

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

Please Read
Application And
Notes, if Any,
Attached

PERMIT ISSUED

Permit Number: **MAY 10 2004**

CITY OF PORTLAND

This is to certify that Astarita Arthur M &/Thompson & Johnson workers

has permission to Amend permit # 01-0501 to eliminate rear concrete front near entrance decks & steps

AT 51 Woods Rd 092 G023001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission is procured before this building or part thereof is occupied or closed-in.
HEAR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS
PERMIT ISSUED

Fire Dept.

Health Dept.

Appeal Board

Other

MAY 10 2004

CITY OF PORTLAND

Jamie Bourke 5/10/04
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

| | | |
|-----------------------|----------------------------|---------------------|
| Permit No: 04-0564 | Issue Date: MAY 10 2004 | CBL: 092 G023001 |
|-----------------------|----------------------------|---------------------|

PERMIT ISSUED

CITY OF PORTLAND

| | | | |
|--|--|--|----------------------|
| Location of Construction: 51 Woods Rd | Owner Name: Astarita Arthur M & | Owner Address: 51 Woods Rd | Phone: 66-5997 |
| Business Name: | Contractor Name: Thompson & Johnson Woodworkers | Contractor Address: 115 Island Ave Peaks Island | Phone: 2077665219 |
| Lessee/Buyer's Name | Phone: | Permit Type: Amendment to Single Family | Zone: IR-1 |

| | | | | |
|----------------------------|---|--|---|--------------------|
| Past Use: Single Family | Proposed Use: Single Family w/amendment to # 01-0501 | Permit Fee: \$111.00 | Cost of Work: \$10,000.00 | CEO District: 1 |
| | | FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied | INSPECTION: Use Group: R3 Type: 513 BOCA 1999 Signature: JMB 5/10/04 | |

| | | |
|--|------------|------------------------|
| Proposed Project Description: Amend permit # 01-0501 to eliminate ramp, reconfigure front & rear entrance decks & steps | Signature: | Signature: JMB 5/10/04 |
| PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) | | |
| Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied | | |
| Signature: | Date: | |

| | | |
|-------------------------|---------------------------------|------------------------|
| Permit Taken By: jmb | Date Applied For: 05/10/2004 | Zoning Approval |
|-------------------------|---------------------------------|------------------------|

| | | | |
|--|---|--|---|
| 1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. | Special Zone or Reviews <input checked="" type="checkbox"/> Shoreland <i>Part of property hitting 250' well outside 75' from</i> <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan <i>All conditions from # 01-0501 still in effect</i> Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: JMB 5/10/04 | Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: | Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: JMB |
|--|---|--|---|

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

| | | | |
|---|---------|------|-------|
| SIGNATURE OF APPLICANT | ADDRESS | DATE | PHONE |
| RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE | | DATE | PHONE |

6/9/01 checked parture footings pinned 6" above and below ledge.

6/15/01 checked second portion of footings okay to pour

City of Portland, Maine - Building or Use Permit

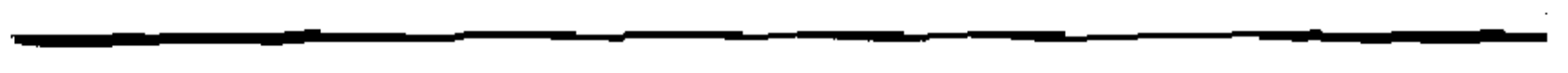
389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

| | | |
|-----------------------|---------------------------------|---------------------|
| Permit No: 04-0564 | Date Applied For: 05/10/2004 | CBL: 092 G023001 |
|-----------------------|---------------------------------|---------------------|

| | | | |
|--|--|--|--------------------------|
| Location of Construction: 51 Woods Rd | Owner Name: Astarita Arthur M & | Owner Address: 51 Woods Rd | Phone: () 766-5997 |
| Business Name: | Contractor Name: Thompson & Johnson Woodworkers | Contractor Address: 115 Island Ave Peaks Island | Phone: (207) 766-5219 |
| Lessee/Buyer's Name | Phone: | Permit Type: Amendment to Single Family | |

| | |
|---|--|
| Proposed Use: Single Family w/amendment to # 01-0501 | Proposed Project Description: Amend permit # 01-0501 to eliminate ramp, reconfigure front & rear entrance decks & steps |
|---|--|

| | | | | |
|--|----------------------------------|--------------------------|---------------------------|--|
| Dept: Zoning | Status: Approved | Reviewer: Jeanine Bourke | Approval Date: 05/10/2004 | Ok to Issue: <input checked="" type="checkbox"/> |
| Note: 1) All conditions from the previous permit are still in effect. | | | | |
| Dept: Building | Status: Approved with Conditions | Reviewer: Jeanine Bourke | Approval Date: 05/10/2004 | Ok to Issue: <input checked="" type="checkbox"/> |
| Note: 1) All conditions of the previous permit are still in effect. 2) A handrail & guardrail detail is required for any change from grade over 15-1/2". | | | | |



This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

130 5/10

Current Owner Information

Amendment

Card Number 1 of 1
 Parcel ID 092 G023001
 Location 51 WOODS RD
 Land Use SINGLE FAMILY

Owner Address ASTARITA ARTHUR M & PEGGY S L ASTARITA
 51 WOODS RD
 PEAKS ISLAND ME 04308

04-0564

Book/Page 16863/264
 Legal 92-6-23-30-32
 WOODS RD 51
 PEAKS ISLAND
 144342 SF

Valuation Information

Land \$63,530 Building \$255,090 Total \$318,620

Property Information

| | | | | | |
|--------------------|------------------|-------------------|------------------|----------------------|------------------|
| Year Built 1976 | Style Contemp | Story Height 1 | Sq. Ft. 3320 | Total Acres 3.314 | |
| Bedrooms 2 | Full Baths 2 | Half Baths 1 | Total Rooms 9 | Attic Unfin | Basement Full |

Outbuildings

| Type | Quantity | Year Built | Size | Grade | Condition |
|------|----------|------------|------|-------|-----------|
|------|----------|------------|------|-------|-----------|

Sales Information

| Date | Type | Price | Book/Page |
|------------|---------------|----------|-----------|
| 10/22/2001 | LAND + BLDING | | 16863-264 |
| 10/22/2001 | LAND + BLDING | | 16863-263 |
| 03/07/1994 | LAND + BLDING | \$27,500 | 11324-334 |

Picture and Sketch

[Picture](#)

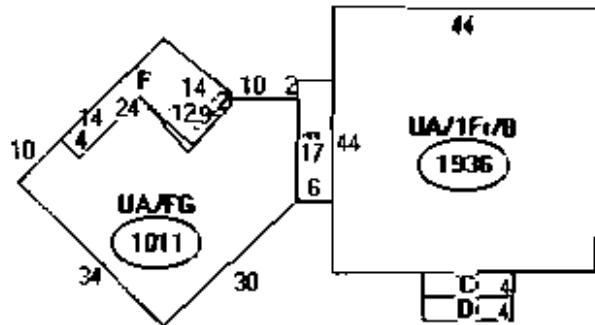
[Sketch](#)

[Click here](#) to view Tax Roll Information.

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or e-mailed.



[REDACTED]



Descriptor/Area

- A: UA/1Fi/B
1936 sqft
- B: 1Fi
120 sqft
- C: OFF
60 sqft
- D: WD
60 sqft
- E: UA/FG
1011 sqft
- F: FDH
224 sqft

[REDACTED]



THOMPSON JOHNSON WOODWORKS
 115 ISLAND AVE
 PEAKS ISLAND, ME 04108
 TEL 207-766-5919 FAX 207-766-5297
 E-MAIL:

CITY OF PORTLAND INSPECTIONS

TO: JENNE BOULE : 874 8716

FM: RAHEL CONLY

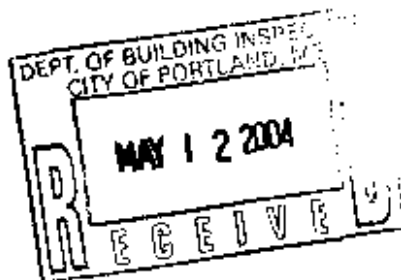
DT: 5.12.04

RE: ASTARITA RESIDENCE HANDRAIL REVISIONS.

3 PAGES INCLUDING COVER

NOTES:

(PLEASE SEE ATTACHED)



①

Thompson Johnson Woodworks
115 Island Avenue
Peaks Island, Maine 04108
206.766.5919

3.10.04

City of Portland
 Inspections Department
 389 Congress Street
 Portland, Maine 04101

Attention: Jeannie Bourke
 Plan Reviewer/Code Enforcement Officer

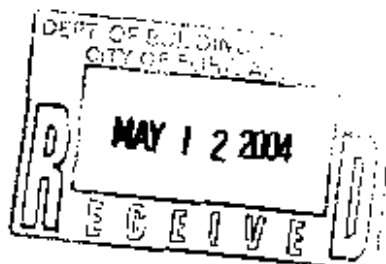
Dear Jeannie:

I am sending along the handrail revision for the Astarita Residence. The changes are "bubbled" and reflect our phone conversation on Tuesday, May 11, 2004. Please let me know if you need any more information.

