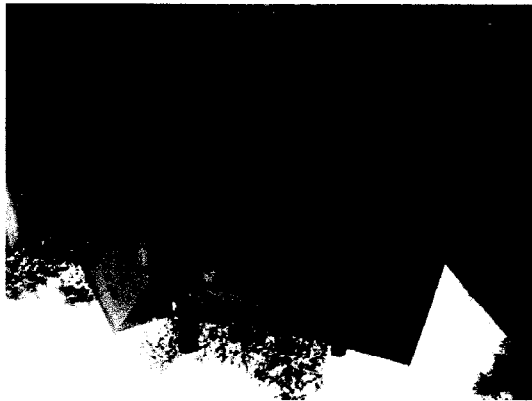
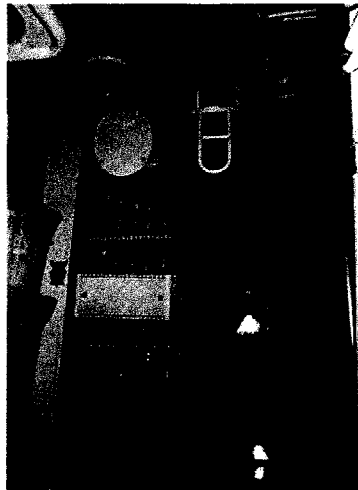
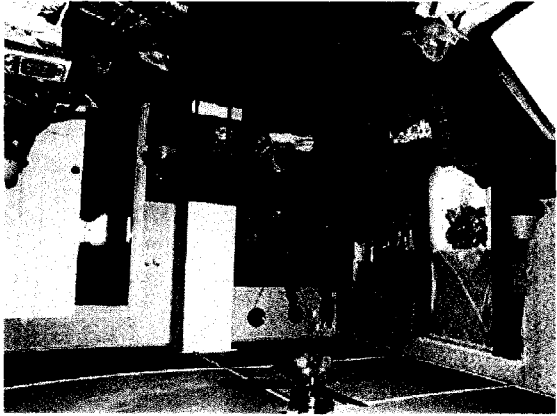
PLEASE READ INSTRUCTIONS ON REVERSE BEFORE COMPLETING DECLARATION

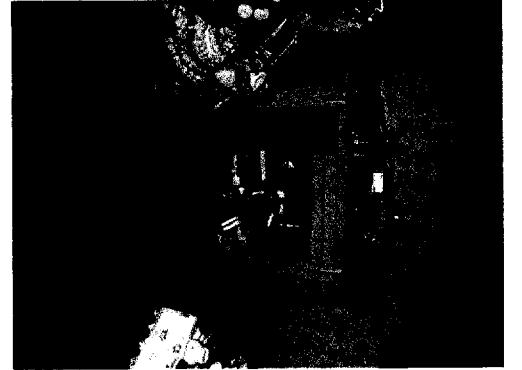
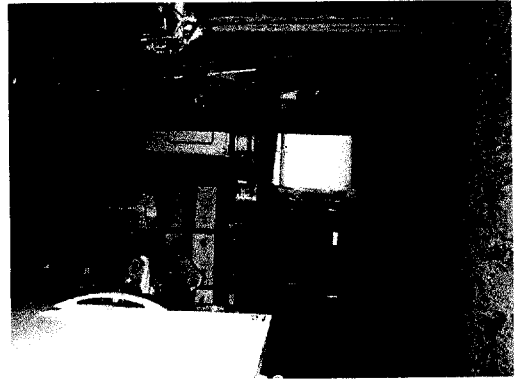
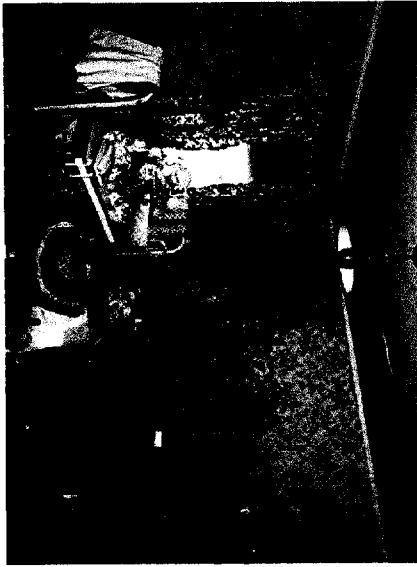
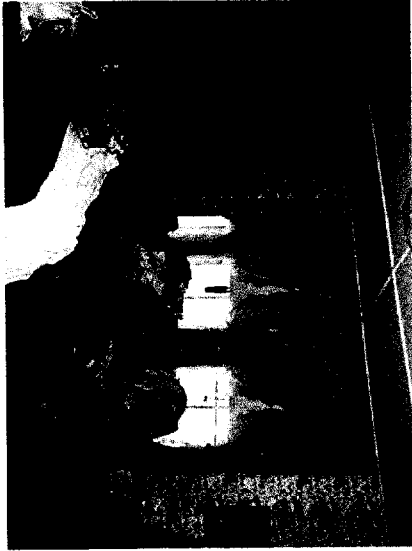
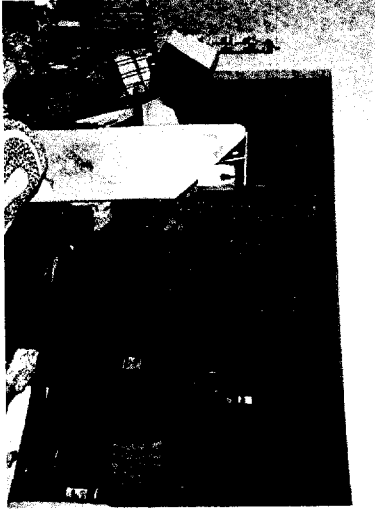
REAL ESTATE TRANSFER TAX DECLARATION TITLE 36, M.R.S.A., SECTIONS 4641 through 4641-N

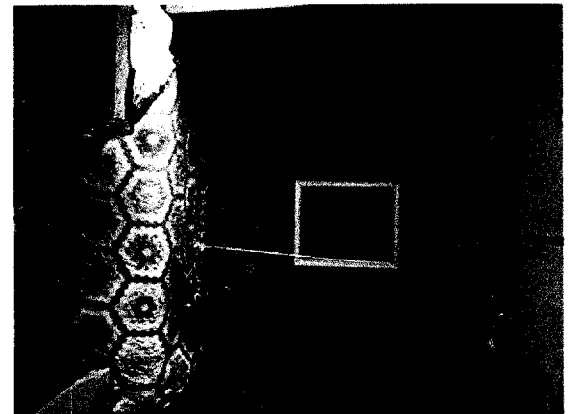
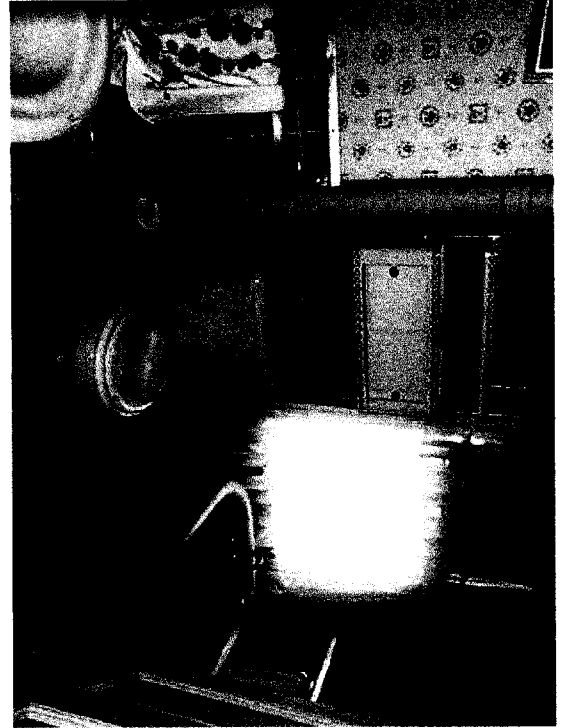
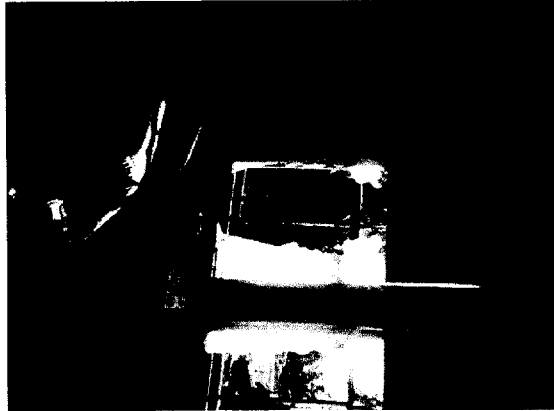
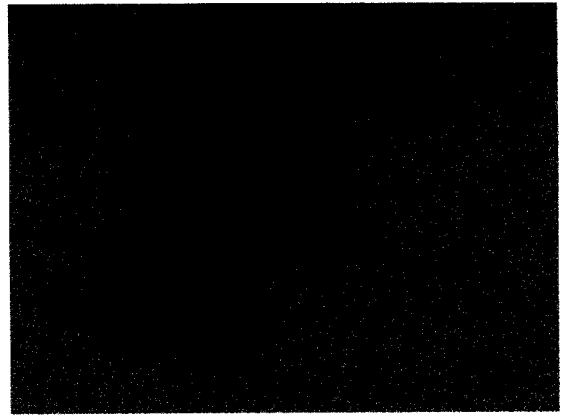
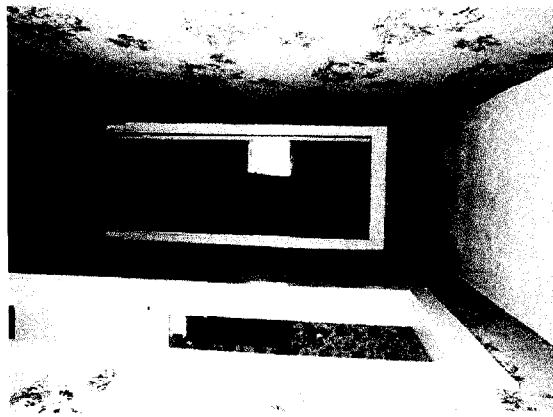
1. MUNICIPALITY OR TOWNSHIP Portland	COUNTY Cumberland	BOOK (REGISTRY USE ONLY)	PAGE (REGISTRY USE ONLY)
GRANTEE (BUYER)			
2. IDENTITY: NAME(S) (LAST, FIRST, INITIAL) AND SOCIAL SECURITY NUMBER(S) OR CORPORATE NAME(S) AND FEDERAL IDENTIFICATION NUMBER(S) Cohan, David L. ▶ 188 46 9224			
3. NUMBER AND STREET P O Box 45	CITY OR TOWN Portland	STATE AND ZIP CODE ME 04108	
GRANTOR (SELLER)			
4. IDENTITY: NAME(S) (LAST, FIRST, INITIAL) AND SOCIAL SECURITY NUMBER(S) OR CORPORATE NAME(S) AND FEDERAL IDENTIFICATION NUMBER(S) Estate of Jennie E. Norwood Ivy W. Woodbury, Personal Representative ▶ 006 36 2339			
5. NUMBER AND STREET 29 Walnut St.	CITY OR TOWN So. Portland	STATE AND ZIP CODE ME 04106	
PROPERTY	6. TAX MAP & LOT NUMBER (Required) Map 92 Block G Lot 1		Warning to Buyer! If the property is classified as Farmland, Open Space, or Tree Growth, a substantial financial penalty could be triggered by development, subdivision, partition, or change in use of the property. <input type="checkbox"/> Applicable <input checked="" type="checkbox"/> Not Applicable
	<input type="checkbox"/> MUNICIPALITY DOES NOT HAVE TAX MAPS (Please describe property)		
	7. DATE OF TRANSFER MO. DAY YR. (Use numerals) ▶ 10 30 01		
CONSIDERATION	8. Consideration meaning total amount or price paid, or required to be paid, for real property valued in money, whether received in money or otherwise and shall include the amount of any mortgage, liens or encumbrances thereon. If a gift or nominal consideration only is paid, consideration is based on the value of the property. Value is the estimated price the property would bring in the open market. (Tax will be collected at the registry when the deed is recorded. The tax rate is \$2.20 per \$500, or fractional part thereof, of consideration or value. The tax is equally divided between the buyer and the seller.) <u>If exempt, complete line 9</u>		
	FULL VALUE ▶ \$ 190,000 .00	TAXABLE CONSIDERATION \$ 190,000 .00	
EXEMPTION	9. EXPLAIN BASIS FOR EXEMPTION (Complete only if transfer is claimed to be fully or partially exempt pursuant to M.R.S.A. 36 §4641-C)		
SPECIAL CIRCUMSTANCES	10. Were there special circumstances in the transfer which suggest that the price of the property was either more or less than its fair market value. (Such as the fact that transfer was a forced sale, foreclosure, intercorporate sale, exchange, or transfer tax was based on estimate value.) <u>PLEASE EXPLAIN.</u> <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO		
INCOME TAX WITHHELD	11. <input type="checkbox"/> Buyer(s) certify that they have withheld Maine income tax from the purchase price as required by § 5250-A and will remit to Maine Revenue Services within 30 days after date of transfer. <input checked="" type="checkbox"/> Buyer(s) not required to withhold Maine income tax because: <input checked="" type="checkbox"/> seller has qualified as a Maine resident, <input type="checkbox"/> a waiver has been received from the State Tax Assessor, <input type="checkbox"/> consideration for the property is less than \$50,000, <input type="checkbox"/> foreclosure sale: exempt per 36 MRSA §5250-A, sub§ 3-A		
OATH	12. Aware of penalties as set forth by Title 36, Section 4641-K, we hereby swear or affirm that we have each examined this return and to the best of our knowledge and belief, it is true, correct, and complete.		
	GRANTEE(S) or AUTHORIZED AGENT <i>David L. Cohan</i>	DATE 10/30/01	GRANTOR(S) or AUTHORIZED AGENT <i>Ivy W. Woodbury</i> PR
			DATE 10/30/01
PREPARER	13. Name and address of person or firm preparing this form Charles R. Bean, PA P O Box 2267 So Portland ME 04116-2267		



291 PLEASANT AVE. PEAKS ISLAND.
AS-BUILT / EXISTING PHOTOS





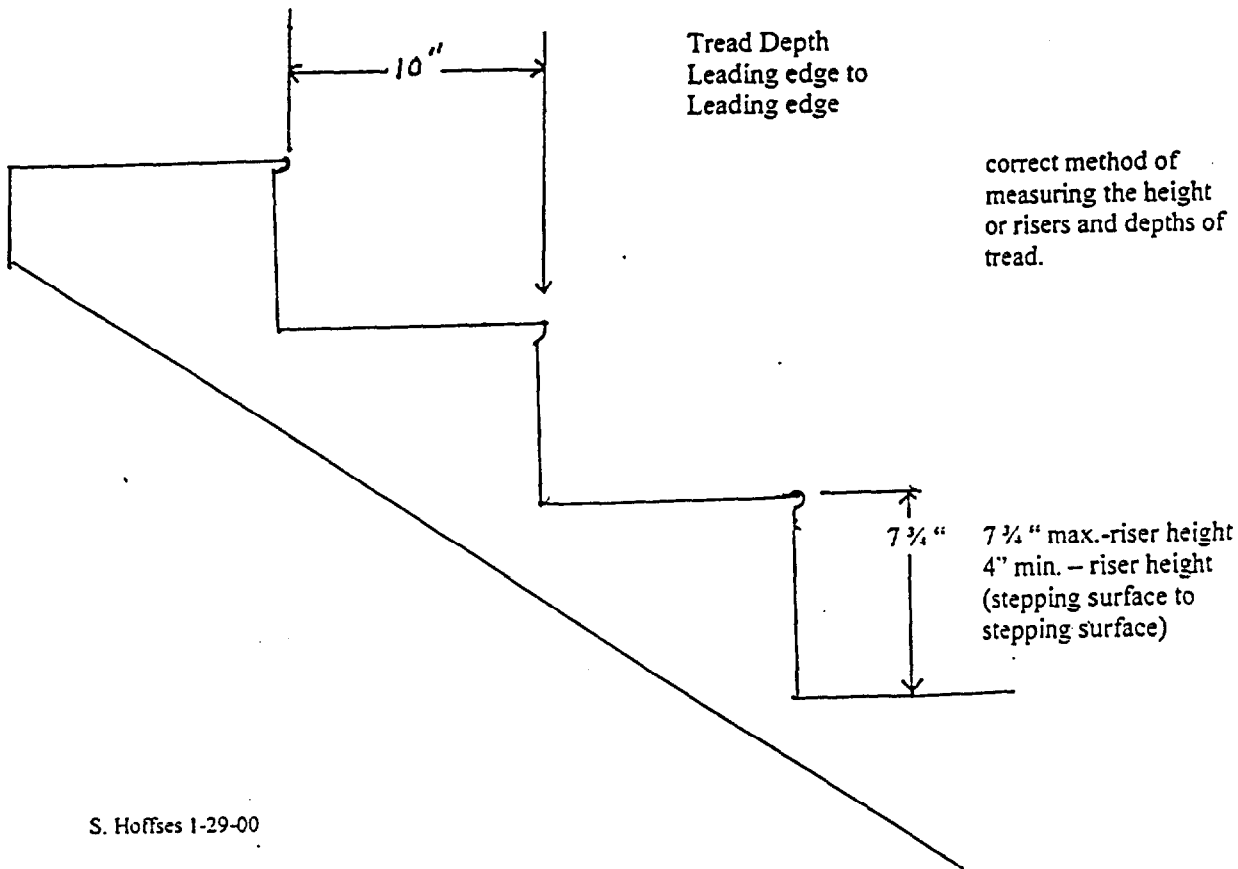






TREAD/RISER DIMENSIONS ONE & TWO FAMILY BOCA NATIONAL BUILDING CODE/1999 SECTION 1014.6 TREADS & RISERS

EXCEPTION: NO. 8 – In occupancies in use group R-3, within dwelling units in occupancies Use Group R-2 and in occupancies in Use Group U which are accessory to an occupancy in Use Group R-3. The maximum riser height shall be 7 ¼ inches (197mm) and the minimum tread depth shall be 10 inches (254mm). A nosing not less than ¾ inches but not more than 1 ¼ inches (32mm) shall be provided on stairways with solid risers where the depth is less than 11 inches (279mm).