In reviewing the code while making these changes, I found subtle differences between the BOCA National Building Code and the International Residential Code. I am curious if you have any idea when the transition to the IRC will occur. In the case of these changes, the outcome may have been different had the IRC already been implemented.

Thank you, enjoy your day.

Rachel Cooly
 Thompson Johnson Woodworks
 tjwood@maine.ir.com



2

THOMPSON JOHNSON ARCHITECTS
 15 ISLAND AVENUE
 PEAS ISLAND WA 98108
 207-766-5919

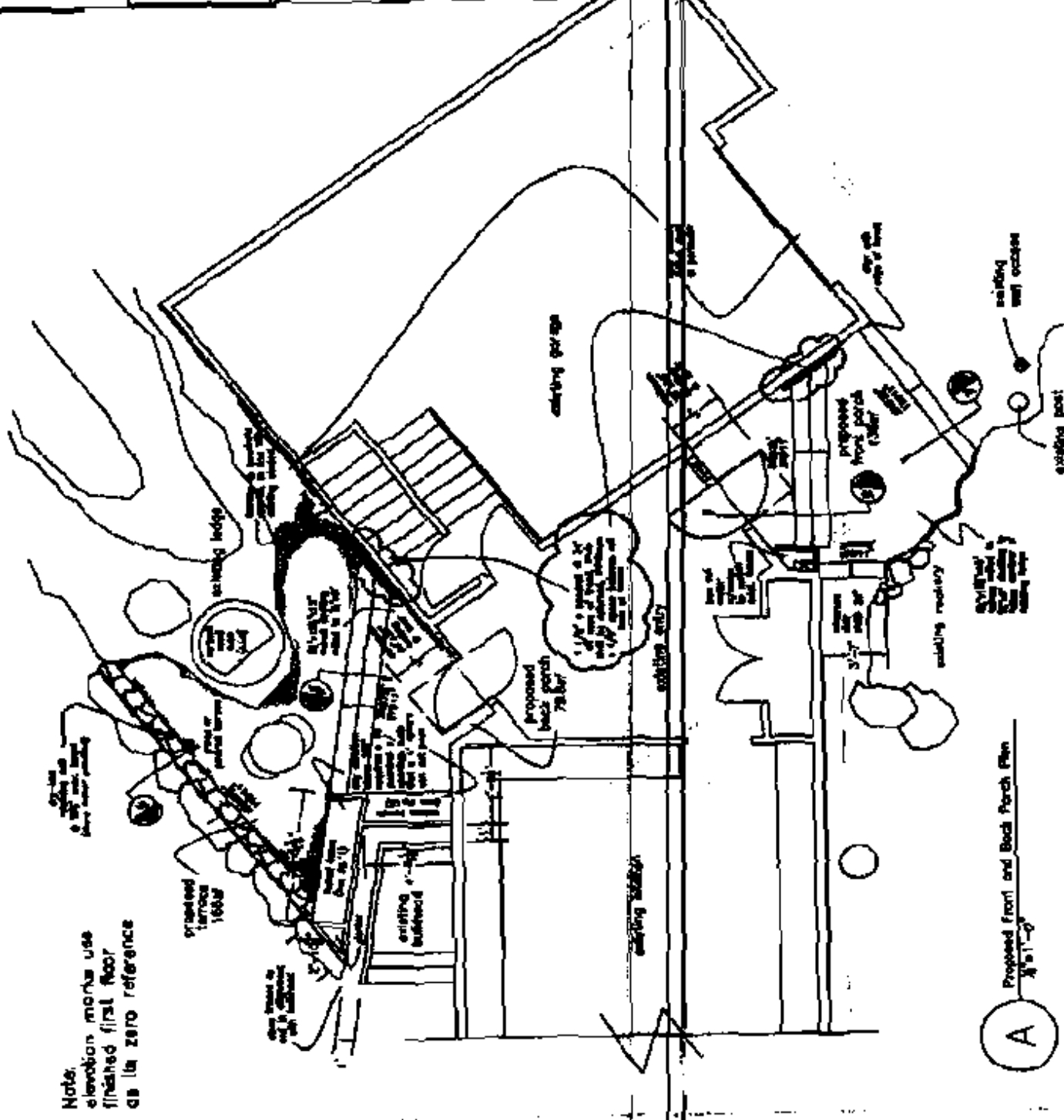
Page One

Porch Plan

Notes

DEPT OF PUBLIC WORKS
 CITY OF BELLEVUE
 MAY 12 2004
 BELLEVUE

| | | |
|----------|--------------------------------|------------------|
| PROJECT | Astorito: Front and Back Porch | |
| DATE | 3.08.04 | REVISION 5.12.04 |
| SCALE | 1/8" = 1'-0" | |
| DRAWN BY | JRM | |

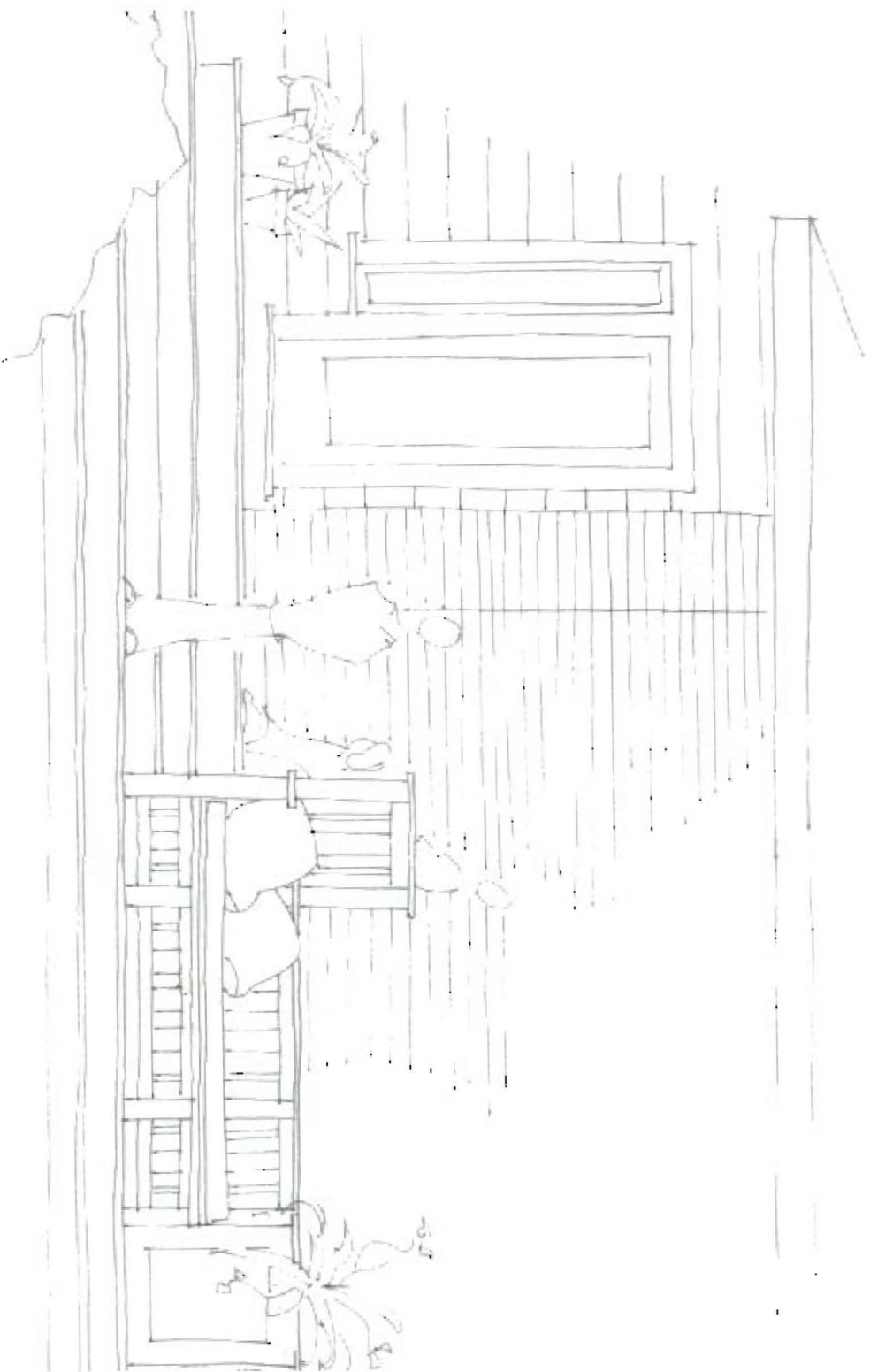


Note:
 elevation marks use
 finished first floor
 as its zero reference

A Proposed Front and Back Porch Plan
 1/8" = 1'-0"