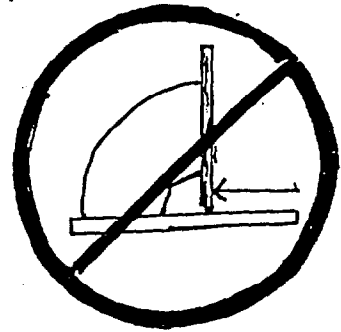
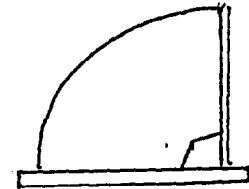
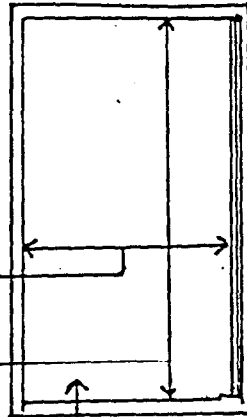
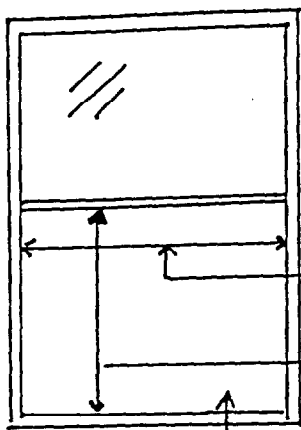


Egress Windows

At least 1 egress window (or exterior door) is required to be provided in sleeping rooms, below the fourth story to be considered an egress window, all of the following 4 conditions must be met.

Double hung windows

Casement Windows



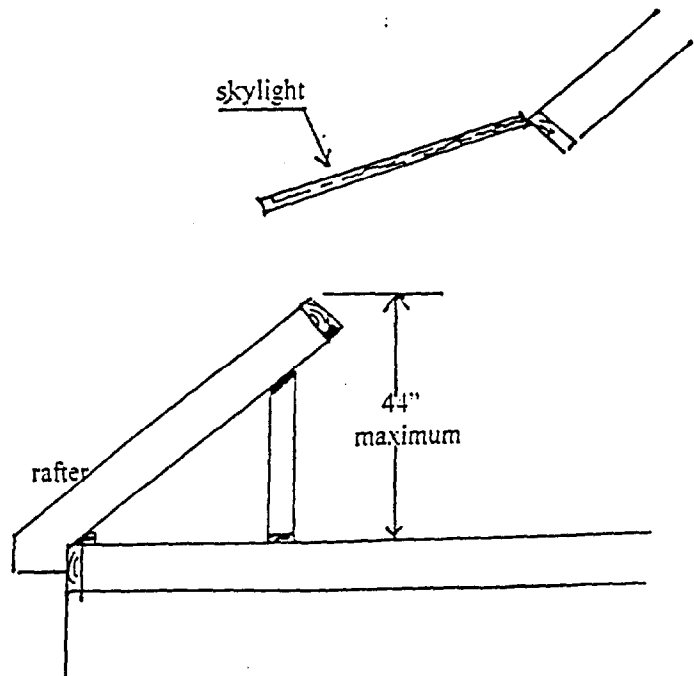
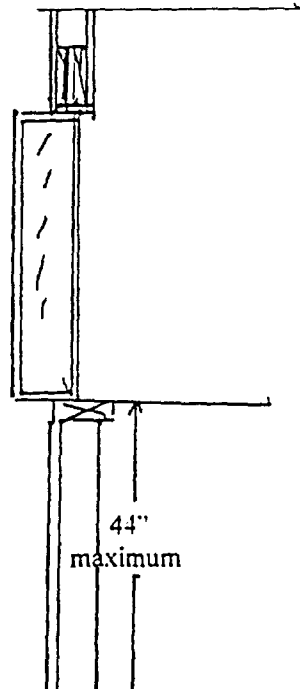
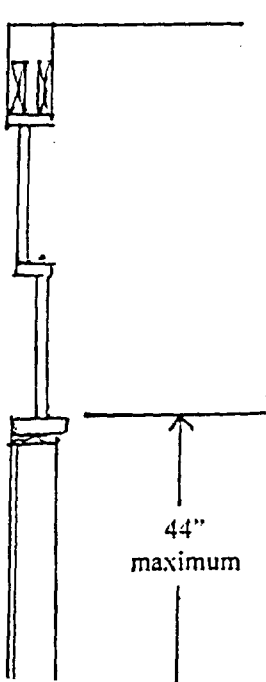
- 1 20" minimum width
- 2 24" minimum height

3 Total net clear opening must be a minimum of:

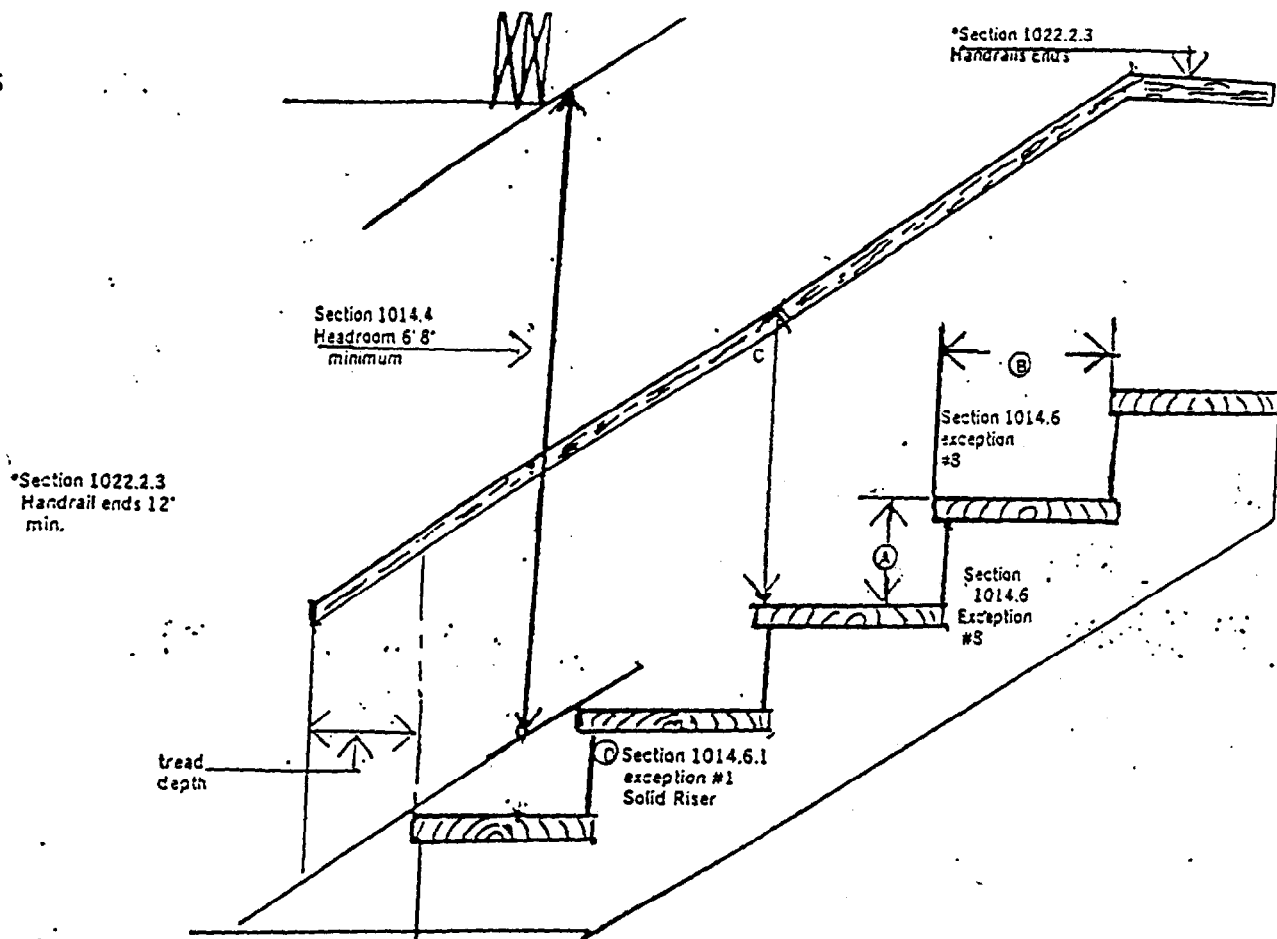
- Egress windows not at grade 5.7 square feet or 821 square inches
- Grade level egress windows 5.0 square feet or 720 square inches

Caution . . . A window which may meet the minimum opening width & height requirements (of condition 1 & 2) does not qualify as an egress window unless it also meets the total square foot opening requirement. (condition #3)

4 Lowest point of the opening must not be more than 44 inches above the floor



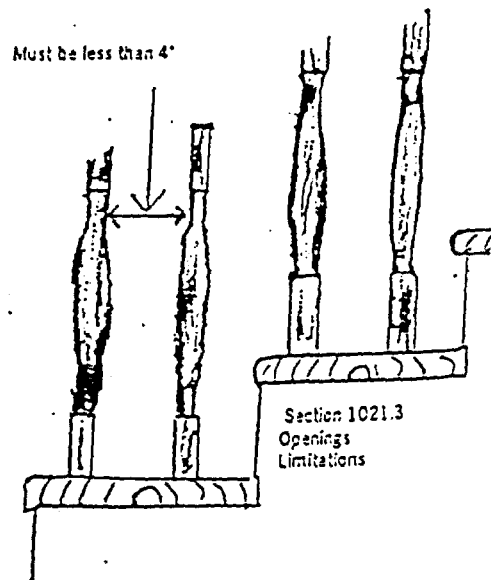
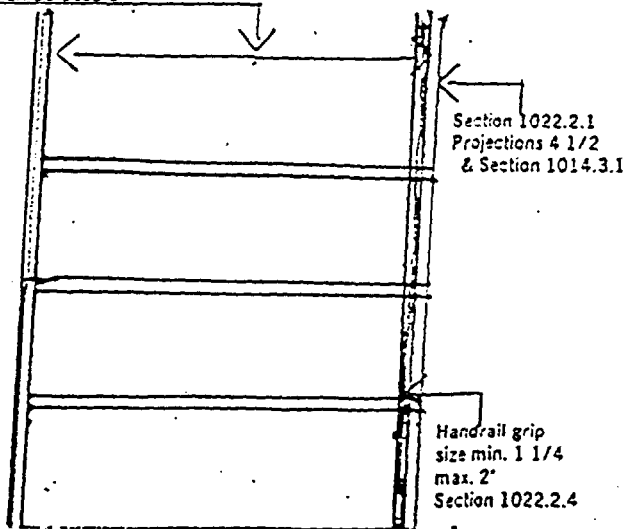
Stairs



	Section 1014.6 Exception #3	Section 1014.6 Exception #3	Section 1022.2.2	Section 1014.6.1	Section 1021
	A Maximum Riser Height	B Minimum Tread Depth	C Handrail Height Not part of Guardrail	D Solid Riser	E Guards Height
1 & 2 Family Dwelling	7 3/4"	10"	34" to 38"	4" Maximum Opening	36"
All Other Use Groups	7"	11" <i>No Nosing</i>	34" to 38"	Different	42"

- *Guards along open-sided floor areas and along stairs located less than 36 inches (914mm) above the floor or grade below shall not be less than 36 inches (914mm) in height.
- *Guards shall be located along open-sided walking surfaces, mezzanines, stairways, ramps and landings which are located more than 15 1/2 inches (394mm) above the floor or grade below. The guards shall be constructed in accordance with Section 1021.0.
- *Handrail extensions are not required for stairways within a dwelling unit Section 1022.2.3.
- *There must not be a variation exceeding 3/16 of an inch in the depth of adjacent treads or in the height of adjacent riser. Section 1014.6.2.
- *The difference between the largest and the smallest tread or between the largest and the smallest riser cannot exceed 3/8 of an inch. Section 1014.6.1.

W=36" for 1&2 family homes and occupancies with less than 50 people
Section 1014.3
Exception #3



ADDRESS: 291 PLEASANT AVE, PEAKS ISLAND
 LOT: 92-G-1

OWNER: DAVID L. COHAN
 P.O. BOX 45, 19 BRACKETT AVE, PEAKS IS, 04108
 LOT AREA: 7,014 SF
 ZONE: I.P. - 1

LOT SF SUMMARY: IR-1 ALLOWS 20
 IR-1 ALLOWS 20% LOT COVERAGE (OR $7014 \times .20 =$) = 1402.8 SF
 EXISTING FOOTPRINT (INC SHED + BULKHEAD) = 1614 SF EXIST

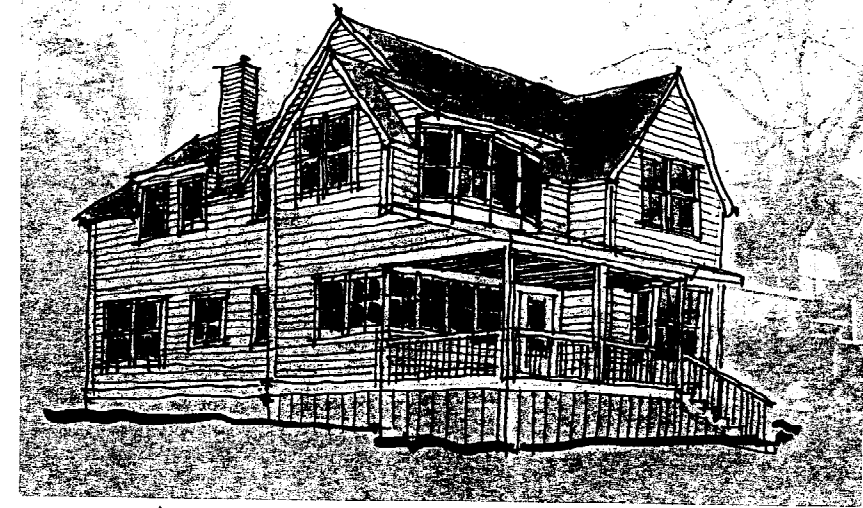
PROPOSED CHANGES:
 A - 58.0 SF
 B + 37.0 SF
 C + 17.0 SF
 → = 1610 SF, PROPOSED

Ref 14-382 P.O.

GRADING:
 IS TO REMAIN ENTIRELY AS IS; UNCHANGED

EXISTING STRUCTURE IS 6 BEDROOMS
 PROPOSED CHANGE TO 4 BEDROOMS

PARKING - UNCHANGED
 UTILITIES - UNCHANGED

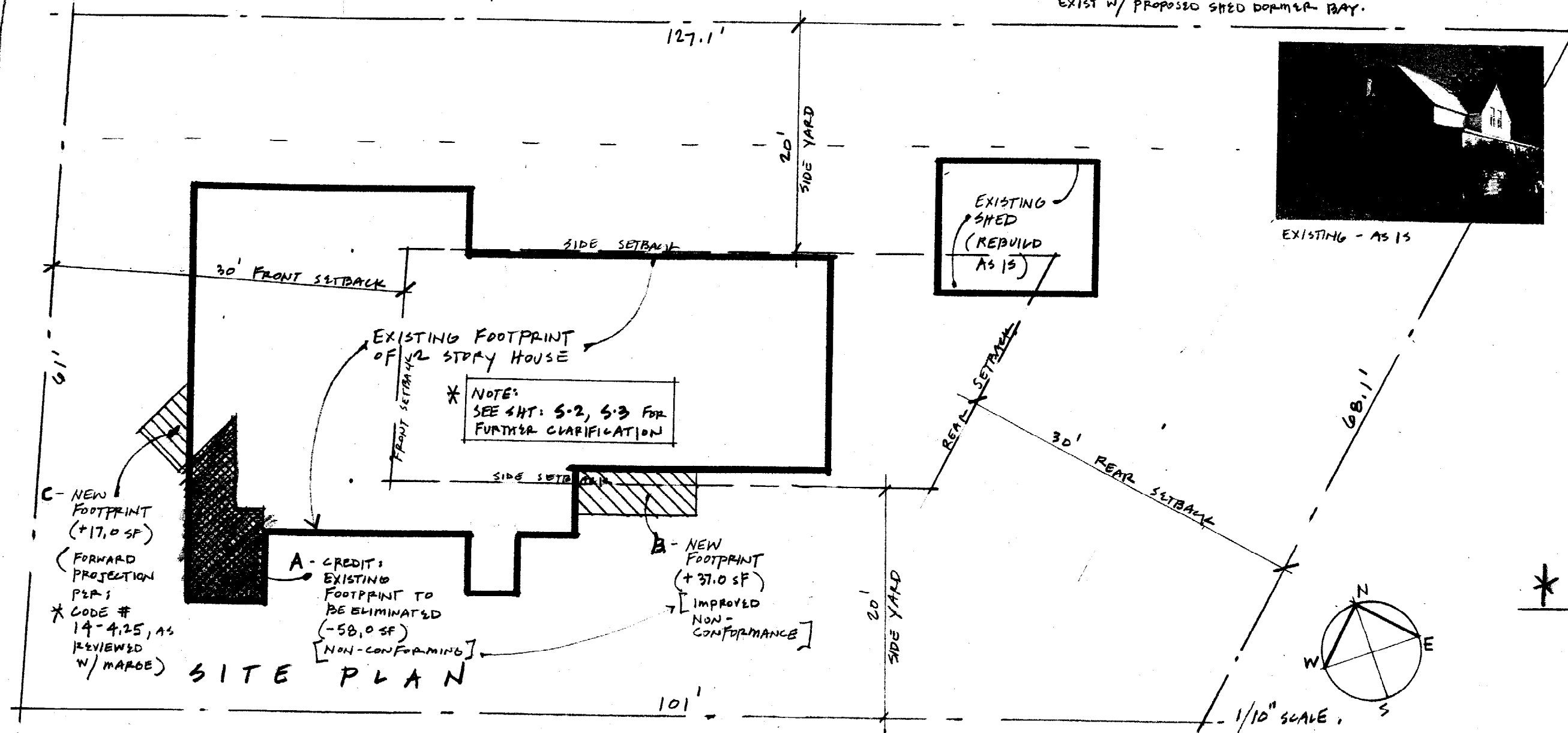


EXIST W/ PROPOSED SHED DORMER BAY.



EXISTING - AS IS

P L E A S A N T A V E

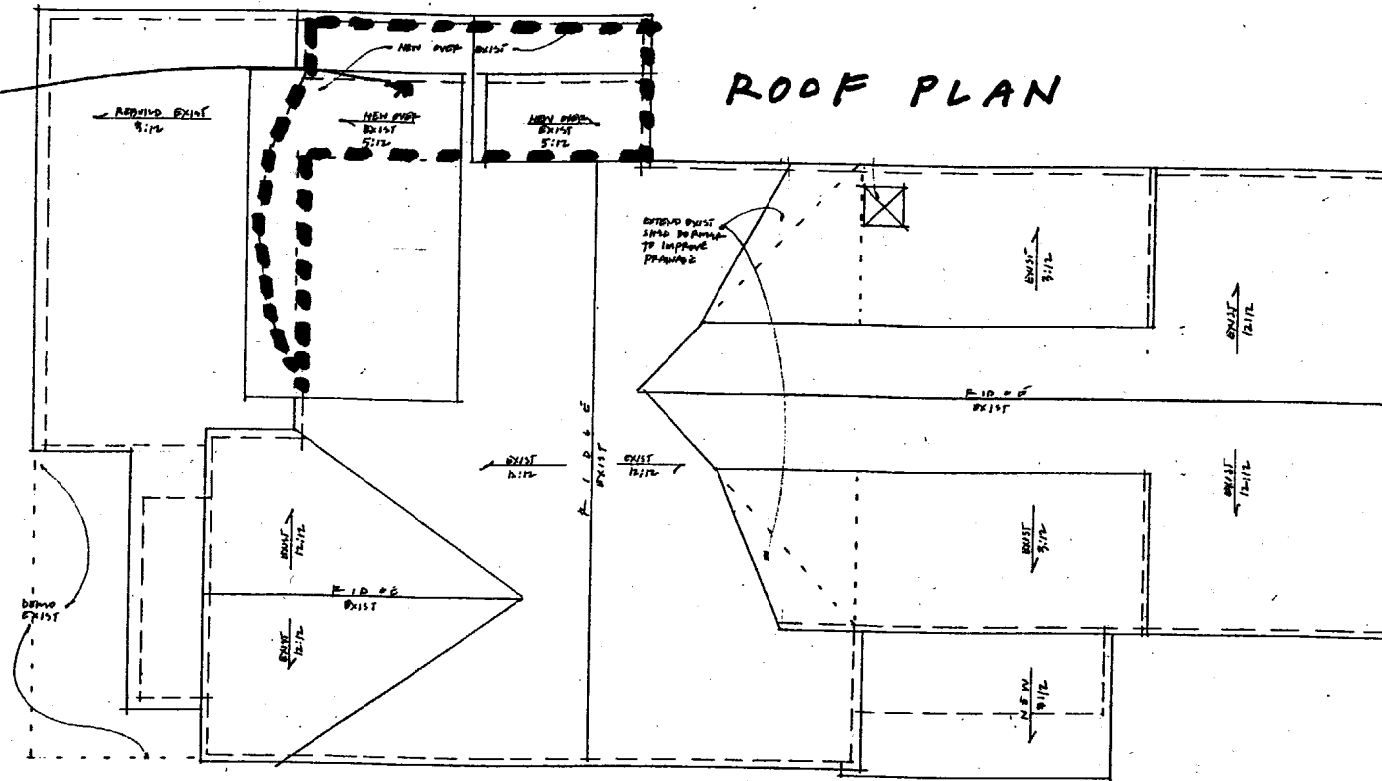


SCALE: 1" = 10.0' DATE: 1.8.02

DRAWING: SITE PLAN

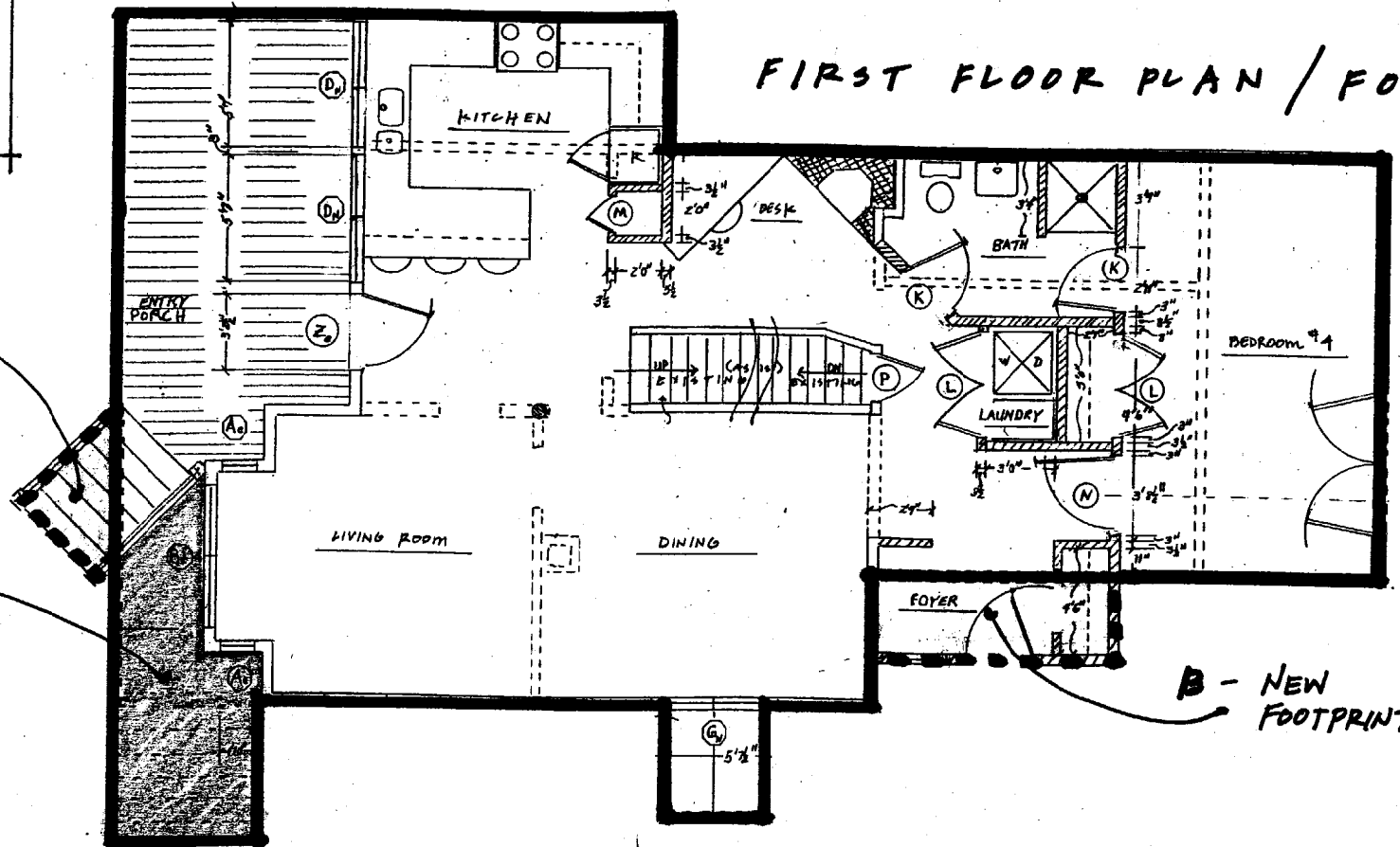
PROPERTY: 291 PLEASANT AVE, PEAKS ISLAND - FOR: DAVID COHAN - PH: 706.5042

D - 2ND FLOOR EXPANSION OVER EXISTING FOOTPRINT



* NOTE:
ALL PORTIONS NOT COLORED REPRESENT THE EXISTING FOOTPRINT
SEE SHEET: E-1, E-2, E-3 FOR AS-BUILT / EXISTING CONDITIONS.

FIRST FLOOR PLAN / FOOTPRINT



C - NEW FOOTPRINT (FRONT ENTRY STAIR)