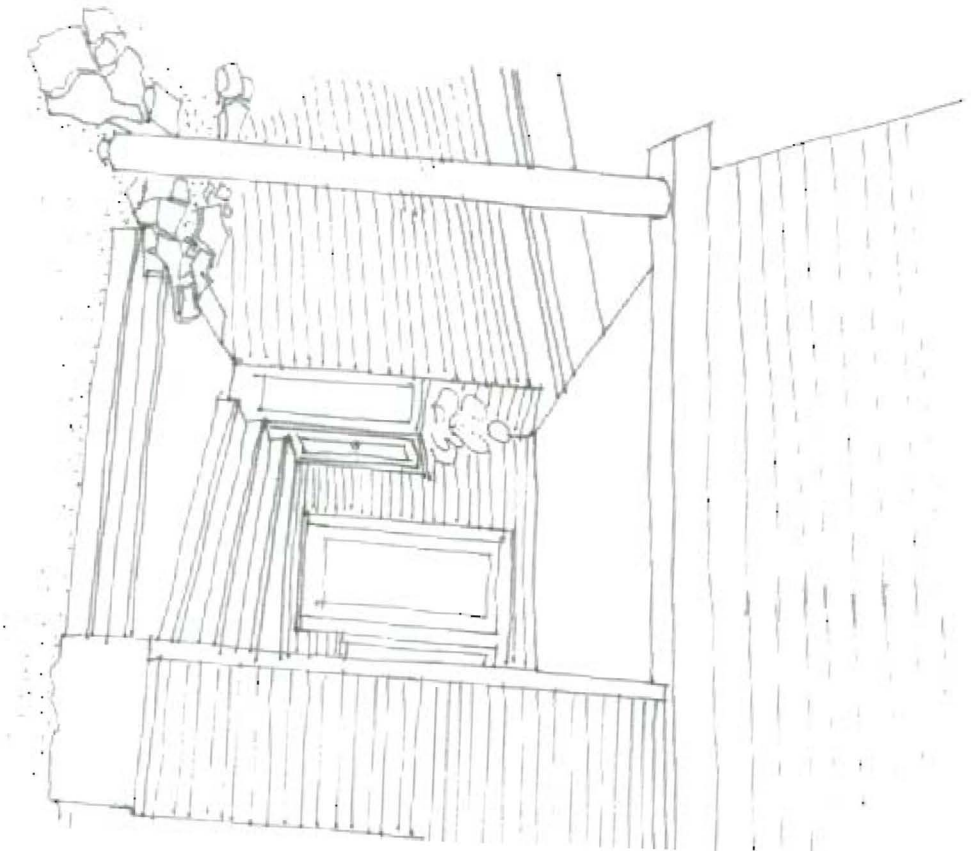
Thompson Johnson Woodworks
115 Island Avenue
Peaks Island, ME 04108

2.19.04



Thompson Johnson Woodwork, Inc.
115 Island Avenue
Peaks Island, ME 04108

2.19.04



THOMPSON JOHNSON WOODWORKS

115 ISLAND AVENUE
PEAKS ISLAND ME 04108
207.766.5919

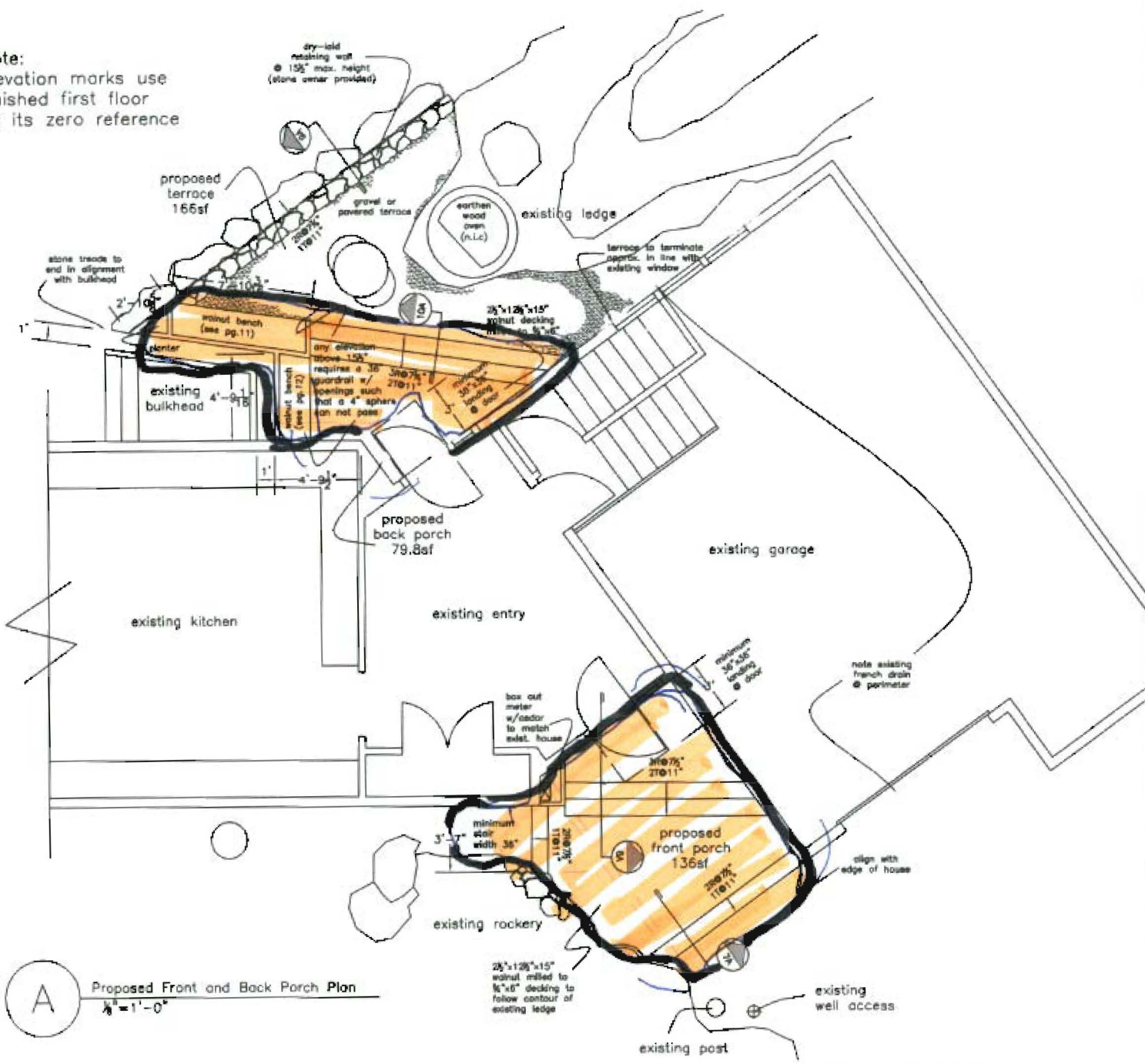
Page One

Notes

Porch Plan

| | | | |
|---------|--------------|-----------------------------------|--|
| PROJECT | | Astorita: Front and Back Porch | |
| DATE | 3.08.04 | REVISED | |
| SCALE | 1/8" = 1'-0" | DRAWN BY | |
| ITEM | | | |

Note:
elevation marks use
finished first floor
as its zero reference



A Proposed Front and Back Porch Plan
1/8" = 1'-0"

Notes

Framing Plan
Front Porch

| | | | |
|---------|--------------|-------------------------------------|--|
| PROJECT | | Astarita: Front and Back Porches | |
| DATE | 3.08.04 | REVISED | |
| SCALE | 1/4" = 1'-0" | DRAWN BY | |
| ITEM | | | |

Note:
girders and joists:
rough sawn
2 1/2" x 12 1/2" x 15' walnut
decking:
5/4" x 6" milled from
2 1/2" x 12 1/2" x 15' walnut,
dressed 4 sides

10" ø sonotube
footings pinned to
ledge, or minimum
4'-0" below grade,
girder to sit on footings,
or (2) 2 1/2" x 6" posts
as needed

cantilever girders
as needed (up to
12") to support
joists and angled
stringers

2 1/2" x 12 1/2"
stringers
@ 16" o.c.