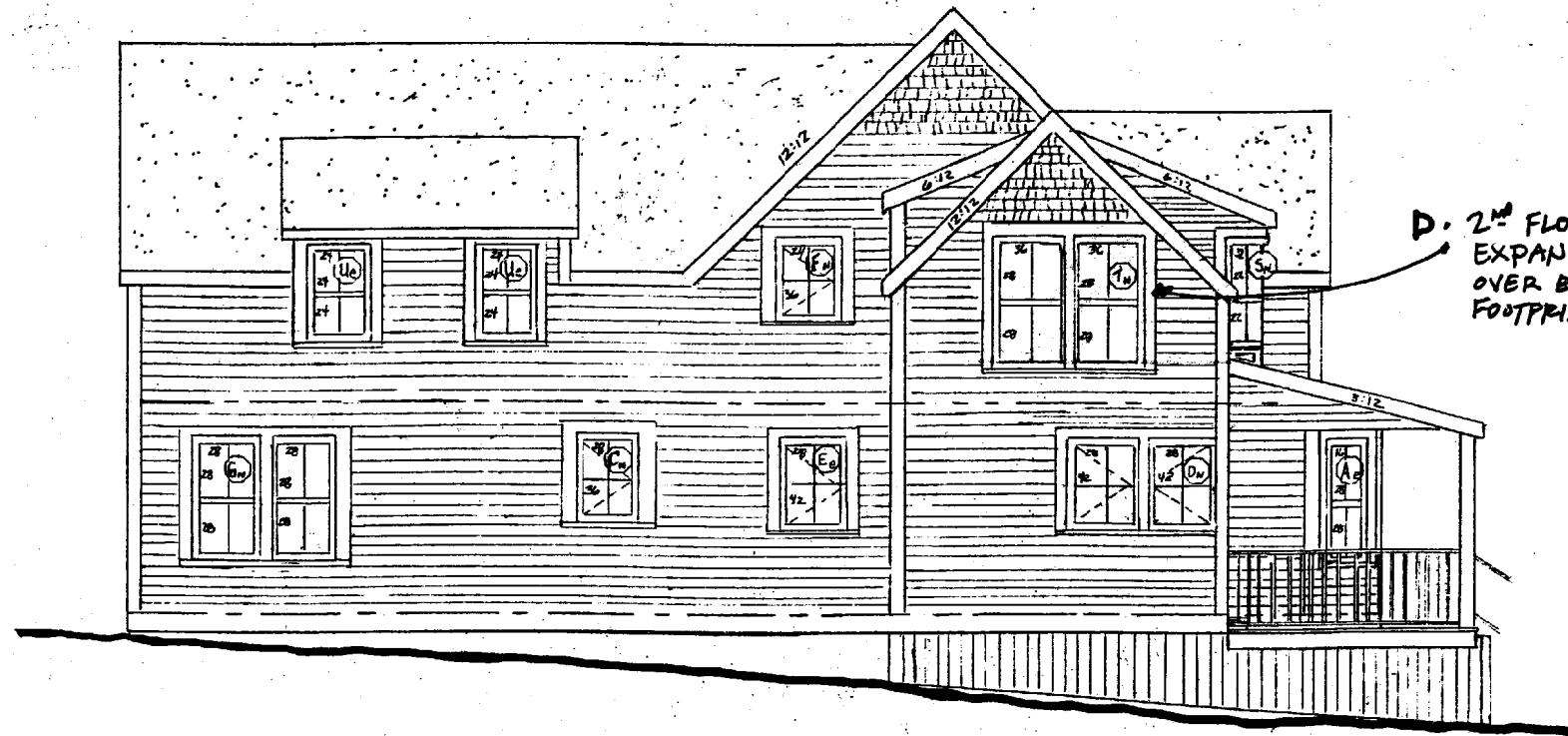
A - CREDIT: EXISTING FOOTPRINT TO BE ELIMINATED

B - NEW FOOTPRINT

SCALE: 1/8" | DATE: 1.8.02

DRAWING: SITE PLAN SUMMARY

PROPERTY: 291 PLEASANT AVE, PEAKS ISLAND - FR: DAVID COHAN - PH: 766.5642



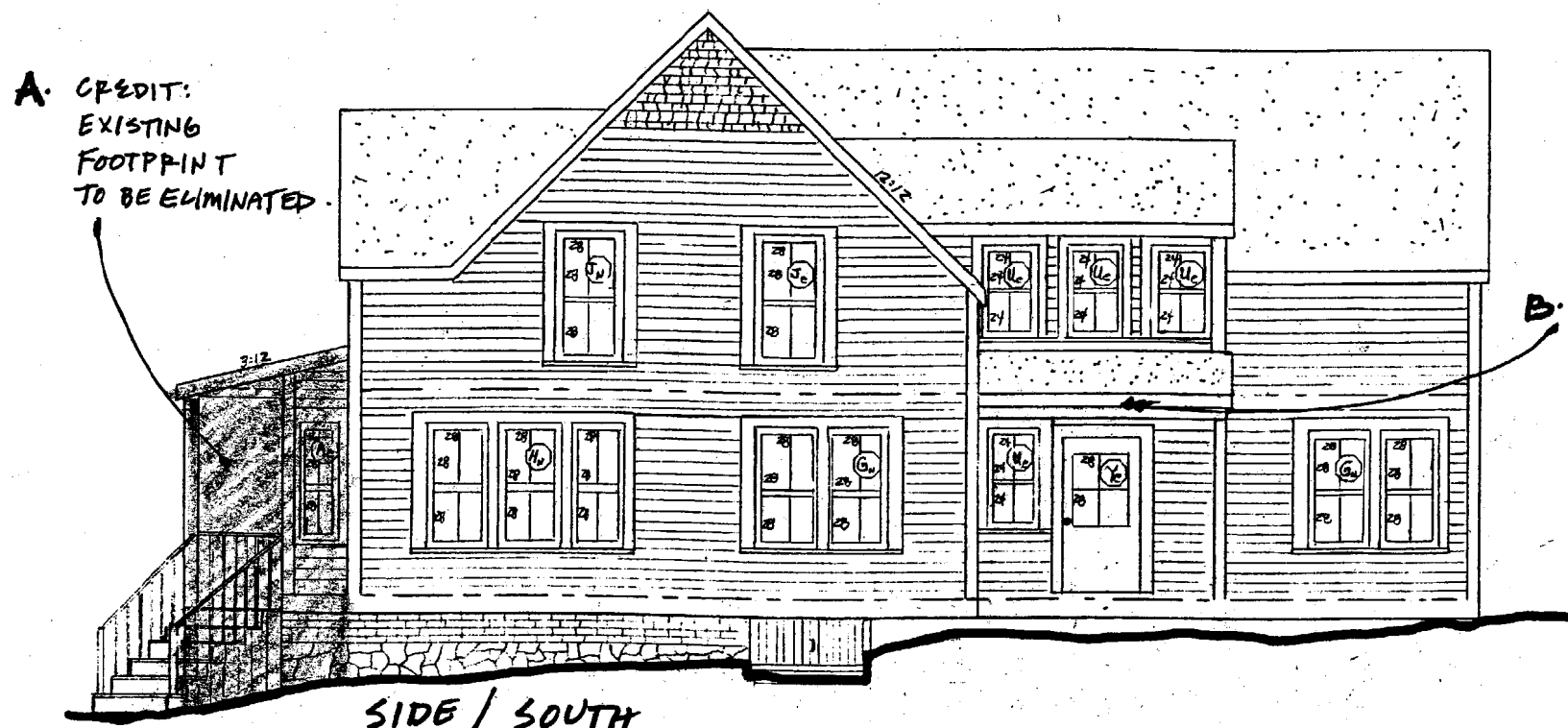
SIDE / NORTH



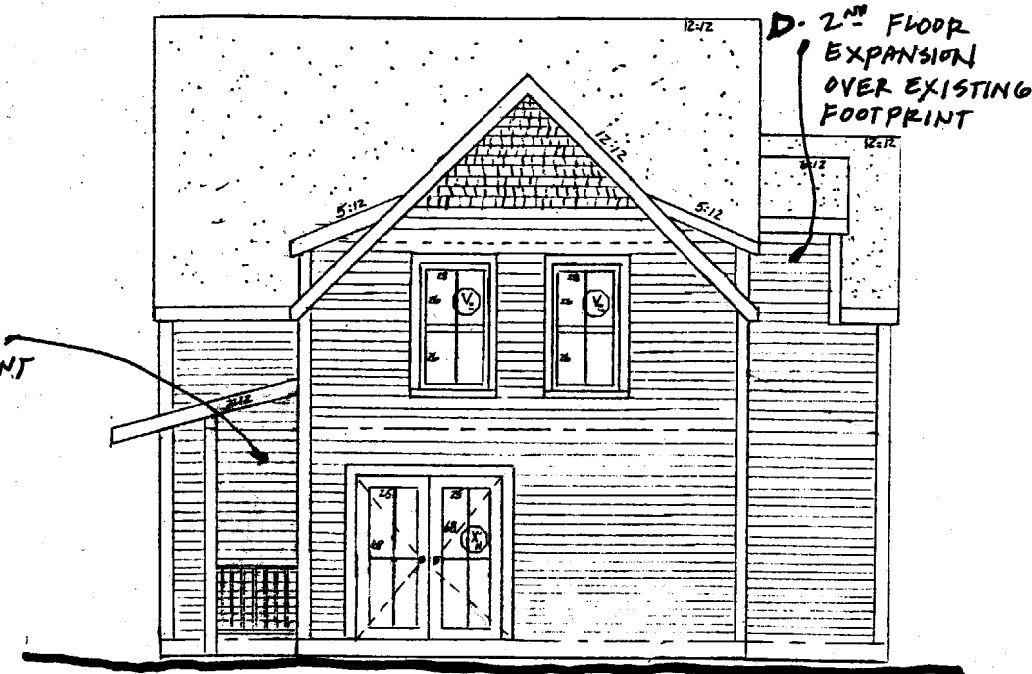
FRONT / WEST

*
NOTE: ALL PORTIONS NOT COLORED REPRESENT THE EXISTING BUILDING / SHELL

NEW. C FOOTPRINT
A. CREDIT: EXIST FOOTPRINT TO BE ELIMINATED

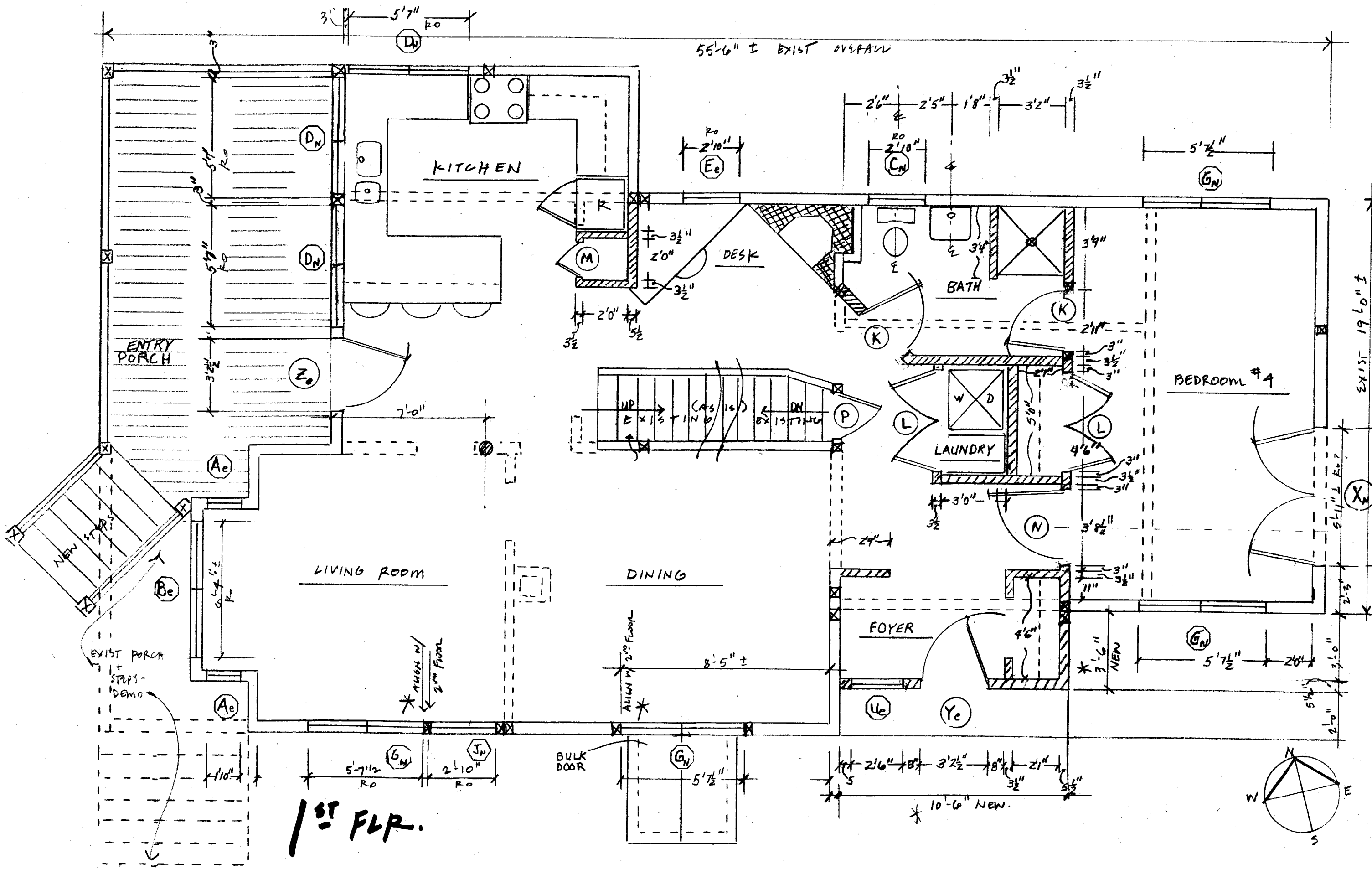


SIDE / SOUTH



REAR / EAST

DRAWING: SITE PLANNING SUMMARY
PROPERTY: 291 PLEASANT AVE, PEAKS ISLAND - FR: DAVID COHAN - PH: 706.51042
SCALE: 1/8" | DATE: 1.8.02



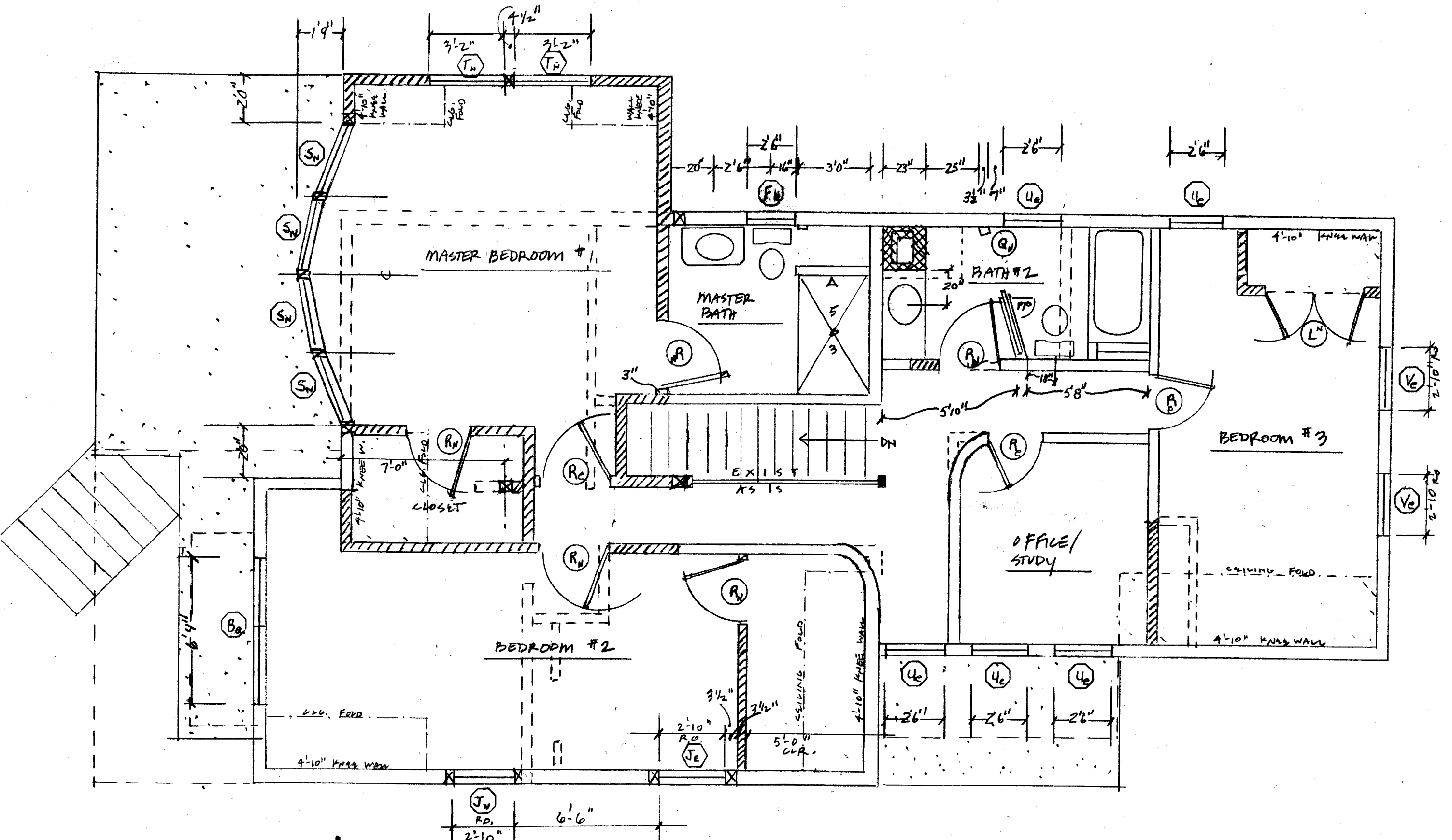
1ST FLR.

DRAWING: **1ST FLOOR PLAN** | SCALE: 1/4" | DATE: 1.18.02
 PROPERTY: 291 PLEASANT AVE, PEAKS ISLAND - FR: DAVID COHAN - PH: 706.5042

ARCHITECT: WILL WINKELMAN @ WHITTEN ARCHITECTS - PH 774.0111

CONTRACTOR: JIM PELLETIER @ ON-TIME CONSTRUCTION - PH: 874.2382





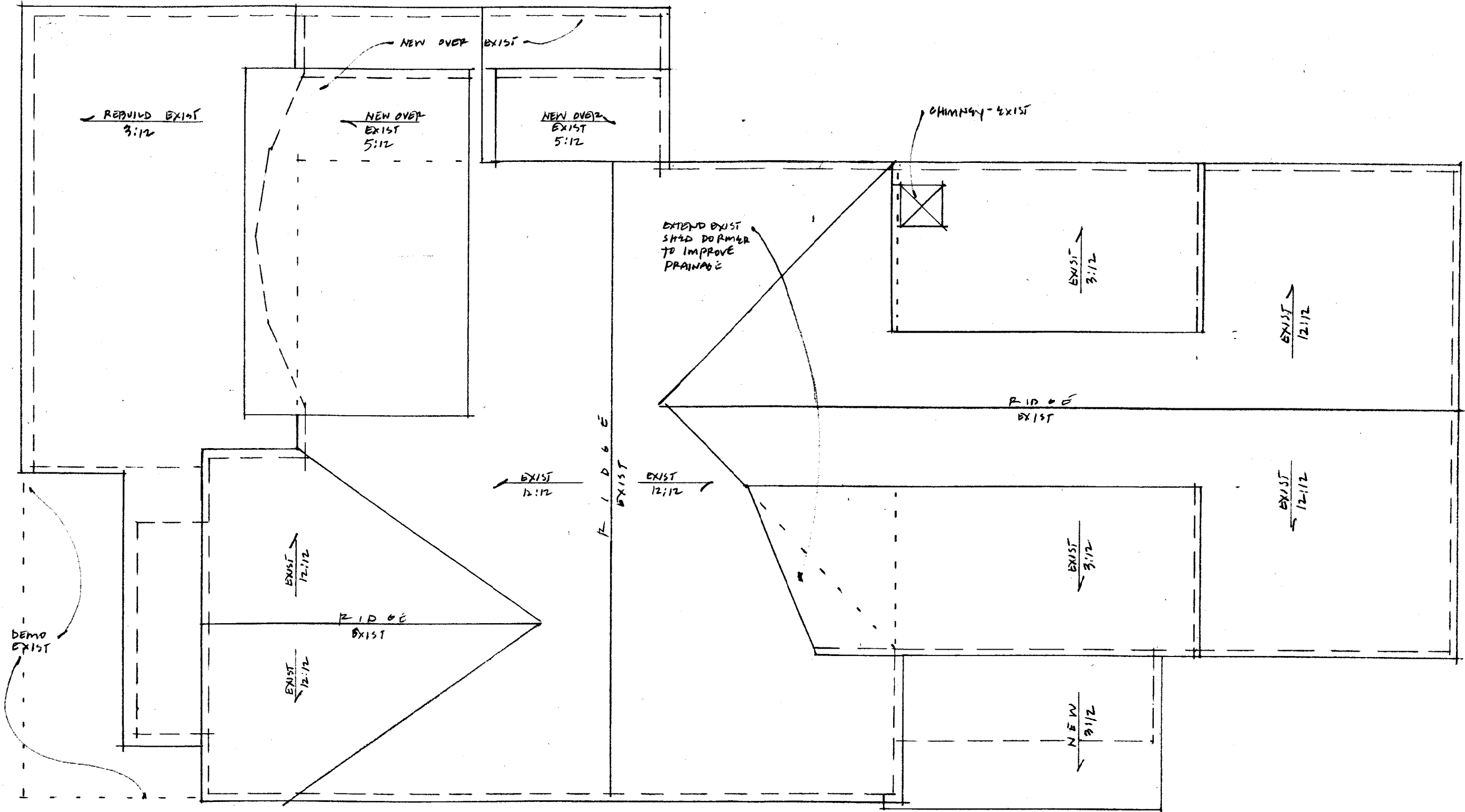
2ND FLR.

DRAWING: 2ND FLOOR PLAN | SCALE: 1/4" | DATE: 1.8.07
 PROPERTY: 291 PLEASANT AVE, PEAKS ISLAND - FR: DAVID COHAN - PH: 706.5042

ARCHITECT: WILL WINKELMAN @ WHITTEN ARCHITECTS - PH 774.0111

CONTRACTOR: JIM PELLETIER @ ON-TIME CONSTRUCTION - PH: 374.2382

A.2



ROOF PLAN

DATE: 1.8.02

SCALE: 1/4"

DRAWING: ROOF PLAN
 PROPERTY: 291 PLEASANT AVE, PEAKS ISLAND - FR: DAVID COHAN - PH: 706.5042



WEST ELEVATION

WINDOW SPEC:

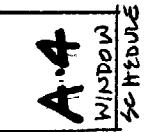
PRIMED WOOD FRAME, NATURAL INTERIOR
 CLAD SASH - IF AN OPTION.
 5/4 X 4 FLAT CASINGS. DIRECT MULL WHERE MULTIPLE UNITS
 1/2 HEIGHT D.H. SCREENS (IF NOT AN OPTION, 1/2 SCR. BY G.C.)
 LOW E ARGON. SDL 7/8" (OR 1 1/8" IF OPTION) W/ SPACER BAR - IF
 AN OPTION.
 HARDWARE (LM+DH) + SCREEN + CLAD SASH COLOR: TO BE SELECTED

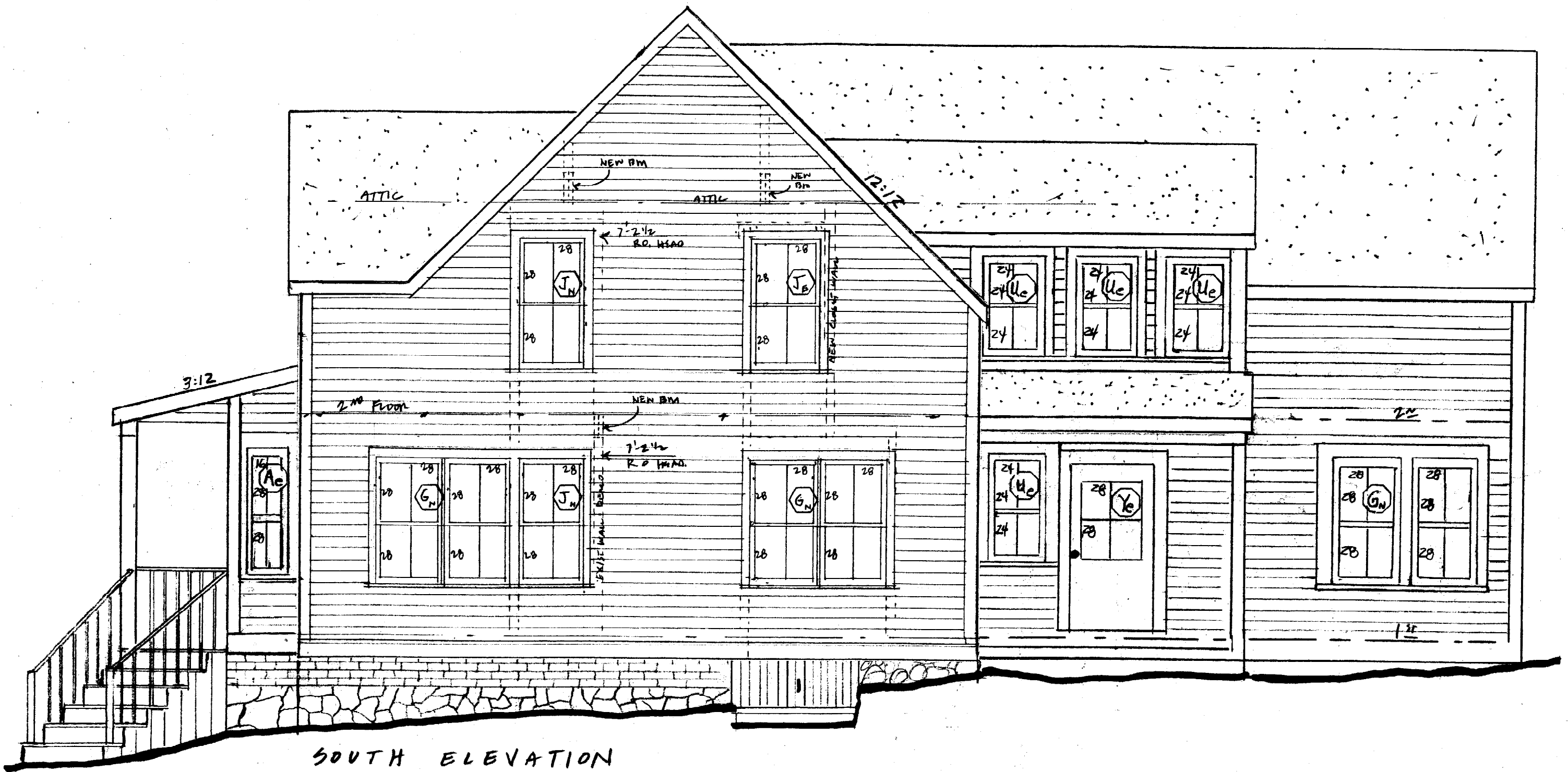
Window Schedule (SIZES LISTED ARE LINCOLN WOOD PRODUCTS)

QTY	UNIT	DESCRIPTION	GLASS	RO	LOCATION
(2)	A = Dbl Hung	1 UNIT	Glass = 16-28	RO = 1'10" x 5'5"	(2) Living Room
(2)	B = Dbl Hung	2 Unit	Glass = 32-28	RO = 6'4" x 5'5"	(1) Living Room, (1) Guest Bed #1
(1)	C = Casement	1 UNIT	Glass = 28-36	RO = 2'10" x 3'5.5"	(1) Down Bath
(3)	D = Casement	2 Unit	Glass = 28-42	RO = 5'7" x 4'0"	(3) Kitchen
(1)	E = Casement	1 UNIT	Glass = 28-42	RO = 2'10" x 4'0"	(1) Computer
(1)	F = Casement	1 UNIT	Glass = 24-36	RO = 2'6" x 3'5.5"	(1) Master Bath
(4)	G = Dbl Hung	2 Unit	Glass = 28-28	RO = 5'7.5" x 5'5"	(1) Dining, (2) Down Bed (1) Living Room.
(1)	H = Dbl Hung	1 UNIT	Glass = 28-28	RO = 2'6" x 5'5"	(1) Living
(3)	J = Dbl Hung	1 UNIT	Glass = 28-28	RO = 2'10" x 5'5"	(2) Guest Bed #1 (1) Living Room
(4)	S = Dbl Hung	1 UNIT	Glass = 32-22	RO = 3'2" x 4'5"	(4) Master Bed
(2)	T = Dbl Hung	1 UNIT	Glass = 32-28	RO = 2'10" x 5'5"	(2) Master Bed
(6)	U = Dbl Hung	1 UNIT	Glass = 24-24	RO = 2'6" x 4'9"	(1) Entry, (1) Hall, (1) Guest Bed #2, (1) Upstairs Bath, (2) Up Nursery
(2)	V = Dbl Hung	1 UNIT	Glass = 28-26	RO = 2'10" x 5'1"	(2) Guest Bed #2

DRAWING: WEST ELEVATION + WINDOW SCHEDULE | SCALE: 1/4" | DATE: 1.8.02

PROPERTY: 291 PLEASANT AVE, PEAKS ISLAND - FOR: DAVID COHAN - PH: 706.5042





SOUTH ELEVATION

ARCHITECT: WILL WINKELMAN @ WHITTEN ARCHITECTS - PH 774.0111

CONTRACTOR: JIM PELLETIER @ ON-TIME CONSTRUCTION - PH: 874.2382

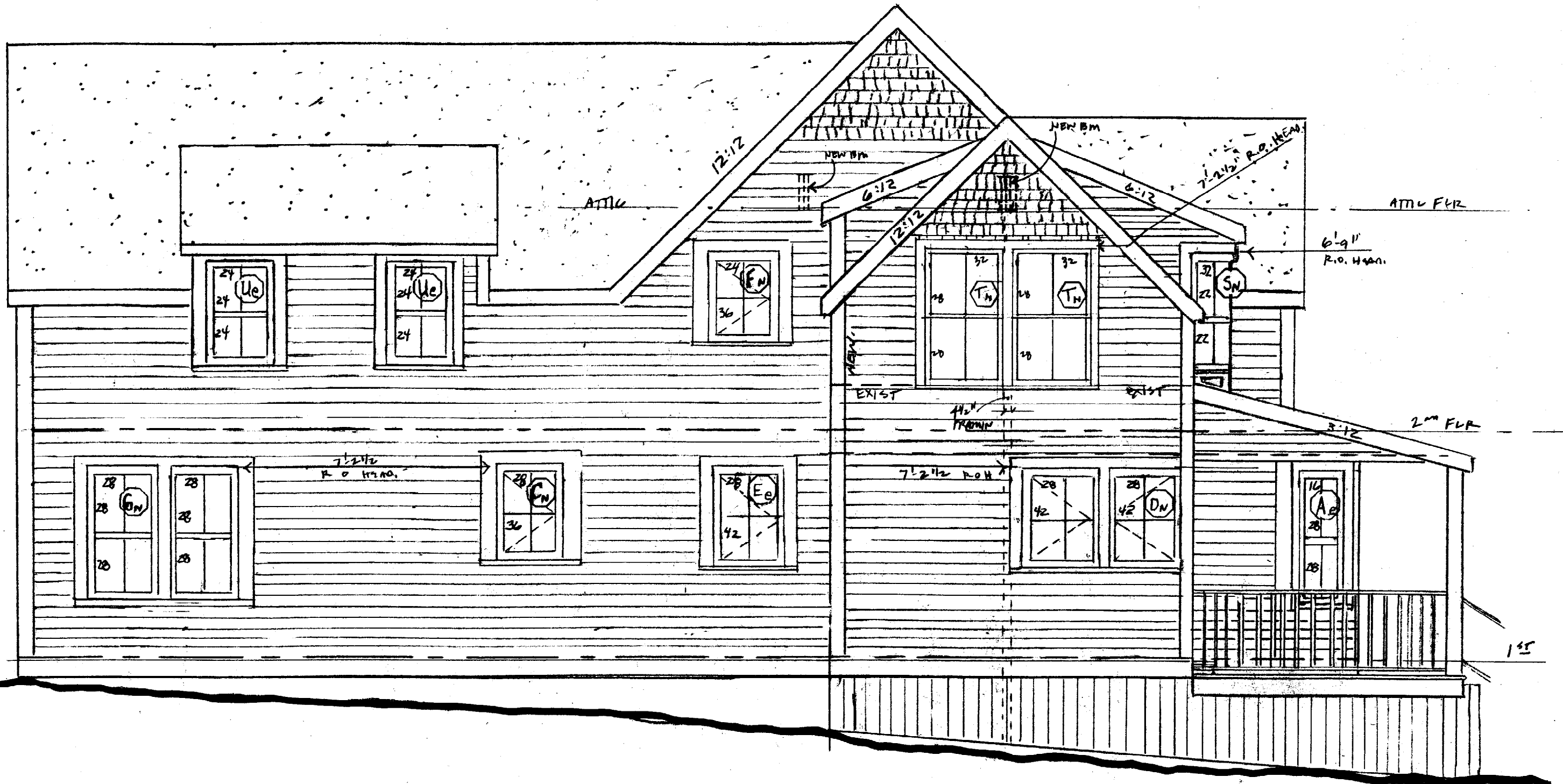
DATE: 1.8.02

SCALE: 1/4"