2 1/2" x 6" boxed beam

girders @ contour
to be located not
more than 7" from
edge of rockery to
allow 2" maximum
deck cantilever, scab
2 1/2" lumber to girder
as needed
to support decking

cantilever girders
as needed (up to
12") to support
joists and angled
stringers

2 1/2" x 6" boxed beam

2 1/2" x 12 1/2"
stringers
@ 16" o.c.

existing post

well access

2 1/2" x 12 1/2"
joists
@ 16" o.c.

(2) 2 1/2" x 8"

(2) 2 1/2" x 8"

(2) 2 1/2" x 12 1/2"

(2) 2 1/2" x 12 1/2"

2 1/2" x 12 1/2"
joists
hung @ 16" o.c.

(2) 2 1/2" x 12 1/2"

(2) 2 1/2" x 12 1/2"

(2) 2 1/2" x 12 1/2"

A

Framing Plan: Front Porch

1/4" = 1'-0"

Notes

Framing Plan
Back Porch

PROJECT Astorita:
Front and Back Porch

DATE 3.08.04

REVISED

SCALE 1/4"=1'-0"

DRAWN BY

ITEM

see drainage detail
page 9A

retaining wall to
butress 2" per ft

dry-laid stone
retaining wall

2" sand setting bed,
4" compacted aggregate,
sloped 1/8" per foot,
bed to follow contour of
existing ledge and grade

2 1/2"x6" boxed beam

terrace to terminate
approx. in line with
existing window

⊙ upper tier
cantilevered
joists max. 67",
backspan ratio
at least 2:1

2 1/2"x12 1/2" joists
⊙ 16" o.c.

2 1/2"x12 1/2" stringers
⊙ 16" o.c.

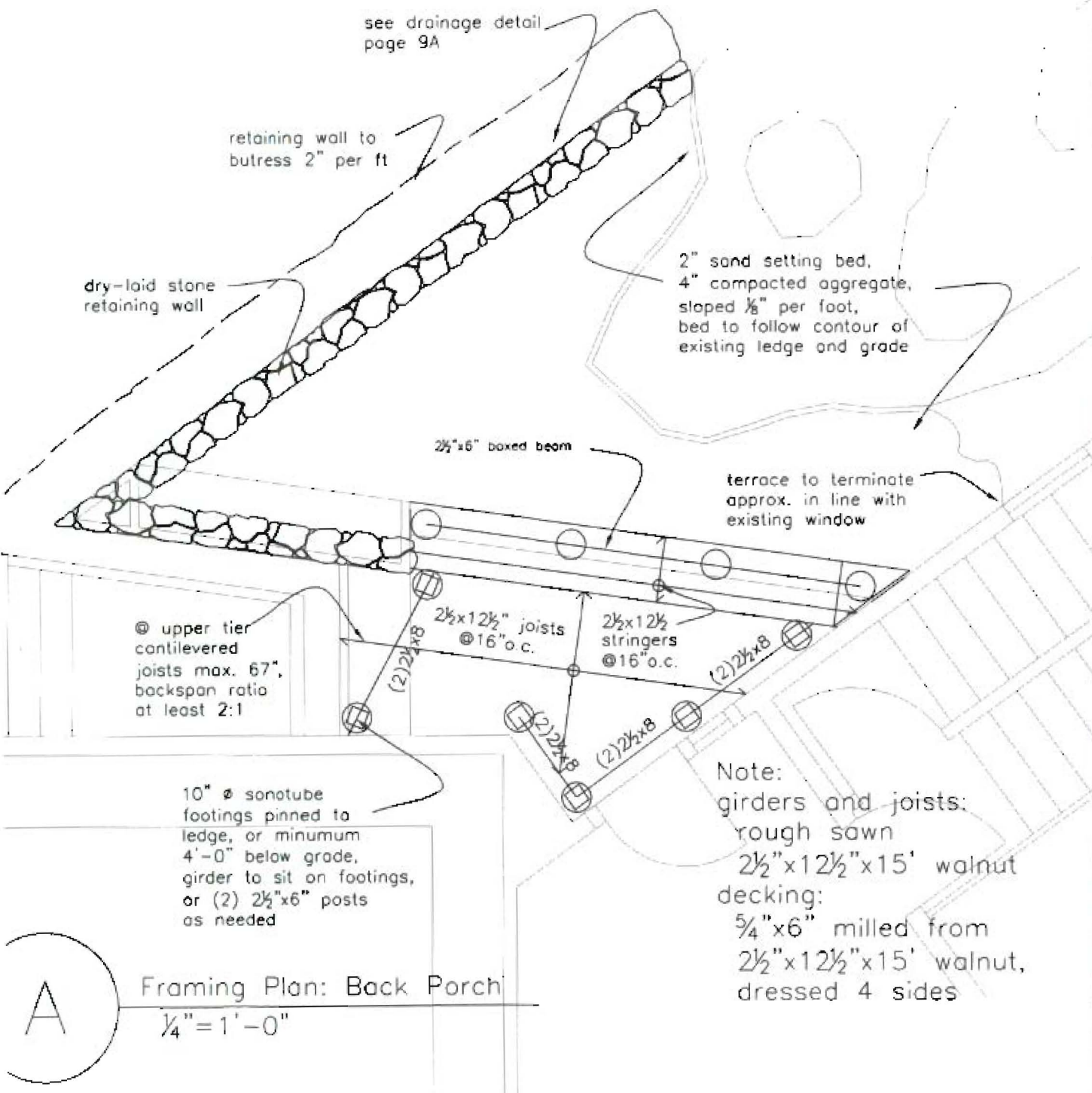
10" ⌀ sonotube
footings pinned to
ledge, or minimum
4'-0" below grade,
girder to sit on footings,
or (2) 2 1/2"x6" posts
as needed

Note:
girders and joists:
rough sawn
2 1/2"x12 1/2"x15' walnut
decking:
5/4"x6" milled from
2 1/2"x12 1/2"x15' walnut,
dressed 4 sides

A

Framing Plan: Back Porch

1/4"=1'-0"