DRAWING: SOUTH ELEVATION

PROPERTY: 291 PLEASANT AVE, PEAKS ISLAND - PH: 706.5642

A.5



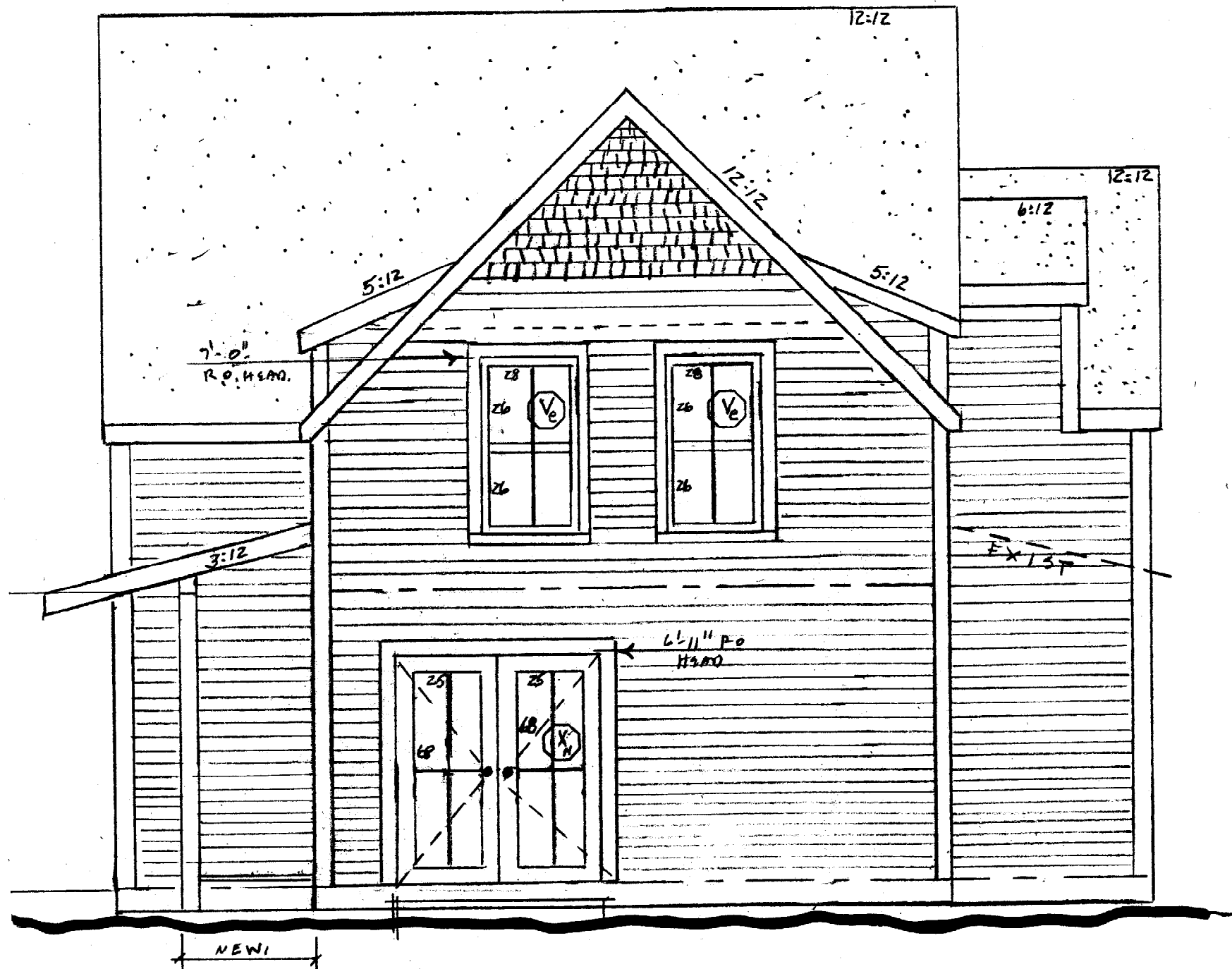
NORTH ELEVATION

SCALE: 1/4" | DATE: 1-8-02
 DRAWING: NORTH ELEVATION
 PROPERTY: 291 PLEASANT AVE, PEAKS ISLAND - FR: DAVID COHAN - PH: 706-5042

ARCHITECT: WILL WINKELMAN @ WHITTEN ARCHITECTS - PH 774-0111

CONTRACTOR: JIM PELLETIER AS ON-TIME CONSTRUCTION - PH: 874-2382





EAST ELEVATION

Door Schedule

Exterior Doors

X = 2 Wide French Door Style
 Glass = 26-68
 RO = 5'11" x 6'10"

Y = Regular Entry Door (Maybe Use Existing)
 Glass =
 RO = 3'2.5" x 6'10"

Z = French Door
 Glass = 26-68
 RO = 3'2.5" x 6'10"

EXTERIOR DOOR SPEC:

INTERIOR DOORS

K = 2'8"

L = 2 Wide = 2'2"

M = 1'6"

N = French Door = 3'6"

P = 2'

Q = Pocket Door = 2'6"

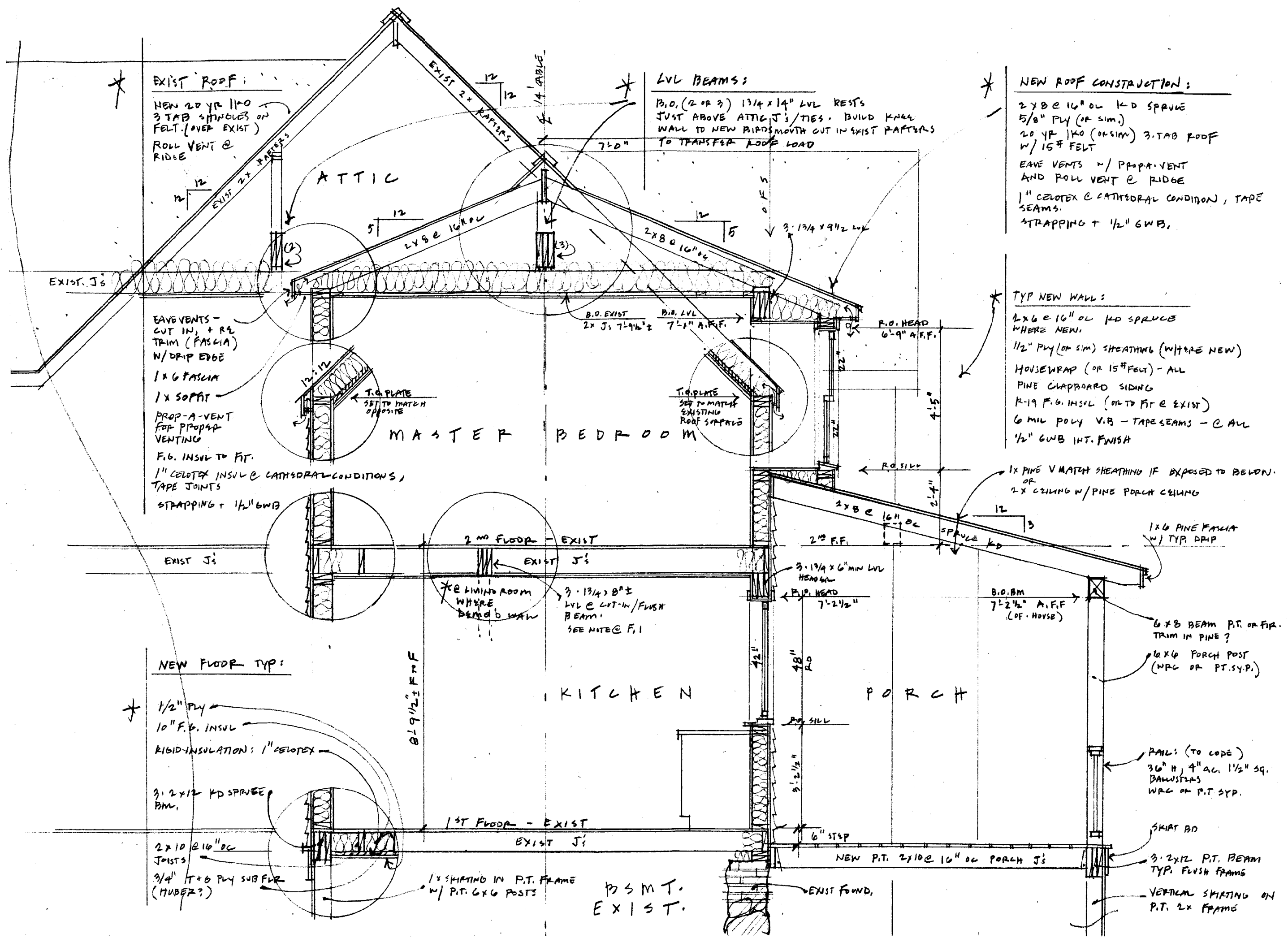
R = 2'6"

INTERIOR DOOR SPEC:

DRAWING: EAST ELEVATION | SCALE: 1/4" | DATE: 1.8.02
 PROPERTY: 291 PLEASANT AVE, PEAKS ISLAND - FR: DAVID COHAN - PH: 706.5642

CONTRACTOR: JIM PELLETIER AS ON-TIME CONSTRUCTION

WILL WINKELMAN @ WHITTEN ARCHITECTS - PH 774-0111



EXIST ROOF:
 NEW 20 YR 1#0
 3 TAB SHINGLES ON
 FELT (OVER EXIST)
 ROLL VENT @
 RIDGE

LVL BEAMS:
 B.O. (2 OR 3) 1 3/4 x 14" LVL RESTS
 JUST ABOVE ATTIC J'S/TIES. BUILD KNEE
 WALL TO NEW BIRD'S MOUTH CUT IN EXIST RAFTERS
 TO TRANSFER ROOF LOAD

NEW ROOF CONSTRUCTION:
 2 x 8 @ 16" OC LKD SPRUCE
 5/8" PLY (OR SIM)
 20 YR 1#0 (OR SIM) 3-TAB ROOF
 W/ 15# FELT
 EAVE VENTS w/ PROP-A-VENT
 AND ROLL VENT @ RIDGE
 1" CELOTEX @ CATHODRAL CONDITION, TAPE
 SEAMS.
 STRAPPING + 1/2" GWB.

EAVE VENTS -
 CUT IN, + R2
 TRIM (FASCIA)
 W/ DRIP EDGE
 1 x 6 FASCIA
 1 x SOPRIT
 PROP-A-VENT
 FOR PROP-A-VENTING
 F.G. INSUL TO FIT.
 1" CELOTEX INSUL @ CATHODRAL CONDITIONS,
 TAPE JOINTS
 STRAPPING + 1/2" GWB

TYP NEW WALL:
 2 x 6 @ 16" OC LKD SPRUCE
 WHERE NEW.
 1/2" PLY (OR SIM) SHEATHING (WHERE NEW)
 HOUSEWRAP (OR 15# FELT) - ALL
 PINE CLAPBOARD SIDING
 R-19 F.G. INSUL (OR TO FIT @ EXIST)
 6 MIL POLY V.B. - TAPE SEAMS - @ ALL
 1/2" GWB INT. FINISH

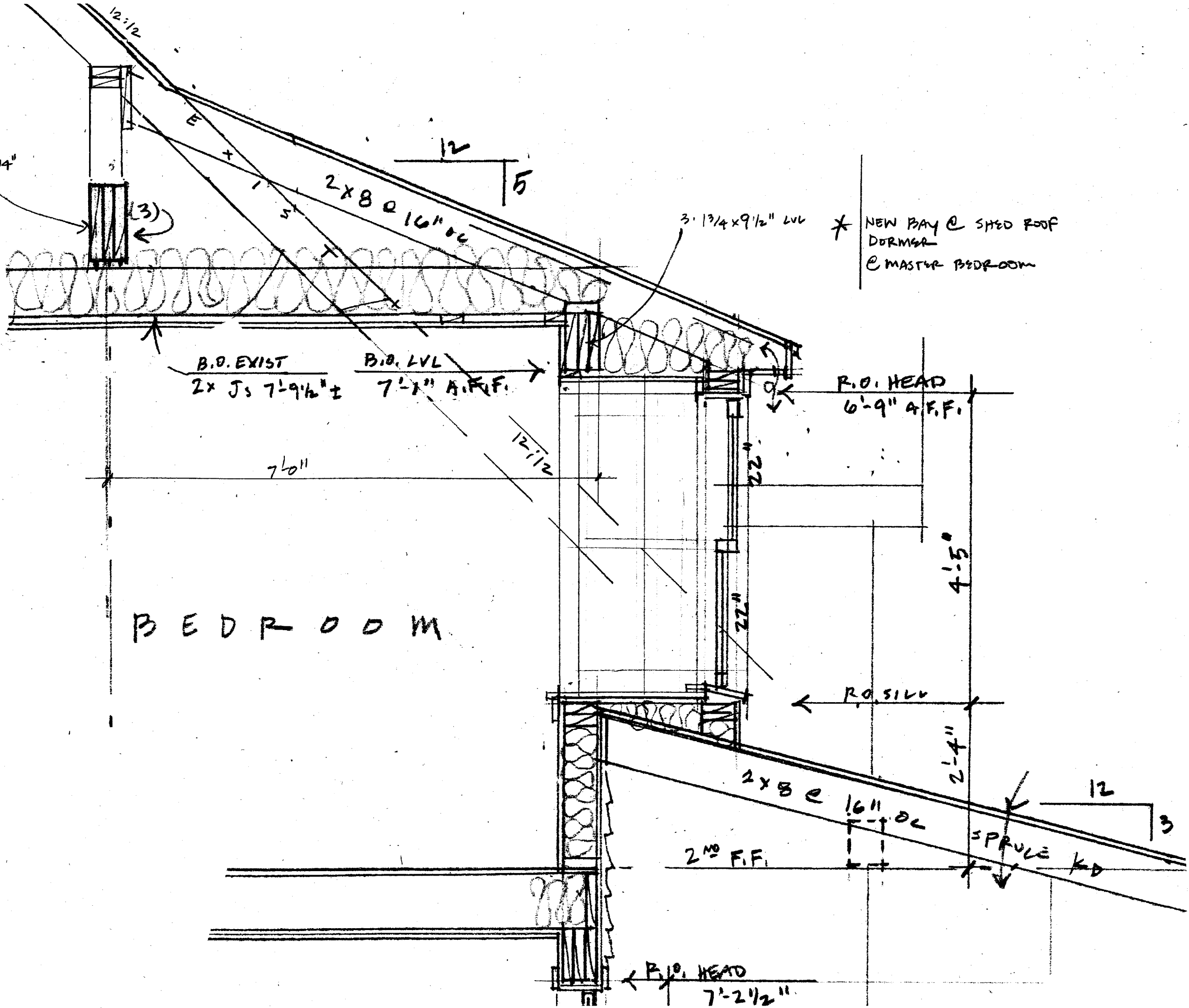
NEW FLOOR TYP:
 1/2" PLY
 10" F.G. INSUL
 RIGID-INSULATION: 1" CELOTEX
 3/4" 2 x 12 LKD SPRUCE
 BM.
 2 x 10 @ 16" OC
 JOISTS
 3/4" T+G PLY SUB FLR
 (HUBER?)

6 x 8 BEAM P.T. OR FIR.
 TRIM IN PINE?
 6 x 6 PORCH POST
 (WRC OR PT. SYP.)
 RAIL: (TO CODE)
 36" H, 4" AC, 1 1/2" SQ.
 BANISTERAS
 WRC OR P.T. SYP.
 SKIRT BD
 3/4" 2 x 12 P.T. BEAM
 TYP. FLUSH FRAME
 VERTICAL SKIRTING ON
 P.T. 2 x FRAME

DRAWING: SECTION | SCALE: 3/8" | DATE: 1.8.02
 PROPERTY: 291 PLEASANT AVE, PEAKS ISLAND - FR: DAVID COHAN - PH: 706.5642

A-8

3. 1 3/4 x 14" LVL



* NEW BAY @ SHED ROOF DORMER @ MASTER BEDROOM

B E D R O O M

DATE: 1.8.02

SCALE: 3/4"

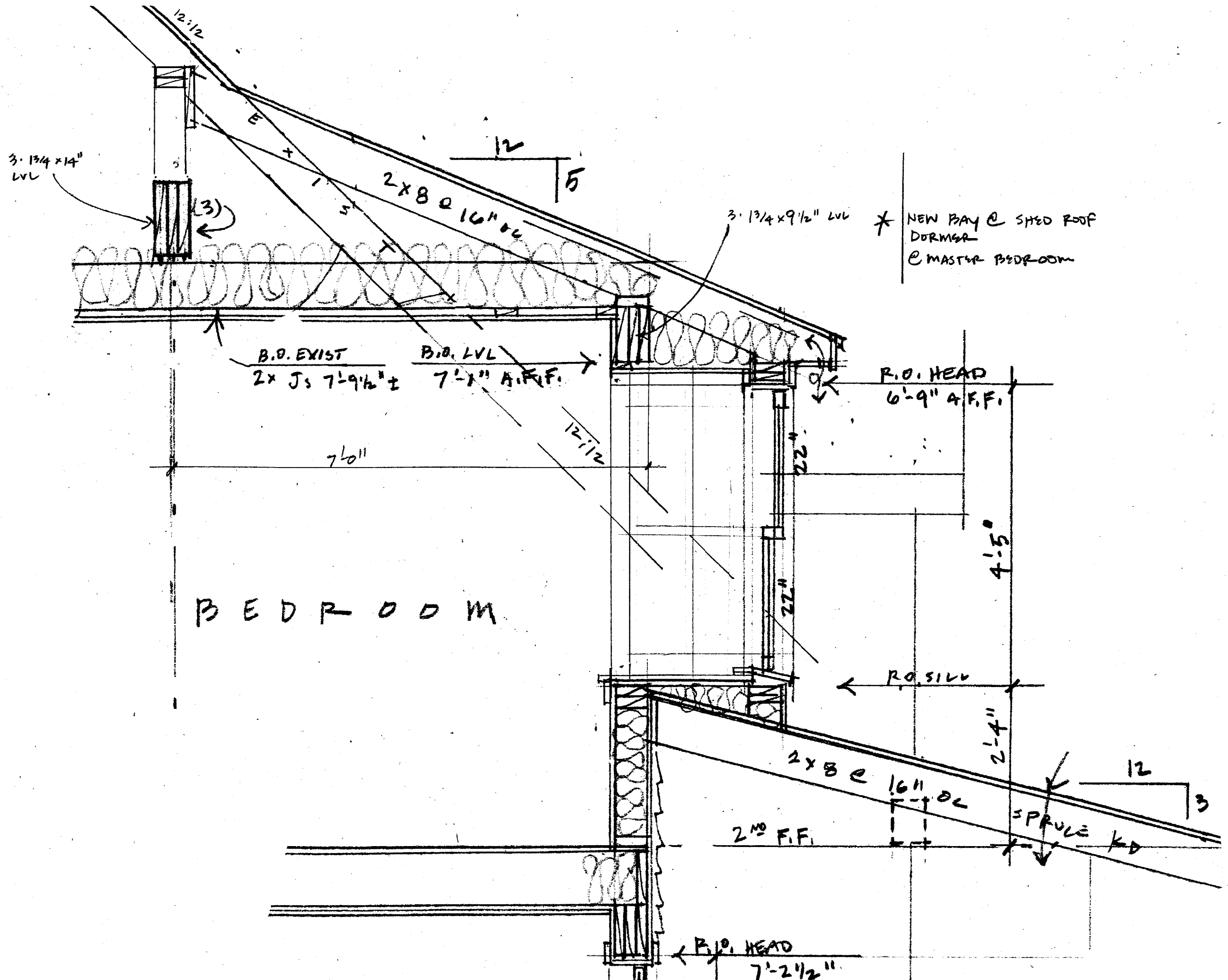
MASTER BEDROOM: NEW DORMER / BAY @ PORCH BELOW

DRAWING:

PROPERTY: 291 PLEASANT AVE, PEAKS ISLAND - FR: DAVID COHAN - PH: 706.5642

A.9

WILL WINKELMAN @ WHITTEN ARCHITECTS - PH 774.0111 CONTRACTOR: JIM PELLETIER AS ON-TIME CONSTRUCTION

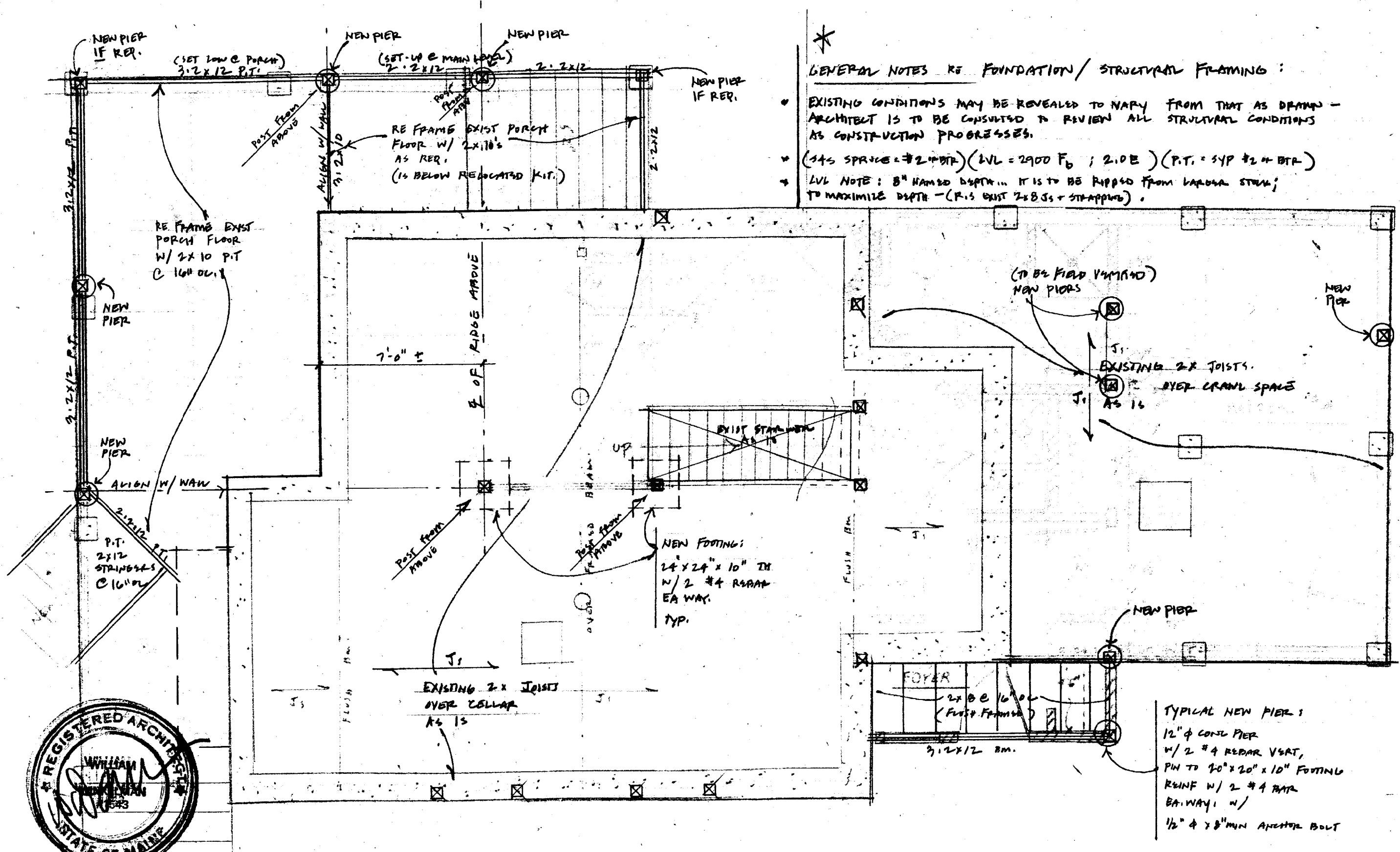


DRAWING: MASTER BEDROOM: NEW DORMER / BAY @ PORCH BELOW

SCALE: 3/4" | DATE: 1.8.02

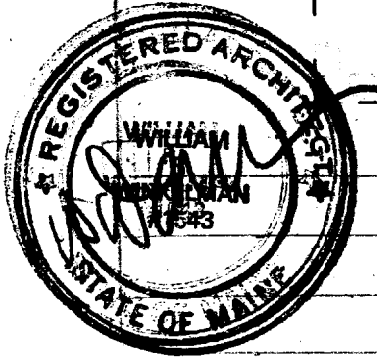
PROPERTY: 291 PLEASANT AVE, PEAKS ISLAND - FOR: DAVID COHAN - PH: 706.5642

A.9



GENERAL NOTES RE FOUNDATION / STRUCTURAL FRAMING :

- EXISTING CONDITIONS MAY BE REVEALED TO VARY FROM THAT AS DRAWN - ARCHITECT IS TO BE CONSULTED TO REVIEW ALL STRUCTURAL CONDITIONS AS CONSTRUCTION PROGRESSES.
- (SAS SPRING = #2 @ 20\"/>



FOUNDATION + 1ST FLOOR FRAMING PLAN

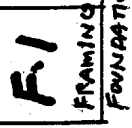
STRUCTURALS:

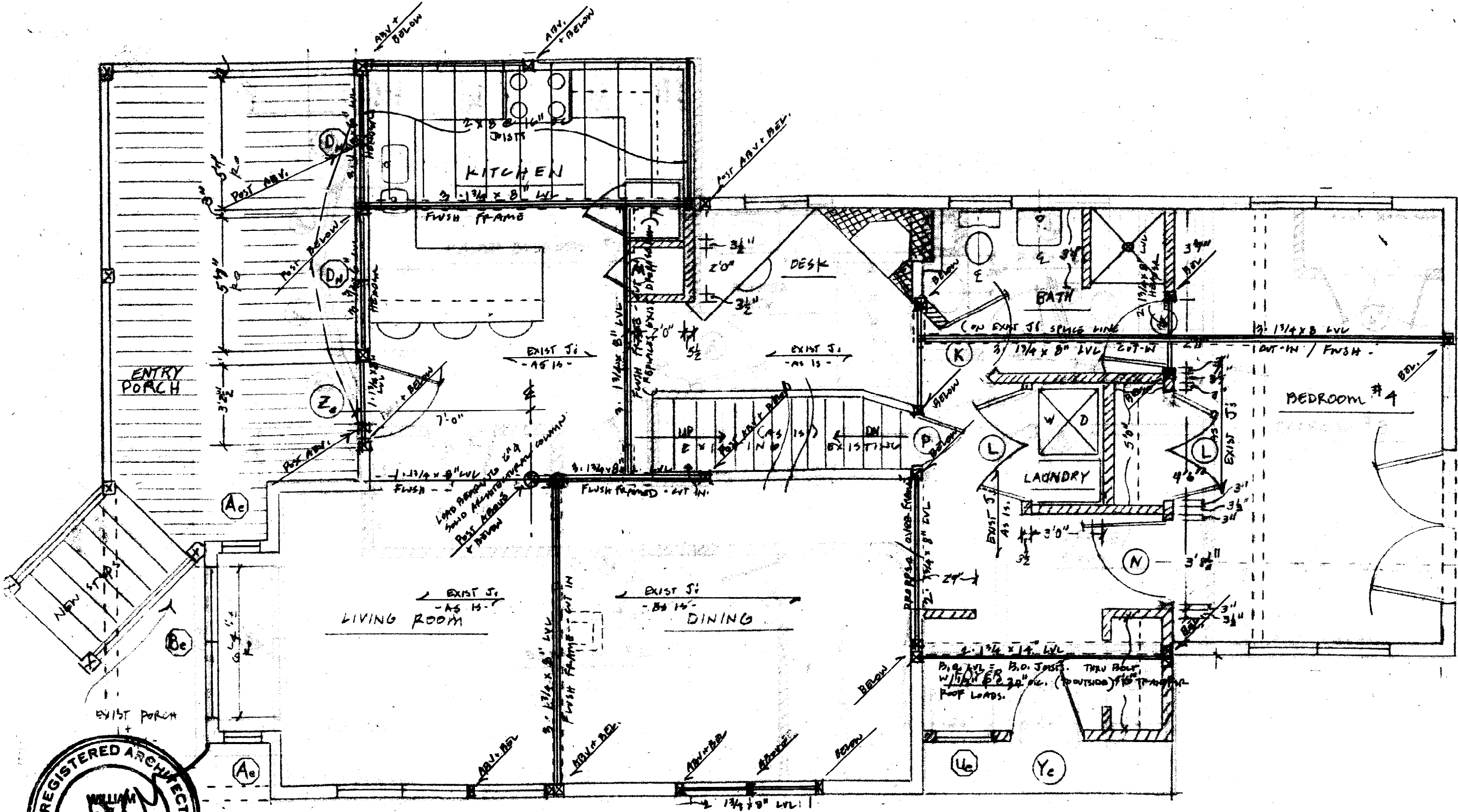
**FOUNDATION PLAN
1ST FLOOR FRAMING PLAN**

SCALE: 1/4"

DRAWING:

PROPERTY: 291 PLEASANT AVE, PEAKS ISLAND - FOR: DAVID COHAN - PH: 706.504.7



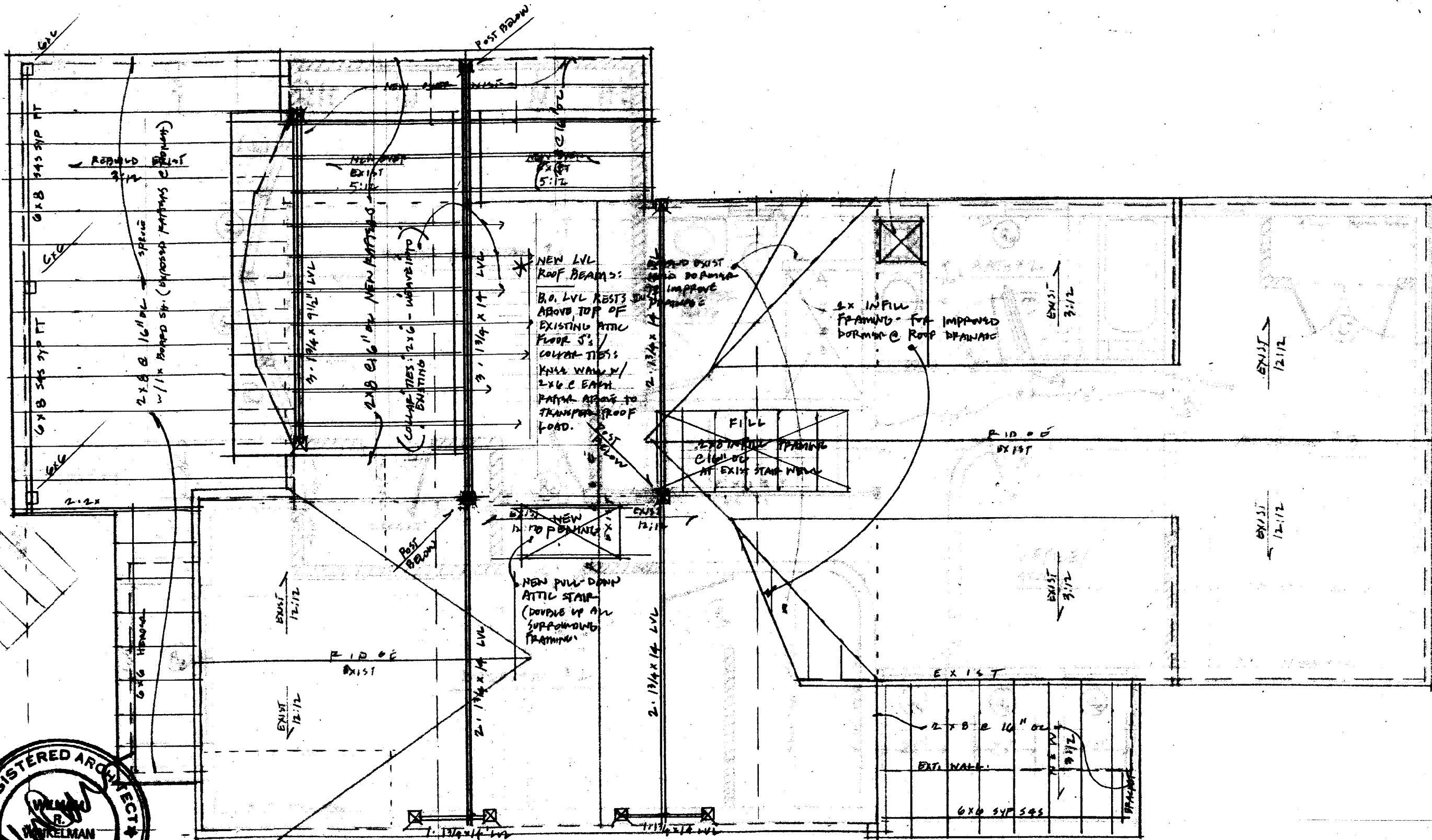
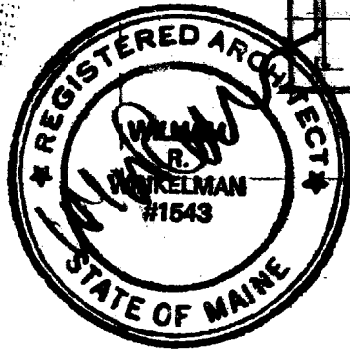