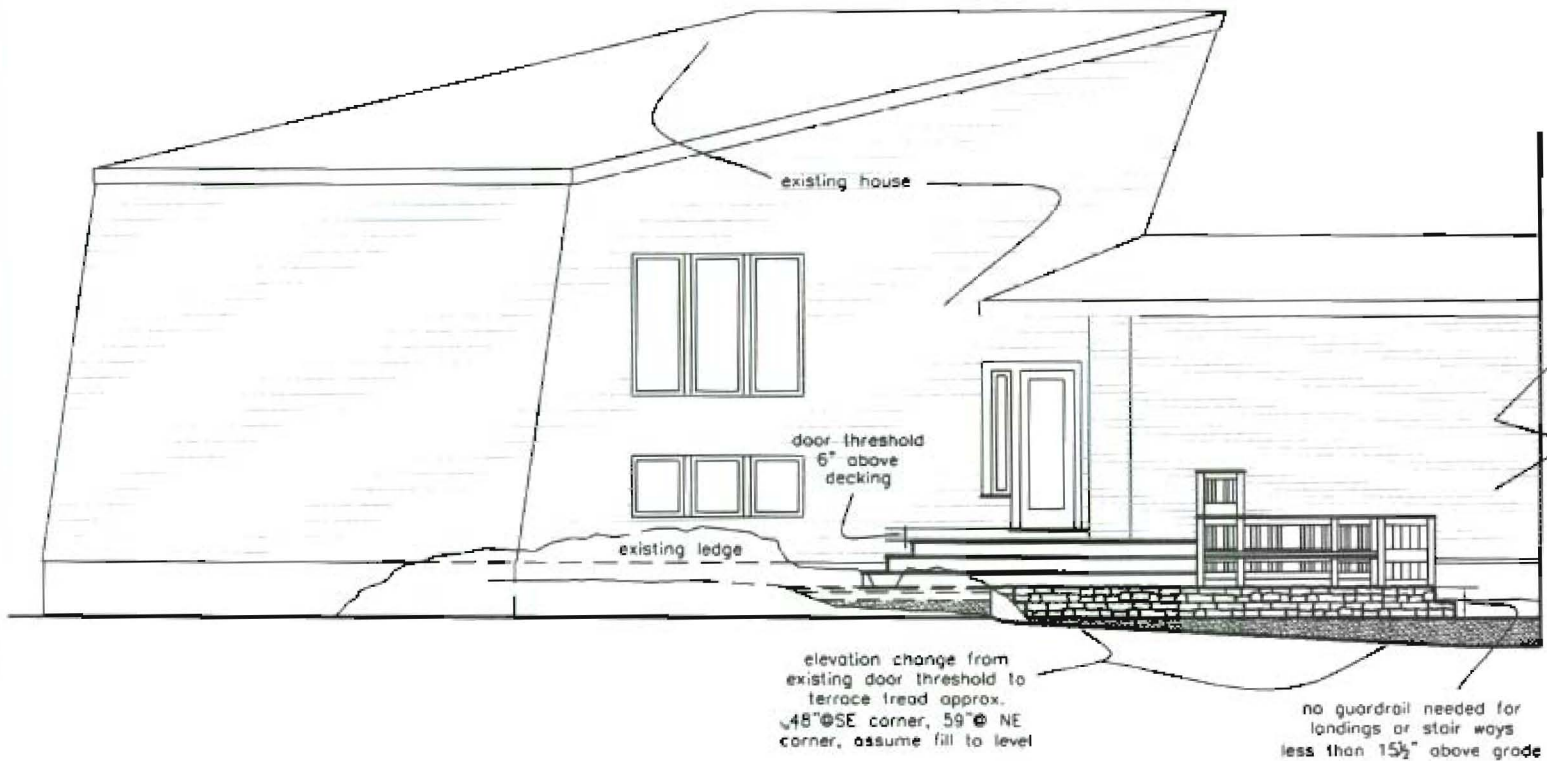
THOMPSON JOHNSON WOODWORKS

115 ISLAND AVENUE
PEAKS ISLAND ME 04108
207 766 5919

Page Four

Notes

South Elevation



A south elevation: walnut bench
1/8" = 1'-0"

PROJECT Astarita:
Front and Back Porch

DATE 3.08.04 REVISED

SCALE 1/8" = 1'-0" DRAWN BY

ITEM

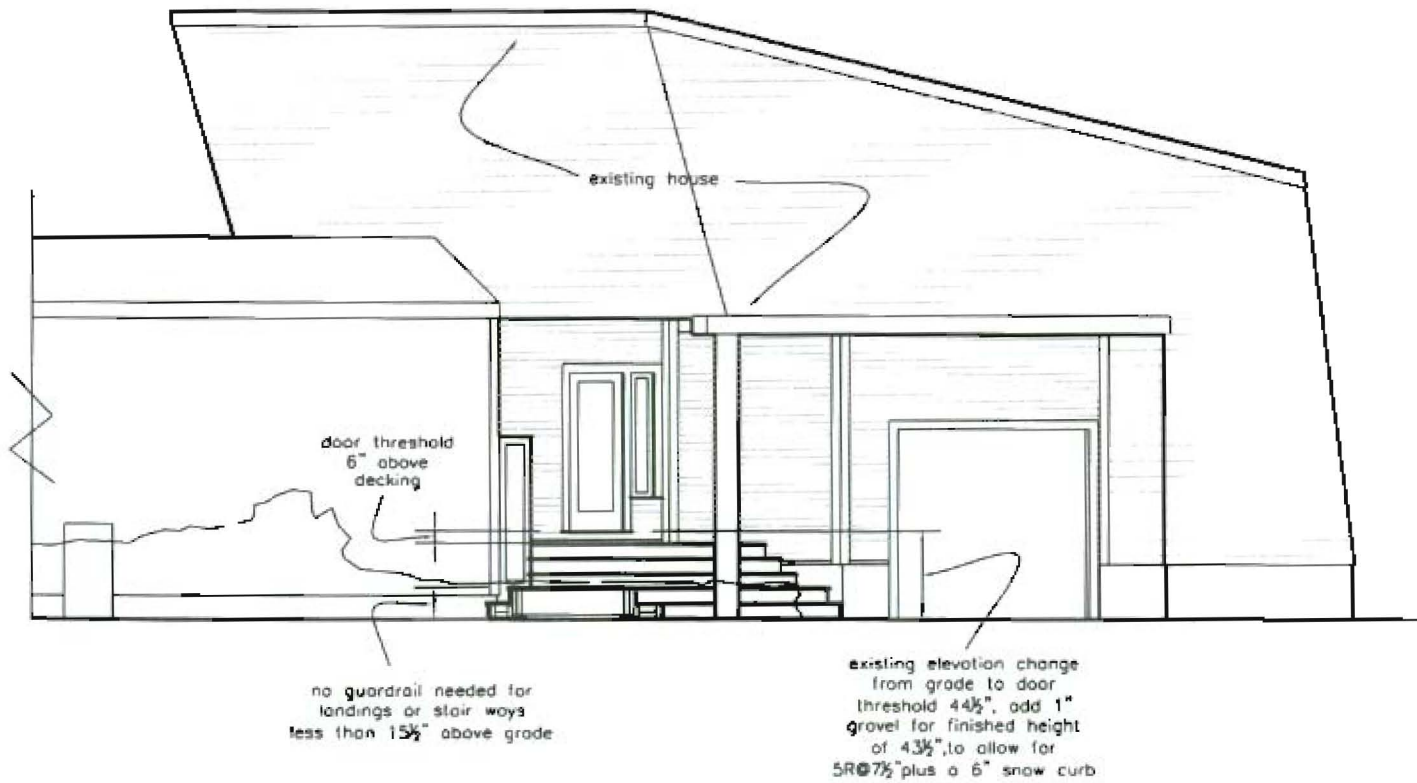
THOMPSON JOHNSON WOODWORKS

115 ISLAND AVENUE
PEAKS ISLAND ME 04108
207.766.5919

Page Five

Notes

North Elevation



A

north elevation: walnut bench
1/8" = 1'-0"

PROJECT Astarita:
Front and Back Porch

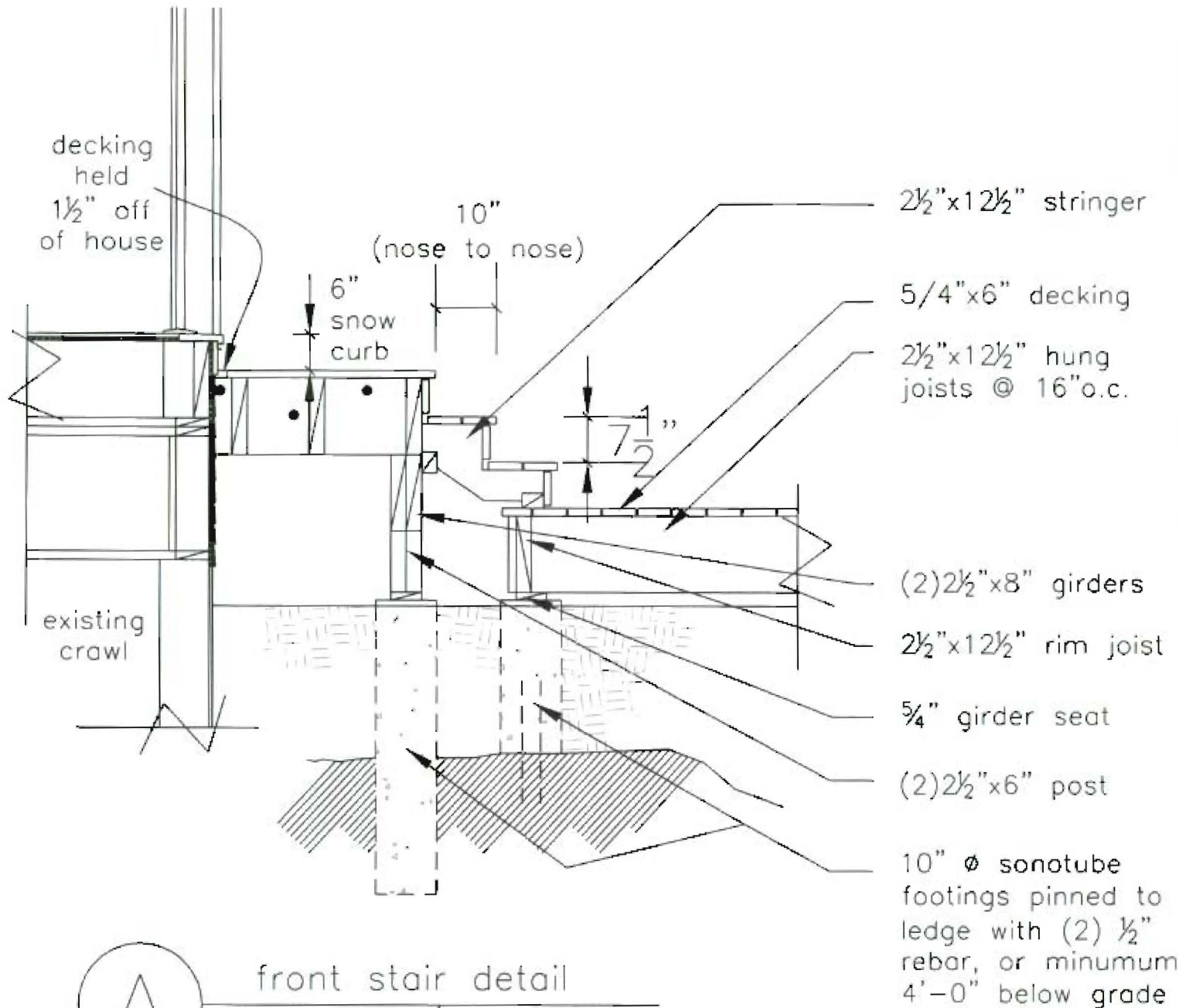
DATE 3.08.04

REVISED

SCALE 1/8" = 1'-0"

DRAWN BY

ITEM



Notes

stair detail



front stair detail

1/2" = 1'-0"

PROJECT Astarita:
Front and Back Porch

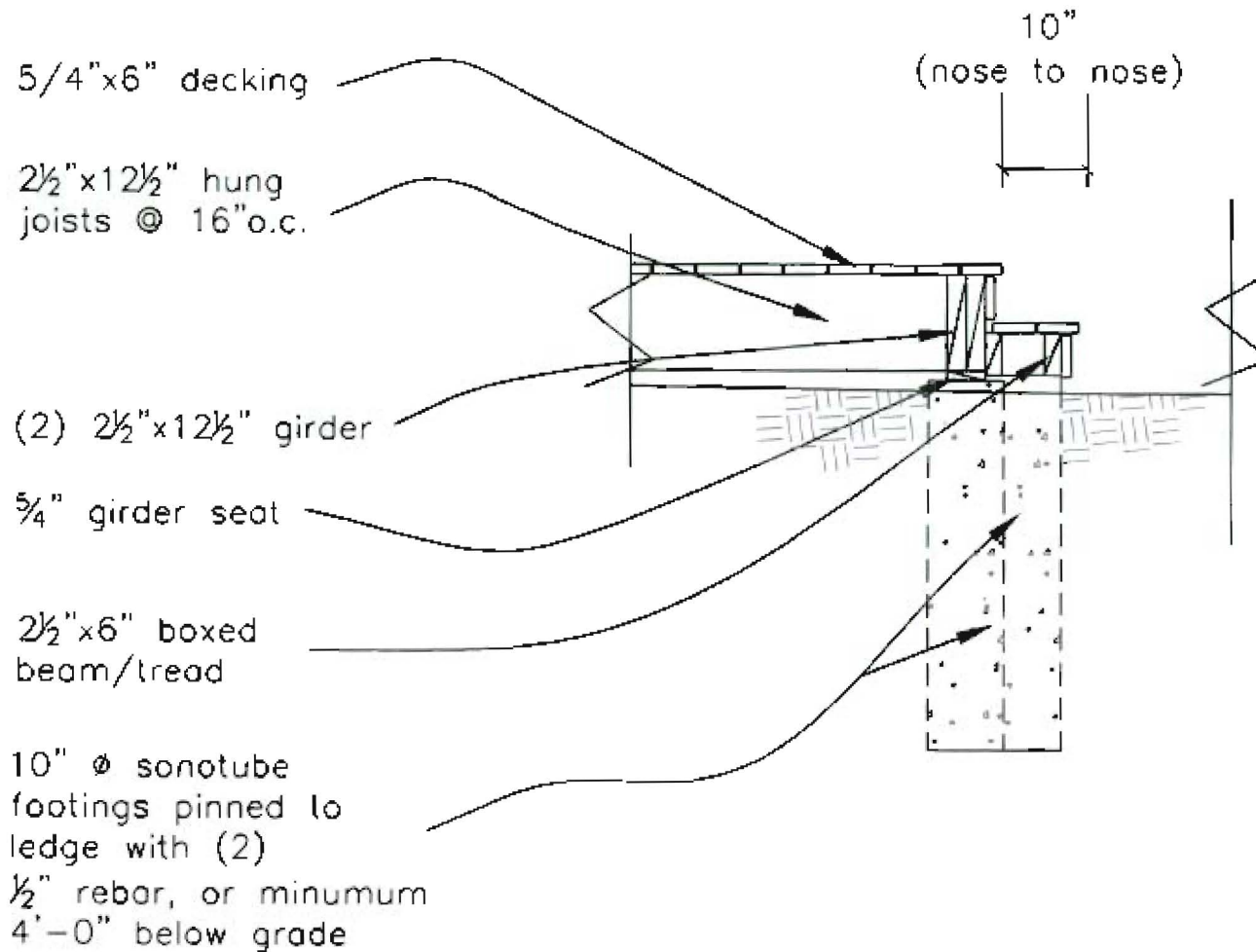
DATE 3.08.04

REVISED

SCALE 1/2" = 1'-0"

DRAWN BY

ITEM



front stair landing

1/2" = 1'-0"

Notes

Stair Detail

PROJECT Astarita:
Front and Back Porch

DATE 3.08.04

REVISED

SCALE 1/2" = 1'-0"

DRAWN BY

ITEM

Notes

Ledger Detail

PROJECT Astarita;
Front and Back Porch

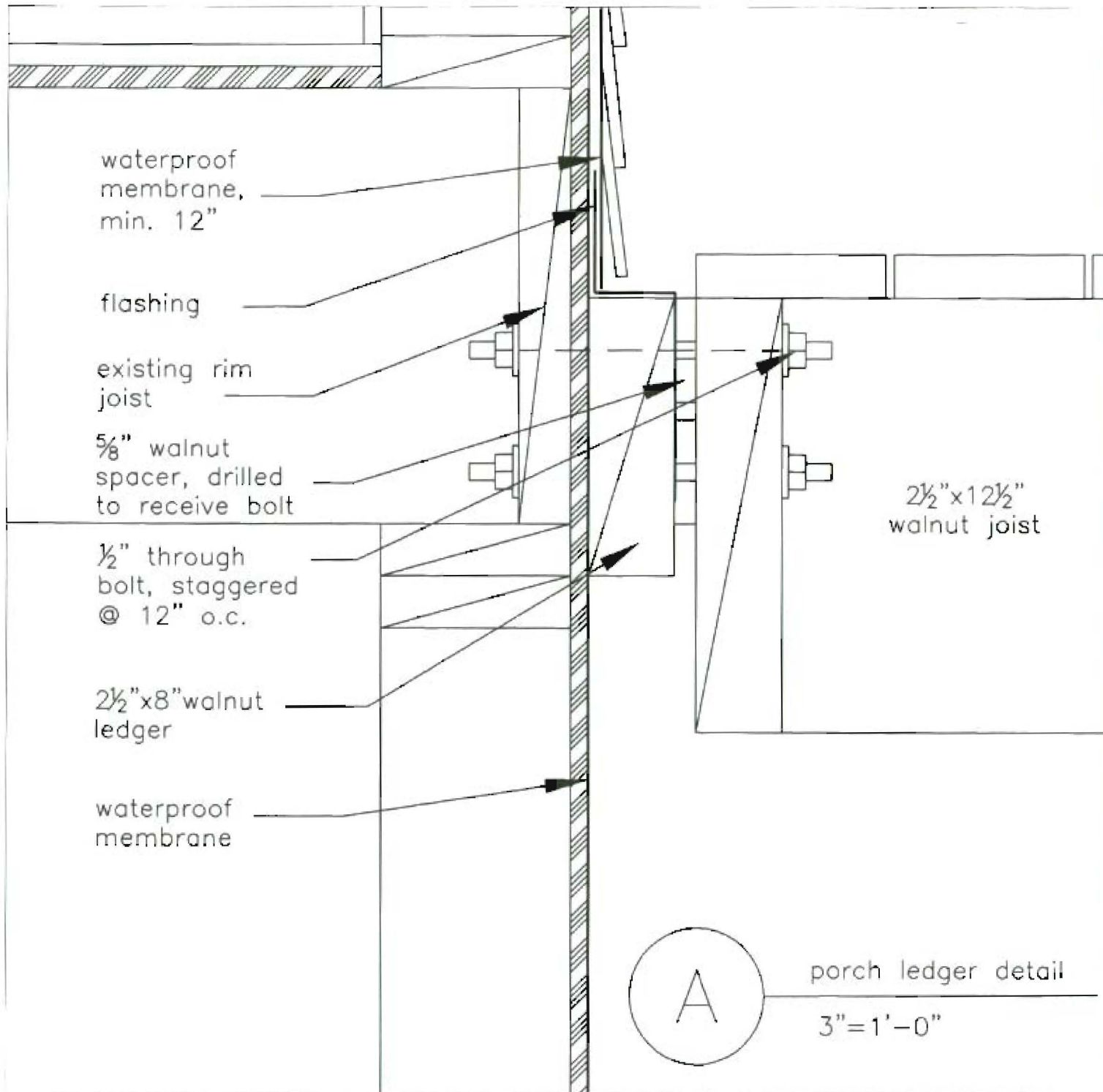
DATE 3.08.04

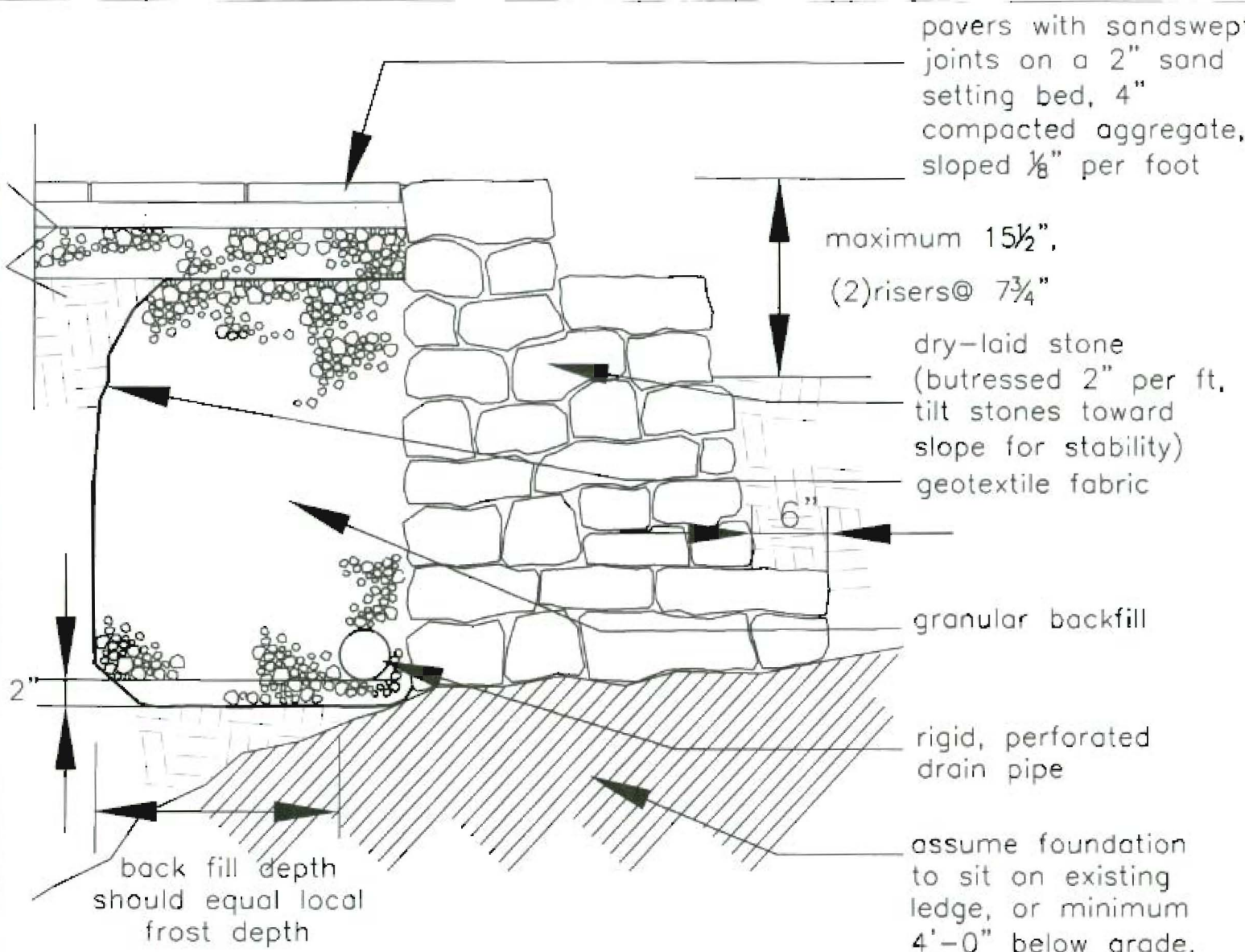
REVISED

SCALE 3"=1'-0"

DRAWN BY

ITEM





pavers with sandswept joints on a 2" sand setting bed, 4" compacted aggregate, sloped 1/8" per foot

maximum 15 1/2",
(2)risers@ 7 3/4"

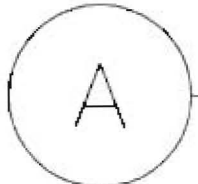
dry-laid stone
(butressed 2" per ft,
tilt stones toward
slope for stability)
geotextile fabric

granular backfill

rigid, perforated
drain pipe

assume foundation
to sit on existing
ledge, or minimum
4'-0" below grade,
alternatively, a level
footing pinned to
ledge may be
required if ledge is
not fit to lay stone

2"
back fill depth
should equal local
frost depth



retaining wall

1" = 1'-0"

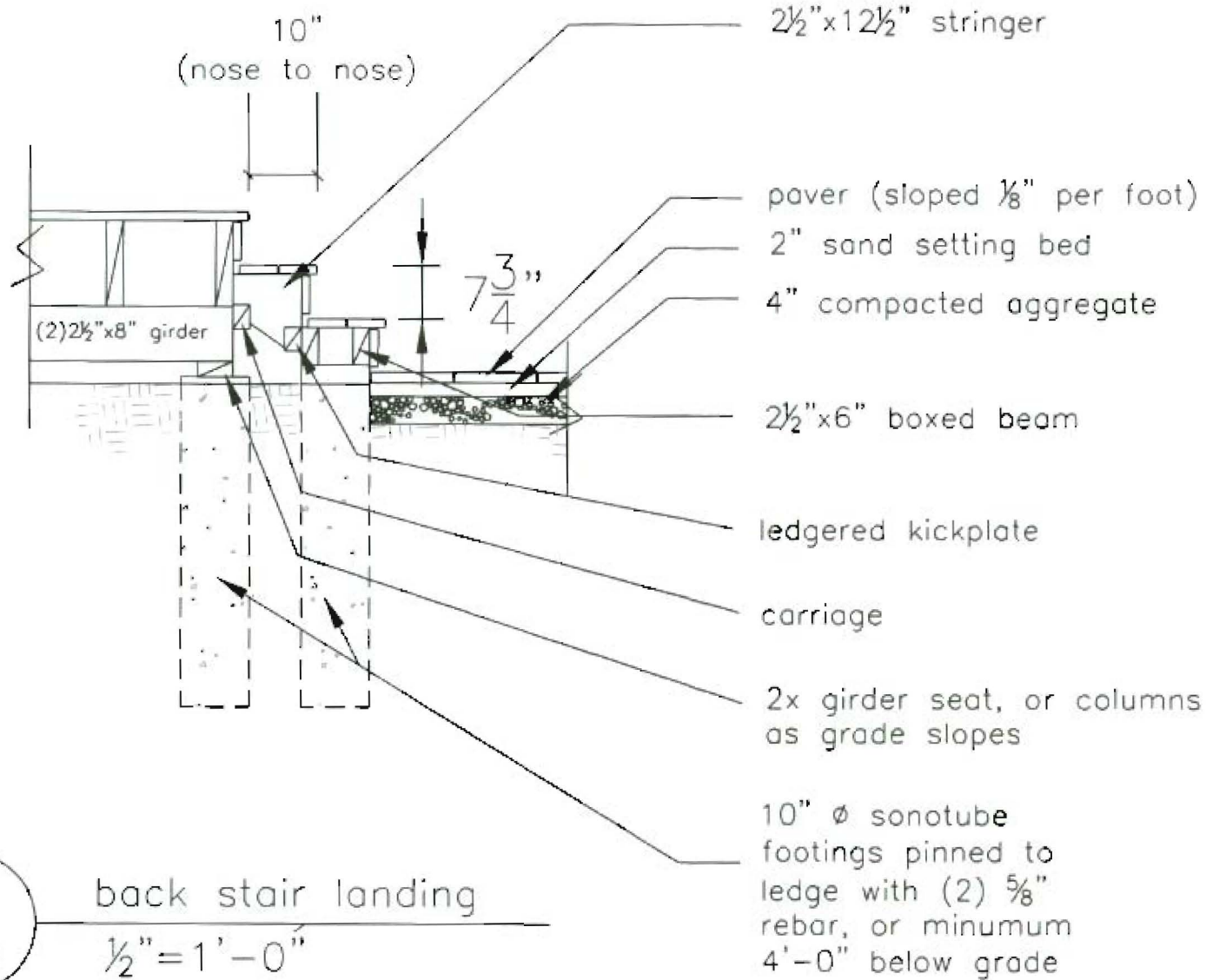
THOMPSON JOHNSON WOODWORKS
115 ISLAND AVENUE
PEAKS ISLAND ME 04108
207 766.5919

Page Nine

Notes

retaining wall

| | | | |
|---------|----------|-----------------------------------|--|
| PROJECT | | astarita: front and back porch | |
| DATE | 3.08.04 | REVISED | |
| SCALE | 1"=1'-0" | DRAWN BY | |
| ITEM | | | |



Notes

Stair Landing
⊙ Terrace

A

back stair landing
1/2" = 1'-0"

PROJECT Astarita:
Front and Back Porch

DATE 3.08.04

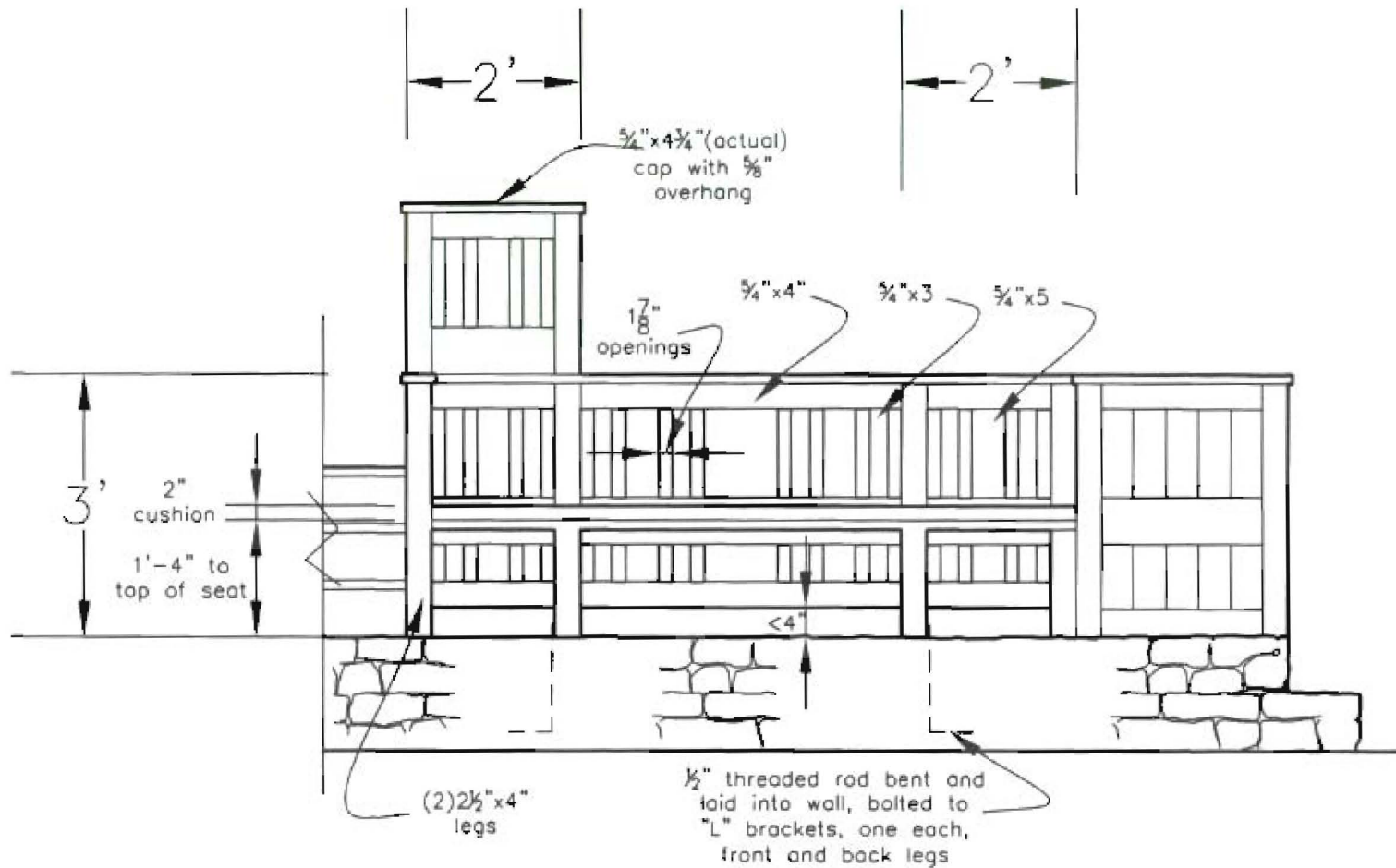
REVISED

SCALE 1/2" = 1'-0"

DRAWN BY

ITEM

Page Eleven



Notes

walnut bench south

A

south elevation: walnut bench

1/2" = 1'-0"

PROJECT Astorita:
Front and Back Porch

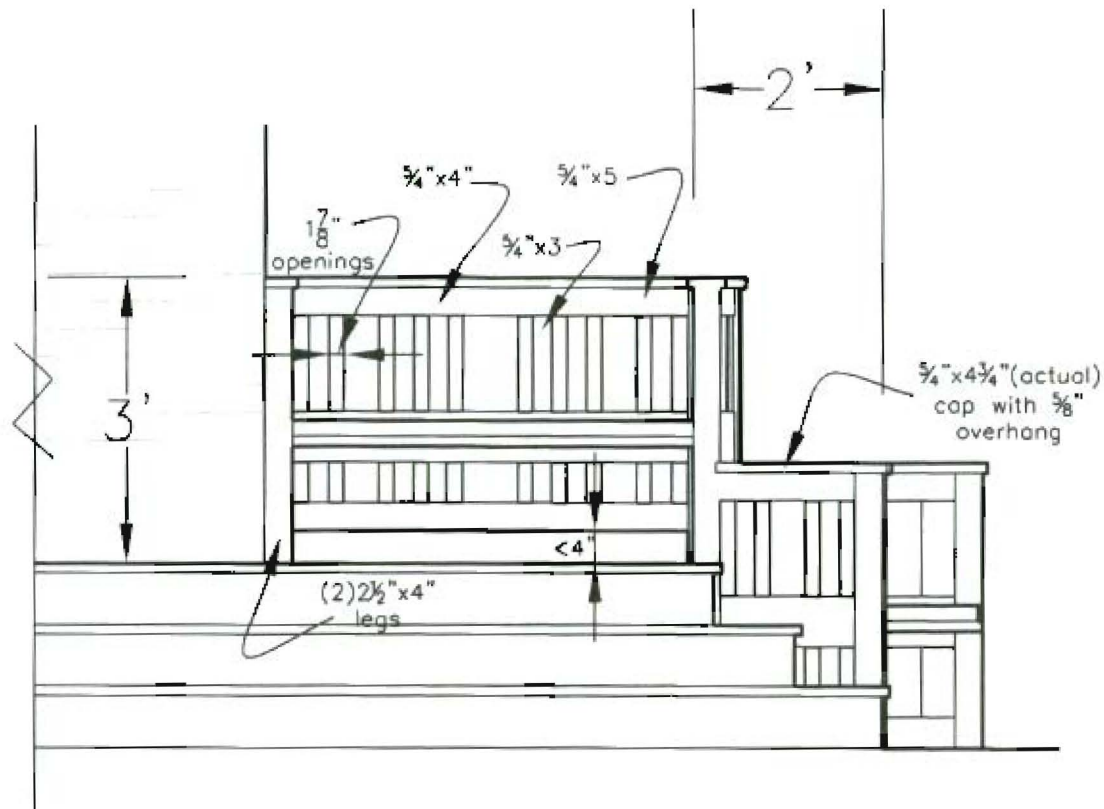
DATE 3.08.04

REVISED

SCALE 1/2" = 1'-0"

DRAWN BY

ITEM



Notes

Walnut Bench West

A

west elevation: walnut bench

1/2" = 1'-0"

PROJECT Astarita:
Front and Back Porch

DATE 3.08.04 REVISED

SCALE 1/2" = 1'-0" DRAWN BY

ITEM

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

JB **Pre-construction Meeting:** Must be scheduled with your inspection team upon receipt of this permit. ~~Jay Reynolds, Development Review Coordinator at 874-8632~~ must also be contacted at this time, before any site work begins on any project other than single family additions or alterations.

- Footing/Building Location Inspection:** Prior to pouring concrete
- NA **Re-Bar Schedule Inspection:** Prior to pouring concrete
- NA **Foundation Inspection:** Prior to placing ANY backfill
- Framing/Rough Plumbing/Electrical:** Prior to any insulating or drywalling
- Final/Certificate of Occupancy:** Prior to any occupancy of the structure or use. ~~NOTE: There is a \$75.00 fee per inspection at this point.~~

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

NA **CERTIFICATE OF OCCUPANCIES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED**

[Signature]
Signature of Applicant/Designee

Date

[Signature]
Signature of Inspections Official

Date

CBL: 92-G-23

Building Permit #:

04-0564