2ND FLOOR FRAMING PLAN

★ STRUCTURALS

DRAWING: 2ND FLOOR PLAN | SCALE: 1/4" | DATE: 1.0.02

PROPERTY: 291 PLEASANT AVE, PEAKS ISLAND - FOR: DAVID COHAN - PH: 700.5042

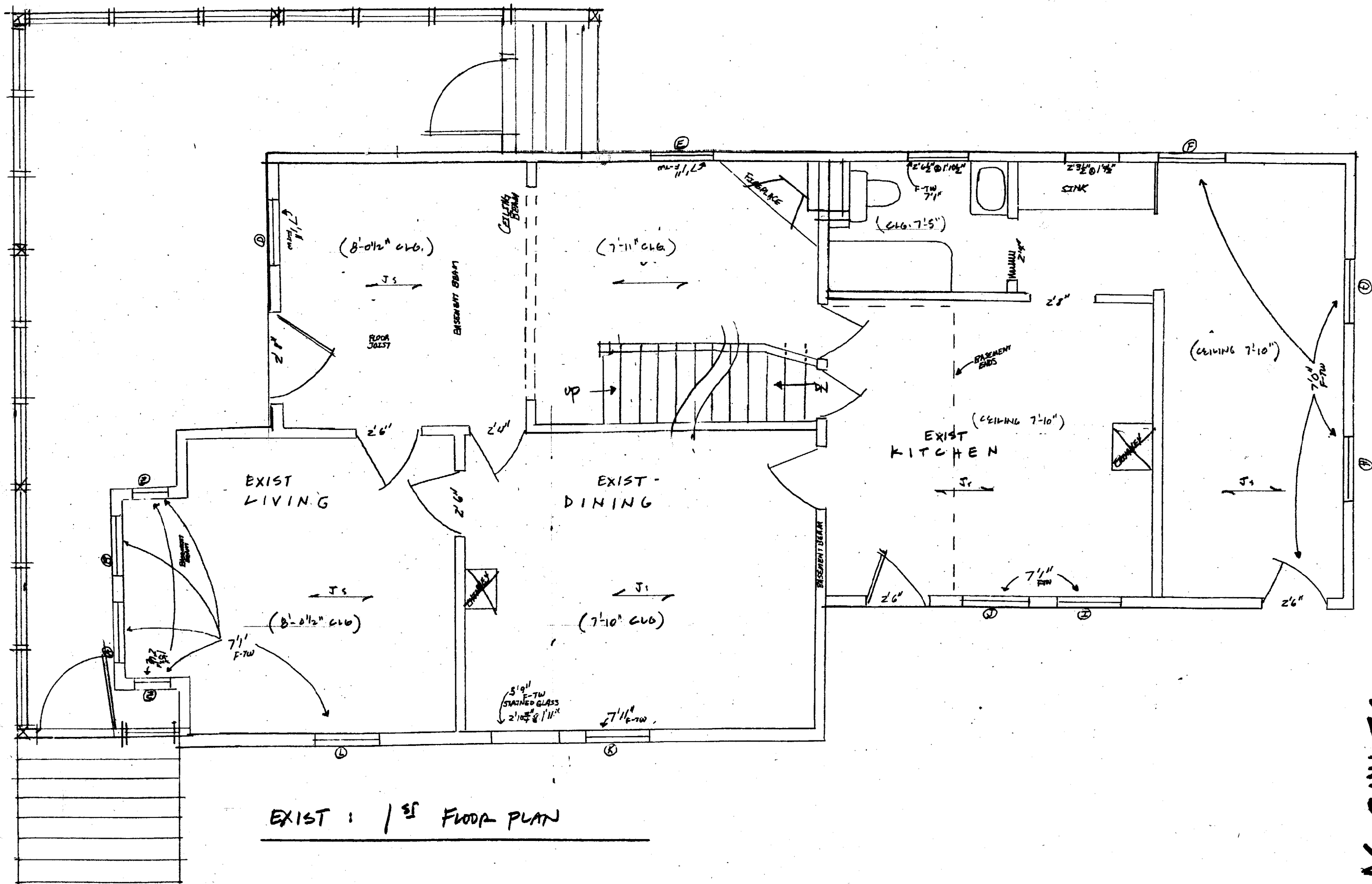


ROOF FRAMING / ATTIC FLOOR FRAMING PLAN

STRUCTURALS

DRAWING: ROOF + ATTIC FRAMING PLAN | SCALE: 1/4" | DATE: 18.02

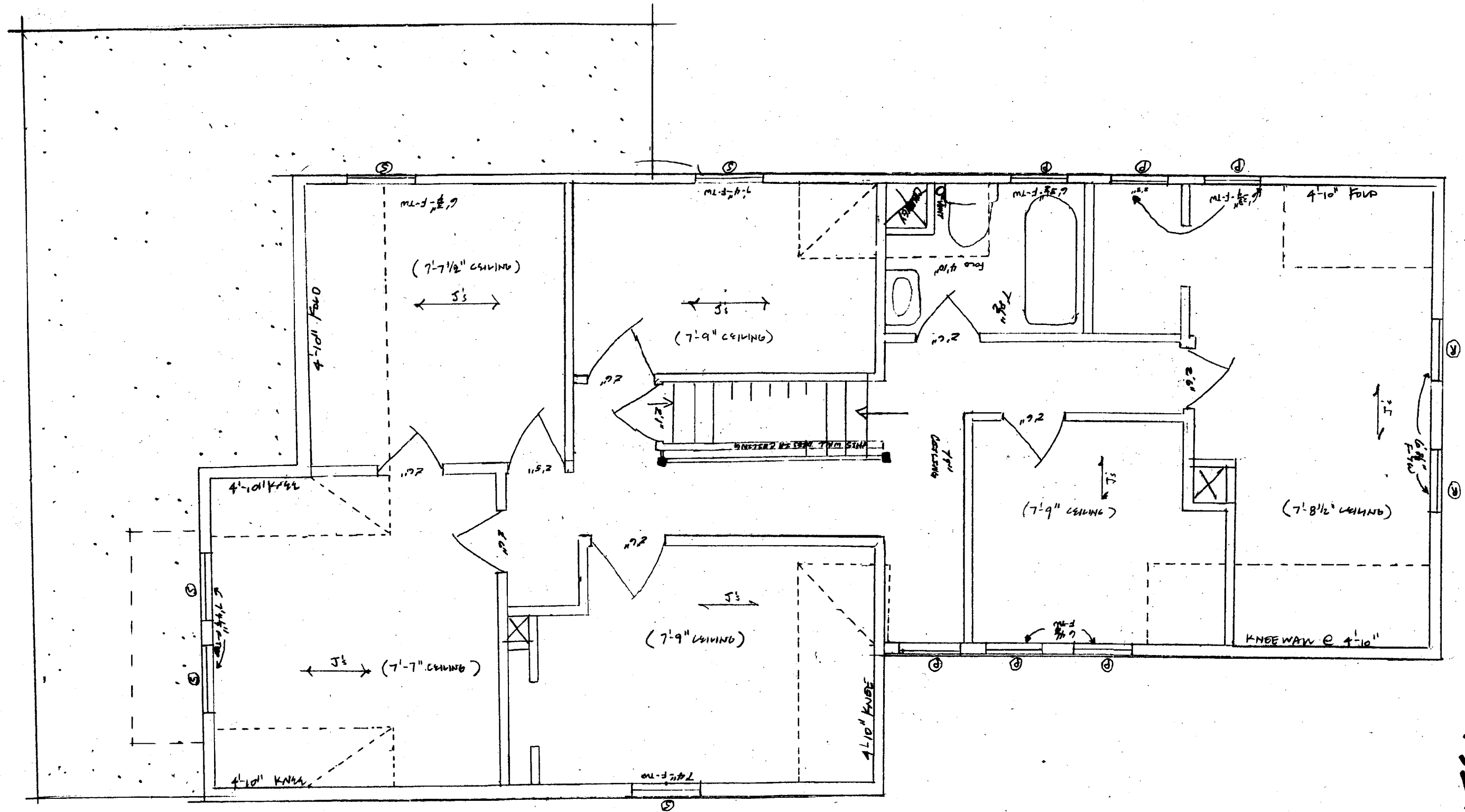
PROPERTY: 291 PLEASANT AVE, PEAKS ISLAND - FR: DAVID COHAN - PH: 700.5042



EXIST : 1ST FLOOR PLAN

AS-BUILTS:

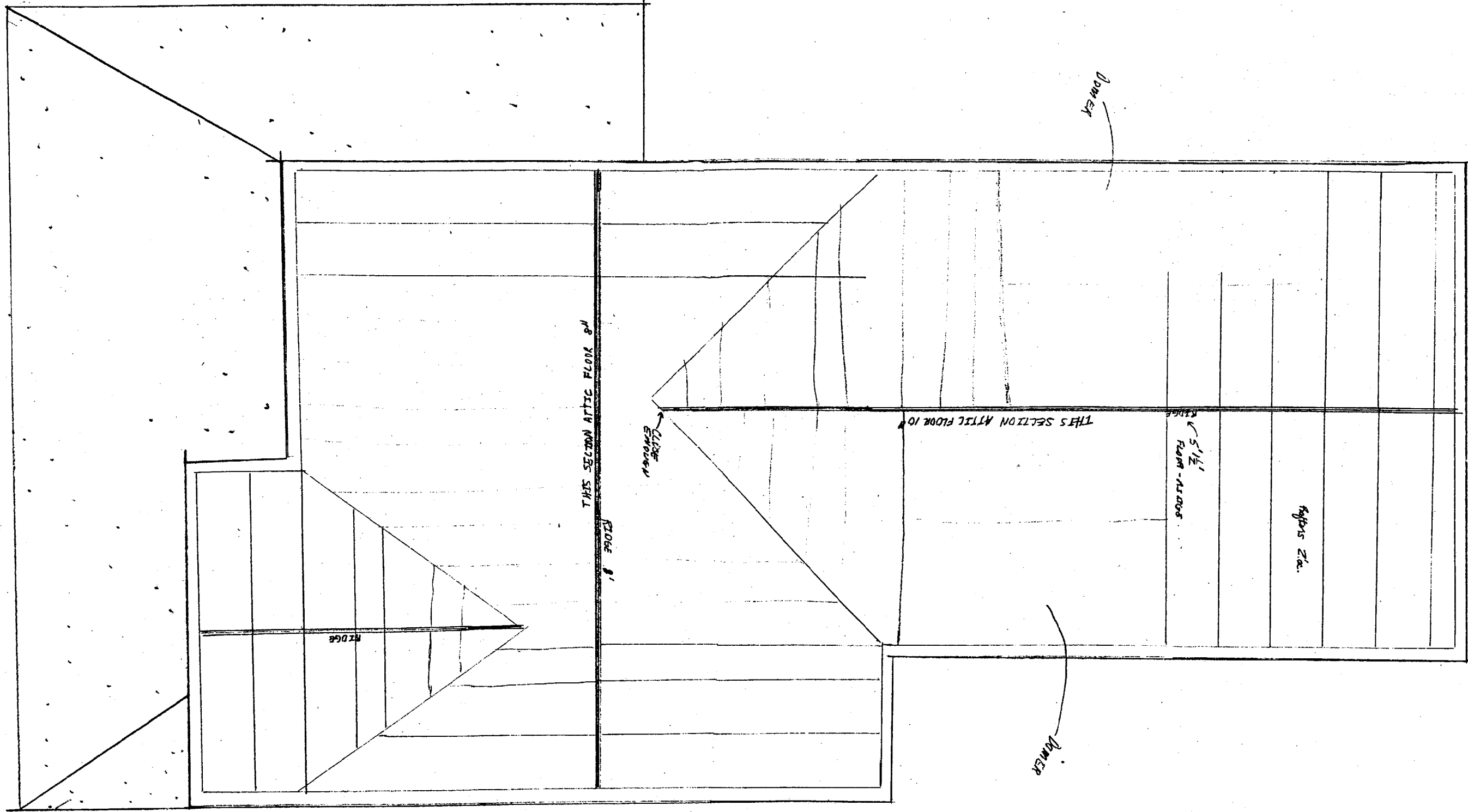
DRAWING: 1ST FLOOR PLAN | SCALE: 1/4" | DATE: 1.8.02
 PROPERTY: 291 PLEASANT AVE, PEAKS ISLAND - FR: DAVID COHAN - PH: 706.5042



EXIST : 2nd FLOOR PLAN

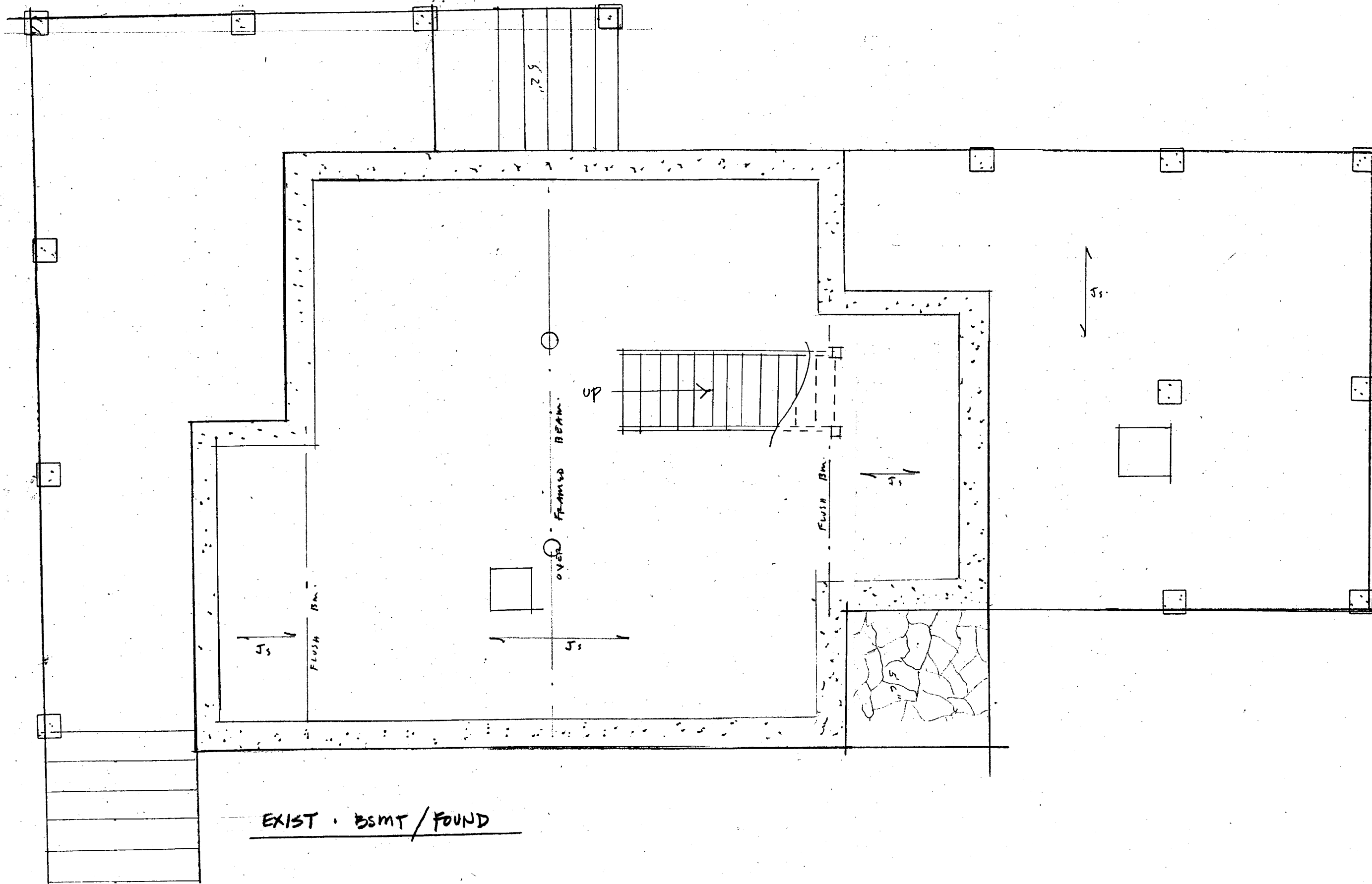
AS-BUILTS:

DRAWING: 2nd FLOOR PLAN | SCALE: 1/4" | DATE: 1.8.02
 PROPERTY: 291 PLEASANT AVE, PEAKS ISLAND - FR: DAVID COHAN - PH: 706.5042



EXIST : ROOF PLAN

AS-BUILTS:



EXIST - BSMT / FOUND

AS-BUILTS: